



GENESEE COUNTY PLANNING BOARD  
ZONING REFERRALS NOTICE OF FINAL  
ACTION

GCDP Referral ID C-16-BAT-9-14  
Review Date 9/11/2014

Municipality BATAVIA, C.  
Board Name CITY PLANNING AND DEVELOPMENT COMM.  
Applicant's Name Kip Finley (Indus Group)  
Referral Type Special Use Permit  
Variance(s) Area Variance(s)  
Description: Final Subdivision, Special Use Permit, Special Sign Permits and Area Variances for a new drive-in restaurant (Dunkin' Donuts).  
Distance to side lot line for driveways for drive-in restaurants.  
Minimum required: 20 ft.  
Proposed: 6 ft.  
Number of Parking Spaces  
Minimum required: 68  
Proposed: 30  
Building Height  
Maximum allowed: 18 ft.  
Proposed: 21.25 ft.  
Location 401-409 W. Main St. (NYS Rts. 5 & 63), Batavia  
Zoning District General Commercial (C-2) District

PLANNING BOARD DECISION

**NO ACTION TAKEN**

EXPLANATION:

No action was taken on this referral due to the inability of the County Planning Board to pass any motion with a majority of the whole number (5 of 9 members) on a specific recommendation.

Director

9/12/14

Date

If the County Planning Board disapproved the proposal, or recommends modifications, the referring agency shall NOT act contrary to the recommendations except by a vote of a majority plus one of all the members and after the adoption of a resolution setting forth the reasons for such contrary action. Within 30 days after the final action the referring agency shall file a report of final action with the County Planning Board. An action taken form is provided for this purpose and may be obtained from the Genesee County Planning Department at 344-2580 x 5466, or online at <http://www.co.genesee.ny.us/> under Forms and Permits for Towns and Villages.

**SEND OR DELIVER TO:**

GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) 344-2580 Ext. 5467

**DEPARTMENT USE ONLY:**  
GCDP Referral # C-16-BAT-9-14



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

**RECEIVED**  
SEP 03 2014  
GENESEE COUNTY DEPARTMENT OF PLANNING  
**RECEIVED**

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) Planning and Development Committee  
Address One Batavia City Centre  
City, State, Zip Batavia, NY 14020  
Phone (585) 345-6347 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name Kip Finley (Indus Group)  
Address 1080 Pittsford Victor Rd.  
City, State, Zip Pittsford, NY 14534  
Phone (585) 451-6538 Ext. \_\_\_\_\_ Email kfinley@indusdevelopment.com

MUNICIPALITY:  City  Town  Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |  |  |   |
|--|--|---|
| <input checked="" type="checkbox"/> Area Variance      | <input type="checkbox"/> Zoning Map Change                             | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance                  | <input type="checkbox"/> Zoning Text Amendments                        | <input type="checkbox"/> Preliminary          |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Comprehensive Plan/Update                     | <input checked="" type="checkbox"/> Final     |
| <input checked="" type="checkbox"/> Site Plan Review   | <input checked="" type="checkbox"/> Other: <u>Special Sign Permits</u> |   |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

A. Full Address 401-409 West Main St.  
B. Nearest intersecting road River  
C. Tax Map Parcel Number ~~84.006-1-4~~ 84.005-2-7.1  
D. Total area of the property \_\_\_\_\_ Area of property to be disturbed \_\_\_\_\_  
E. Present zoning district(s) C-2

**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken 6/12/14; No action taken due to inability to vote with a majority  
B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
BMC 190-37 E, 190-37 K, 190-37 E (3), 19037 E (8), 190-43 F and Exhibit A, 190-29 A and Schedule I.  
C. Please describe the nature of this request Minor subdivision, site plan review, special Use Permit for drive-in rest., Special Sign Permits and area variances for subdivision of an existing parcel with development of the newly created parcel to a Dunkin Donuts drive-in restaurant.

**6. ENCLOSURES** – Please enclose copy(s) of all appropriate items in regard to this referral

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> Local application      | <input type="checkbox"/> Zoning text/map amendments    | <input type="checkbox"/> New or updated comprehensive plan |
| <input checked="" type="checkbox"/> Site plan              | <input type="checkbox"/> Location map or tax maps      | <input type="checkbox"/> Photos                            |
| <input checked="" type="checkbox"/> Subdivision plot plans | <input checked="" type="checkbox"/> Elevation drawings | <input type="checkbox"/> Other: <u>cover letter</u>        |
| <input checked="" type="checkbox"/> SEQR forms             | <input type="checkbox"/> Agricultural data statement   |  |

If possible, please provide a reduced version or digital copy of any supporting documentation larger than 11 x 17.  
Email to [planning@co.genesee.ny.us](mailto:planning@co.genesee.ny.us)

**7. CONTACT INFORMATION** of the person representing the community in filling out this form (required information)

Name Douglas Randall Title Code Enf. Officer Phone (585) 345-6327 Ext. \_\_\_\_\_  
Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drrandall@batavianewyork.com



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee  
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 9/2/14

Re: 401-409 West Main St.  
Tax Parcel No. 84.006-1-4

Zoning Use District: C-2

**NOTE:** This project was previously reviewed by the PDC during its June 17<sup>th</sup> meeting. The Planning and Development Committee placed this item on the table to afford the applicant time to revise the application. A new site plan has been provide and the applicant is requesting this case be removed from the table during the September 16, 2014 meeting.

The applicant, Kip Finley (agent for the owner), has filed applications for; minor subdivision, site plan review, special use permit for drive-in restaurant, area variances and special sign permits. He is proposing to subdivide this existing parcel into two separate parcels and construct an approximately 1,700 sq.' Dunkin Donuts restaurant with a drive-through window on the newly created parcel.

**Review and Approval Procedures:**

**County Planning Board-** Pursuant to General Municipal Law 239 m, referral to the County Planning Board is required since the property is within 500 feet of the boundary of the city; the boundary of a County or State park or other recreation area; **the right of way of a state parkway, throughway, expressway, road or highway;** the boundary of county or state owned land on which a public building or institution is situated; the boundary of a farm operation located in an agricultural district (not required for area variances).

**City Planning and Development Committee-**

- 1) **Minor Subdivision-** Pursuant to BMC section 162-2 and 162-4 the PDC shall approve plot plans prior to being recorded with Genesee County.  
162-40 Minor subdivisions are to be processed in the same manner as Major Subdivisions with the exceptions of A-F of this section.
- 2) **Site Plan Review-** Pursuant to BMC section 190-44 C. (1) (a) and (c) the Planning and Development Committee shall review and approve site plans in compliance with this section.

- 3) **Special Use Permit-** Pursuant to BMC section 190-37, the PDC shall review and authorize Special Use Permits prior to issuance.  
 190-37 E. Special use permits may be issued for Drive-in restaurants provided compliance with 190-37 E (1, 2, 3, 4, 8, 12, and 13) and 190-37 K (1- 14) is followed.
- 4) **Special Sign Permits-** Pursuant to BMC section 190-43 R, the PDC shall approve or deny Special Sign Permits.  
 190-43 F and Exhibit A. The number and location of signs proposed exceeds the requirements of this section.
  - One wall sign facing a street frontage is permitted.
  - One free standing sign per lot is permitted.
- 5) **Variance Referral-** Pursuant to BMC section 190-49 C., the PDC shall review all applications that involve parking variances and make recommendations to the ZBA.

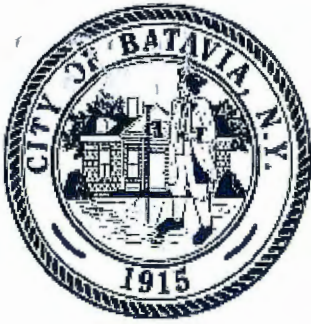
**Zoning Board of Appeals-** Pursuant to BMC Sec. 190-49 of the zoning ordinance, the ZBA shall review and act on required variances.

Required variances- Area

- 1) BMC 190-37 E (3) Driveways for drive-in restaurants are not permitted to be closer than 20' from side lot lines. The existing West Main Street curb cut and driveway is approx. 6' from the proposed east side lot line at the street, and is on the line for the majority of the driveways length.
- 2) BMC 190-37 E (8) Parking is required at the rate of 4 spaces for each 100 sq.' of principal building space of drive-in restaurants. 68 spaces required, ~~26~~ 30 spaces are proposed, difference of 42 ~~38~~ spaces.
- 3) BMC 190-29 A and Schedule I -

	Permitted	Proposed	Difference
Maximum bldg. height	18'	21.25'	3.25'

The Planning and Development Committee will be the lead agency to conduct SEQR.



*City of Batavia*  
*Department of Public Works*  
*Bureau of Inspections*

One Batavia City Center, Batavia, New York 14020 (585)-345-6345 (585)-345-1385 (fax)

To: Genesee County Planning  
Planning and Development Committee  
Zoning Board of Appeals

From: Doug Randall, Code Enforcement Officer

Date: 5/30/14

Re: 401-409 West Main St.  
Tax Parcel No. 84.006-1-4

Zoning Use District: C-2

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**Review and Approval Procedures:**

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190-37 E. Special use permits may be issued for Drive-in restaurants provided compliance with 190-37 E (1, 2, 3, 4, 8, 12, and 13) and 190-37 K (1- 14) is followed.

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The Planning and Development Committee will be the lead agency to conduct SEQ. R.

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3837 West Main Street Road  
Batavia, NY 14020-9404  
Phone: (585) 344-2580 Ext. 5467



**DEPARTMENT USE ONLY:**  
GCDP Referral # \_\_\_\_\_

**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTION 239 L, M, N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD(S) INFORMATION**

Board(s) Planning/Dev. and ZBA

Address One Batavia City Centre

City, State, Zip Batavia, NY 14020

Phone (585) 345 - 6347 Ext. \_\_\_\_\_

**2. APPLICANT INFORMATION**

Name Kip Finley (Indus Group)

Address 1080 Pittsford Victor Rd.

City, State, Zip Pittsford, NY 14534

Phone (585) 451 - 6538 Ext. \_\_\_\_\_ Email kfinley@indusdevelopment.com

MUNICIPALITY:  City  Town  Village of Batavia

**3. TYPE OF REFERRAL:** (Check all applicable items)

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|--|---|---|
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A. Full Address 401-409 West Main St.

B. Nearest intersecting road River

C. Tax Map Parcel Number 84 006-1-4

D. Total area of the property \_\_\_\_\_ Area of property to be disturbed \_\_\_\_\_

E. Present zoning district(s) C-2

**5. REFERRAL CASE INFORMATION:**

A. Has this referral been previously reviewed by the Genesee County Planning Board?  
 NO  YES If yes, give date and action taken \_\_\_\_\_

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Address, City, State, Zip One Batavia City Centre, Batavia, NY 14020 Email drandall@batavianewyork.com

617.20  
Appendix B  
Short Environmental Assessment Form

**Instructions for Completing**

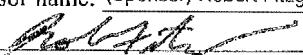
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>				
Name of Action or Project: City of Batavia Dunkin Donuts				
Project Location (describe, and attach a location map): 401-409 West Main Street (Refer to Site Plans for Location Map)				
Brief Description of Proposed Action: Subdivision of land with subsequent development of an 1,800 square foot quick service restaurant with drive through. Building to be wood frame.				
Name of Applicant or Sponsor: Indus Group (Contact: Kip Finley)		Telephone: (585) 451-6538 E-Mail: kfinley@indusdevelopment.com		
Address: 1080 Pittsford Victor Road, Suite 201				
City/PO: Pittsford	State: New York	Zip Code: 14534		
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Approval From The City of Batavia			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		1.654 acres		
b. Total acreage to be physically disturbed?		0.839 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.0 acres		
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland				



5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?  If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?  If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES _____ _____			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor name: (Sponsor) Robert Fitzgerald, P.E.		Date: March 26, 2014
Signature: 		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: <ul style="list-style-type: none"> <li>a. public / private water supplies?</li> <li>b. public / private wastewater treatment utilities?</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

Application No.: \_\_\_\_\_

Date: \_\_\_\_\_



## MINOR SUBDIVISION APPLICATION

### CITY OF BATAVIA

10 West Main Street, Batavia, NY 14020  
Phone: (716) 343-8180 • Fax (716) 343-9221

ADDRESS OF SUBDIVISION 401-409 West Main Street

**OWNER:**

Five Star Bank  
Name E-mail Address  
401-409 West Main Street  
Street Address Phone Fax  
Batavia, NY 14020  
City, State, Zip Code

SIGNATURE (Refer To Property Owner Authorization Letter Attached)

FEES: \_\_\_ \$50 Residential Subdivision     \$100 Non-Residential Subdivision

SCHEDULE "B"

FORM OF PROPERTY OWNER AUTHORIZATION


STATE OF NEW YORK)  
COUNTY OF MONROE) ss:

The undersigned certifies that it is the sole owner of the property at 401-409 West Main Street, Tax Account No. 084.005-2-7.001 in the City of Batavia, Genesee County, New York, being the subject of the Purchase Contract ("Contract") dated January 9, 2014 between Five Star Bank ("Seller"), and Goonjit Mehta, as agent for an existing entity or to be formed ("Buyer"). We hereby authorize the Buyer, and its agents, contractors, engineers, architects, counsel, consultants and/or employees, to apply on our behalf to all relevant governmental or other entities for any licenses, permits, certifications and/or approvals associated with Buyer's commercial development of and use of the portion of the property subject to such Contract, including but not limited to, any subdivision approval and/or rezoning.

FIVE STAR BANK

By:   
Name: Robert H. McLaughlin  
Title: EVP & COO

Sworn and subscribed before me this  
13 day of January, 2014.

  
Notary Public

**Lindsey R Rutherford**  
Notary Public, State of New York  
No. 01RU0262067  
Qualified in Wyoming County  
My Commission Expires  
December 19, 2015

brdus 2.193.010(clean)



# SPECIAL USE PERMIT

## CITY OF BATAVIA, NEW YORK

LOCATION: 401-409 West Main Street  
OWNER: Five Star Bank  
Address: 401-409 West Main Street

Application Date: 4-24-2014  
Tax Parcel No.: 084.05-2-7.1  
Phone No. \_\_\_\_\_

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> COUNTY PLANNING REVIEW | <input checked="" type="checkbox"/> ZONING VARIANCE REQUIRED |
| <u>C-2</u> ZONING DISTRICT                                 | <u>No</u> HISTORIC DISTRICT                                  |
| <u>AE</u> FLOOD ZONE                                       | <u>No</u> HISTORIC LANDMARK                                  |
| <u>Yes</u> CORNER LOT                                      | <u>No</u> CITY ENGINEER REVIEW                               |
| <input checked="" type="checkbox"/> SITE PLAN REVIEW       | <u>No</u> CITY COUNCIL REVIEW                                |
| <u>No</u> BID  | <u>No</u> OTHER  |

**PROJECT DESCRIPTION:**

Subdivision of land w/ subsequent development of an 1,700 square  
feet quick service restaurant w/ drive through. Building To Be  
Wood Frame.

EXISTING USE: Overflow Parking

PROPOSED USE: "Drive In Restaurant"

N.Y.S. BLDG. CODE OCC. CLASS: \_\_\_\_\_

N.Y.S. BLDG. CODE OCC. CLASS: \_\_\_\_\_

(Overall)  
LOT SIZE: ± 253' x ± 350'

(Overall)  
LOT AREA: ± 1.654 Acres

**CITY PLANNING & DEVELOPMENT REVIEW:**

APPROVAL AS PRESENTED     DISAPPROVAL     APPROVAL WITH CONDITIONS

CHAIRMAN SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

<u>[Signature]</u> Applicant Signature	<u>4/28/14</u> Date	_____ Issuing Officer
---	------------------------	--------------------------

# FITZGERALD ENGINEERING

Fitzgerald Engineering, PLLC  
2060 Fairport Nine Mile Point Rd.  
Suite 310  
Penfield, NY 14526-1749



## TRAFFIC IMPACT ANALYSIS

### **Project:**

Dunkin Donuts Quick Service Restaurant  
City of Batavia, State of New York, County of Genesee

### **Location:**

401-409 West Main Street Batavia, New York  
Batavia, New York 14202

### **Prepared for:**

Indus Group  
1080 Pittsford Victor Road  
Pittsford, New York 14534

### **Prepared On:**

May 23, 2014

### **Fitzgerald Engineering, PLLC**

**Job No.:**14-0130

Robert J Fitzgerald, PE  
License No.: 084081

## Executive Summary:

The project proposes construction of a new Dunkin' Donuts Quick Serve Restaurant (QSR) at 401-409 West Main Street Batavia New York. This location is within the City limits and is located on a NYS Touring Route.

During site plan review of the project, local officials indicated that traffic is heavy and it was recalled that there are frequent accidents within the portion of West Main Street near the project site. Therefore, a traffic analysis was requested.

The purpose of a traffic analysis is to assess existing conditions and proposed conditions against recognized "normal" traffic patterns, volumes, and accident frequency. QSRs are typically located on busy highways to provide existing motorists with services as they travel. Sometimes they generate a minor amount of new traffic, but are not high generators of new traffic. For analysis purposes, the developer/operator indicated that it anticipates capturing 50 to 75 vehicles per hour in the 3 to 4 peak hours during the day. The remainder of the day yields lower counts. Therefore, it can be anticipated that development of this QSR could generate 50 to 75 turning movements in a peak hour. Turning movements introduce potential for accidents. For this analysis, this number of vehicles is insignificant as added traffic volume when compared to the 23,553 vehicles per day on this portion of highway.

Research of Traffic Data from the NYSDOT and accident records from the City of Batavia Police Department revealed that the AADT traffic volume is 23,553. There were a total of 55 accidents reported during the last 28 months. Refer to the attachments for supporting information.

An accident rate calculation was performed to correlate the existing conditions to recognized statewide average accident rates. The 0.6 mile stretch of West Main Street from Lewiston Road to Oak Street was calculated to have an accident rate of 4.59 acc/mvm. The NYSDOT statewide average for a four lane urban street is 4.86 acc/mvm. Therefore, the accident rate for this stretch of highway is within a "normal" range for this type of highway.

Although the current accident rate is within expected limits, development of a project that increases turning movements should consider means to minimize the number of turning movements. The site is located in a parcel that has access to River Street, which terminates at a signalized intersection with West Main Street. The developer/operator has adapted/mitigated its site plan to encourage customers to make use of the River Street access. This is proposed through the use of directional signs on River Street and internal site circulation that directs customers exiting the drive thru to leave the site using the River Street driveway.

### Attachments:

Appendix A - Accident Calculation

Appendix B - Traffic Analysis

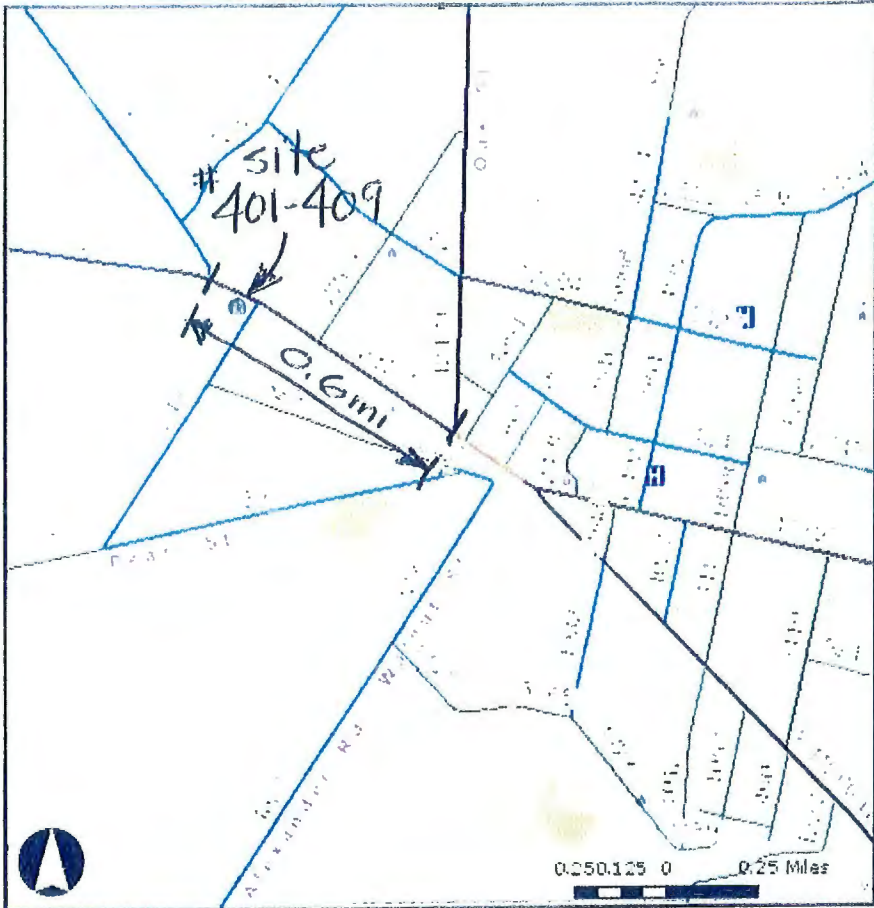
401-409 W. Main St. Batavia.

- 55 total accidents over 28 mos.  
     $\approx 1.96$  accidents/mo  $\times 36 = 70.7$  accidents  
    extrapolated for 3 year period.
- AADT = 23553
- 0.6 mile study area.

$$\frac{711 \times 10^6}{0.6 \times 3 \times 365 \times 23553} = 4.59 \text{ acc/mvm}$$

Statewide average = 4.86 acc/mvm





AADT

- No Data
- 1 - 1500
- 1501 - 4000

AADT (continued)

- 4001 - 10000
- 10001 - 25000
- 25001 - 75000
- 75000 - 300000

NYS DOT AADT Rte 63 @ Rte 33 to Rte 98 @ Rte 33 = 23553

TABLE II

AVERAGE ACCIDENT RATES FOR STATE HIGHWAYS BY FACILITY TYPE  
(BASED ON ACCIDENT DATA JUNE 1, 2010 TO MAY 31, 2012)

FACILITY TYPE	- MAINLINE ACCIDENTS ONLY (SEE *) -			- MAINLINE & JUNCTURE ACCIDENTS (SEE **) -		
	ALL TYPES ACC/MVM	WET ROAD ACC/MVM	FIXED OBJECT ACC/MVM	ALL TYPES ACC/MVM	WET ROAD ACC/MVM	FIXED OBJECT ACC/MVM
<b>FREE ACCESS CONTROLLED</b>						
<b>RURAL FUNCTION CLASS</b>						
<b>UNDIVIDED</b>						
2 LANES	2.21	0.42	0.63	2.60	0.50	0.72
3 LANES	1.77	0.34	0.53	2.03	0.37	0.58
4 LANES	1.88	0.32	0.33	2.45	0.44	0.39
ALL LANES	2.20	0.42	0.63	2.59	0.49	0.71
<b>DIVIDED</b>						
4 LANES	1.82	0.29	0.44	2.03	0.33	0.47
ALL LANES	1.90	0.32	0.44	2.23	0.39	0.49
<b>URBAN FUNCTION CLASS</b>						
<b>UNDIVIDED</b>						
2 LANES	2.24	0.41	0.34	3.26	0.61	0.42
3 LANES	2.45	0.41	0.22	3.55	0.63	0.30
4 LANES	3.10	0.63	0.21	4.86	1.00	0.31
ALL LANES	2.43	0.46	0.31	3.61	0.69	0.39
<b>DIVIDED</b>						
4 LANES	2.78	0.56	0.19	4.15	0.82	0.25
6 LANES	3.63	0.66	0.17	4.57	0.84	0.20
7 LANES	2.51	0.48	0.13	3.34	0.57	0.15
ALL LANES	3.01	0.59	0.19	4.33	0.83	0.25

++ Average accident rates are based on both reportable and available non-reportable crashes.

\* "Non-Intersection Accidents/MVM" is used for linear highway sections where there are no intersecting roads or ramp junctions within analysis limits. An example of the correct use of these rates would involve a linear section of highway which contains no intersections with other public highways, but may contain intersections with private roads or driveways.

\*\* "Intersection & Non-Intersection Accidents/MVM" includes intersection and mainline accidents. They are used for analysis of linear highway sections where intersections are involved within the analysis limits and are the most commonly used rates for accident analysis purposes.

1/7/2012 - 4/22/2014 28 mos.

Accident No.	Date	Location of Accident
BP-00010-12	01/07/2012	✓ 390 W MAIN ST (P-LOT) & W MAIN ST (SR 5) BATAVIA GENESEE
BP-00014-13	01/05/2013	✓ 390 W MAIN ST PARKING LO & LEWISTON RD SR 63 BATAVIA GENESEE
BP-00020-11	01/10/2011	✓ 390 W MAIN ST PARKING LOT & LEWISTON RD (SR 63) BATAVIA GENESEE
BP-00028-13	01/15/2013	✓ 419 W MAIN ST LOT & SR 5 BATAVIA GENESEE
BP-00029-12	01/21/2012	✓ W MAIN ST (SR 5) & N LYON ST (CS) BATAVIA GENESEE
BP-00031-12	01/27/2012	✓ W MAIN ST (SR 5) & HOLLAND AVE (CS) BATAVIA GENESEE
BP-00032-11	01/17/2011	✓ W MAIN ST (SR 5) & BOGUE AVE (CS) BATAVIA GENESEE
BP-00033-12	01/26/2012	<del>W MAIN ST (SR 5) &amp; LEWISTON RD (SR 63) BATAVIA GENESEE</del>
BP-00035-11	01/19/2011	<del>W MAIN ST (SR 5) &amp; OAK ST (SR 98) BATAVIA GENESEE</del>
BP-00045-12	02/13/2012	✓ 204 W MAIN ST P LOT & SR 5 BATAVIA GENESEE
BP-00053-12	02/15/2012	<del>136 W MAIN ST P LOT &amp; SR 5 BATAVIA GENESEE</del>
BP-00056-13	02/09/2013	✓ 390 W MAIN ST PARKING LOT & SR 5 BATAVIA GENESEE
BP-00057-12	02/22/2012	✓ 419 W MAIN ST PARKING LOT & SR 5 BATAVIA GENESEE
BP-00062-13	02/14/2013	✓ 259 W MAIN ST PARKING LOT & SR 5 BATAVIA GENESEE
BP-00070-11	02/11/2011	✓ 419 W MAIN ST (SR 5) P-LO & W MAIN ST (SR 5) BATAVIA GENESEE
BP-00070-12	03/16/2012	✓ 419 W MAIN ST PARKING LOT & W MAIN ST BATAVIA GENESEE
BP-00086-13	02/19/2013	✓ 390 W MAIN ST PARKING LOT & LEWISTON RD BATAVIA GENESEE
BP-00087-12	03/27/2012	✓ 390 W MAIN ST PARKIN & LEWISTON RD SR BATAVIA
BP-00087-13	03/03/2013	<del>136 W MAIN ST PARKING LOT &amp; W MAIN ST BATAVIA GENESEE</del>
BP-00088-11	03/03/2011	<del>SR 5 (W MAIN ST) &amp; SR 63 (ELLCOTT ST) BATAVIA GENESEE</del>
BP-00097-12	04/10/2012	W MAIN ST S & REDFIELD PKWY CS BATAVIA GENESEE
BP-00099-12	04/13/2012	✓ 226 W MAIN ST PARKING L & HOLLAND AVE BATAVIA GENESEE
BP-00100-11	03/21/2011	<del>W MAIN ST (SR 5) &amp; PORTER AVE (CS) BATAVIA GENESEE</del>
BP-00102-13	03/19/2013	✓ 390 W MAIN ST PARKING LOT & SR63 BATAVIA GENESEE
BP-00103-11	03/23/2011	✓ W MAIN ST (SR 5) & MONTCLAIR AVE (CS) BATAVIA GENESEE
BP-00111-13	03/22/2013	✓ 345 W MAIN ST PARKING LOT & W MAIN ST SR 5 BATAVIA GENESEE
BP-00112-11	04/01/2011	W MAIN ST (SR-5) & REDFIELD PARKWAY (CS) BATAVIA GENESEE
BP-00120-13	03/31/2013	<del>10 W MAIN ST P LOT &amp; SR 5 BATAVIA GENESEE</del>
BP-00131-11	04/17/2011	✓ 364 W MAIN ST (PARKING LO & W MAIN ST (SR 5) BATAVIA GENESEE
BP-00133-11	04/18/2011	W MAIN ST (SR 5) & REDFIELD PKWY (CS) BATAVIA GENESEE
BP-00136-11	04/22/2011	<del>SR 5 (W MAIN ST) &amp; SR 98 (OAK ST) BATAVIA GENESEE</del>
BP-00137-14	04/07/2014	✓ 341 W MAIN ST PARKING LOT & SR 5 BATAVIA GENESEE
BP-00139-12	05/08/2012	✓ PARKING LOT 390 W MAIN ST & SR 5 BATAVIA GENESEE
BP-00150-12	05/18/2012	✓ 355 W MAIN ST PARKING LOT & WOODROW RD CS BATAVIA
BP-00164-11	05/14/2011	W MAIN ST (SR 5) & REDFIELD PKWY (CS) BATAVIA GENESEE
BP-00164-12	05/23/2012	<del>10 W MAIN ST PARKIN &amp; SR 5 BATAVIA GENESEE</del>
BP-00173-11	05/21/2011	<del>W MAIN ST (SR5) &amp; DELLINGER AVE (CS) BATAVIA GENESEE</del>
BP-00179-12	05/31/2012	<del>4138 W MAIN ST PARKING LO &amp; SR 5 BATAVIA GENESEE</del>
BP-00192-12	06/12/2012	<del>100 W MAIN ST LOT &amp; DELLINGER AVE CS BATAVIA GENESEE</del>
BP-00196-12	06/16/2012	✓ 211 W MAIN ST PARKING LOT & SR5 BATAVIA GENESEE
BP-00209-11	06/21/2011	✓ W MAIN ST - SR 5 & MONTCLAIR AVE BATAVIA GENESEE
BP-00215-12	06/27/2012	✓ 419 W MAIN ST PARKING LOT & SR 5 BATAVIA GENESEE
BP-00216-11	06/26/2011	SR 5 - W MAIN ST & REDFIELD PKWY (CS) BATAVIA GENESEE
BP-00218-11	06/29/2011	<del>SR 5 W MAIN ST &amp; PORTER AVE BATAVIA GENESEE</del>
BP-00220-11	06/21/2011	✓ W MAIN ST (SR 5) & BOGUE AVE (CS) BATAVIA GENESEE
BP-00222-11	07/01/2011	<del>W MAIN ST (SR 5) &amp; OAK ST (SR 98) BATAVIA GENESEE</del>
BP-00230-12	07/09/2012	<del>4152 W MAIN ST RD PARKING &amp; W MAIN STREET RD SR 5 BATAVIA GENESEE</del>
BP-00235-11	07/06/2011	<del>W MAIN ST &amp; OAK ST BATAVIA GENESEE</del>
BP-00235-12	07/19/2012	✓ 390 W MAIN ST PARKING L & W MAIN ST BATAVIA GENESEE

ACCIDENTS FOUND MATCHING CRITERIA ENTERED

Accident No.	Date	Location of Accident
BP-00238-11	07/08/2011	<del>SR 5 - W MAIN ST &amp; SR98 - OAK ST BATAVIA GENESEE</del>
BP-00242-13	06/28/2013	<del>4152 W MAIN ST RD PARKING &amp; SR5 BATAVIA GENESEE</del>
BP-00243-11	07/12/2011	✓ 212 W MAIN ST LOT & SR 5 BATAVIA GENESEE
BP-00245-12	07/30/2012	<del>4160 W MAIN ST P LOT &amp; SR5 GENESEE</del>
BP-00255-11	07/15/2011	<del>SR 5 - W MAIN ST &amp; SR 63 - LEWISTON RD BATAVIA GENESEE</del>
BP-00259-11	08/01/2011	✓ 390 W MAIN ST (PARKING LO & W MAIN ST (SR 5) BATAVIA GENESEE
BP-00265-11	07/12/2011	✓ SR 5 - W MAIN ST & BOGUE AVE (CS) BATAVIA GENESEE
BP-00276-11	08/10/2011	<del>4138 W MAIN ST P-LOT &amp; W MAIN ST RD (SR 5) BATAVIA GENESEE</del>
BP-00284-11	08/20/2011	✓ 419 W MAIN ST P-LOT & W MAIN ST (SR 5) BATAVIA GENESEE
BP-00284-13	08/07/2013	✓ PARKING LOT 211 W MAIN ST & SR98 BATAVIA GENESEE
BP-00298-11	09/08/2011	<del>4152 W MAIN ST PARKING LO &amp; W MAIN ST (SR 5) BATAVIA GENESEE</del>
BP-00299-12	09/05/2012	✓ 390 W MAIN ST PARKING LOT & LEWISTON RD ENTRANCE BATAVIA GENESEE
BP-00302-13	08/22/2013	✓ 413 W MAIN ST. (PARKING L & SR5 BATAVIA GENESEE
BP-00306-13	08/30/2013	✓ 390 W MAIN ST P/LOT & SR5 BATAVIA GENESEE
BP-00308-11	09/16/2011	✓ 419 W MAIN ST (PARKING LO & W. MAIN ST (SR 5) BATAVIA GENESEE
BP-00319-11	09/27/2011	<del>W MAIN ST (SR 5) &amp; LEWISTON RD (SR 63) BATAVIA GENESEE</del>
BP-00326-13	09/09/2013	✓ 390 W MAIN ST P-LOT & SR63 BATAVIA GENESEE
BP-00338-11	10/10/2011	<del>4138 W MAIN ST PARKING LO &amp; W MAIN ST RD (SR 5) BATAVIA GENESEE</del>
BP-00347-11	10/15/2011	<del>SR 5 - W MAIN ST &amp; PORTER AVE (CS) BATAVIA GENESEE</del>
BP-00353-11	09/26/2011	<del>W MAIN ST/SR5 &amp; DELLINGER AVE BATAVIA GENESEE</del>
BP-00359-11	10/15/2011	<del>4138 W MAIN ST RD DRIVE T &amp; W MAIN ST RD (SR 5) BATAVIA GENESEE</del>
BP-00361-11	10/24/2011	✓ 419 W MAIN ST LOT & SR 5 BATAVIA GENESEE
BP-00366-12	11/05/2012	<del>SR 5 - W MAIN ST &amp; SR 98 - OAK ST BATAVIA GENESEE</del>
BP-00368-12	11/03/2012	✓ 204 W MAIN ST P LOT & SR5 BATAVIA GENESEE
BP-00369-12	11/03/2012	<del>SR 5 - W MAIN ST &amp; THOMAS AVE - CS BATAVIA GENESEE</del>
BP-00374-11	11/02/2011	✓ 401 W MAIN ST PARKING LOT & RIVER ST (CS) BATAVIA GENESEE
BP-00379-12	11/09/2012	✓ 390 W MAIN ST PARKING LOT & SR 5 BATAVIA GENESEE
BP-00387-12	11/18/2012	✓ 419 W MAIN ST PARKING LOT & SR 5 BATAVIA GENESEE
BP-00390-12	11/19/2012	✓ 390 W MAIN ST PARKING LOT & SR 5 BATAVIA GENESEE
BP-00407-11	11/26/2011	<del>SR5 - W MAIN ST &amp; DELLINGER AVE (CS) BATAVIA GENESEE</del>
BP-00417-11	12/04/2011	<del>4138 W MAIN ST RD (P-LOT) &amp; W MAIN ST RD (SR 5) BATAVIA GENESEE</del>
BP-00420-11	12/08/2011	✓ 390 W MAIN ST LOT & SR 5 BATAVIA GENESEE
BP-00429-11	12/15/2011	<del>W MAIN ST (SR 5) &amp; ELLICOTT ST (SR 63) BATAVIA GENESEE</del>
BP-00432-11	12/17/2011	<del>W MAIN ST (SR 5) &amp; OAK ST (SR 98) BATAVIA GENESEE</del>
BP-00434-11	12/19/2011	<del>W MAIN ST (SR 5) &amp; LEWISTON RD (SR 63) GENESEE</del>
BP-00438-11	12/24/2011	✓ 390 W MAIN ST P-LOT & W MAIN ST (SR 5) BATAVIA GENESEE
BP-00439-11	12/24/2011	<del>W MAIN ST (SR 5) &amp; TOPS ENTRANCE (390 W MAIN ST) BATAVIA GENESEE</del>
BP-00444-11	12/28/2011	<del>W MAIN ST (SR 5) &amp; ELLICOTT ST (SR 63) BATAVIA GENESEE</del>
BP-00445-11	12/26/2011	✓ W MAIN ST (SR 5) & REDFIELD PKWY (CS) BATAVIA GENESEE
BP-00446-11	12/29/2011	✓ W MAIN ST (SR 5) & WOODROW RD (CS) BATAVIA GENESEE
BP-00448-11	12/29/2011	✓ W MAIN ST (SR5) & NORTH LYON ST BATAVIA GENESEE
BP-00459-13	12/13/2013	✓ PARKING LOT 390 W MAIN ST & SR5 BATAVIA GENESEE

Total Records Matching Criteria: 91

55 Accidents between Lewiston Road & Oak Street  
 7 Accidents in the River St to Redfield Pkwy area







**CITY OF BATAVIA**  
**APPLICATION TO THE ZONING BOARD OF APPEALS**

Application No.: \_\_\_\_\_  
 Hearing Date/Time: \_\_\_\_\_

**APPLICANT:** Indus Group (Contact Person: Kip Finley) Kfinley@indusdevelopment.com  
 Name E-Mail Address  
1080 Pittsford Victor Road 585-451-6538 585-248-3271  
 Street Address Phone Fax  
Pittsford NY 14534  
 City State Zip

**STATUS:**  Owner  Agent for Owner  Contractor

**OWNER:** Five Star Bank  
 Name E-Mail Address  
401-409 West Main Street  
 Street Address Phone Fax  
Batavia NY 14020  
 City State Zip

**LOCATION OF PROPERTY:** 401-409 West Main Street

**DETAILED DESCRIPTION OF REQUEST:** Refer To Attached Description

Applicant must be present at the hearing date. Failure to do so will result in the application being discarded. It is the responsibility of the applicant to present evidence sufficient to satisfy the Zoning Board of Appeals that the benefit of the applicant does not outweigh the health, safety, morals, aesthetics and general welfare of the community or neighborhood.

Kip Finley \_\_\_\_\_  
 Applicant's Signature Date 4/28/14

(Refer To Property Owners Authorization Letter)  
 Owner's Signature \_\_\_\_\_  
 Date \_\_\_\_\_

*To be Filled out by Zoning Officer*

**TAX PARCEL:** 84.006-1-4      **ZONING DISTRICT:** C-2      **FLOOD PLAIN:** AE

**TYPE OF APPEAL:**  Area Variance      **FEE:**  \$50 (One or Two Family Use)  
 Use Variance       \$100 (All other Uses)  
 Interpretation  
 Decision of Planning Committee

**Provision(s) of the Zoning Ordinance Appealed:** BMC 190-37 E(3) Driveways for drive-in restaurants.  
BMC 190-37 E(8) Parking Spaces.  
BMC 190-29 A and Schd I max. height.

## Criteria to Support Area Variance

In making its determination, the zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety, moral, aesthetics and welfare of the neighborhood or community. The Zoning Board of Appeals shall consider the following test, as per §81-b of the General City Law when making its determination:

Explain how the proposal conforms to EACH of the following requirements:

1. **Undesirable Change in neighborhood Character.** The granting of the variance will not produce an undesirable change in the neighborhood or a detriment to nearby properties.

Refer To Attached Description

2. **Alternative Cure Sought.** There are no other means feasible for the applicant to pursue that would result in the difficulty being avoided or remedied, other than the granting of the area variance.

Refer To Attached Description

3. **Substantiality.** The requested area variance is not substantial.

Refer To Attached Description

4. **Adverse Effect or Impact.** The requested variance will not have an adverse effect or impact on the physical or environmental condition in the neighborhood or community.

Refer To Attached Description

5. **Not Self-Created.** The alleged difficulty existed at the time of the enactment of the provision or was created by natural force or governmental action, and was not the result of any action by the owner or the predecessors in title.

Refer To Attached Description

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date



SCHEDULE "B"

FORM OF PROPERTY OWNER AUTHORIZATION

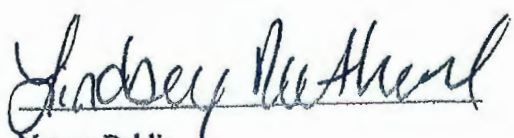
STATE OF NEW YORK)  
COUNTY OF MONROE) ss:

The undersigned certifies that it is the sole owner of the property at 401-409 West Main Street, Tax Account No. 084.005-2-7.001 in the City of Batavia, Genesee County, New York, being the subject of the Purchase Contract ("Contract") dated January 9, 2014 between Five Star Bank ("Seller"), and Goonjit Mehta, as agent for an existing entity or to be formed ("Buyer"). We hereby authorize the Buyer, and its agents, contractors, engineers, architects, counsel, consultants and/or employees, to apply on our behalf to all relevant governmental or other entities for any licenses, permits, certifications and/or approvals associated with Buyer's commercial development of and use of the portion of the property subject to such Contract, including but not limited to, any subdivision approval and/or rezoning.

FIVE STAR BANK

By:   
Name: R. M'Laughlin  
Title: VP & CO

Sworn and subscribed before me this  
13 day of January, 2014.

  
Lindsey Rutherford  
Notary Public

**Lindsey R Rutherford**  
Notary Public, State of New York  
No. 01RU025987  
Qualified in Wyoming County  
My Commission Expires  
December 19, 2015

Indvs.2193.010(clean)

Detailed Description of Request:

As per the Zoning Code for the City of Batavia, four (4) parking spaces are required for every one-hundred (100) square feet of principal building area for drive-in restaurants. The proposed Dunkin Donuts Structure will be approximately 1,700 square feet of floor area. Therefore; as per the zoning code, the proposed site would need to have sixty-eight (68) parking spaces.

Our applicant, Indus Group, requests that the parking requirements for the proposed site be as follows: four (4) parking spaces for every one-hundred (100) square feet of customer floor area with the addition of four (4) parking spaces for the necessary employees on site. This request would also fall in line with typical Dunkin Donuts brand standard which require each site to have 24-30 parking spaces provided.

The proposed structure will have approximately six-hundred (600) square feet of customer floor area which would equate to twenty-four (24) parking spaces. In addition to the necessary four (4) parking spaces for employees the proposed site would then need to have twenty-eight (28) parking spaces total which is the number of proposed parking spaces shown on the attached Site Plans.

Criteria to Support Area Variance:

1. The proposed request for a parking variance will not undesirably change the character of the neighborhood.
2. Alternative cures were sought but no possible remedies could be found to meet the zoning criteria of the City. While several additional parking spaces could be added, it would be preferred that the site maintain the number of proposed parking spaces which would meet the needs of the site while minimizing the amount of impervious area thus creating minimal impact to the site.
3. The request of this variance is to minimize a substantial amount of parking.
4. As stated above, this request would lead to minimizing the amount of impervious area on site which would minimize the impact on site.
5. Although the proposed variance is self created, the interpretation of the code does not reflect the need of the site and/or of the building use and that of its patrons frequenting the site. The proposed site plan more closely reflects the requirements set forth within the City of Batavia Zoning Code 190-39 Subsection A(3)(a)[27] "Restaurant: one space per 100 square feet of leasable area." which would equate to 17 parking spaces being proposed on site.

## Chapter 190. ZONING

### Article IX. Supplementary Regulations

#### § 190-39. Parking requirements.

**[Amended 2-22-1982; 8-14-2000]**

For every building or structure erected, altered, or extended after the enactment of this chapter there shall be provided parking facilities of vehicle storage as set forth below. As defined in this chapter an off-street parking space shall measure no less than eight feet in width and 19 feet in depth and include sufficient space for aisles and maneuverability.

A. Off-street parking.

- (1) Purpose: The City finds that large and highly visible parking areas represent one of the most objectionable aspects of commercial development. Such parking lots may damage the historic layout and architectural fabric of historic areas, harm the natural environment and visual character of the community, interfere with pedestrian safety and accessibility and reduce the quality of life in developed areas, as measured by the City's Visual Preference Survey<sup>TM</sup>. However, the City also recognizes that inadequate parking can diminish quality of life by creating traffic congestion, safety hazards and inconvenience. The City therefore seeks to balance the need for adequate parking with the need to minimize harm resulting from the provision of parking and to avoid the negative impacts of excessive parking requirements.
- (2) Residential and related uses. Minimum parking spaces required for residential and related uses:
  - (a) For single family or two-family dwelling: two spaces per dwelling unit.
  - (b) For multifamily dwellings, large-scale multifamily and high-rise apartments: 1 1/2 spaces per dwelling unit.
  - (c) Home occupation in a dwelling: one space for each 400 square feet devoted to such home occupation, plus the required spaces per dwelling unit.
  - (d) These requirements may be reduced for dwelling units with less than 1,000 square feet of floor space, senior citizen housing, mixed-use development or other appropriate circumstances if the Planning and Development Committee determines that such reductions are warranted.
- (3) Nonresidential uses. The number and layout of parking spaces for nonresidential uses shall be based on the need to protect public safety and convenience while minimizing harm to the character of the community and to environmental, historic and scenic resources. Since businesses vary widely in their need for off-street parking, it is most appropriate to establish parking requirements based on the specific operational characteristics of the proposed uses. The provisional parking standards in Subsection **A(3)(a)** below may be varied by the Planning and Development Committee according to the criteria in subsection **A(3)(b)**.
  - (a) Provisional parking standards.

- [4] ... each two employees and five seats.
- [3] Auto rental: one space per 250 square feet of sales floor area plus one space per company vehicle.
- [4] Auto repair: one space per 200 square feet of sales floor area plus one space per 600 square feet of service floor area, plus one space per company vehicle.
- [5] Auto sales: one space per 200 square feet of enclosed sales floor area, plus one space per 600 square feet of service floor area, plus one space per company vehicle.
- [6] Bakery: one space per 200 square feet of sales plus one space per two employees.
- [7] Bank (with drive-in and walk-in facilities): one space for each 100 square feet of floor area for customers plus one space for each 250 square feet devoted to office use.
- [8] Barbershop/beauty parlor: one space per 200 square feet plus one space per two employees.
- [9] Boarding- or rooming house: one space for each bedroom.
- [10] Bowling alley: five spaces for each lane of the bowling alley.
- [11] Car wash: one space per bay plus one space per two employees
- [12] Church, synagogue or other place of worship: one space per eight seats.
- [13] Clubs and lodges: one space per four seats plus one space per two employees.
- [14] Convalescent center or nursing home: one space per two beds plus one space per two employees.
- [15] Convenience store: one space per 200 square feet of sales floor area, plus one space per two employees.
- [16] Day-care center: two spaces plus one space for each employee.
- [17] Funeral home: one space per four seats, plus one space per two employees, plus one reserved space for each hearse or company vehicle.
- [18] Furniture store: one space per 400 square feet of sales floor area.
- [19] Gas station: five spaces per facility or, if the station's floor area is primarily devoted to convenience store items, then one space per 200 square feet of floor area.
- [20] Hospital: one space per two beds plus one space per two employees.
- [21] Hotel, motel or bed-and-breakfast: one parking space per guest room plus one parking space per four employees.
- [22] Library: one space per 300 square feet of floor area.
- [23] Manufacturing/industrial: one space per two employees, plus one space per company vehicle.
- [24] Night club: one space per four seats.
- [25] Office (not including medical or dental offices): one space per 300 square feet of professional office floor area.
- [26] Office, medical/dental: one space per 200 square feet of building area.
- [27] Restaurant: one space per 100 square feet of leasable area.
- [28] Retail store: one space per 300 square feet of sales floor area plus one space per two employees.
- [29] School, elementary: one space per employee plus two spaces per classroom.
- [30] School, high school: five spaces for each classroom.
- [31] Shopping center: one space per 250 square feet of gross leasable area



# WEST MAIN STREET

(N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W.)

**(P)**  
**PYLON SIGN**

**DIRECTIONAL SIGNS**

**DRIVE THRU OVAL SIGN**

**BUILDING SIGN #2**

**BUILDING SIGN #1**

**PROPOSED DUNKIN' DONUTS**

**RIVER STREET**  
(49.50' WIDE P.O.W.)

**DIRECTIONAL SIGNS**

**(P) = PERMIT ASSOCIATED WITH THIS SIGN**



ITEM	REQUIRED	PROPOSED
MIN. HEIGHT	15 FT.	20 FT.
MAX. HEIGHT	25 FT.	25 FT.
MAX. AREA	100 SQ. FT.	100 SQ. FT.
MAX. DISTANCE FROM BUILDING	10 FT.	10 FT.
MAX. DISTANCE FROM STREET	10 FT.	10 FT.
MAX. DISTANCE FROM INTERSECTION	10 FT.	10 FT.

AS PER THE ZONING CODE OF THE CITY OF BATAVIA, THE REQUIRED SIGN IS PROPOSED FOR THE BUILDING AND THE PROPOSED SIGN IS THE BUILDING SIGN. THE BUILDING SIGN IS THE BUILDING SIGN. THE BUILDING SIGN IS THE BUILDING SIGN. THE BUILDING SIGN IS THE BUILDING SIGN.

### GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE ACCORDING TO THE CITY OF BATAVIA ZONING CODE. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BATAVIA ZONING CODE. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BATAVIA ZONING CODE.
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**SITE PLAN**

**CITY OF BATAVIA  
DUNKIN' DONUTS**

**McGraw-Hill Engineering**

**REGISTERED ENGINEERING PROFESSIONAL  
STATE OF NEW YORK  
No. 13122-01  
DATE: 11/11/2011  
SCALE: 1" = 20'**

**GRAPHIC SCALE:**  
1" = 20'

**PERMIT ASSOCIATED WITH THIS SIGN**

**CONTRACT NO.** 11/11/2011  
**PROJECT NO.** 11/11/2011  
**DATE:** 11/11/2011  
**SCALE:** 1" = 20'



# SIGN PERMIT APPLICATION

Permit No. \_\_\_\_\_  
 Date \_\_\_\_\_  
 Issue \_\_\_\_\_ 6-2  
 Issued By \_\_\_\_\_ No

CITY OF PITTSFORD  
 Planning Board, Building Dept. 4010  
 State St. Pittsford, NY 14534  
 Phone 585-245-3271 Fax 585-245-3271

APPLICANT: Indus Real Estate KFuley@indusdevelopment.com  
 Name: \_\_\_\_\_ E-mail Address: \_\_\_\_\_  
150 Pittsford Water Road Suite 201  
 Street Address: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Pittsford NY 14534 585-451-6536 585-245-3271  
 City State Zip Code: \_\_\_\_\_

OWNER: Indus Real Estate  
 Name: \_\_\_\_\_ E-mail Address: \_\_\_\_\_  
 Street Address: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 City State Zip Code: \_\_\_\_\_

ADDRESS OF SIGN: 401 W MAIN STREET, BLDG SIGN #1

SIGN AREA: Length 94" Width 54" Area 35.4 sq ft

### TYPE OF SIGN

- All sign applications must have an illustration of the sign with its dimensions and copy.
- Freestanding signs must have a Site Plan to show the sign's location on the property
- All other signs must include an elevation plan to show the sign's placement on the building

Freestanding  
 Wall Ser Back 82' + Height 418'  
 Wall Length 70' ± Wall Height 418' Area 35.4 sq ft  
 Projecting  
 Marquee  
 Awning/Canopy Length \_\_\_\_\_ Height \_\_\_\_\_ Area \_\_\_\_\_  
 Window Window Length \_\_\_\_\_ Window Height \_\_\_\_\_ Area \_\_\_\_\_  
 Portable

LIGHTING:  Internal  External

### EXISTING SIGNS (Please list all existing signs with dimensions)

No existing signage for Dunkin Donuts parcel; subdividing from Five Star Bank parcel.

Applicant's Signature: Kip Kinley Date: 5/30/14

Issuing Officer: \_\_\_\_\_ Date: \_\_\_\_\_

Planning Board Chairperson: \_\_\_\_\_ Date: \_\_\_\_\_

FEES:  \$25 Sign Permit  \$50 Special Sign Permit  \$10 Portable Sign

PROTO TYPE BLDG.  
FACADES MAY SWITCH  
LEFT TO RIGHT

BLDG SIGN  
#2 (35.4Φ)

BLDG SIGN  
#1 (35.4Φ)



# BLDG. SIGN #1



**DUNKIN'  
DONUTS®**

Flavor d/d	11	W	12	2011	10
...	...	...	...	...	...
...	...	...	...	...	...
...	...	...	...	...	...



35.4¢

Faint text at the bottom left corner, likely a disclaimer or technical specifications.

**Everbrite**  
 4200 North 15th Street  
 Phoenix, AZ 85016  
 (602) 998-1000

**DUNKIN' BRANDS™**  
 [eatrinkthink]

Faint text at the bottom of the sign, possibly a copyright notice.

Faint text at the bottom right corner, possibly a copyright notice.

Faint text at the bottom right corner, possibly a copyright notice.





SIGN PERMIT APPLICATION

Permit No. \_\_\_\_\_  
Date \_\_\_\_\_  
Code: C-2  
Special Sign: Yes

CITY OF PITTSFORD  
1050 Main Street, Pittsford, NY 14534  
Phone: 585-431-2000 Fax: 585-431-2000

APPLICANT:

Indus Real Estate KFinley@indusreal.com  
Name: \_\_\_\_\_ E-mail Address: \_\_\_\_\_  
1050 Pittsford Water Road Suite 201  
Street Address: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Pittsford, NY 14534 585-431-6533 585-245-3371  
City State Zip Code: \_\_\_\_\_

OWNER:  
B/M/E

Indus Real Estate  
Name: \_\_\_\_\_ E-mail Address: \_\_\_\_\_  
Street Address: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
City State Zip Code: \_\_\_\_\_

ADDRESS OF SIGN:

401 W MAIN STREET ; BLDG SIGN #2

SIGN AREA: Length 94" Width 54" Area 35.4 sq ft

TYPE OF SIGN:

- 1. All sign applications must have an illustration of the sign with its dimensions and copy.
- 2. Freestanding signs must have a Site Plan to show the sign's location on the property
- 3. All other signs must include an elevation plan to show the sign's placement on the building

- Freestanding Set Back 82' Height ≤ 18'
- Wall Wall Length 40'± Wall Height ≤ 18' Area 35.4 sq ft
- Projecting
- Marquee
- Awning/Canopy Length \_\_\_\_\_ Height \_\_\_\_\_ Area \_\_\_\_\_
- Window Window Length \_\_\_\_\_ Window Height \_\_\_\_\_ Area \_\_\_\_\_
- Portable

LIGHTING:  Internal  External

EXISTING SIGNS (Please list all existing signs with dimensions):

No existing signage for Dunkin Donuts parcel; subdividing from Five Star Bank parcel.

Applicant's Signature: Kip Finley

Date: 5/30/14

Issuing Officer: \_\_\_\_\_

Date: \_\_\_\_\_

Planning Board Chairperson: \_\_\_\_\_

Date: \_\_\_\_\_

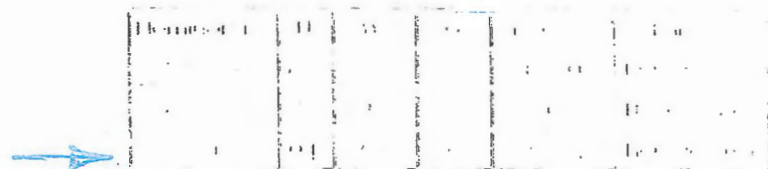
FEES: \_\_\_ \$25 Sign Permit  \$50 Special Sign Permit \_\_\_ \$10 Portable Sign

# BUDA SIGN #2



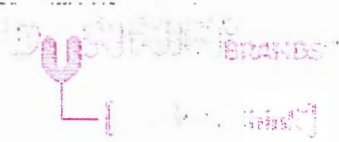
DUNKIN'  
DONUTS®

35.4¢



Small text block, likely a disclaimer or fine print, located in the bottom left corner of the sign area.

Evolution  
Small text block, likely a disclaimer or fine print, located in the bottom middle-left section of the sign area.



Small text block, likely a disclaimer or fine print, located in the bottom right corner of the sign area.

PROTOTYPE BLDG...

FACADES MAY SWITCH  
LEFT TO RIGHT

BLDG SIGN

30' x (35-40')

BLDG SIGN

30' x (35-40')

DRIVE TRAIL  
OVAL SIGN





# SIGN PERMIT APPLICATION

Permit No. \_\_\_\_\_  
 Date \_\_\_\_\_  
 Code C-2  
 Special Sign? Yes

TOWN OF EASTON, VT  
 100 Main Street, Easton, VT 05723  
 Phone: 802-241-1001 Fax: 802-241-1002

APPLICANT: Indus Real Estate Ktmleg@indusdevelopment.com  
 Name: \_\_\_\_\_ E-mail Address: \_\_\_\_\_  
1655 Pittsford-Victor Road Suite 201  
 Street Address: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Pittsford, VT 05754 802-451-8325 802-245-3371  
 City/State/Zip Code: \_\_\_\_\_

OWNER: Indus Real Estate  
 Name: \_\_\_\_\_ E-mail Address: \_\_\_\_\_  
 Address: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_

ADDRESS OF SIGN: 401 W MAIN STREET; DRIVE THRU OVER BUILDING  
 SIGN AREA: Length 47"± Width 18"± Area 4.6 ft² SIGN

- TYPE OF SIGN:
- All sign applications must have an illustration of the sign with its dimensions and copy.
  - Freestanding signs must have a Site Plan to show the sign's location on the property
  - All other signs must include an elevation plan to show the sign's placement on the building

<input type="checkbox"/> Freestanding	Set Back <u>82"±</u>	Height <u>≤ 18'</u>	
<input checked="" type="checkbox"/> Wall	Wall Length <u>70'</u>	Wall Height <u>≤ 18'</u>	Area <u>4.6 ft²</u>
<input type="checkbox"/> Projecting			
<input type="checkbox"/> Marquee			
<input type="checkbox"/> Awning/Canopy	Length _____	Height _____	Area _____
<input type="checkbox"/> Window	Window Length _____	Window Height _____	Area _____
<input type="checkbox"/> Portable			

LIGHTING:  Internal  External

EXISTING SIGNS (Please list all existing signs with dimensions):  
No existing signage for Dunkin Donuts parcel; subdividing from Five Star Bank parcel.

Applicant's Signature: Kip Finley Date: 5/30/14  
 Issuing Officer: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning Board Chairperson: \_\_\_\_\_ Date: \_\_\_\_\_

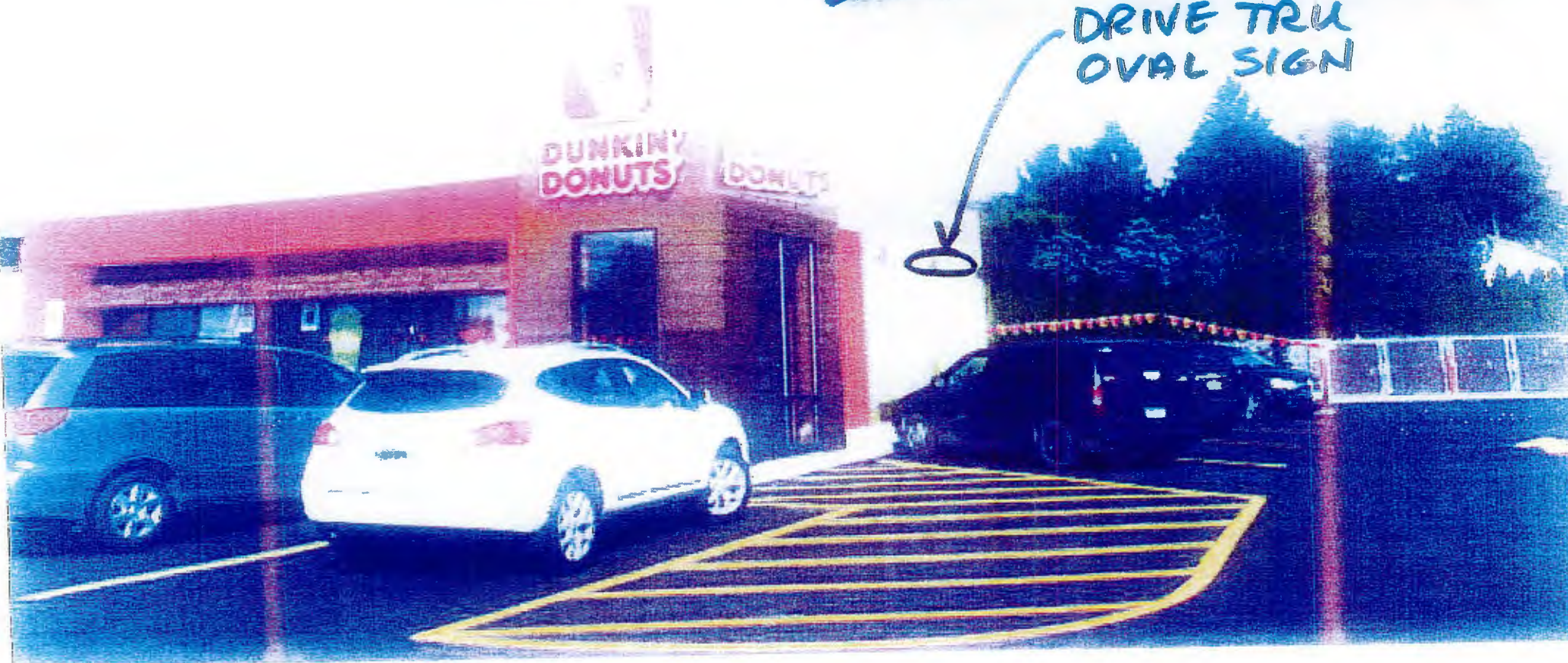
FEES:  \$25 Sign Permit  \$50 Special Sign Permit  \$10 Portable Sign

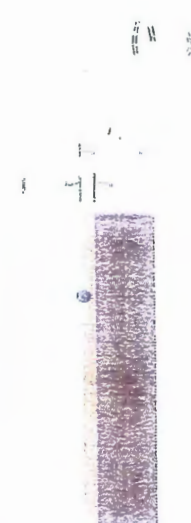
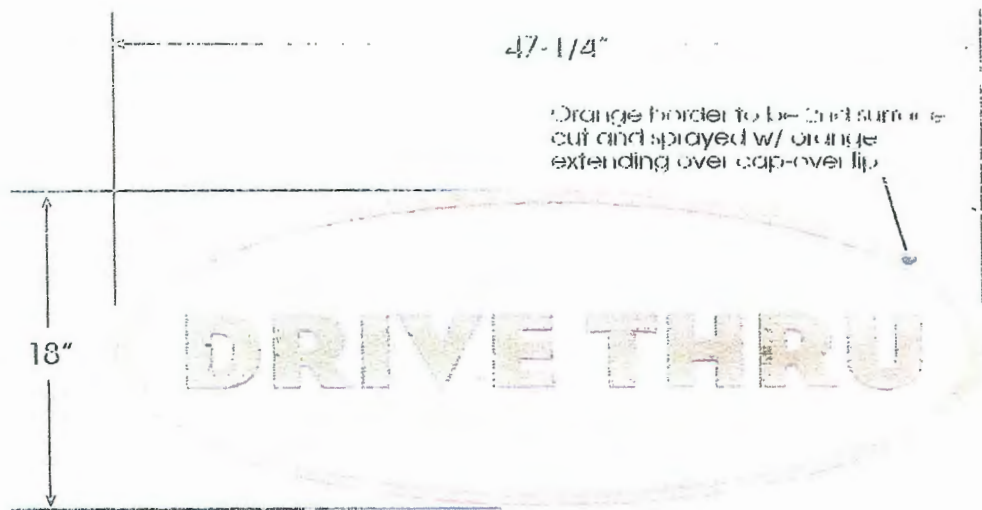
PROTO TYPE BLDG.  
FACADES MAY SWITCH  
LEFT TO RIGHT

BLDG SIGN  
#2 (35.40)

BLDG SIGN  
#1 (35.40)

DRIVE THRU  
OVAL SIGN

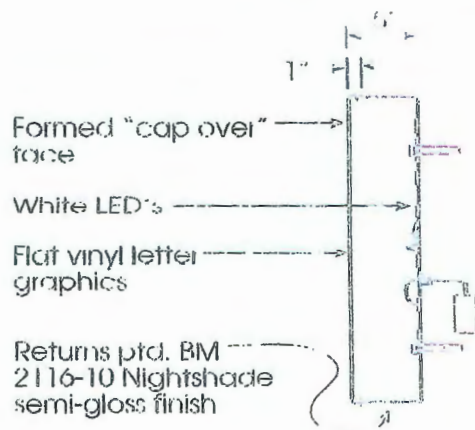




E004387B

18" x 47" LED ILLUM'D S/F DRIVE THRU OVAL CLOUD SIGN

SIDE VIEW



SECTION VIEW

GENERAL SPECIFICATIONS

- Material: 1/8" thick 6061-T6 aluminum extrusion
- Cap: 1/8" thick polyethylene gasket design
- Face: 1/8" thick 100% DTPA (HDPE) cap over sign and surface of extrusion for durability and process techniques
- Area: 10 sq ft (9.3 sq m)
- Area: 10 sq ft (9.3 sq m)
- Weight: 10 lbs
- Color: (113)
- Finish: (113)
- Wind Load: 7 psf @ 30 mph

ELECTRICAL

- Illumination: (113 white LED)
- Voltage/Power Supply: (113) 120V/110V power supply
- Line Load: (113) 100 amp (1000 W)
- (113) 100 amp (1000 W)

COLORS

- Interior: White
- Exterior: Benjamin Moore 2116-10 Nightshade for sign face
- Cap: 100% DTPA (HDPE) cap over sign and surface of extrusion
- Cap: 100% DTPA (HDPE) cap over sign and surface of extrusion

These product sheets are the exclusive property of Everbrite LLC. Use of this property in any manner without express written permission of Everbrite LLC is prohibited. Drawings are for graphic purposes only and do not constitute a contract. For more specific manufacturing detail, please refer to the drawing specifications and technical drawings.

**Everbrite**  
 Everbrite LLC  
 4940 S. 110th Street, Greenfield, WI 53220  
 Phone: 414-529-3500 • Fax: 414-529-7191  
 Website: [www.everbrite.com](http://www.everbrite.com)

Part No. **E004387B**  
 Description: 18" x 47" LED ILLUM'D S/F DRIVE THRU OVAL CLOUD SIGN

1-800-541-7111  
 Date: 2/07/11  
 Revision: 01





# SIGN PERMIT APPLICATION

Permit No. \_\_\_\_\_  
 Page \_\_\_\_\_  
 Date 6-2  
 Location: Yes

DATE OF BIRTH: \_\_\_\_\_

City of Pittsford, New York  
 100 State Street, Pittsford, NY 14534

APPLICANT:

Indus Real Estate Knudsen Landscapes/development  
 Name: \_\_\_\_\_ Email Address: \_\_\_\_\_  
155 Pittsford Water Road Suite 201  
 Street Address: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Pittsford, NY 14534 585 431-6333 585 248-3271  
 City State Zip Code: \_\_\_\_\_

OWNER:

Indus Real Estate  
 Name: \_\_\_\_\_ Email Address: \_\_\_\_\_  
 Street Address: \_\_\_\_\_ Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 City State Zip Code: \_\_\_\_\_

ADDRESS OF SIGN:

401 W MAIN STREET; Pylon Sign

SIGN AREA:

Length 138" Width 67" Area 564'

TYPE OF SIGN:

- All sign applications must have an illustration of the sign with its dimensions and copy.
- Freestanding signs must have a Site Plan to show the sign's location on the property
- All other signs must include an elevation plan to show the sign's placement on the building

*40 sq. permitted  
 56 sq. Proposed  
 +16sq. special sign permit  
 Req.*

- Freestanding: Set Back 5'± Height 20'  
 Wall: Wall Length \_\_\_\_\_ Wall Height \_\_\_\_\_ Area \_\_\_\_\_  
 Projecting  
 Marquee  
 Awning/Canopy: Length \_\_\_\_\_ Height \_\_\_\_\_ Area \_\_\_\_\_  
 Window: Window Length \_\_\_\_\_ Window Height \_\_\_\_\_ Area \_\_\_\_\_  
 Portable

LIGHTING:  Internal  External

EXISTING SIGNS (Please list all existing signs with dimensions):

No existing signage for Dunkin Donuts parcel; subdividing from Five Star Bank parcel.

Applicant's Signature: Kip Finberg

Date: 5/30/14

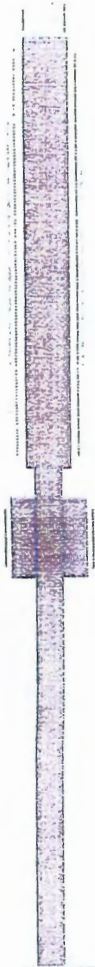
Issuing Officer: \_\_\_\_\_

Date: \_\_\_\_\_

Planning Board Chairperson: \_\_\_\_\_

Date: \_\_\_\_\_

FEES: \_\_\_ \$25 Sign Permit  \$50 Special Sign Permit \_\_\_ \$10 Portable Sign



20



DRIVE THRU



DRIVE THRU

Item	QTY	UNIT	PRICE	TOTAL	TAX	NET	DATE	TIME	LOCATION	REMARKS
10	10	10	10	10	10	10	10	10	10	10
10	10	10	10	10	10	10	10	10	10	10

Small text block containing technical specifications or notes related to the sign design.

**Everbrite**  
 2965 South 110th Street  
 Suite 200  
 Omaha, NE 68148  
 402.491.7151

**DUNKIN' BRANDS™**  
 [sardninkthink]


DD Donut & Coffee  
 Omaha, NE  
 10/10/10

Small text block, possibly a signature or reference code.



# SITE PLAN DRAWINGS


## FOR

# CITY OF BATAVIA DUNKIN DONUTS

401-409 WEST MAIN STREET  
CITY OF BATAVIA, COUNTY OF GENESEE, STATE OF NEW YORK

STANDARD ABBREVIATIONS			
ASPH	= ASPHALT	MH	= MANHOLE
BC	= BOTTOM OF CURB	MIN	= MINIMUM
BO	= BOTTOM OF OPENING	MHW	= MEAN HIGH WATER
CAP	= CORRUGATED ALUMINUM PIPE	MON	= MONUMENT
CB	= CATCH BASIN	N&W	= NAIL AND WASHER
CIP	= CAST IRON PIPE	OD	= OUTER DIAMETER
CMP	= CORRUGATED METAL PIPE	OC	= ORIGINAL GROUND
CNF	= COULD NOT FIND	OHW	= ORDINARY HIGH WATER
CONC	= CONCRETE	OLW	= ORDINARY LOW WATER
CP	= CONCRETE PIPE	O/H	= OVERHEAD
CSP	= CORRUGATED STEEL PIPE	PAVT	= PAVEMENT
CULV	= CULVERT	PVC	= POLYVINYL CHLORIDE PIPE
DIP	= DUCTILE IRON PIPE	RCP	= REINFORCED CONCRETE PIPE
DI	= DIAMETER	R	= RADIUS
DMH	= DRAINAGE MANHOLE	RIM	= RIM OF DRAINAGE STRUCTURE
DS	= DRAINAGE STRUCTURE	RR	= RAILROAD
DWG	= DRAWINGS	RF	= RETAINING WALL
EA	= EACH	SF	= SQUARE FOOT (FEET)
EMW	= EXTREME HIGH WATER	SHDR	= SHOULDER
EL	= ELEVATION	SICPP	= SMOOTH INTERIOR CORRUGATED PIPE
ELEV	= ELEVATION	ST	= STREET
ELW	= EXTREME LOW WATER	STY	= STORY
ES	= END SECTION	SW	= SIDEWALK
FP	= FIRE PROTECTION	SWPPP	= STORMWATER POLLUTION PREVENTION PLAN
G	= GAS	TC	= TOUCH OF CURB
HDPE	= HIGH DENSITY POLYETHYLENE PIPE	TG	= TOP OF GRATE
HW	= HEADWALL	TYP	= TYPICAL
INV	= INVERT	UMH	= UNKNOWN MANHOLE
IP	= IRON PIN OR IRON PIPE	U/G	= UNDERGROUND
LF	= LINEAR FOOT (FEET)	VCP	= VITRIFIED CLAY PIPE
LP	= LIGHT POLE	WS	= WATER SERVICE
MAX	= MAXIMUM	WW	= WATER WALL
MB	= MAILBOX	W/	= WITH

Fitzgerald Engineering, PLLC



1255 University Avenue  
Suite 240  
Rochester, NY 14607  
Phone: 585.281.9897  
Web Site: fitzgeraldengineering.net

LINE LEGEND			
	PROPERTY BOUNDARY LINE		SANITARY SEWER MAIN
	PROPOSED CONTOUR LINE		SANITARY LATERAL
	EXISTING CONTOUR LINE		STORM SEWER MAIN
	OVERHEAD WIRES		STORM SEWER LATERAL
	UNDERGROUND UTILITIES		GAS MAIN
	WATER MAIN		GAS SERVICE
	WATER SERVICE		FILTER FABRIC
	FIRE SERVICE		VEGETATION

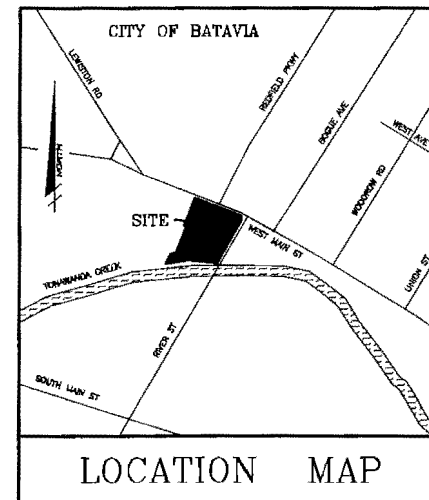
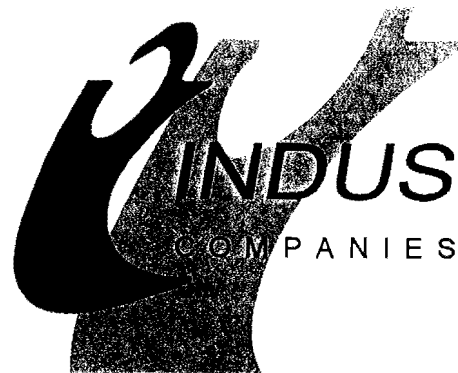
  

LINE STYLES	
	FEATURE TO BE REMOVED (FADED LINE WEIGHT)
	EXISTING FEATURE (LIGHT LINE WEIGHT)
	PROPOSED FEATURE (HEAVY LINE WEIGHT)

### TABLE OF CONTENTS:

1. EXISTING CONDITIONS MAP
2. SUBDIVISION PLAT
3. SITE PREPARATION PLAN
4. SITE PLAN
5. UTILITY PLAN
6. GRADING/E&SC PLAN
7. LANDSCAPE PLAN
8. LIGHTING PLAN
9. DETAIL SHEET (SITE)
10. DETAIL SHEET (UTILITIES)
11. DETAIL SHEET (E&SC/LANSCAPE)
12. DETAIL SHEET (SIGNAGE)

SYMBOL LEGEND			
	SIGN		STORM MANHOLE
	UTILITY POLE		CATCH BASIN
	CURB BOX		TREE TO BE REMOVED
	FLOW ARROW		TREE PROTECTION
	WATER VALVE		CONIFEROUS TREE
	FIRE HYDRANT		DECIDUOUS TREE
	GAS VALVE		BORING PIT LOCATION
	SANITARY MANHOLE		LIGHT POLE
	SANITARY CLEANOUT		STONE CHECK DAM



**LEGEND**

**LINETYPES**

**SYMBOLS**

	PROPERTY BOUNDARY LINE		SIGN
	PROPOSED CONTOUR		FLOW ARROW
	EXISTING CONTOUR		UTILITY POLE
	OVERHEAD WIRES		CURB BOX
	UNDERGROUND UTILITIES		WATER VALVE
	WATER MAIN		HYDRANT
	WATER SERVICE		SANITARY MANHOLE
	SANITARY SEWER		SANITARY CLEAN OUT
	SANITARY SEWER LATERAL		GAS VALVE
	STORM MAIN		STORM MANHOLE
	STORM LINE LATERAL		STORM CATCH BASIN
	GAS		
	GAS SERVICE		
	FILTER FABRIC		

**LINE STYLES**

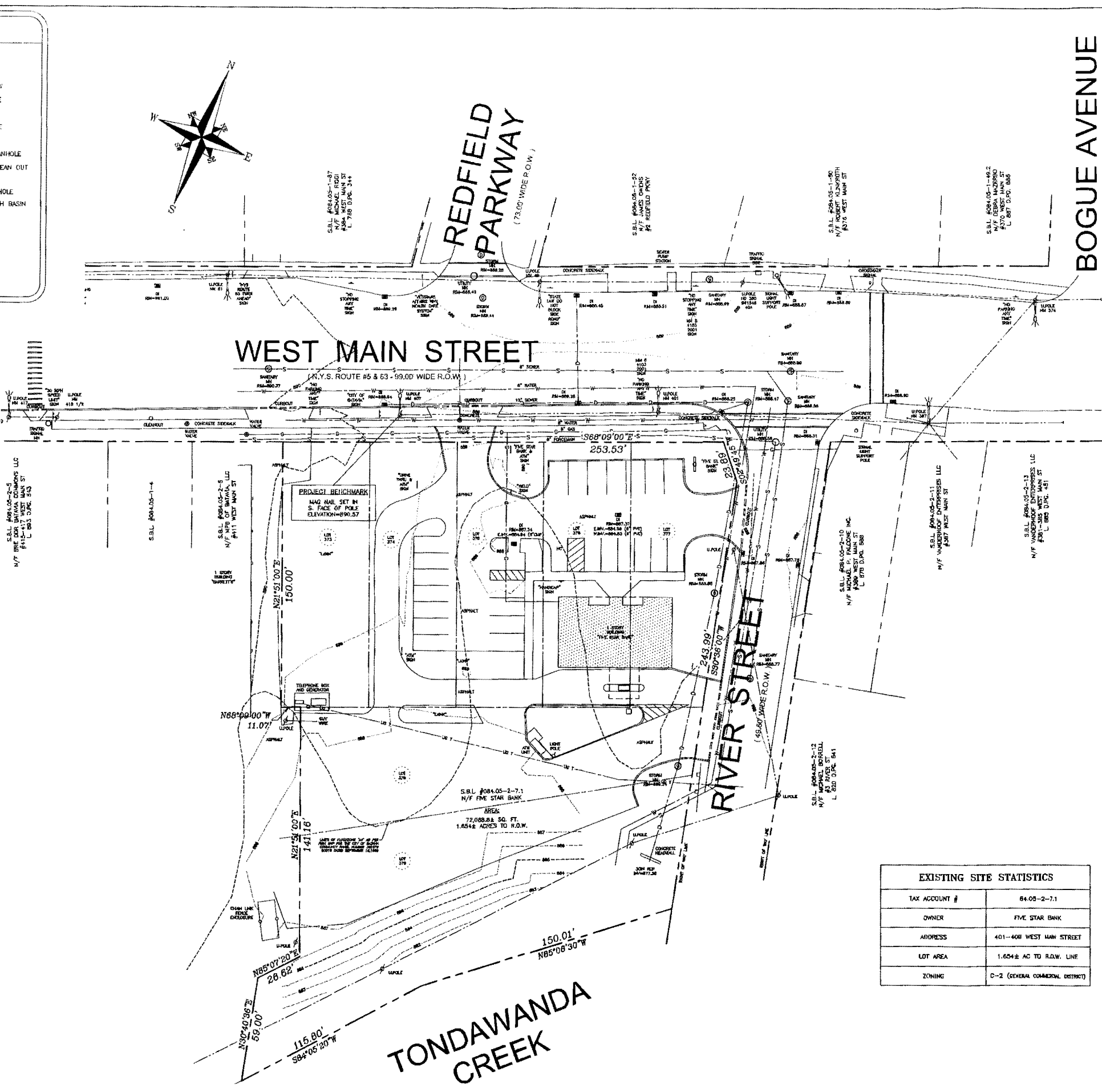
- FEATURE TO BE REMOVED (FADED LINE WEIGHT)
- EXISTING FEATURE (LIGHT LINE WEIGHT)
- PROPOSED FEATURE (HEAVY LINE WEIGHT)

**GENERAL NOTES:**

- BASE MAPPING - BASE MAPPING BEYOND THE CONTRACT LIMITS IS A COMBINATION OF MAPPING FROM FIELD SURVEY DATA, PHOTOGRAPHIC IMAGES AND RECORD MAPPING. THUS, NO WARRANTY IS HEREBY EXTENDED AS TO THE ACTUAL/ACCURATE LOCATION OF ANY ITEMS SHOWN OUTSIDE THE PROJECT LIMITS.
- UTILITY MAPPING - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW CONSTRUCTION.
- UTILITY STAKEOUT - THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-892-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
- PROPERTY PROTECTION - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNERS SATISFACTION AT NO ADDITIONAL EXPENSE.
- ACCESS - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
- SITE SAFETY - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXCAVATIONS - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
- MAINTENANCE - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNERS ON-SITE REPRESENTATIVE.
- PERMIT(S) - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE TO REVIEW PERMITS RECEIVED TO DATE, AND TO IDENTIFY PERMITS STILL NEEDED, AT WHICH TIME THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY, UNLESS SPECIFIED OTHERWISE, THE OWNER IS RESPONSIBLE FOR PERMIT FEES.
- PROJECT - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THE "SITE DRAWINGS". DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER (PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR CLARIFICATION.
- SITE PREPARATION - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "GRADING LIMITS" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH OWNER'S REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNERS AS DIRECTED BY OWNER. THERE SHALL BE NO ON-SITE BURIAL OF TREES OR STUMPS. CHIPPING FOR RE-USE ON SITE IS PERMITTED.
- UTILITY COORDINATION - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. ELECTRIC, WATER, AND COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.
- WATER - WATER SERVICE LINES (LATERALS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY.
- PROJECT CLOSE-OUT - THE CONTRACTOR'S WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO SATISFACTION OF OWNER'S ON-SITE REPRESENTATIVE:
  - REMOVAL OF ANY CONSTRUCTION DEBRIS.
  - CLEANING PAVEMENT AND WALKWAY SURFACES.
  - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS
  - RESTORATION/CLEANING OF ALL PERMANENT STORM WATER PRACTICES AS SHOWN ON PLANS.
  - REMOVAL OF ALL TEMPORARY STORMWATER DEVICES AND RESTORATION OF THE SURROUNDING AREAS.
  - PROVIDING RECORDS DRAWING AS REQUIRED BY OWNER, MUNICIPALITY, AND/OR AGENCIES.
  - COMPLETION OF FINAL PUNCH LIST ITEMS.

We, Appoint Surveyors certify that this map was prepared using the reference materials listed herein and the notes of an instrument survey, performed in accordance with the current existing Code of Practice for Land Surveyors adopted by the New York State Association of Professional Land Surveyors, Inc., completed FEBRUARY 27, 2014.

ROBERT J. AVERY  
NYSPS #49743



**BOGUE AVENUE**  
(50.00' WIDE R.O.W.)

EXISTING CONDITIONS MAP

**FIVE STAR - WEST MAIN SUBDIVISION**  
BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376, AND PART OF LOTS 377, 378, AND 379 OF REDFIELD TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESEE STATE OF NEW YORK

LOCATION: 401-408 WEST MAIN STREET, BATAVIA, NY  
CLIENT: INDUS GROUP, 1080 PITTSFORD VICTOR ROAD, PITTSFORD, NY 14534

**Fitzgerald Engineering**  
Fitzgerald Engineering, PLLC  
1256 University Avenue  
Suite 230 NY, 14607  
Phone: 583-2619977  
Web Site: fitzgeraldengineering.com

NEW YORK STATE  
LICENSED PROFESSIONAL

NO.	REVISIONS	DATE	BY
9			
8			
7			
6			
5			
4			
3	REVISED AS PER CITY COMMENTS	08.28.14	SCP
2	REVISED AS PER CITY COMMENTS	05.22.14	SCP
1			
NO			

**EXISTING SITE STATISTICS**

TAX ACCOUNT #	84-05-2-7.1
OWNER	FIVE STAR BANK
ADDRESS	401-408 WEST MAIN STREET
LOT AREA	1.654 ± AC TO R.O.W. LINE
ZONING	C-2 (GENERAL COMMERCIAL DISTRICT)

GRAPHIC SCALE: 1" = 30'

**DRAWING ALTERATION NOTICE**  
THE FOLLOWING IS A SUMMARY OF ALL ALTERATIONS TO THE ORIGINAL DRAWING. IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT THE DESIGNER AT THE ADDRESS LISTED BELOW. ALL ALTERATIONS SHALL BE TO THE ORIGINAL DRAWING AND NOT TO THIS SUMMARY. THE DESIGNER'S SIGNATURE AND SEAL SHALL BE ON ALL ALTERATIONS.

SCALE: 1" = 30'

DATE: 03.27.2014

SHEET: C-1

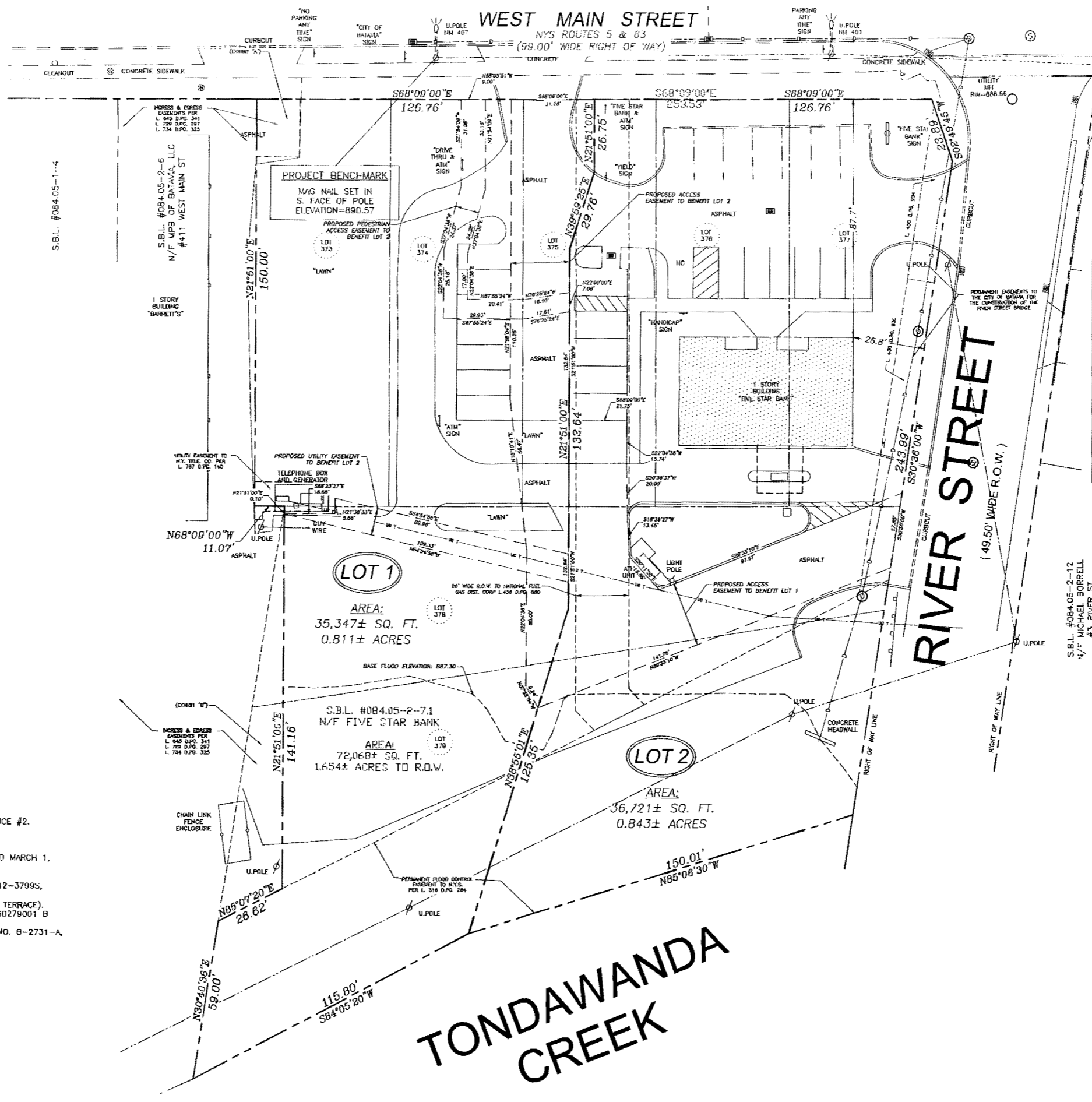
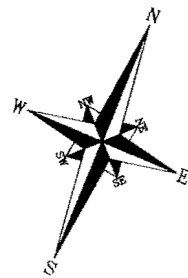
PROJECT NO.: 14-0130

FILE NAME: 14-0130 DRAWINGS 001.dwg

DRAWN BY: [Name]

CHECKED BY: [Name]

DATE: [Date]

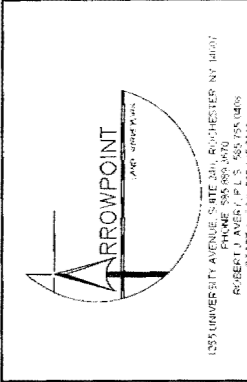


- NOTES:**  
1. BEARINGS SHOWN HEREON ARE DERIVED FROM REFERENCE #2.
- REFERENCES:**
- CROSSROADS ABSTRACT SEARCH NO. C 26031 DATED TO MARCH 1, 2012.
  - LIBER 893 OF DEEDS, PAGE 370.
  - MAP PREPARED BY WELCH & O'DONOGHUE, JOB NO. G12-3799S, DATED JUNE 11, 2012.
  - BOOK 8 OF MAPS, PAGE 381, MAP NO. 602 (REDFERN TERRACE).
  - FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 360279001 B EFFECTIVE SEPTEMBER 16, 1982.
  - MAP PREPARED BY MCINTOSH & MCINTOSH, P.C., JOB NO. B-2731-A, DATED NOVEMBER 6, 2006

**SUBDIVISION PLAT**

PROJECT: **FIVE STAR - WEST MAIN SUBDIVISION**  
 BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376, AND PART OF LOTS 377, 378, AND 379 OF REDFERN TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESSEE STATE OF NEW YORK

LOCATION:  
 LOT 375 WEST MAIN STREET BATAVIA, NY  
 INDUS. GROUP: 1080 PITTSFORD VICTOR ROAD PITTSFORD, NY 14534



**Arrowpoint Engineering**

155 HUNTERLY AVENUE SUITE 201, ROCHESTER, NY 14617  
 PHONE: 585.899.4470  
 FAX: 585.899.4471  
 25517 A, L.V. 058-63-0283

**Ritzgerald Engineering, PLLC**  
 1245 UNIVERSITY AVENUE  
 SUITE 240  
 ROCHESTER, NY 14607  
 PHONE: 585.251.9897  
 Web Site: Ritzengrde@earthlink.net



**ROBERT J. AVORY P.L.S.**  
 NEW YORK STATE LICENSED PROFESSIONAL

WE APPROPOINT LAND SURVEYORS CERTIFY THAT THIS MAP WAS PREPARED FROM THE NOTES OF A FIELD SURVEY COMPLETED FEBRUARY 19, 2014.

ROBERT J. AVORY P.L.S. 48743

NO.	REVISIONS	DATE	BY
1	REVISION AS PER CITY COMMENTS	08.26.14	SCP
2	REVISION AS PER CITY COMMENTS	09.22.14	SCP
3	REVISION AS PER CITY COMMENTS	08.26.14	SCP
4	REVISION AS PER CITY COMMENTS	08.26.14	SCP
5	REVISION AS PER CITY COMMENTS	08.26.14	SCP
6			
7			
8			

**GRAPHIC SCALE:** 1" = 30' and 1" = 20'

**DRAWING ALTERATION NOTICE**

THE FOLLOWING IS AN EXHAUSTIVE LIST OF ALL CHANGES MADE TO THIS DRAWING SINCE THE DATE OF THE ORIGINAL ISSUE. ANY CHANGES MADE TO THIS DRAWING SINCE THE DATE OF THE ORIGINAL ISSUE SHALL BE INDICATED BY A CHECKED BOX IN THE FOLLOWING TABLE. ANY CHANGES NOT CHECKED IN THE FOLLOWING TABLE SHALL BE INDICATED BY A CHECKED BOX IN THE DESCRIPTION OF THE ALTERATION.

NO.	DESCRIPTION	DATE	BY
1	CHANGED BY		RJF
2	CHECKED BY		SCP
3	DATE	03.27.2014	
4	PROJECT NO.	C-2	
5	FILE NAME	14-0130	
6	DATE	03.27.2014	
7	SHEET		
8	SCALE	1" = 30'	

**TONDAWANDA CREEK**

SCALE: 1" = 30'

DATE: 03.27.2014

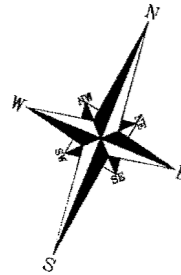
SHEET: C-2

PROJECT NO.: 14-0130

FILE NAME: 14-0130 DRAWINGS R01.dwg

DRAWN BY: RUF

CHECKED BY: SCP



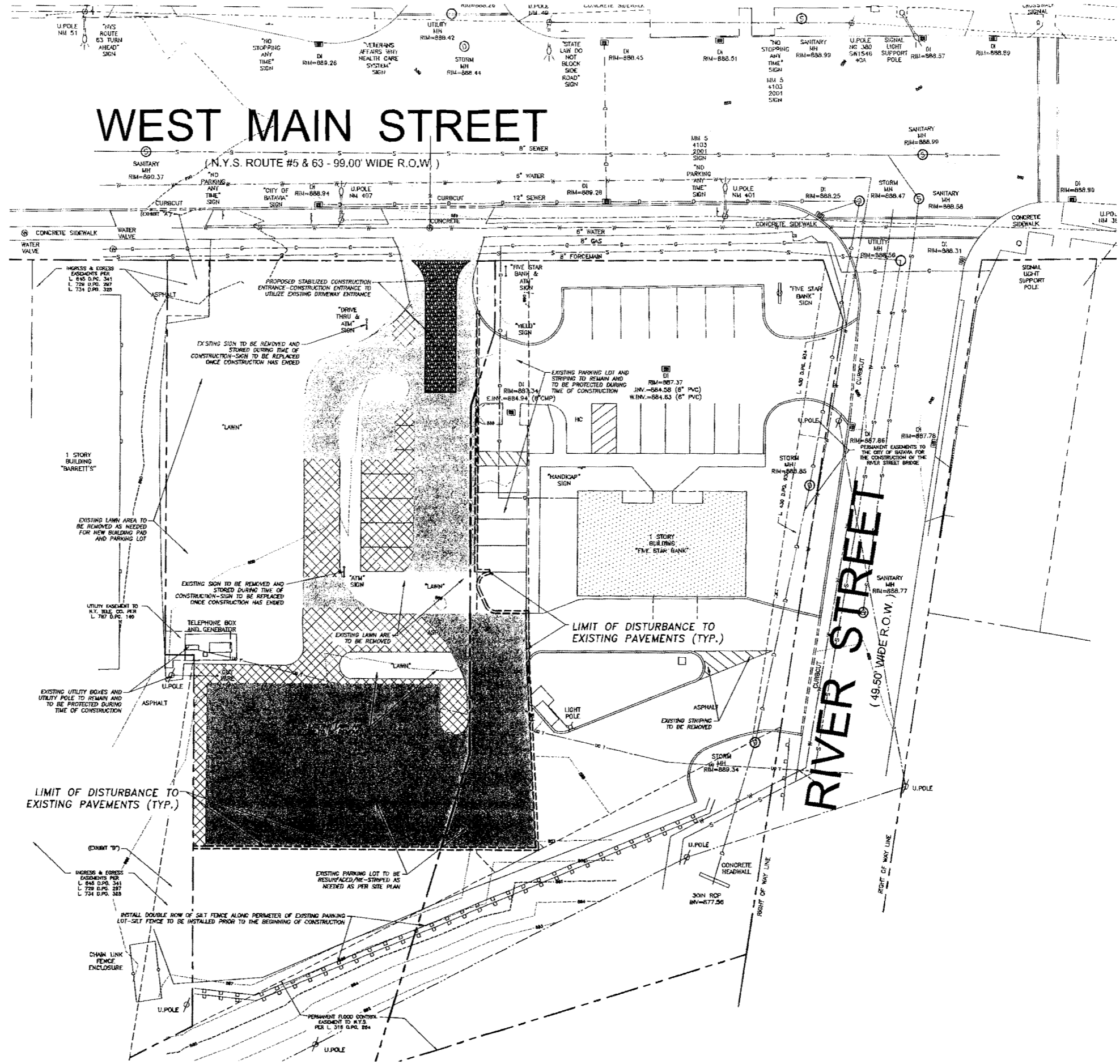
# WEST MAIN STREET

(N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W.)

### HATCH LEGEND

	ASPHALT TO REMAIN AND TO BE RESURFACED AS NEEDED
	ASPHALT PAVEMENT TO BE REMOVED

- NOTES:**
1. THIS PROJECT DOES NOT REQUIRE A SWEEP, A FULL EROSION AND SEDIMENT CONTROL PLANS AND DETAILS ARE ON SHEET C-8 AND C-11.
  2. ALL GAO MATERIAL SHALL BE HAULED OFF SITE AND DISPOSED OF IN AN APPROVED LANDFILL. BURNING OR BURIAL OF DEBRIS ON SITE IS NOT PERMITTED.
  3. THE INTENT OF THE PROJECT SITE WORK IS TO MAINTAIN EXISTING PAVEMENT SUBGRADE AND SUPPLEMENT PAVEMENT AS NEEDED TO CONSTRUCT THE PROJECT.
  4. DIRECT BURY CABLE AND/OR CONDUIT OF LESS THAN 6-INCH DIAMETER SHALL BE CUT AT POLE BASES, DAMPED AS APPROPRIATE, AND ABANDONED IN PLACE.



**SITE PREPARATION PLAN**

**FIVE STAR - WEST MAIN SUBDIVISION**  
 BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376, AND PART OF LOTS 377, 378, AND 379 OF REDFERN TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESEE STATE OF NEW YORK

LOCATION: 401-409 WEST MAIN STREET, BATAVIA, NY  
 CLIENT: INCOIS GROUP, 1058 PITTSFORD VICTOR ROAD, PITTSFORD, NY 14534

**Pitzgerald Engineering**

Ritzgerald Engineering, PLLC  
 1255 University Avenue  
 Batavia, NY 14607  
 Phone: 585.281.9897  
 Web Site: Ritzgeraldengineering.com



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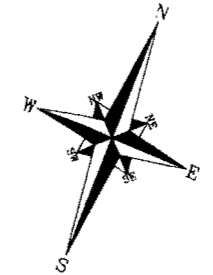
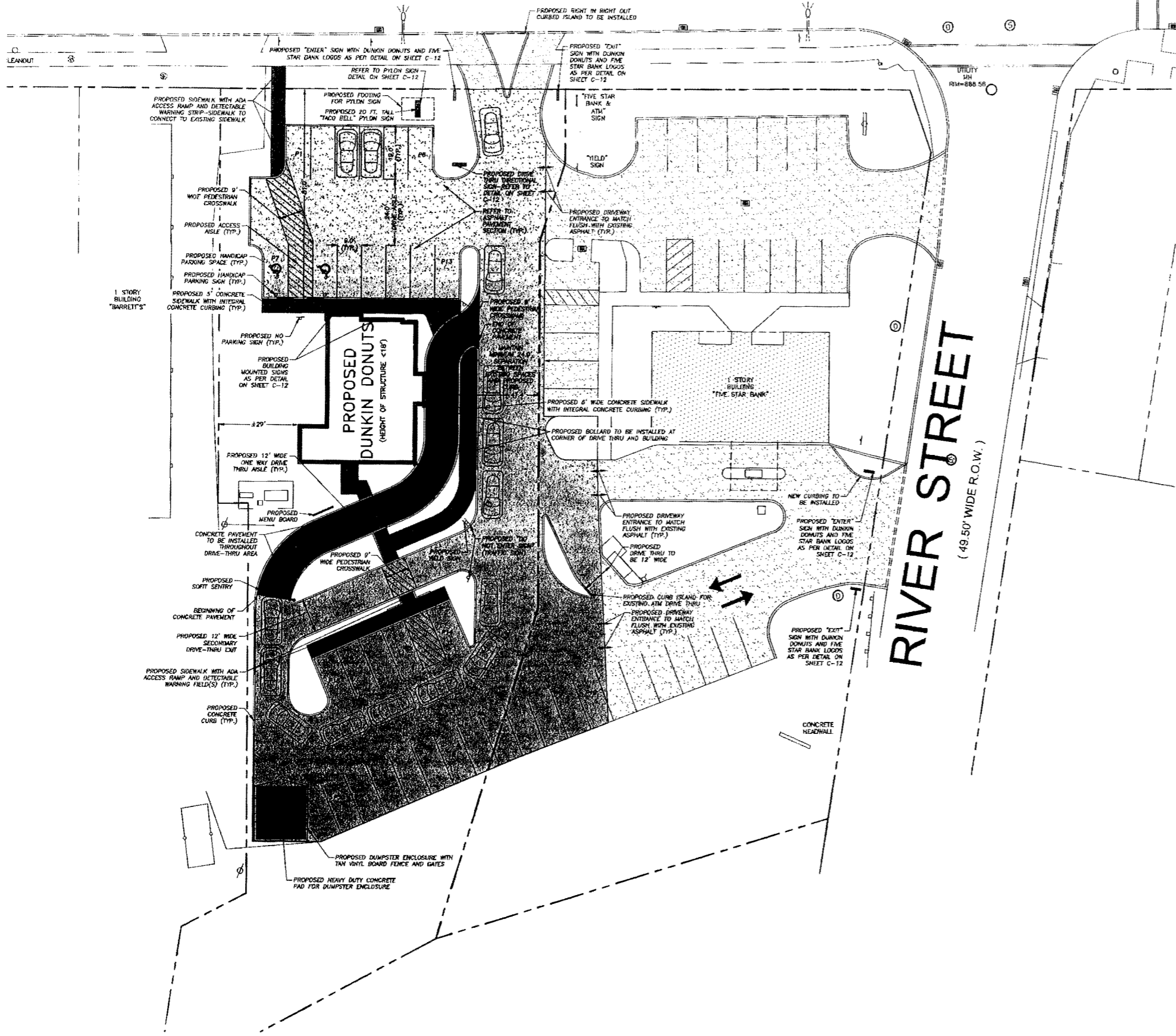
NO.	REVISIONS	DATE	BY
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2	REVISED AS PER CITY COMMENTS	08.28.14	SCP
1	REVISED AS PER CITY COMMENTS	05.22.14	SCP

**DRAWING ALTERATION NOTICE**  
 THE FOLLOWING IS A SUMMARY OF THE KEY WORK DONE DURING THE PERIOD 1-4-2014 TO 1-4-2014. ANY CHANGES TO THE ORIGINAL DRAWING SHALL BE MADE TO THE ORIGINAL DRAWING AND A RECORD SET OF THE ALTERNATE SHALL BE MAINTAINED.

SCALE: 1" = 20'  
 DATE: 03.27.2014  
 SHEET: C-3  
 PROJECT NO.: 14-0130  
 FILE NAME: 14-0130 DRAWINGS 001.dwg  
 DRAWN BY: RUF  
 CHECKED BY: RUF

# WEST MAIN STREET

(N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W.)



BULK STANDARDS FOR GENERAL COMMERCIAL ZONING DISTRICT		
ITEM	REQUIRED	PROPOSED
FRONT SETBACK	25 FT.	81 FT.
SIDE SETBACK	25 FT.	26 FT.
REAR SETBACK	35 FT.	167 FT.
BUILDING LOT COVERAGE	20% MAX.	5%
LOT AREA	15,000 SQ. FT. MIN.	±35,347 SQ. FT.
LOT FRONTAGE	125 FT. MIN.	126.7 FT.
BUILDING HEIGHT	18 FT.	LESS THAN 18 FT.
PARKING	20 PARKING SPACES	30 PARKING SPACES

AS PER THE ZONING CODE OF THE CITY OF BATAVIA, THE REQUIRED AMOUNT OF PARKING FOR THIS PARTICULAR SITE IS BASED ON THE FOLLOWING CRITERIA. THE CITY CODE READS THAT ONE (1) PARKING SPACE IS REQUIRED FOR EVERY ONE-HUNDRED (100) SQUARE FEET OF LEASABLE AREA. THE PROPOSED DUNKIN DONUTS WILL HAVE APPROXIMATELY 2,000 SQUARE FEET OF LEASABLE AREA THEREFORE, 20 PARKING SPACES ARE REQUIRED ON SITE.

FITZGERALD ENGINEERING, P.L.L.C. IS RESPONSIBLE FOR THE DESIGN OF THIS SITE. ROBERT FITZGERALD, P.E. IS THE DESIGNER AND IS FAMILIAR WITH NYSDOT STANDARDS AND REQUIREMENTS AND SHALL BE CONTACTED AT 585-281-9897 TO RESOLVE ISSUES OR PROBLEMS DURING CONSTRUCTION. ALL REVISIONS, INCLUDING REVISIONS NECESSARY DUE TO FIELD CONDITIONS, SHALL BE APPROVED BY THE NYSDOT.

### GENERAL NOTES:

- ALL SIDEWALKS, SLABS, AND MISCELLANEOUS DEMOLITION ITEMS TO BE REMOVED SHALL BE DISPOSED OF OFF SITE TO A LICENSED FACILITY UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE. NO BURNING OF DEBRIS SHALL BE ALLOWED ON-SITE. RECYCLED PAVEMENTS WILL NOT BE ALLOWED FOR USE AS SUBBASE FILL UNLESS THEY CONFORM TO THE PROJECT SPECIFICATIONS OR ARE OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.
- UTILITY INFORMATION WITHIN THE CONSTRUCTION LIMITS SHOWN ON THE DRAWINGS WERE OBTAINED FROM FIELD SURVEY INFORMATION OR ABOVE GROUND FEATURES AND RECORD MAPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL EXISTING ON-SITE UTILITIES SHALL REMAIN IN SERVICE UNLESS DESIGNED FOR REMOVAL OR ABANDONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS PERTAINING TO PROTECTING ALL EXISTING UTILITIES TO REMAIN. THE CONTRACTOR WILL ONLY BE PERMITTED TO TEMPORARILY SHUT OFF A UTILITY FOR PROPOSED NEARBY WORK UPON WRITTEN AUTHORIZATION FROM THE OWNER.
- ANY ITEM THAT IS NOT DESIGNATED ON THIS PLAN TO BE REMOVED SHALL BE PROTECTED FROM DAMAGE. DAMAGE REPAIRS SHALL BE AT THE EXPENSE OF THE CONTRACTOR. SIDEWALK AND, OR, RAMP REMOVAL SHALL BE PERFORMED IN A MANNER AS TO PROTECT ADJUTING FEATURES THAT REMAIN. FULL DEPTH SAW CUTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS AND SHALL BE LOCATED AT THE NEAREST JOINT UNLESS SPECIFICALLY NOTED OTHERWISE HEREON.
- MANHOLES, CATCH BASINS, CLEAN OUTS, VALVE BOXES, FRAMES, COVERS AND GRATES TO REMAIN IN USE SHALL BE PROTECTED.
- FOR ALL UTILITIES LINES DESIGNATED TO BE REMOVED, PLACE AND COMPACT STRUCTURAL BACK FILL WITHIN TRENCH PER PROJECT REQUIREMENTS. FOLLOW NEW YORK STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS WITHIN RIGHT OF WAY.
- EXCAVATIONS FOR REMOVAL OF UTILITIES AND STRUCTURES THAT ARE LOCATED UNDER PROPOSED PAVEMENTS OR STRUCTURAL FOUNDATIONS SHALL BE BACKFILLED WITH STRUCTURAL FILL, IN 6-INCH MAXIMUM LIFTS COMPACTED TO THE SATISFACTION OF THE PROJECT REPRESENTATIVE, TO PREVENT SETTLEMENT. COMMON EARTH FILL MAY BE USED FOR BACKFILL IN LAWN AREAS ONLY.
- THE CONTRACTOR SHALL OBTAIN AND PAY ALL FEES ASSOCIATED WITH ALL PERMITS NECESSARY TO COMPLETE THE WORK.
- CONTRACTOR IS RESPONSIBLE TO VERIFY GRADES AND UTILITIES SHOWN ON EXISTING CONDITIONS PLAN PRIOR TO START OF ANY WORK. ANY AND ALL DISCREPANCIES ARE TO BE DOCUMENTED AND SUBMITTED TO THE OWNER'S REPRESENTATIVE AT THE TIME OF DISCOVERY.
- VERIFY SITE CONDITIONS, COORDINATE DIMENSIONS, ELEVATION AND DETAILS SHOWN ON CONTRACT DRAWINGS AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PREPARATION OF SHOP DRAWINGS AND START OF CONSTRUCTION.
- PRIOR TO THE DEMOLITION OF ANY VEGETATION, THE CONTRACTOR SHALL FLAG THE INDIVIDUAL TREES AND, OR, SHRUBS TO BE REMOVED AND OBTAIN VERIFICATION FROM THE PROJECT REPRESENTATIVE THAT THE CORRECT PLANTS HAVE BEEN LOCATED. EXISTING TREES AND, OR, SHRUBS NOT DESIGNATED ON THIS PLAN FOR REMOVAL SHALL NOT BE DEMOLISHED UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM THE OWNER. TREE AND SHRUB REMOVAL SHALL BE IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS.
- THE CONTRACTOR SHALL PROTECT ALL TREES NOT DESIGNATED TO BE REMOVED, WITHIN THE CONSTRUCTION LIMITS, IN ACCORDANCE WITH THE PROJECT DETAILS.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A CERTIFIED ARBORIST TO REMOVE BRANCHES WHICH INTERFERE WITH THE CONSTRUCTION OPERATIONS, OR REPAIR TREES HAVING SUFFERED DAMAGE BY CONSTRUCTION ACTIVITIES, AS PART OF ITS BASE BID.
- CLEARING AND GRUBBING SHALL INCLUDE STUMP GRINDING AND REMOVAL FROM THE SITE OF ALL DEBRIS, SUCH AS FENCE POSTS, RUBBISH, OR ITEMS NOT INTENDED TO REMAIN AS PART OF THE FINISHED PROJECT. BURNING OF DEBRIS ON SITE IS NOT PERMITTED.
- REFER TO SHEET C-8 FOR EROSION CONTROL MEASURES TO BE IMPLEMENTED PRIOR/DURING CONSTRUCTION.
- PAVEMENTS TO BE REMOVED SHALL BE DISPOSED OF OFF SITE. EXISTING GRAVEL SUBBASES ASSOCIATED WITH PAVEMENTS MAY REMAIN IN PLACE, AS LONG AS IT WILL NOT CONFLICT WITH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. ALL REMAINING GRANULAR MATERIAL SHALL BE COVERED WITH A MINIMUM OF 6-INCHES OF TOPSOIL IN LANDSCAPE AREAS.

**SITE PLAN**

**FIVE STAR - WEST MAIN SUBDIVISION**  
 BEING A RESUBDIVISION OF LOTS 378, 374, 375, 376, AND PART OF LOTS 377, 379 AND 379 OF REDEVELOPMENT BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESSEE STATE OF NEW YORK

LOCATION: WEST MAIN STREET, BATAVIA, NY  
 CLIENT: INDUS GROUP, 1080 PITTSFORD VICTOR ROAD, PITTSFORD, NY 14534

**Fitzgerald Engineering, P.L.L.C.**  
 1255 University Avenue  
 Suite 240  
 Rochester, NY 14607  
 Phone: 585.281.9897  
 Web Site: [www.fitzgeraldeng.com](http://www.fitzgeraldeng.com)

NEW YORK STATE  
 LICENSED PROFESSIONAL

NO.	REVISIONS	DATE	BY
1	REVISED AS PER CITY COMMENTS	08.28.14	SCP
2	REVISED AS PER CITY COMMENTS	08.28.14	SCP
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GRAPHIC SCALE: 1" = 20'

**DRAWING ALTERATION NOTICE**  
 THE DRAWING IS AN EXTRACT FROM THE FULL DRAWING SET. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND STRUCTURES TO BE REMOVED OR ABANDONED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SCALE: 1" = 20'  
 DATE: 3.27.2014  
 SHEET: C-4  
 PROJECT NO.: 14-0130  
 FILE NAME: 14-0130 DRAWING 001.dwg  
 DRAWN BY: SCP  
 CHECKED BY: RJF

# WEST MAIN STREET

(N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W.)

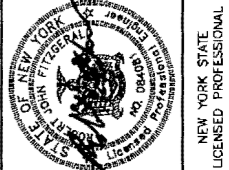
# RIVER STREET

(49.50' WIDE R.O.W.)

UTILITY PLAN

**FIVE STAR - WEST MAIN SUBDIVISION**  
 BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376,  
 AND PART OF LOTS 377, 378, AND 379 OF REDFERN  
 TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102  
 IN THE CITY OF BATAVIA, COUNTY OF GENESEE  
 STATE OF NEW YORK

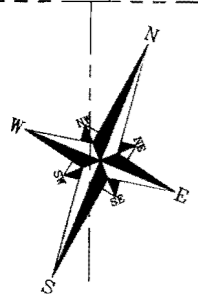
**Fitzgerald Engineering's**  
 Fitzgerald Engineering, PLLC  
 1255 University Avenue  
 Rochester, NY 14607  
 Phone: 583.281.9997  
 Web Site: [fitzgeraldengineering.com](http://fitzgeraldengineering.com)



NO.	REVISIONS	DATE	BY
1	REVISED AS PER CITY COMMENTS	05.22.14	SCP
2	REVISED AS PER CITY COMMENTS	08.28.14	SCP
3			
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SCALE	1" = 20'
DATE	3.27.2014
SHEET	C-5
PROJECT NO.	14-0130
FILE NAME	14-0130 DRAWINGS 001.rvt
DRAWN BY	R/JF
CHECKED BY	SCP

30 MPH  
SPEED  
LIMIT  
SIGN  
415 1/2



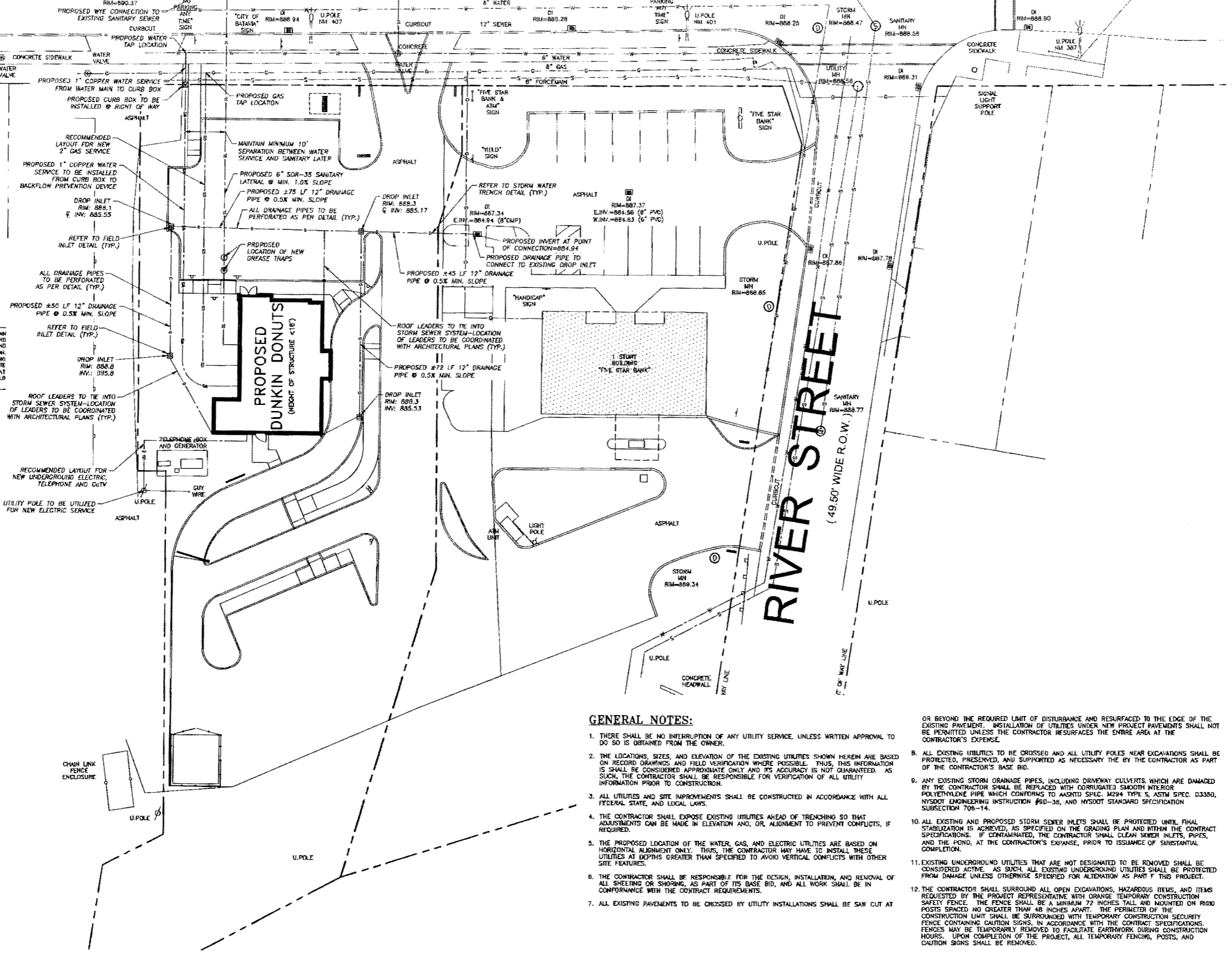
**UFPO NOTE**  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN  
 HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD  
 DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND  
 UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON.  
 ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO  
 EXCAVATIONS WERE MADE FOR CREATION OF THIS PLAN TO LOCATE  
 BURIED UTILITIES/STRUCTURES. CALL UFPO AT 1-800-952-7962 AT  
 LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK FOR FIELD  
 VERIFICATION OF UTILITY TYPES AND LOCATIONS.

**DIG SAFELY - NEW YORK**  
 Underground Facilities Protective Organization  
 1-800-952-7962

**GENERAL NOTES:**

1. THERE SHALL BE NO INTERRUPTION OF ANY UTILITY SERVICE, UNLESS WRITTEN APPROVAL TO DO SO IS OBTAINED FROM THE OWNER.
2. THE LOCATIONS, SIZES, AND ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON ARE BASED ON RECORD DRAWINGS AND FIELD VERIFICATION WHERE POSSIBLE. THIS INFORMATION IS SHOWN AS APPROXIMATE ONLY AND ITS ACCURACY IS NOT GUARANTEED. AS SUCH, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION.
3. ALL UTILITIES AND SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS.
4. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AHEAD OF TRENCHING SO THAT ADJUSTMENTS CAN BE MADE IN ELEVATION AND, OR, ALIGNMENT TO PREVENT CONFLICTS, IF REQUIRED.
5. THE PROPOSED LOCATION OF THE WATER, GAS, AND ELECTRIC UTILITIES ARE BASED ON HORIZONTAL ALIGNMENT ONLY. THUS, THE CONTRACTOR MAY HAVE TO INSTALL THESE UTILITIES AT DEPTHS GREATER THAN SPECIFIED TO AVOID VERTICAL CONFLICTS WITH OTHER SITE FEATURES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND REMOVAL OF ALL SHEETING OR SHORING, AS PART OF ITS BASE BID, AND ALL WORK SHALL BE IN CONFORMANCE WITH THE CONTRACT REQUIREMENTS.
7. ALL EXISTING PAVEMENTS TO BE CROSSED BY UTILITY INSTALLATIONS SHALL BE SAW CUT AT

- OR BEYOND THE REQUIRED LIMIT OF DISTURBANCE AND RESURFACED TO THE EDGE OF THE EXISTING PAVEMENT. INSTALLATION OF UTILITIES UNDER NEW PROJECT PAVEMENTS SHALL NOT BE PERMITTED UNLESS THE CONTRACTOR RESURFACES THE ENTIRE AREA AT THE CONTRACTOR'S EXPENSE.
8. ALL EXISTING UTILITIES TO BE CROSSED AND ALL UTILITY POLES NEAR EXCAVATIONS SHALL BE PROTECTED, PRESERVED, AND SUPPORTED AS NECESSARY BY THE CONTRACTOR AS PART OF THE CONTRACTOR'S BASE BID.
9. ANY EXISTING STORM DRAINAGE PIPES, INCLUDING DRIVEWAY CULVERTS WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH CORRUGATED SMOOTH INTERIOR POLYETHYLENE PIPE WHICH CONFORMS TO AASHTO SPEC. M294 TYPE S, ASTM SPEC. D3350, NISDOT ENGINEERING INSTRUCTION #90-38, AND NISDOT STANDARD SPECIFICATION SUBSECTION 708-14.
10. ALL EXISTING AND PROPOSED STORM SEWER INLETS SHALL BE PROTECTED UNTIL FINAL STABILIZATION IS ACHIEVED, AS SPECIFIED ON THE GRADING PLAN AND WITHIN THE CONTRACT SPECIFICATIONS. IF CONTAMINATED, THE CONTRACTOR SHALL CLEAN SEWER INLETS, PIPES, AND THE POND, AT THE CONTRACTOR'S EXPENSE, PRIOR TO ISSUANCE OF SUBSTANTIAL COMPLETION.
11. EXISTING UNDERGROUND UTILITIES THAT ARE NOT DESIGNATED TO BE REMOVED SHALL BE CONSIDERED ACTIVE. AS SUCH, ALL EXISTING UNDERGROUND UTILITIES SHALL BE PROTECTED FROM DAMAGE UNLESS OTHERWISE SPECIFIED FOR ALTERATION AS PART OF THIS PROJECT.
12. THE CONTRACTOR SHALL SURROUND ALL OPEN EXCAVATIONS, HAZARDOUS ITEMS, AND ITEMS REQUESTED BY THE PROJECT REPRESENTATIVE WITH ORANGE TEMPORARY CONSTRUCTION SAFETY FENCING. THE FENCING SHALL BE A MINIMUM 72 INCHES TALL AND MOUNTED ON RIGID POSTS SPACED NO GREATER THAN 48 INCHES APART. THE PERIMETER OF THE CONSTRUCTION LIMIT SHALL BE SURROUNDED WITH TEMPORARY CONSTRUCTION SAFETY FENCING CONTAINING CAUTION SIGNS, IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS. FENCING MAY BE TEMPORARILY REMOVED TO FACILITATE EARTHWORK DURING CONSTRUCTION HOURS. UPON COMPLETION OF THE PROJECT, ALL TEMPORARY FENCING, POSTS, AND CAUTION SIGNS SHALL BE REMOVED.



# WEST MAIN STREET

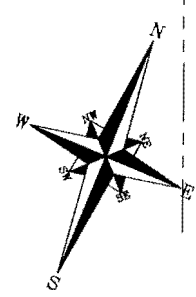
(N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W.)

## GENERAL NOTES:

- WALKWAYS SHALL MEET BUILDING FACES AT THRESHOLD ELEVATIONS AND ALL PEDESTRIAN ROUTES SHALL BE AT SLOPES OF 1 ON 20 OR LESS.
- PROPOSED CONTOURS ON THIS PLAN REPRESENT FINISHED GRADES.
- ROAD/DRIVE DRAINAGE SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL SOIL STOCKPILES SHALL BE WITHIN THE CONSTRUCTION LIMITS SURROUNDED WITH SILT FENCE ALONG THE DOWNHILL SIDE.
- ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETION OF FINISH GRADING, TOPSOILING AND SEEDING AS EARLY IN THE SUMMER AS PRACTICAL TO ENSURE FINAL STABILIZATION OF ALL LAWN PRIOR TO THE FALL.
- OWNER/DEVELOPER IS RESPONSIBLE FOR MAINTENANCE OF EROSION/SILTATION CONTROL DURING CONSTRUCTION AND FOR REMOVAL OF THE TEMPORARY CONTROLS AFTER CONSTRUCTION. ALL EROSION/SILTATION CONTROL MEASURES SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
- LOT SWALES TO BE CONSTRUCTED AND OPERATING PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- LAWN SEEDING OR RESTORATION TO BE DONE IMMEDIATELY AFTER GRADING TO PREVENT EROSION.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPED OF TOPSOIL TO REMOVE FOREIGN/OBJECTONABLE SUBSTANCES, TREES, VEGETATION ROOTS, OR OTHER DELETERIOUS MATERIALS THAT WOULD GENERAL UNSATISFACTORY CONDITIONS AS DETERMINED BY THE PROJECT REPRESENTATIVE.
- TOPSOIL FROM THE SITE ADEQUATE FOR THE ESTABLISHMENT OF LAWN, SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED/PERVIOUS AREAS.
- SUBGRADE FILL SHALL BE FREE OF FOREIGN/OBJECTONABLE SUBSTANCES, FROZEN PARTICLES, SOFT/MUCKY OR HIGHLY COMPRESSIBLE SOILS, BRUSH, ROOTS, SOIL, TOPSOIL, AND ALL OTHER DELETERIOUS MATERIALS THAT WOULD INTERFERE WITH OR PREVENT SATISFACTORY COMPACTION AS DETERMINE BY THE PROJECT REPRESENTATIVE.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL NON-STRUCTURAL FILLS SHALL BE PLACED IN MAXIMUM LIFTS OF 9 INCHES AND COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL MATERIAL INTENDED TO SUPPORT STRUCTURAL FACILITIES SUCH AS BUILDINGS, CONDUITS, PAVEMENTS AND EMBANKMENTS SHALL BE COMPACTED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS.
- SEEPS/SPIRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SUBSURFACE DRAINS OR OTHER METHODS APPROVED BY THE PROJECT REPRESENTATIVE.
- AREAS THAT ARE TO TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.

## ADA ACCESSIBILITY AND GENERAL GRADING NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE SITE IN STREET COMPLIANCE WITH THE MOST STRINGENT REQUIREMENTS FROM THE LATEST EDITIONS OF THE "AMERICANS WITH DISABILITIES ACT AND ARCHITECTURAL BARRIERS ACT ACCESSIBILITY GUIDELINES" (ADA), ADA STANDARDS FOR ACCESSIBILITY DESIGN, 28 CFR PART 36 (ADA), AND AMERICAN NATIONAL STANDARDS ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES" (ANSI A117.1).
- PROPOSED CONTOURS AND SPOT ELEVATION ON THIS PLAN REPRESENT FINISHED GRADES.
- AREAS DESIGNATED AS HANDICAP ACCESSIBLE ROUTES SHALL MEET BUILDING FACES AT THRESHOLD ELEVATIONS WITHIN 1/4 INCH. WALKS SHALL BE RESTRAINED FROM VERTICAL MOVEMENT AS SHOWN ON THE PROJECT DETAILS.
- ACCESSIBLE ROUTES, INCLUDING THE PARKING AREAS THAT THEY SERVE, SHALL HAVE RUNNING SLOPES NO GREATER THAN 1 ON 20 (5% MAX) AND CROSS SLOPES NO GREATER THAN 1 ON 50 (2% MAX).
- AREAS DESIGNATED AS HANDICAP ACCESSIBLE RAMP SHALL HAVE RUNNING SLOPES NO GREATER THAN 1 ON 12 (8.33% MAX) AND SHALL BE CONSTRUCTED IN STRICT CONFORMANCE WITH THE HANDICAP RAMP DETAILS.
- HANDICAP SIGNS ARE PROPOSED AT ALL ACCESSIBLE PARKING SPACES AS SHOWN ON THE PROJECT PLANS AND DETAILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT HANDICAP SIGNS ARE INSTALLED AT ALL OTHER LOCATIONS REQUIRED BY CODE AND THAT ALL LETTERING IS SIZED ACCORDING TO THE SEPARATION DISTANCES FROM THE ACCESSIBLE ROUTE(S) TO THE SIGN LOCATIONS.
- ALL SITE SURFACES, INCLUDING EACH PAVEMENT LIFT, SHALL BE FINISH GRADED TO ACHIEVE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION OF THE SITE, UNLESS EXPLICITLY SHOWN OTHERWISE ON THIS PLAN. ANY RESULTING DEPRESSIONS NOT SPECIFIED HEREON OR ANY NON CONFORMING HANDICAP ACCESSIBILITY REQUIREMENT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL DRAINAGE SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD IN STRICT COMPLIANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP). IF ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES ARE DETERMINED TO BE NECESSARY BY THE INDIVIDUAL(S) RESPONSIBLE FOR PERFORMING THE REQUIRED STORMWATER SITE ASSESSMENTS, THE CONTRACTOR SHALL IMPLEMENT THE SPECIFIED MEASURES AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETION OF FINISH GRADING, TOPSOILING, AND SEEDING DURING SPRING OR AS EARLY IN THE SUMMER AS PRACTICAL TO ENSURE FINAL STABILIZATION OF ALL VEGETATED AREAS PRIOR TO THE FALL.



1 STORY BUILDING "BARNETTS"

PROPOSED TEMPORARY STONE AND BLOCK INLET PROTECTION (TYP.)

PROPOSED DUNKIN DONUTS  
(HEIGHT OF STRUCTURE <18')  
F.F.E. = 889.40

1 STORY BUILDING "FINE STAR BANK"

RIVER STREET  
(49.50' WIDE R.O.W.)

TOTAL SITE DISTURBANCE  
±0.66 ACRES

REFER TO THE SITE PREPARATION PLAN FOR ALL OTHER EROSION AND SEDIMENT CONTROL MEASURES

INSTALL DOUBLE ROW OF SILT FENCE ALONG PERIMETER OF EXISTING PARKING LOT-SILT FENCE TO BE INSTALLED PRIOR TO THE BEGINNING OF CONSTRUCTION

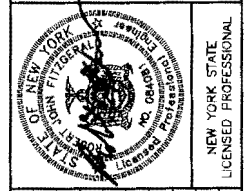
**GRADING/E&SC PLAN**

**FIVE STAR - WEST MAIN SUBDIVISION**  
BEING A RESUBDIVISION OF LOTS 373, 374, 376, 376, 376, AND PART OF LOTS 377, 378 AND 379 OF RECORD TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESSEE STATE OF NEW YORK

LOCATION: 805 WEST MAIN STREET, BATAVIA, NY  
CLIENT: INDUS GROUP, 1080 PITTSFORD VICTOR ROAD, PITTSFORD, NY 14854

**Pitzgerald Engineering's**

1150 University Avenue, PLAC  
1255 University Avenue  
Suite 210  
Rochester, NY 14607  
Phone: 583.281.9997  
Web Site: [pitzgeraldengineering.net](http://pitzgeraldengineering.net)



NO	REVISIONS	DATE	BY
1	REVISED AS PER CITY COMMENTS	03.22.14	SCP
2	REVISED AS PER CITY COMMENTS	03.23.14	SCP
3	REVISED AS PER CITY COMMENTS	03.23.14	SCP
4			
5			
6			
7			
8			
9			

SCALE: 1" = 20'

DATE: 03.27.2014

SHEET: C-6

PROJECT NO: 14-0130

FILE NAME: 14-0130\_DWG005\_R01.dwg

DRAWN BY: SCP

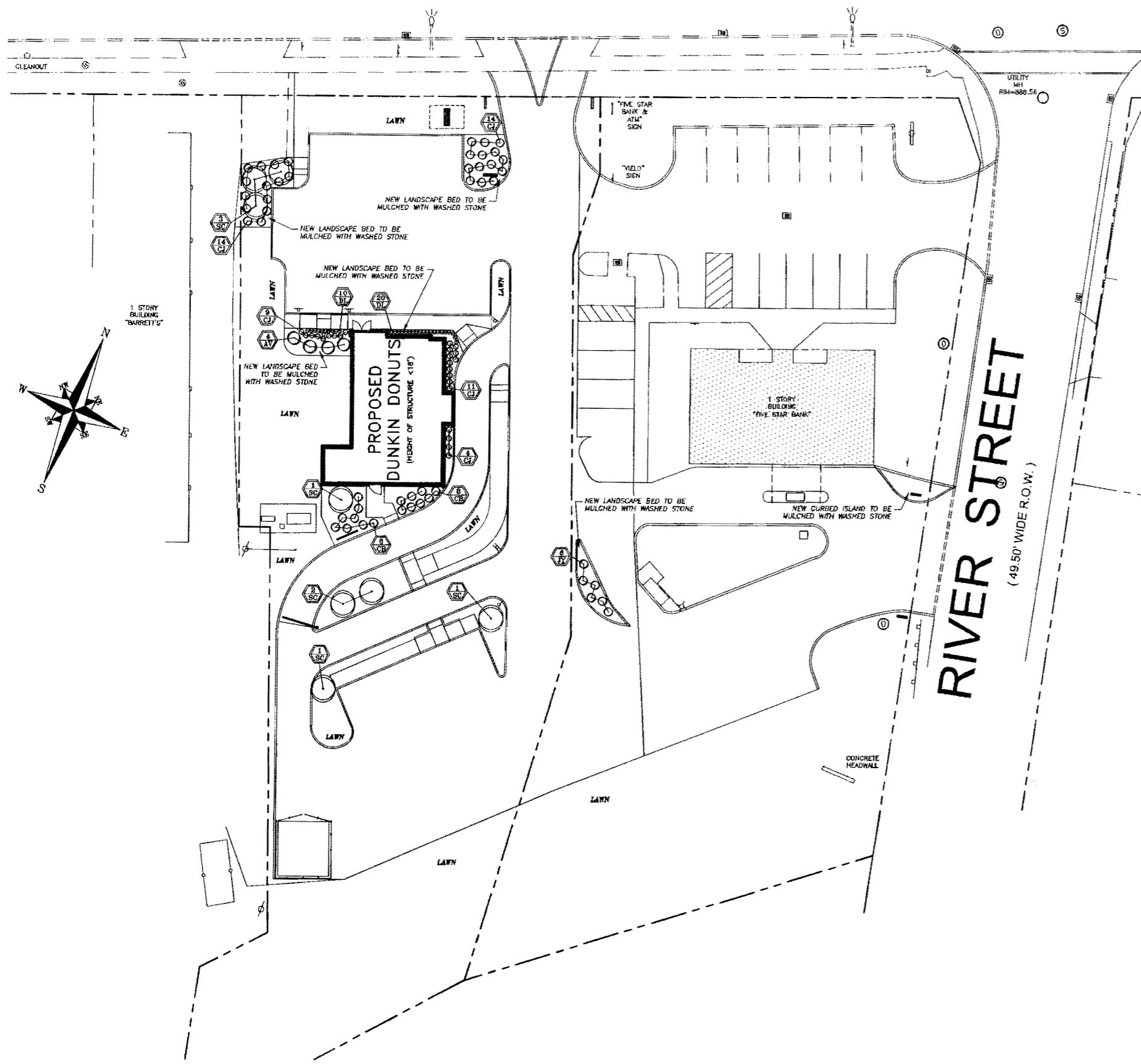
CHECKED BY: R/JF

GRAPHIC SCALE: 1" = 20'

**DRAWING ALTERATION NOTICE**  
WE HEREBY CERTIFY THAT THE ABOVE DRAWING WAS PREPARED BY AN ENGINEER REGISTERED IN THE STATE OF NEW YORK AND THAT THE ENGINEER HAS REVIEWED AND APPROVED THE DRAWING FOR CONSTRUCTION. THE ENGINEER'S SIGNATURE AND SEAL ARE REQUIRED BY LAW TO BE PLACED ON ALL DRAWINGS PREPARED BY AN ENGINEER AND TO BE AVAILABLE TO THE PUBLIC AT ALL TIMES.

# WEST MAIN STREET

(N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W.)



Landscape Plantings									
Ref. Letter	Plant Size	Qty Req'd	Botanical Name	Common Name	Flower Color	Flower Time	Fruit Color	Autumn Color	Notes
Trees									
SC	8"	2	Malus domestica	Domestic Crabapple	White	Fall		Red	Left: Green Right: Red
Shrubs									
CH	12"	2	Hamamelis virginica	Witch Hazel	Yellow	Fall			Left: Green Right: Yellow
C	12"	2	Hamamelis virginica	Witch Hazel	Yellow	Fall			Left: Green Right: Yellow
AV	4"	2	Aspidistra filix	Aspidistra	White	Spring			Left: Green Right: White
FY	12"	2	Fuchsia	Fuchsia	Red	Summer			Left: Green Right: Red
Flowers									
DL	10"	2	Delphinium	Delphinium	Blue	Summer			Left: Green Right: Blue

## LANDSCAPE NOTES

- ALL PLANTS ARE TO BE TRUE TO NAME, OF HIGH QUALITY, AND ARE TO CONFORM TO SPECIFICATIONS OF THE PLANT LIST AND SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND 80.1.
- ALL PLANTS ARE TO BE CONTAINER GROWN OR FRESHLY DUG AND BULLED AND BURLAPPED.
- ANY TOPSOIL REMOVED DURING CONSTRUCTION, GRADING, DRIVEWAY OR PARKING AREAS IS TO REMAIN ON SITE AND BE USED FOR BACKFILLING GRASS AREAS ADJACENT TO PARKING, TO SUPPLEMENT TOPSOIL FOR OTHER GRASS AREAS AND FOR PLANTING, ESPECIALLY THE CREATION OF PLANTING BEDS. ANY NEW SOIL BROUGHT TO THE SITE FOR PLANTING IS TO BE FREE OF WEEDS, ROCKS OR OTHER DEBRIS AND IS TO BE LEAN TOPSOIL.
- LARGE TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. SEE TREE PROTECTION DETAIL INSTALLED. CONSTRUCTION FENCES AROUND EXISTING TREES AT THE DEEP LINES OR A GREATER DISTANCE FROM THE TRUNKS. MAINTAIN THESE TREES AS MAY BE REQUIRED BY WEATHER AND SITE CONDITIONS AND BY DURATION OF PROJECT (WATERING, PRUNING, FERTILIZING). STORAGE OF MATERIALS AND EQUIPMENT INSIDE THESE FENCED AREAS IS PROHIBITED.
- EXISTING SOIL ON SITE IS MOISTURE RETENTIVE. PLANTS ARE TO BE PLANTED HIGH TO ASSURE ADEQUATE DRAINAGE OF THE ROOTS. PH IS APPROXIMATELY 7.4. A SOIL TEST RESULT SHEET IS AVAILABLE.
- PREPARED PLANTING SOIL - ORGANIC MATTER AND FERTILIZER ARE TO BE THOROUGHLY WORKED INTO THE PLANTING SOIL. PREPARED SOIL FOR EVERGREEN SHRUBS AND TREES IS TO HAVE A MINIMUM 50% ORGANIC CONTENT, PRIMARILY COMPOSED OF PEAT MOSS, BUT MAY ALSO INCLUDE NEED FREE COMPOSTED MANURE OR OTHER ORGANIC MATERIAL. HOLLITONE OR EQUIVALENT ORGANIC FERTILIZER IS TO BE INCLUDED IN THE PREPARED SOIL AT THE MANUFACTURER'S RECOMMENDED RATE. THE AVERAGE PH OF SOIL BEING USED TO PLANT EVERGREENS AND OTHER PLANTS WHICH PREFER ACID SOIL IS TO BE BETWEEN 6.0 AND 6.5. PLANTING SOIL FOR OTHER PLANTS IS TO CONTAIN A MINIMUM OF 20% ORGANIC MATTER WHICH MAY INCLUDE PEAT MOSS AS WELL AS WEED FREE COMPOSTED MANURE OR OTHER ORGANIC MATERIALS. GARDENTONE OR EQUIVALENT ORGANIC FERTILIZER IS TO BE INCLUDED IN PREPARED SOIL AT THE MANUFACTURER'S RECOMMENDED RATE.
- TOPSOIL MINIMUM DEPTH FOR LAWN AREAS IS 6". TOPSOIL MINIMUM DEPTH FOR PLANTING BEDS IS 18".
- ALL NON-Biodegradable BURLAP OR CONTAINERS ARE TO BE REMOVED FROM PLANTS PRIOR TO PLANTING. A MINIMUM OF 1/3 OF BIODEGRADABLE BURLAP IS TO BE REMOVED. WIRE BASKETS ARE TO BE CUT AND AT LEAST ONE HALF REMOVED.
- ANY BROKEN OR CROSSING BRANCHES ARE TO BE PRUNED OUT AT THE TIME OF PLANTING. PLANTS HAVING BROKEN BRANCHES WHICH COMPROMISE THEIR APPEARANCE ARE NOT TO BE USED.
- PLANTS ARE TO BE PLANTED STRAIGHT AND ORIENTED FOR BEST APPEARANCE PRIOR TO BACKFILLING PLANTING HOLES.
- HARDWOOD MULCH (GREENBARK PITS) - DOUBLE GROUND HARDWOOD MULCH IS TO BE SUPPLIED AND APPLIED TO ALL INDIVIDUAL TREES TO A DEPTH OF APPROXIMATELY 3". SEE PLANTING DETAILS REGARDING DEPTH OF MULCH AT STEMS AND TRUNKS OF PLANTS.
- WASHED GRAVEL MULCH - WASHED GRAVEL, 1" TO 1-1/2" AVERAGE SIZE, TO BE SUPPLIED AND INSTALLED TO A DEPTH OF 3-4" IN ALL PLANTING BEDS.
- GRID EDGING - ONLY 1/4" OR EQUIV. PRODUKT KING EDGE 5" BLACK VINYL EDGING IS TO BE SUPPLIED AND INSTALLED AS PER PLAN TO EDGE PLANTING BEDS AROUND THE BUILDING AND IN THE LANDSCAPE, INCLUDING THE RETENTION POND PLANTING BEDS.
- TREES ARE TO BE STAKED AT THE TIME OF PLANTING. STAKES AND WIRES ARE TO BE REMOVED BY THE CONTRACTOR BY THE END OF THE GUARANTEE PERIOD.
- ALL PLANTS ARE TO BE THOROUGHLY WATERED AT PLANTING. THE CONTRACTOR SHALL PROVIDE ADEQUATE IRRIGATION OF PLANTS UNTIL THE DATE OF FINAL ACCEPTANCE. LAWN AREAS ARE TO BE IRRIGATED UNTIL GRASS COVERAGE IS COMPLETE.

### TEMPORARY SEED MIX

- THE TEMPORARY SEED SHALL BE ANNUAL RYE APPLIED AT THE RATE OF 40 LBS. PER ACRE.

### PERMANENT SEED MIX

- PERMANENT SEED MIX SHALL BE APPLIED AT THE RATE OF 40 LBS. PER ACRE, OR AS RECOMMENDED BY THE CONTRACTOR'S LANDSCAPING SUBCONTRACTOR, AND SHALL CONSIST OF PERENNIAL RYE GRASS (30X), KENTUCKY BLUEGRASS (30X), CHEWINGS FELD FESCUE (20X), ANNUAL RYE GRASS (20X).
- SWALES SHALL BE SEED WITH TALL FESCUE (20X), KENTUCKY BLUEGRASS (30X), ANNUAL RYE GRASS (30X), AND PERENNIAL RYE GRASS (20X).

### MULCHING

- AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 2 TONS PER ACRE OR 3 BALES PER 1000 SQUARE FEET OF STRAW.
- ALL SLOPES GREATER THAN 3:1 V SHALL HAVE JUTE MESH OR OTHER APPROVED EQUAL EROSION CONTROL FABRIC APPLIED.
- IN ORDER TO OBTAIN TEMPORARY STABILIZATION STATUS, MULCH SHALL BE TACKED INTO PLACE BY A DISK WITH BLADES SET NEARLY STRAIGHT OR AN APPROVED EQUAL METHOD OR PRODUCT SHALL BE USED.
- HYDROSEEDING SHALL NOT BE CONSIDERED A MEANS FOR PROVIDING TEMPORARY STABILIZATION.

## LANDSCAPING PLAN

**FIVE STAR - WEST MAIN SUBDIVISION**  
 BEING A RE-DEVELOPMENT OF LOTS 374, 375, 376, 377, 378, AND 379 OF REDDEN TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF DANIA, COUNTY OF GENESEE STATE OF NEW YORK

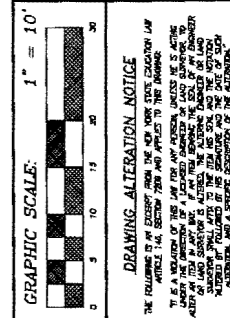
LOCATION: 141-143 WEST MAIN STREET DANIA, NY  
 INDCS GROUP, 1090 PITTSFORD VICTOR ROAD PITTSFORD, NY 14534

## ITZSCARD Engineering

Pittsford Engineering, P.L.L.C.  
 1225 University Avenue  
 Suite 140  
 Rochester, NY 14607  
 Phone: 585.281.9897  
 Web Site: ItzscardEngineering.com



NO.	DATE	REVISIONS
1	08/28/14	SEP
2	05/22/14	SEP



**DRAWING ALTERATION NOTICE**  
 THE FOLLOWING IS AN EXHIBIT FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) FILE NO. 14-0130. THIS DRAWING IS A PART OF A PROJECT AND IS SUBJECT TO THE DEC'S REVIEW AND APPROVAL. ANY CHANGES TO THIS DRAWING SHALL BE MADE IN ACCORDANCE WITH THE DEC'S REVIEW AND APPROVAL. THE DATE OF ANY ALTERATION SHALL BE INDICATED BY THE DATE OF THE ALTERATION, AND A BRIEF DESCRIPTION OF THE ALTERATION.

SCALE: 1" = 20'  
 DATE: 03.27.2014  
 SHEET: C-7  
 PROJECT NO: 14-0130  
 FILE NAME: 14-0130 DRAWINGS 01.dwg  
 DRAWN BY: SCP  
 CHECKED BY: R/J

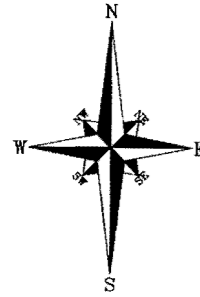


# WEST MAIN STREET

( N.Y.S. ROUTE #5 & 63 - 99.00' WIDE R.O.W. )

# RIVER STREET

( 49.50' WIDE R.O.W. )



1 STORY BUILDING "BARRETT'S"

PROPOSED DUNKIN DONUTS  
(HEIGHT OF STRUCTURE 418')

1 STORY BUILDING "FIVE STAR BANK"

CONCRETE HEADWALL

Luminaire Schedule						
Project: DUNKIN						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	Description	LLF
[Symbol]	3	A	BACK-BACK	N.A.	VA2-LED240/740-T4-F-D180-DBR-EDP	0.900
[Symbol]	3	B	SINGLE	N.A.	VA2-LED240/740-T4-F-S-DBR-EDP-PH	0.900

Calculation Summary							
Label	CalcType	Avg	Max	Min	Avg/Min	Max/Min	Units
SITE Planar	Illuminance	4.73	26.9	0.0	N.A.	N.A.	Fc
PARKING LOT & DRIVE LANES	Illuminance	6.18	26.9	0.1	61.80	269.00	Fc

## LIGHTING PLAN

PROJECT  
**FIVE STAR - WEST MAIN SUBDIVISION**  
 BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376, 377, 378, 379, AND 379 OF REDFERN TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESSEE STATE OF NEW YORK  
 LOCATION  
 401-409 WEST MAIN STREET, BATAVIA, NY  
 CLIENT  
 INDUS GROUP, 1090 PITTSFORD VICTOR ROAD PITTSFORD, NY 14534

**Fitzgerald Engineering**  
 Fitzgerald Engineering, P.L.L.C.  
 1255 University Avenue  
 Suite 240 NY, NY 14607  
 Phone: 585.231.9907  
 Web Site: fitzgeraldengineering.net

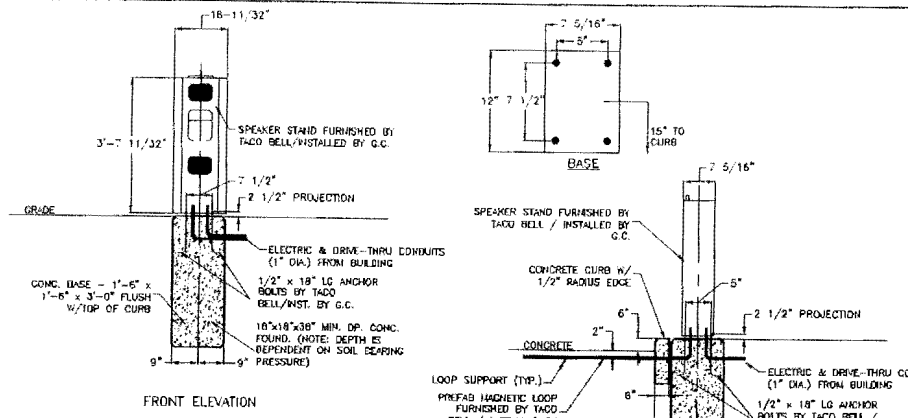
NEW YORK STATE  
 LICENSED PROFESSIONAL

NO	REVISIONS	DATE	BY
1	REVISED AS PER CITY COMMENTS	08.22.14	SCP
2	REVISED AS PER CITY COMMENTS	08.26.14	SCP
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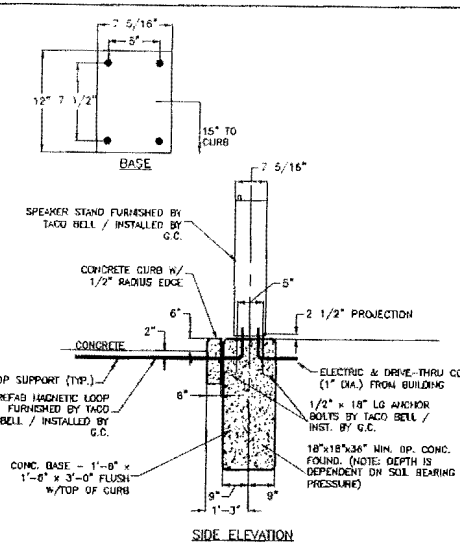
GRAPHIC SCALE: 1" = 20'

**DRAWING ALTERATION NOTICE**  
 THE FOLLOWING IS A SUMMARY OF THE CHANGES MADE TO THIS DRAWING SINCE THE LAST REVISION. IF YOU ARE NOT SURE OF THE LOCATION OF A CHANGE, PLEASE REFER TO THE REVISIONS LIST AND THE ORIGINAL DRAWING FOR A COMPLETE LIST OF THE CHANGES.

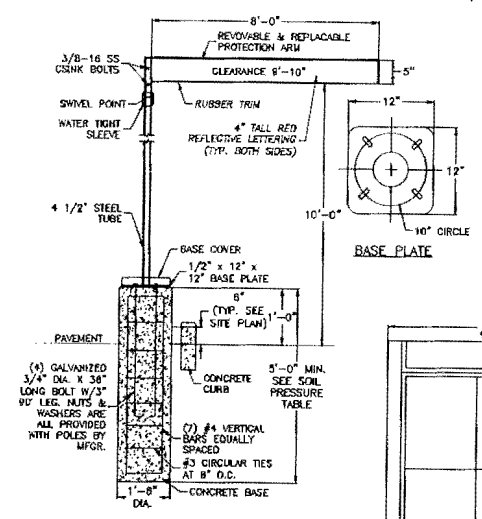
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DATE	03.27.2014
SHEET	C-8
PROJECT NO.	14-0130
FILE NAME	14-0130_DUNKINOS 101.dwg
DRAWN BY	SCP
CHECKED BY	R/J



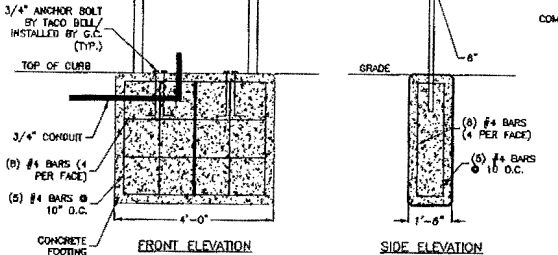
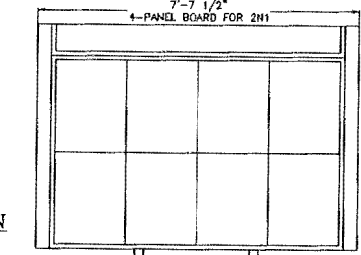
**SPEAKER POST DETAIL**  
N.T.S.



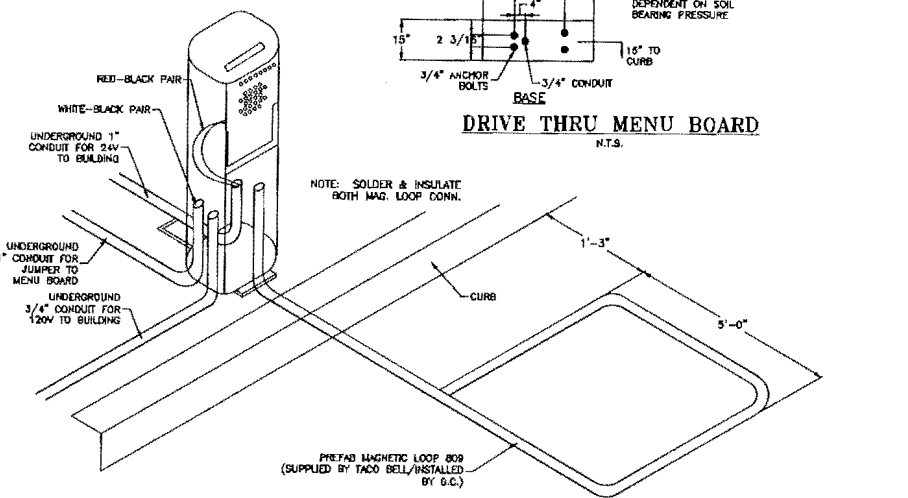
**DETECTION/SPEAKER POST DETAIL**  
N.T.S.



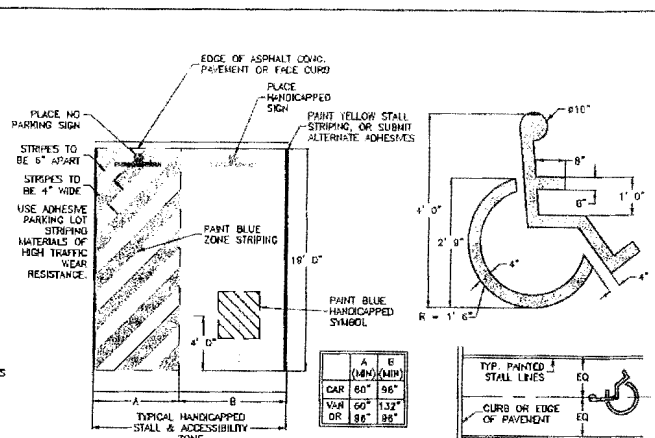
**SOFFIT CLEARANCE SIGN**  
N.T.S.



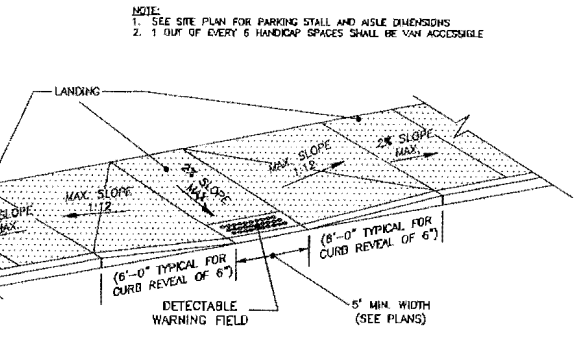
**DRIVE THRU MENU BOARD**  
N.T.S.



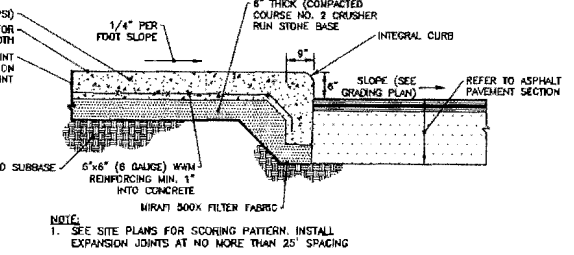
**DETECTION/SPEAKER ISOMETRIC**  
N.T.S.



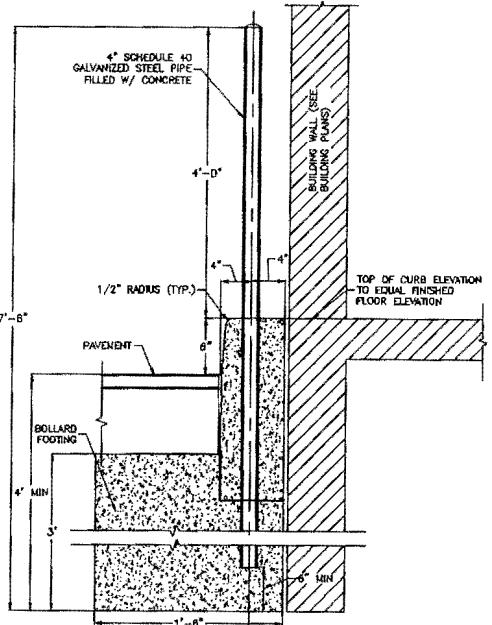
**HANDICAP PARKING SPACE DETAIL**  
N.T.S.



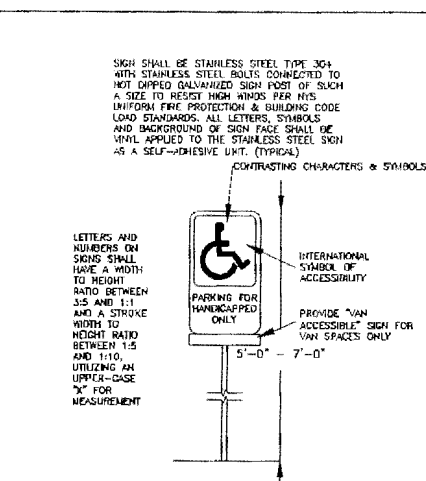
**PARALLEL SIDEWALK RAMP DETAIL**  
N.T.S.



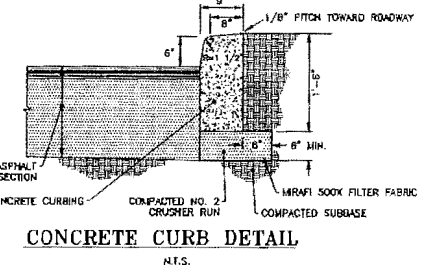
**INTEGRAL CURB SIDEWALK DETAIL**  
N.T.S.



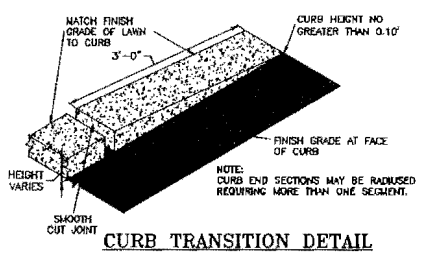
**DRIVE THRU CURB & BOLLARD SECTION @ BUILDING**  
N.T.S.



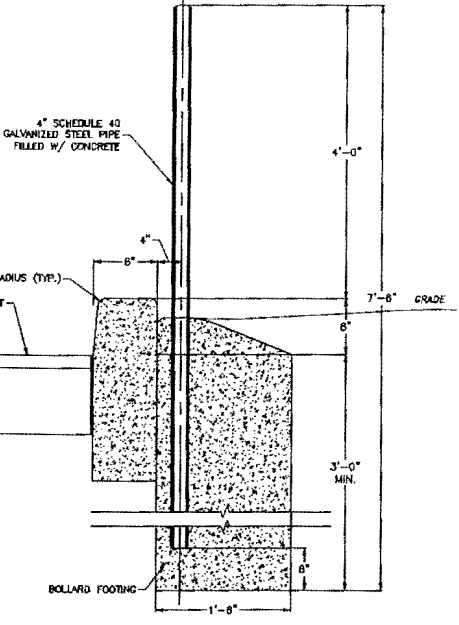
**HANDICAP PARKING SIGN DETAIL**  
N.T.S.



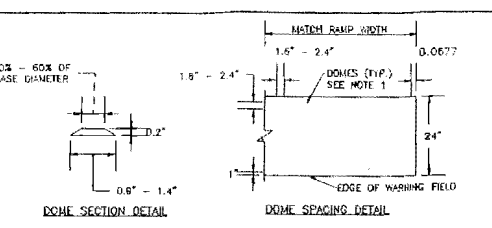
**CONCRETE CURB DETAIL**  
N.T.S.



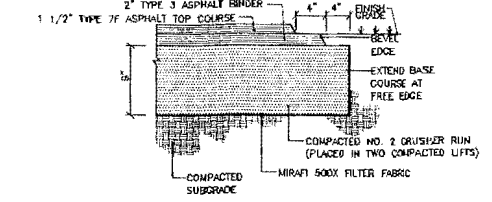
**CURB TRANSITION DETAIL**  
N.T.S.



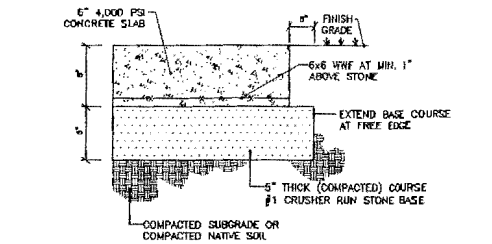
**DRIVE THRU CURB & BOLLARD SECTION**  
N.T.S.



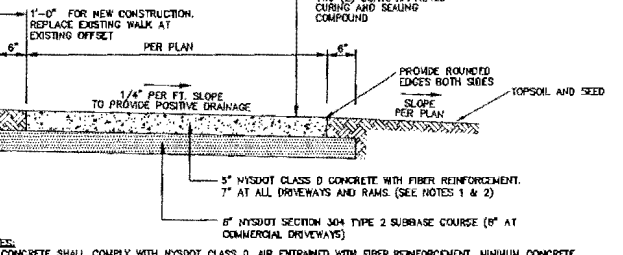
**DETECTABLE WARNING PLACEMENT DETAIL**  
N.T.S.



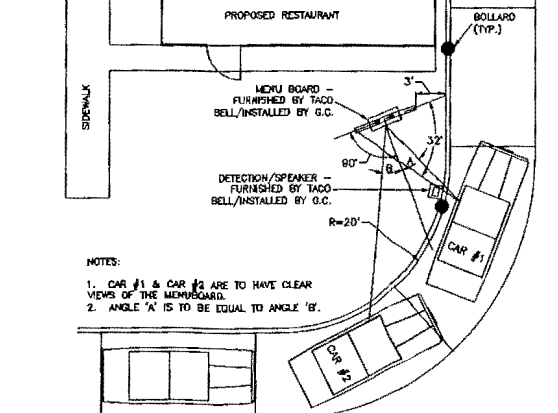
**TYPICAL ASPHALT PAVEMENT AND BOXOUT SECTION**  
N.T.S.



**CONCRETE PAVEMENT SECTION**  
N.T.S.



**TYPICAL SIDEWALK DETAIL**  
N.T.S.



**MENU BOARD/SPEAKER LAYOUT**  
N.T.S.

**DETAIL SHEET**

PROJECT: **FIVE STAR - WEST MAIN SUBDIVISION**  
 BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376, AND PART OF LOTS 377, 378, AND 379 OF REDFERN TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESSEE STATE OF NEW YORK

LOCATION: 401-409 WEST MAIN STREET, BATAVIA, NY  
 CLIENT: FIVE STAR GROUP, 1989 PITTSFORD VICTOR ROAD, PITTSFORD, NY 14524

**Fitzgerald Engineering**

Rosefield Engineering, P.L.L.C.  
 1255 Lincolnton Avenue  
 Suite 2-40  
 Rochester, NY 14607  
 Phone: 584.281.9897  
 Web Site: fitzgeraldengineering.net

NEW YORK STATE  
 LICENSED PROFESSIONAL

NO.	DATE	REVISIONS	BY
1	03.22.14	SC	SCP
2	03.28.14	SC	SCP
3			
4			
5			
6			
7			
8			
9			

**DRAWING ALTERATION NOTICE**

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW AND REGS. 100.1 AND 100.2 WHICH RELATES TO THE PROVISION OF ACCESSIBILITY TO THE PHYSICALLY HANDICAPPED IN THE DESIGN AND CONSTRUCTION OF NEW BUILDINGS AND STRUCTURES. THIS NOTICE IS A SUMMARY OF THE ABOVE CITED LAW AND REGS. AND IS NOT A SUBSTITUTE THEREFOR. FOR A COMPLETE AND DETAILED DESCRIPTION OF THE ABOVE CITED LAW AND REGS., PLEASE REFER TO THE FULL TEXT OF THE ABOVE CITED LAW AND REGS.

SCALE: NOT TO SCALE

DATE: 03.27.2014

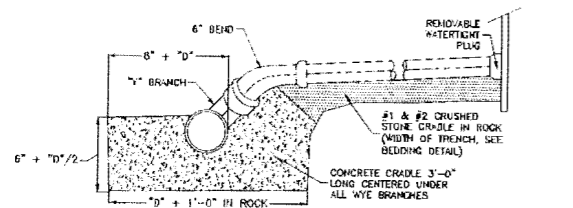
SHEET: C-9

PROJECT NO: 14-0130

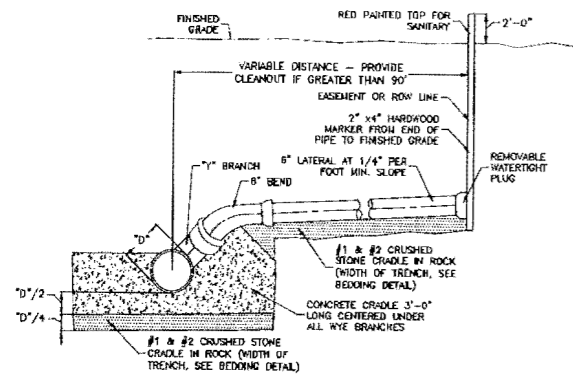
FILE NAME: 14-0130 DRAWINGS 07.dwg

DRAWN BY: R/J

CHECKED BY: R/J

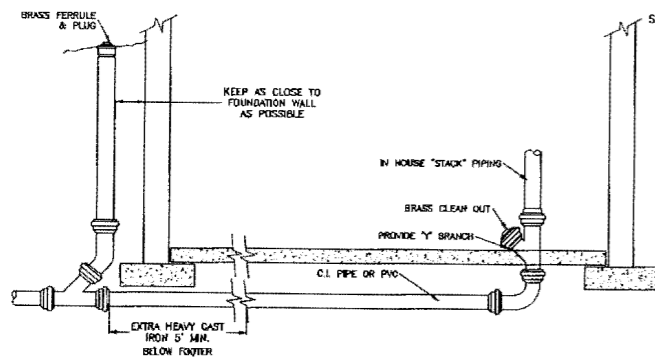


ROCK EXCAVATION

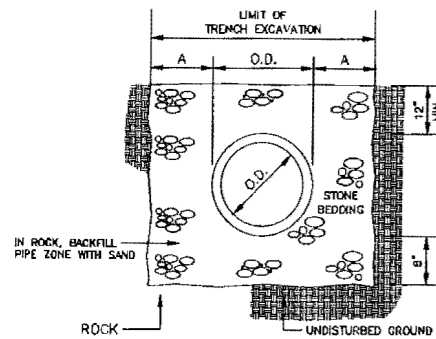


EARTH EXCAVATION

**SANITARY SEWER LATERAL DETAIL**  
N.T.S.



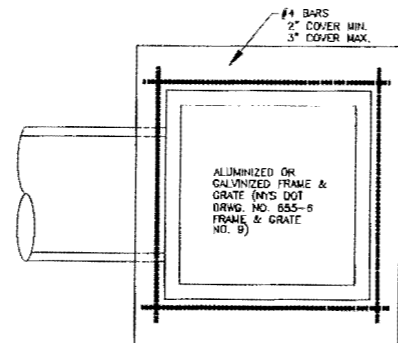
TYPICAL CLEANOUT DETAIL  
N.T.S.



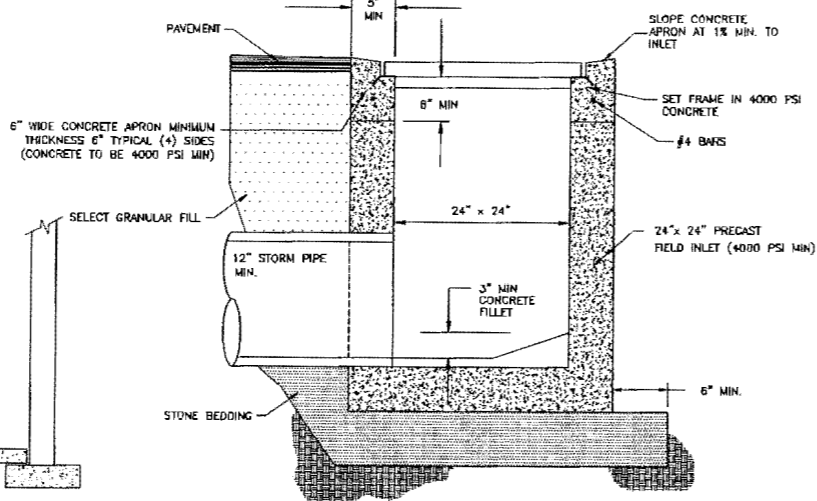
PIPE DIA.	DIM. OF "A"	"B"
UP TO 18"	1.0'	6"
21" TO 36"	1.5'	9"
OVER 36"	1.5'	12"

**PIPE BEDDING DETAIL**  
N.T.S.

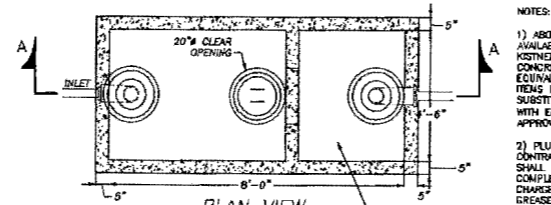
- NOTES:
- TRENCH BACKFILL SHALL BE AS REQUIRED BY THE HIGHWAY OWNER.
  - SELECT FILL SHALL BE SAND, GRAVEL AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES OR LUMPS OVER ONE INCH IN GREATEST DIMENSION, BUT NONE OVER TWO INCHES IN GREATEST DIMENSION.
  - STONE BEDDING SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE N.Y.S.D.O.T., STANDARD SPECIFICATION, JAN. 2, 1985 EDITION, PAGES 7-14, SUBSECTION 703-0201 "CRUSHED STONE", PRIMARY SIZE 1 ON A MIXTURE OF PRIMARY SIZE 1 AND 2.
  - COARSE AGGREGATE SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE N.Y.S.D.O.T., STANDARD SPECIFICATION, JAN. 2, 1985 EDITION, PAGES 7-14, SUBSECTION 703-0201 "CRUSHED STONE", PRIMARY SIZE 3 AND/OR 4.



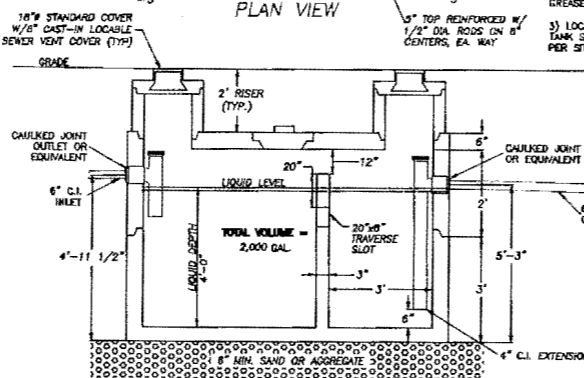
PLAN



**SECTION STANDARD DROP INLET**  
N.T.S.



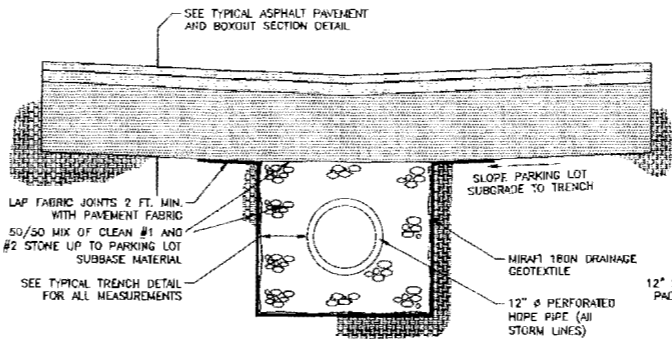
PLAN VIEW



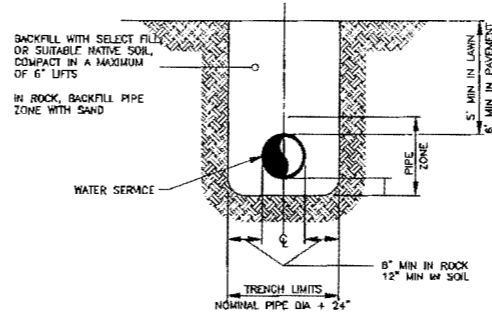
SECTION A-A

**GREASE TRAP DETAILS**  
H-20 LOAD FOR TRAFFIC:  
N.T.S.

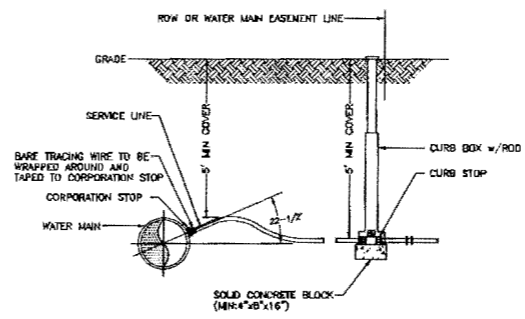
- NOTES:
- ABOVE TANK AVAILABLE FROM KISTNER CONCRETE EQUIVALENT ITEMS MAY BE SUBSTITUTED WITH ENGINEER'S APPROVAL.
  - PLUMBING CONTRACTOR SHALL PROVIDE COMPLETE WATER CHARGE OF GREASE TRAP.
  - LOCATION OF TANK SHALL BE PER SITE PLAN.



**TYPICAL STORMWATER TRENCH DETAIL**  
N.T.S.

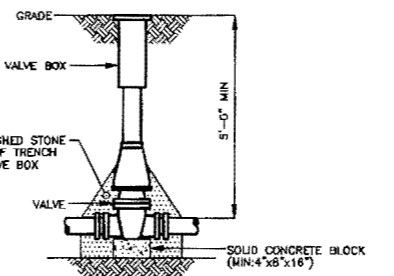


**WATER TRENCH DETAIL**  
N.T.S.



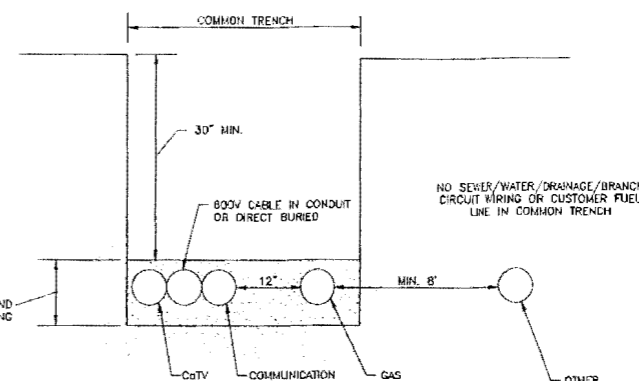
**SERVICE INSTALLATION**  
N.T.S.

- NOTES:
- COPPER SERVICE TO BE USED UNLESS OTHERWISE APPROVED BY MOWA.
  - TRACING WIRE TO BE USED WITH POLYETHYLENE SERVICE ONLY.



**VALVE DETAIL**  
N.T.S.

- NOTE:
- VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED BACKFILL.
  - VALVE SHALL NOT SUPPORT VALVE BOX.
  - ALL VALVE BONNETS SHALL BE EPOXY COATED AND HAVE STAINLESS STEEL BONNET BOLTS.
  - VALVE SHALL OPEN TO THE RIGHT.



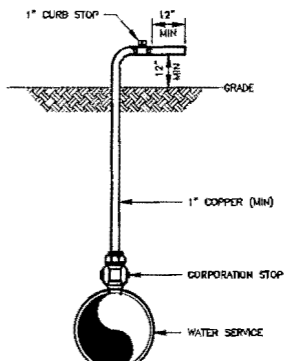
**COMMON UTILITY TRENCH**  
N.T.S.

- WATER SERVICE LINES (MATERIALS) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE MONROE COUNTY WATER AUTHORITY.
- WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE.
- WATER SERVICE LINES SHALL BE SEPARATED AT LEAST TEN FEET, MEASURED FROM THE OUTSIDE OF THE PIPES, FROM SEWER MAINS OR SEPTIC SYSTEMS.
- WATER SERVICE LINES SHALL BE IDENTIFIED AS:

LATERAL IDENTIFICATION	SIZE(1)	MATERIAL(2)	TYPE(3)
MOWA PORTION = FROM THE WATER MAIN TO THE CURB BOX	1"	COPPER TUBING	DS
PRIVATE PORTION = FROM THE CURB BOX TO THE METER	1"	COPPER TUBING	DS

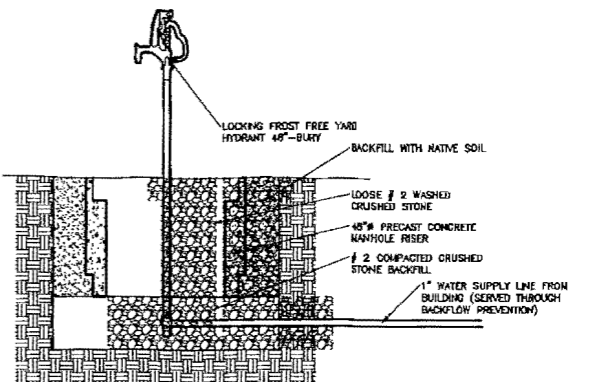
- (1) MINIMUM SIZE IS 1-INCH.  
(2) ACCEPTABLE MATERIALS TO OTHER TYPE W/ COPPER OR POLYETHYLENE PLASTIC.  
(3) SERVICE TYPES INCLUDING DOMESTIC = DS, FIRE = FC OR COMBINED = CB.
- THE MOWA PORTION OF THE WATER SERVICE LINE SHALL BE INSTALLED AFTER THE PRIVATE PORTION.
  - METER IN TILE AT STREET FOR ALL RESIDENCES PROPOSED.

**PUBLIC WATER SERVICE LINE NOTES**



**DISINFECTION/BLOW-OFF/SAMPLING TAP**  
N.T.S.

- NOTE:
- IMMEDIATELY PRIOR TO THE AUTHORITY PLACING WATER MAIN IN SERVICE CONTRACTOR SHALL REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES (I.E. SAMPLING TAPS, ETC.) AND REPLACE WITH THREADED BRASS PLUGS.



**FROST FREE YARD HYDRANT**  
N.T.S.

**DETAIL SHEET**

**FIVE STAR - WEST MAIN SUBDIVISION**  
BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376, AND PART OF LOTS 377, 378, AND 379 OF REDFERN TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESSEE STATE OF NEW YORK

LOCATION: 401-409 WEST MAIN STREET, BATAVIA, NY  
CLIENT: INDCO GROUP, 1080 PITTSFORD VICTOR ROAD, PITTSFORD, NY 14534

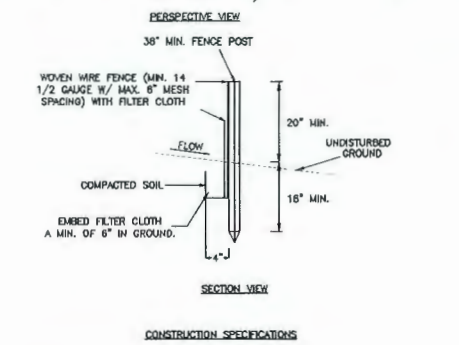
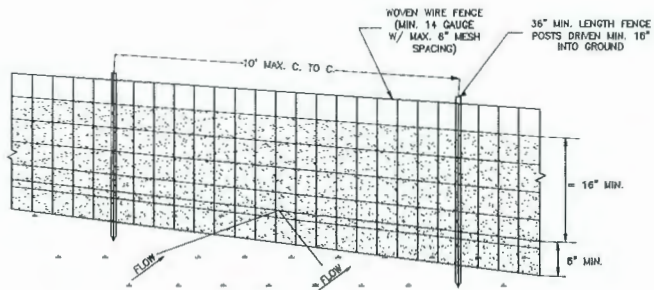
**Hetzler & Scardal Engineering**  
Professional Engineering, PLLC  
125 University Avenue  
Batavia, NY 14020  
Phone: 585.281.9807  
Web Site: Ritzeraldengineering.net

NEW YORK STATE  
LICENSED PROFESSIONAL

NO.	REVISIONS	DATE	BY
1	REVISED AS PER CITY COMMENTS	05.22.14	SCP
2	REVISED AS PER CITY COMMENTS	08.28.14	SCP

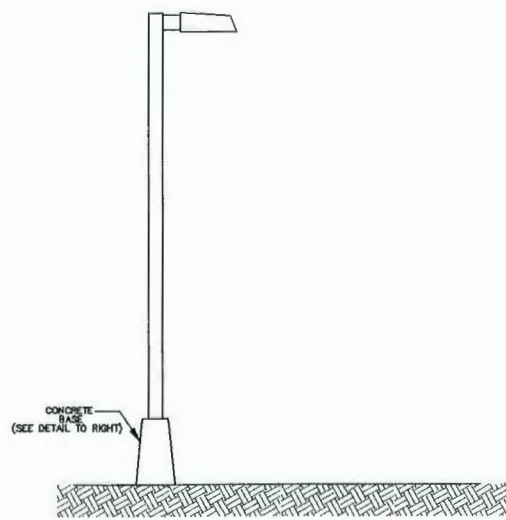
**DRAWING ALTERATION NOTICE**  
THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EXERCISE LAW WHICH APPLIES TO THIS DRAWING:  
"IT IS THE DUTY OF THE LICENSED PROFESSIONAL ENGINEER OR ARCHITECT TO MAINTAIN THE ACCURACY OF HIS DRAWING AT ALL TIMES BY ANY MEANS, AND TO CORRECT THE SAME IN THE EVENT OF AN ERROR OR OMISSION. THE LICENSED PROFESSIONAL ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF HIS DRAWING AND FOR THE PROTECTION OF THE PUBLIC INTEREST."

SCALE: NOT TO SCALE  
DATE: 03.27.2014  
SHEET: C-10  
PROJECT NO.: 14-0730  
FILE NAME: 14-0730\_DRAINAGE\_NOTING  
DRAWN BY: RUF  
CHECKED BY: SCP

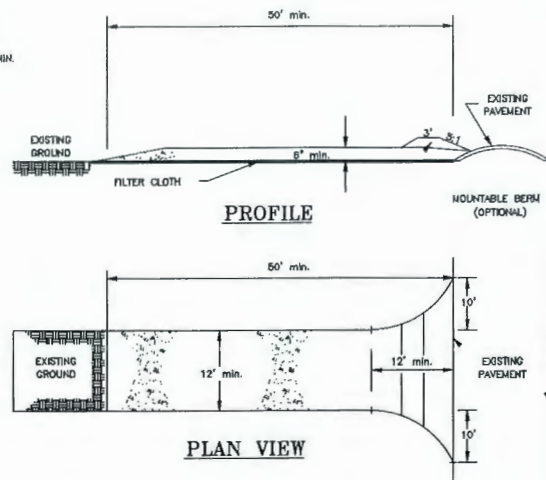


- CONSTRUCTION SPECIFICATIONS**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER "T" OR "U" TYPE OR HARDWOOD.
  2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION, FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 1001, STABILINKA T140N, OR APPROVED EQUIVALENT.
  4. PREFABRICATED UNITS SHALL BE GEDFAB, EMARFENCE, OR APPROVED EQUIVALENT.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULDS" DEVELOP IN THE SILT FENCE.

**SILT FENCE DETAIL**  
N.T.S.



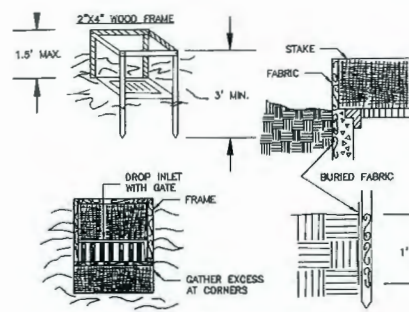
**SITE LUMINAIRE DETAIL**  
N.T.S.



**TEMPORARY CONSTRUCTION ENTRANCE**  
N.T.S.

**CONSTRUCTION SPECIFICATIONS**

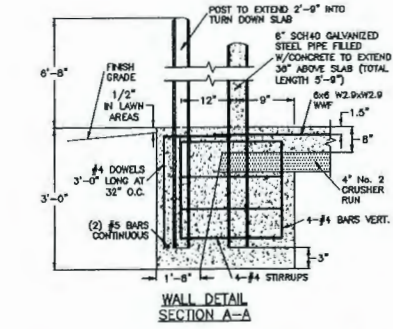
1. STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FT. IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR OVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



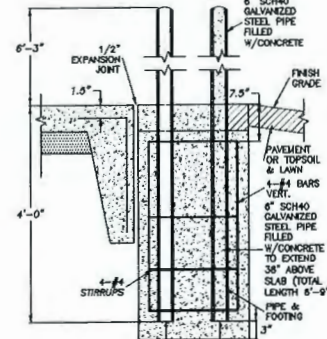
**CONSTRUCTION SPECIFICATIONS**

1. FILTER FABRIC SHALL HAVE AN EOG OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BUCKLETTED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
7. BALES MAY BE USED AS A SUBSTITUTE.

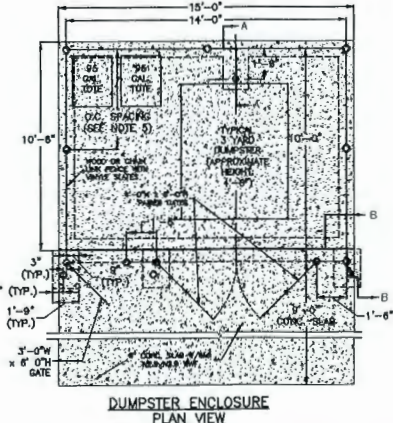
**FILTER FABRIC DROP INLET PROTECTION**  
N.T.S.



**WALL DETAIL SECTION A-A**



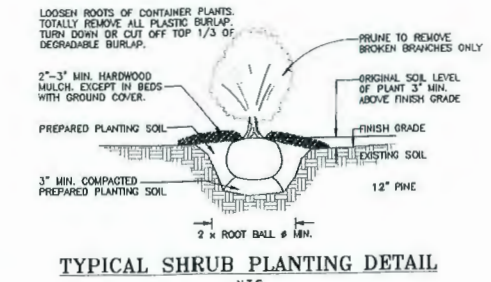
**GATE POST DETAIL SECTION B-B**



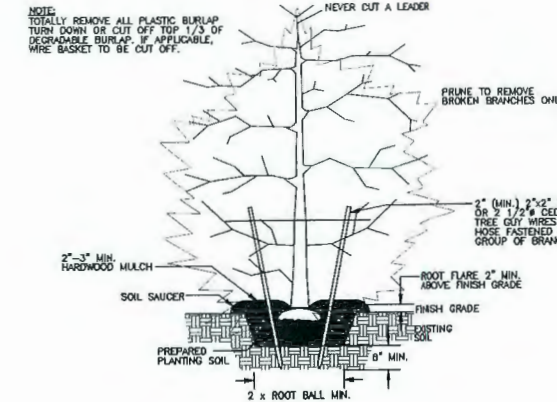
**DUMPSTER ENCLOSURE PLAN VIEW**

**DUMPSTER ENCLOSURE DETAILS**  
N.T.S.

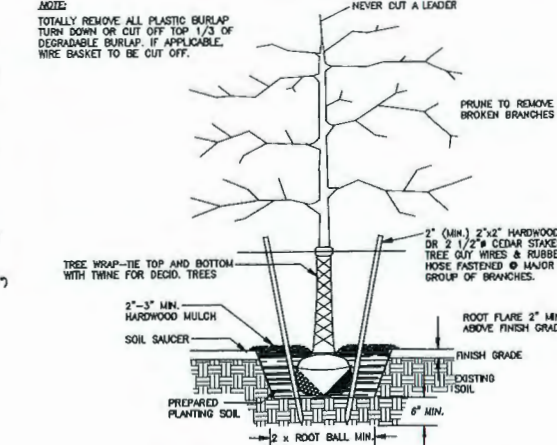
- NOTES:**
1. DETAIL IS FOR A TYPICAL 3-YARD OR SMALLER DUMPSTER AND 2 95-GALLON TOTES FOR RECYCLABLES.
  2. ALTERNATE ENCLOSURE SIZES MAY BE REQUIRED DUE TO LOCAL COLLECTION COMPANY PARAMETERS, SUCH AS TYPE OF REFUSE TRUCK, ACTUAL DUMPSTER SIZE, LOCATION OF DUMPSTER ACCESS PORTS, AND RECYCLING REQUIREMENTS.
  3. CONTRACTOR SHALL REQUEST NAME OF LOCAL COLLECTION COMPANY TO BE ISSUED FROM OWNER AND VERIFY FINAL ENCLOSURE DIMENSIONS WITH THE COMPANY'S SANITATION OFFICIAL. TO ENSURE ENCLOSURE WILL BE ADEQUATELY SIZED FOR WASTE DEPOSIT AND REMOVAL.
  4. FINISH AND SLATS COLORING AND COLOR TO BE SPECIFIED BY OWNER.
  5. O.C. SPACING OF POSTS SHALL BE PER FENCE MANUFACTURER'S RECOMMENDATION.
  6. HEIGHT OF DUMPSTER ENCLOSURE TO BE 6'



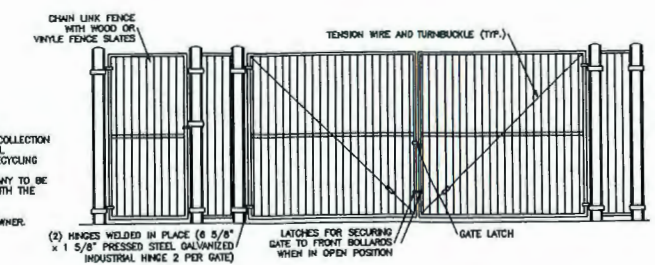
**TYPICAL SHRUB PLANTING DETAIL**  
N.T.S.



**TYPICAL EVERGREEN TREE PLANTING DETAIL**  
N.T.S.



**TYPICAL TREE PLANTING DETAIL**  
N.T.S.



**ENCLOSURE DETAIL**  
**3-YRD & SMALLER DUMPSTERS**  
N.T.S.

**DETAIL SHEET**

**FIVE STAR - WEST MAIN SUBDIVISION**  
BEING A RESUBDIVISION OF LOTS 373, 374, 375, 376, AND PART OF LOTS 377, 378, AND 379 OF REDFERN TERRACE, BEING A PART OF ORIGINAL VILLAGE LOT 102 IN THE CITY OF BATAVIA, COUNTY OF GENESSEE STATE OF NEW YORK

**Fitzgerald Engineers**  
Fitzgerald Engineering, PLLC  
1255 University Avenue  
Suite 240  
Rochester, NY 14607  
Phone: 583.9391  
Web Site: fitzgeraldengineers.net



NO	REVISIONS	DATE	BY
9			
8			
7			
6			
5			
4			
3	REVISED AS PER CITY COMMENTS	08.28.14	SCP
2	REVISED AS PER CITY COMMENTS	05.22.14	SCP
1			

**DRAWING ALTERATION NOTICE**  
THIS DRAWING IS AN EXCERPT FROM THE NEW YORK STATE EXAMINATION LAW. IT RELIES ON THE EXISTING DRAWING AND APPLIES TO THE PROJECT AS SHOWN. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY THE ORIGINAL DESIGNER OR ANOTHER AUTHORIZED PERSON. ANY CHANGES MADE BY ANY OTHER PERSON SHALL BE AT THEIR OWN RISK AND WITHOUT THE LIABILITY OF THE ORIGINAL DESIGNER.

SCALE	NOT TO SCALE
DATE	03.27.2014
SHEET	C-11
PROJECT NO.	14-0130
FILE NAME	14-0130 DRAWINGS R01.dwg
DRAWN BY	SCP
CHECKED BY	RUF

**Normina Size**

W	H	D	Area Sq. Ft.	Lamps
5.5 x 3	65"	37"	5"	16.70 HO/CW Fluor.
6 x 3.5	72"	43"	5"	21.5 HO/CW Fluor.
8 x 4.5	94"	54"	5"	35.25 HO/CW Fluor.

**COLOURS:**  
 Interior: White  
 Exterior: Benjamin Moore 2116-10 Nighthide Semi-gloss  
 Face Graphics Color Specifications:  
 PMS 165C Orange (border)  
 3M Vinyl 3630-59 Brown (copy)

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		

**DD Stacked Logo Pylon w/ Contour Top**  
 Date: 8/27/04  
 Scale: NTS  
 Drawn: CHART  
 File: SS-3

PYLON SIGN DETAIL

**Normina Size**

W	H	D	Area Sq. Ft.	Lamps
5.5 x 3	65"	37"	5"	16.70 HO/CW Fluor.
6 x 3.5	72"	43"	5"	21.5 HO/CW Fluor.
8 x 4.5	94"	54"	5"	35.25 HO/CW Fluor.

**COLOURS:**  
 Interior: White  
 Exterior: Benjamin Moore 2116-10 Nighthide Semi-gloss  
 Face Graphics Color Specifications:  
 PMS 165C Orange (border)  
 3M Vinyl 3630-59 Brown (copy)

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		

**DD S/F Cloud Wall Sign**  
 Date: 8/29/08  
 Scale: NTS  
 Drawn: CHART  
 File: BS-3

BUILDING MOUNTED SIGN DETAIL

**GENERAL SPECIFICATIONS:**  
 Materials: .063 alum. back; .040 alum. return  
 Face: .177 clear poly formed cap-over design  
 Face Decoration: DRIVE THRU copy to be vinyl  
 2nd surface: Orange border is cut and sprayed  
 2nd surface  
 Area Squared: 5.90 Sq. Ft.  
 Area Actual: 4.63 SQ. FT.  
 Weight (Est.):  
 - Crated: (TBE)  
 - Uncrated: (TBE)  
 Wind Load: 35 psf/90 mph

**ELECTRICAL:**  
 Illumination:  
 - (3) White LEDs  
 Ballast/Power Supply:  
 - (1) 60 WATT power supply  
 Line Load:  
 - .58 amps (total) @ 120V  
 - (4) 20 Amp circuit

**COLOURS:**  
 Interior: White  
 Exterior: Benjamin Moore 2116-10 Nighthide Semi-gloss  
 Face Graphics Color Specifications:  
 PMS 165C Orange (border)  
 3M Vinyl 3630-59 Brown (copy)

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		

**Everbrite**  
 4949 South 110th Street  
 PO Box 20000  
 Greenfield, WI 53220-0000  
 414.529.7131

**DUNKIN' DONUTS**  
 [eatdrinkthink]

DRIVE THRU DIRECTIONAL SIGN DETAIL

**GENERAL SPECIFICATIONS:**  
 Materials:  
 - 4" x 4" x 1/8" alum. tube support; Alum.  
 expansion cabinet; 3mm flat poly faces  
 Decoration: Vinyl 2nd surface  
 Area Squared: 2.75  
 Area Actual: 2.75  
 Weight (Est.):  
 - Crated: (TBE)  
 - Uncrated: (TBE)  
 Wind Load: 35 psf/90 mph

**ELECTRICAL:**  
 Illumination:  
 - (1) F30 T12 CWVFC  
 Line Load:  
 - .5 Amps @ 120 VAC  
 - (1) 20 Amp circuit  
 Disconnect Switch: Bottom of sign cabinet

**COLOURS:**  
 All exposed surfaces of support columns  
 PMS 165C Orange  
 Sign Cabinet:  
 BM 2116-10 Nighthide

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		

**Everbrite**  
 4949 S 110th Street, Greenfield, WI 53220  
 Phone: 414-529-3300 • Fax: 414-529-7131  
 Website: www.everbrite.com

**DUNKIN' DONUTS**  
 [eatdrinkthink]

ENTER AND EXIT DIRECTIONAL SIGN DETAIL WITH DUNKIN DONUTS AND FIVE STAR BANK LOGOS



BUILDING MOUNTED SIGN "A"



BUILDING MOUNTED SIGN "B"

**DETAIL SHEET**

**PROJECT:**  
 FIVE STAR - WEST MAIN SUBDIVISION  
 BEING A RESUBDIVISION OF LOTS 9, 7B, 97A, 97B, 97C,  
 AND PLOT OF LOTS 977, 97B AND 979 OF RECORD  
 TERRACE BEING PART OF ORIGINAL VILLAGE LOT 102  
 IN THE CITY OF BATAVIA, CANTON OF GENESSEE  
 STATE OF NEW YORK

**LOCATION:**  
 WEST MAIN STREET BATAVIA, NY  
 CLIENT:  
 INDUS GROUP, 1080 PITTSFORD VICTOR ROAD PITTSFORD, NY 14834

**PIZZERARD ENGINEERING**  
 Pizzerald Engineering, PLLC  
 1255 University Avenue  
 Suite 240  
 Rochester, NY 14607  
 Phone: 585.281.9997  
 Web Site: PizzeraldEngineering.com

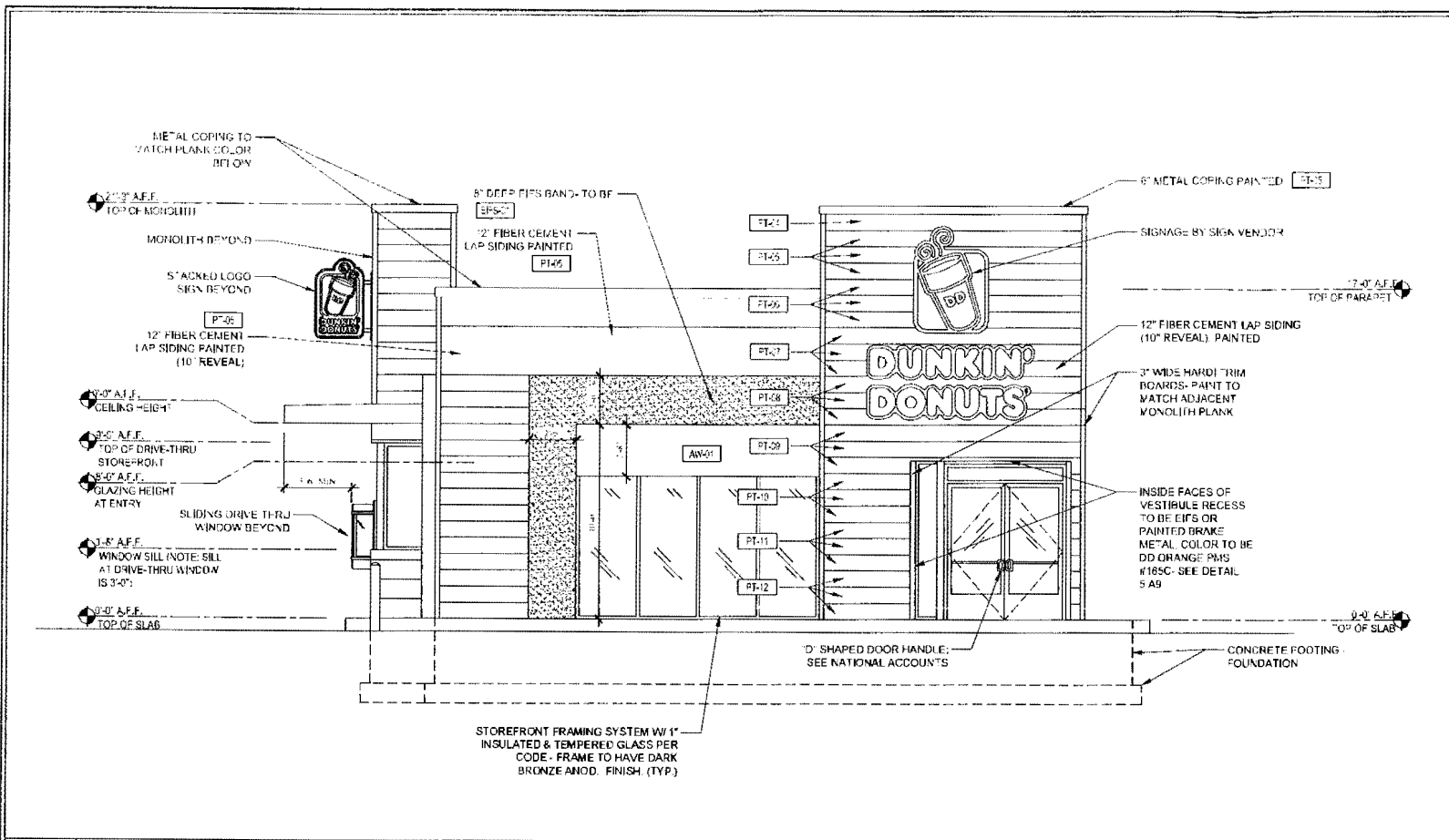
**STATE OF NEW YORK**  
 OFFICE OF PROFESSIONAL ENGINEERS AND SURVEYORS  
 LICENSED PROFESSIONAL ENGINEER  
 No. 080007401

**REVISIONS**

NO.	DATE	BY	REVISIONS
1	08.28.14	SCP	REVISED AS PER CITY COMMENTS
2	08.28.14	SCP	REVISED AS PER CITY COMMENTS
3			
4			
5			
6			
7			
8			
9			

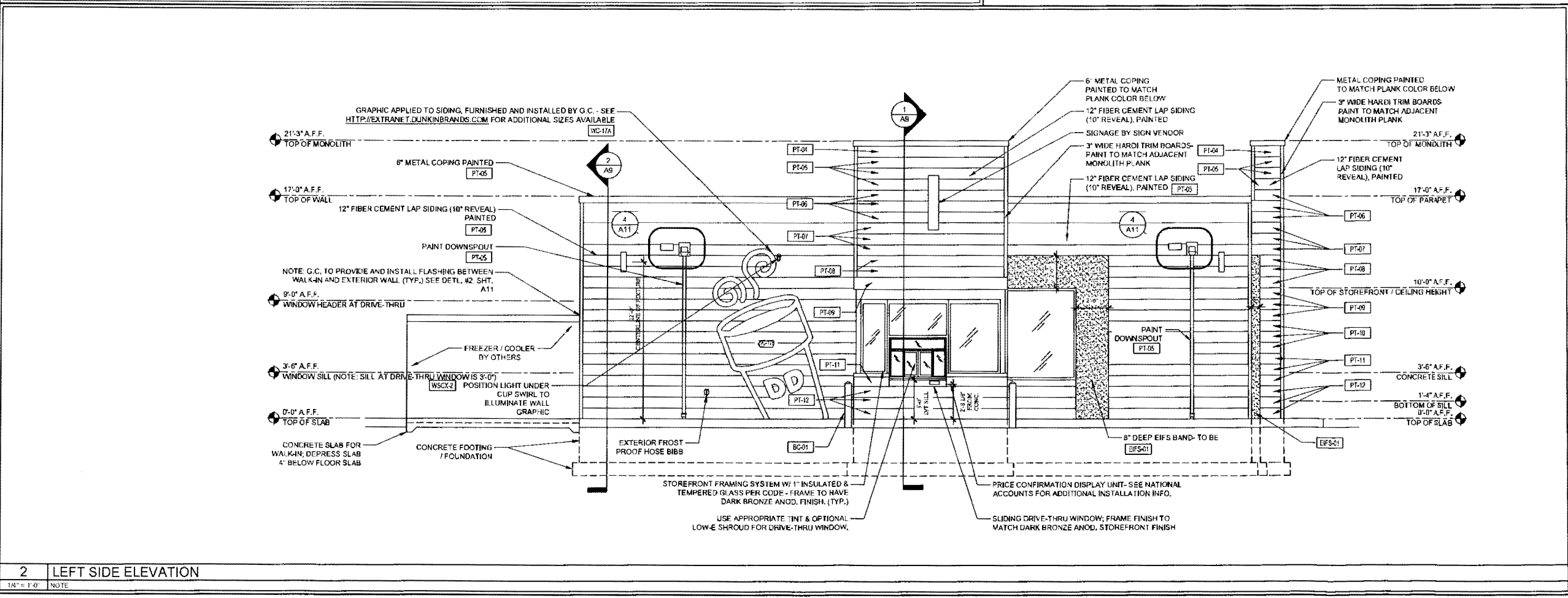
**DRAWING ALTERATION NOTICE**  
 THE DRAWING IS AN EXCERPT FROM THE SET OF THE SITE PLAN FOR THE PROJECT. IT IS A PORTION OF THE SET OF THE SITE PLAN. IT IS NOT TO BE USED SEPARATELY FROM THE SET OF THE SITE PLAN. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE ARCHITECT AND THE ENGINEER. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE ARCHITECT AND THE ENGINEER.

**NOT TO SCALE**  
 DATE: 03.27.2014  
 SHEET: C-12  
 PROJECT NO.: 14-0130  
 FILE NAME: 14-0130 DRAWINGS 001.dwg  
 DRAWN BY: R/JF  
 CHECKED BY: SCP



1 FRONT ELEVATION  
 1/4" = 1'-0" NOTE

EXTERIOR FINISH MATERIAL SCHEDULE					
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION	REMARKS
AW-01	AWNING	ARLON	DD FRESH BREW AWNING	BROWN AWNING WITH FRESH BREW MESSAGING	3" WIDE AWNING FOR FRESH BREW MESSAGING & ORANGE BAND
AW-02	AWNING	ARLON	DD FRESH BREW AWNING	BROWN AWNING - PLAIN MATERIAL	STANDARD PLAIN MATERIAL FOR FIELD ERADICATION OF CLIP ICON AND COFFEE & MORE MESSAGE
AW-02	AWNING	ARLON	DD FRESH BREW AWNING	ORANGE AWNING WITH FRESH BREW MESSAGING	ALTERNATE AWNING FOR DESIGN WHERE ORANGE BAND IS NOT ALLOWED FOR PRACTICAL OR OVERALL DESIGN
AW-02	AWNING	ARLON	DD FRESH BREW AWNING	ORANGE AWNING - PLAIN MATERIAL	STANDARD PLAIN MATERIAL FOR FIELD ERADICATION OF CLIP ICON AND COFFEE & MORE MESSAGE
BC-1	BOLLARD COVERS	IDEAL SHIELD	BC1 CC 4 52 5	4" W X 52" H ORANGE BOLLARD SLEEVE	ORANGE BAND MATERIAL
EIFS-01	EIFS	DRYVIT SYSTEMS, INC	DUDD 10 1020	WATCH DD ORANGE PT-02	
PT-02	PAINT	SHERWIN WILLIAMS	6884	"OBSTINATE ORANGE"	SATIN
PT-03	PAINT	SHERWIN WILLIAMS	6140	"MODERATE WHITE"	SATIN
PT-04	PAINT	SHERWIN WILLIAMS	6029	"SAND DOLLAR"	SATIN
PT-05	PAINT	SHERWIN WILLIAMS	7536	"BITTERSWEET STEM"	SATIN
PT-06	PAINT	SHERWIN WILLIAMS	7774	"CANOE"	SATIN
PT-07	PAINT	SHERWIN WILLIAMS	6117	"SMOKEY TOPAZ"	SATIN
PT-08	PAINT	SHERWIN WILLIAMS	6056	"MUTE BROWN"	SATIN
PT-09	PAINT	SHERWIN WILLIAMS	6097	"STURDY BROWN"	SATIN
PT-10	PAINT	SHERWIN WILLIAMS	6063	"JAVA"	SATIN
PT-11	PAINT	SHERWIN WILLIAMS	6069	"FRENCH ROAST"	SATIN
PT-12	PAINT	SHERWIN WILLIAMS	6009	"BLACK BEAN"	SATIN



2 LEFT SIDE ELEVATION  
 1/4" = 1'-0" NOTE

DATE	SCALE	AS NOTED	DRAWN	SEC	PKM	DKM
8/15/2014						

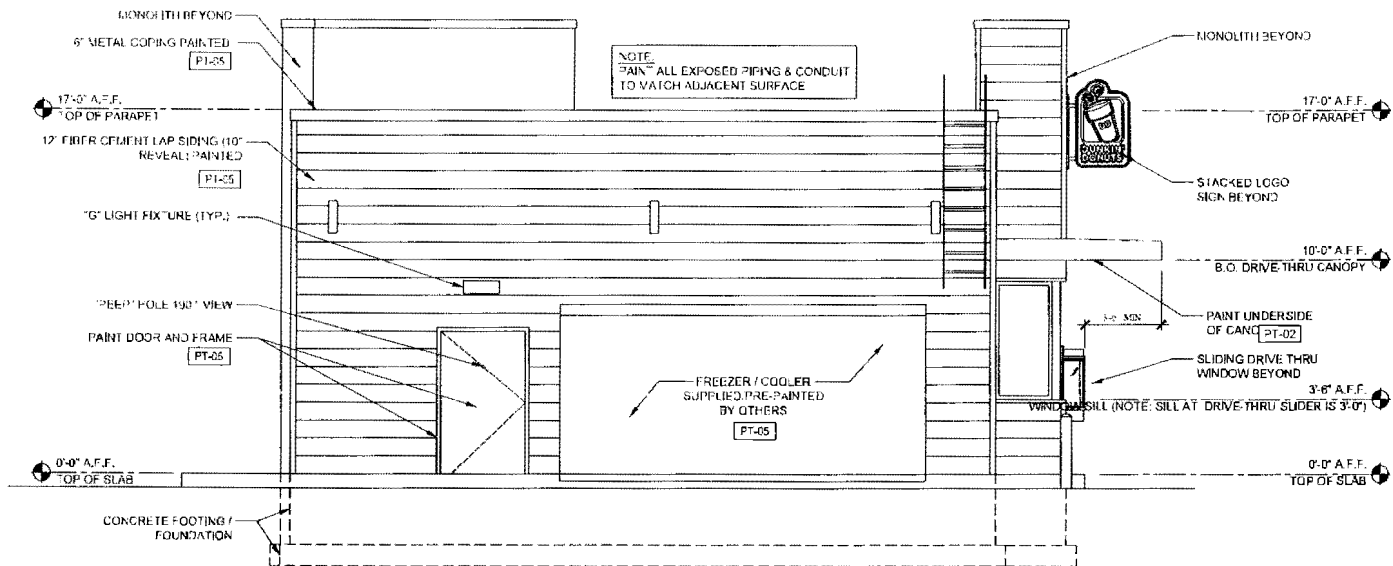
  

NO	DESCRIPTION	DATE

NEW BATAVIA STORE  
 401 WEST MAIN ST.  
 BATAVIA, NY

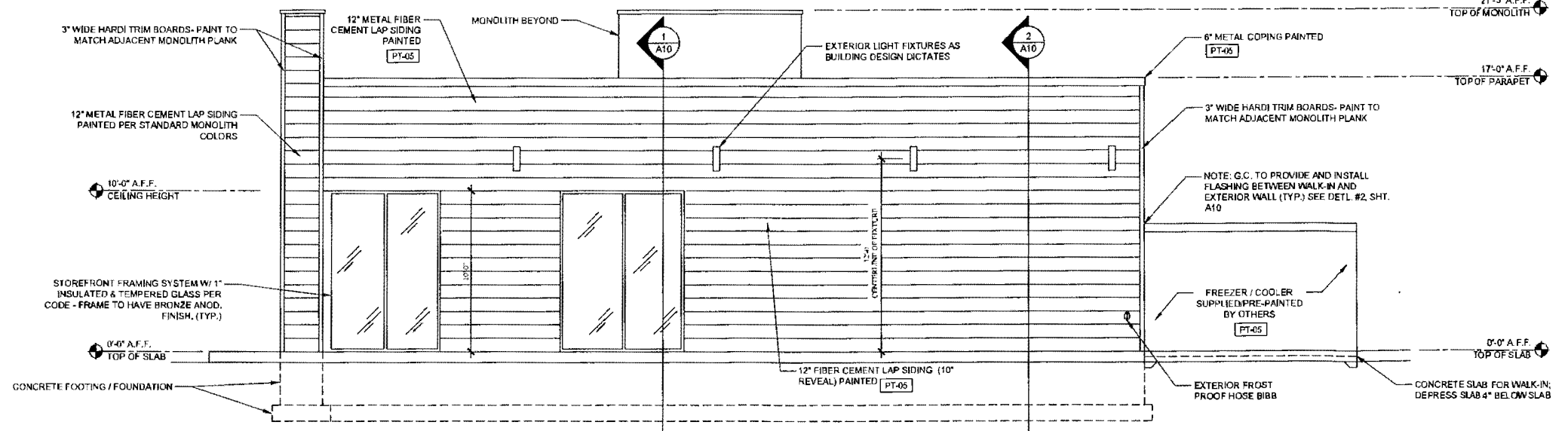
PROPOSED ELEVATIONS

PC NUMBER XXXXXX



1 REAR ELEVATION  
1/4" = 1'-0" NOTE

EXTERIOR FINISH MATERIAL SCHEDULE					
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION	REMARKS
AW-01	AWNING	ARLOW	DD FRESH BREW AWNING	BROWN AWNING WITH FRESH BREW MESSAGING	STANDARD AWNING FOR FRESH BREW DESIGN W/ ORANGE BAND
AW-01ALT	AWNING	ARLOW	DD FRESH BREW AWNING	BROWN AWNING - FLAIN MATERIAL	STANDARD FLAIN MATERIAL FOR FIELD ERADICATION OF CUP ICON AND COFFEE & MORE MESSAGE
AW-02	AWNING	ARLOW	DD FRESH BREW AWNING	ORANGE AWNING WITH FRESH BREW MESSAGING	ALTERNATE AWNING FOR TO DESIGNS WHERE ORANGE BAND IS NOT ALLOWED OR PRACTICAL TO OVERALL DESIGN
AW-02ALT	AWNING	ARLOW	DD FRESH BREW AWNING	ORANGE AWNING - FLAIN MATERIAL	STANDARD FLAIN MATERIAL FOR FIELD ERADICATION OF CUP ICON AND COFFEE & MORE MESSAGE
BC-1	BOLLARD COVERS	IDEAL SHIELD	BC1 CC 4 52 5	4"W X 52"H ORANGE BOLLARD SLEEVE	ORANGE BAND MATERIAL
EFS-01	EFS	DRYVIT SYSTEMS, INC	DUDO-10-1020	VATCH I/O ORANGE PT-02	
PT-02	PAINT	SHERWIN WILLIAMS	6884	"OBSTINATE ORANGE"	SATIN
PT-03	PAINT	SHERWIN WILLIAMS	6140	"MODERATE WHITE"	SATIN
PT-04	PAINT	SHERWIN WILLIAMS	6029	"SAND DOLLAR"	SATIN
PT-05	PAINT	SHERWIN WILLIAMS	7536	"BITTERSWEET STEW"	SATIN
PT-06	PAINT	SHERWIN WILLIAMS	7724	"CANOE"	SATIN
PT-07	PAINT	SHERWIN WILLIAMS	6117	"SMOKEY TOPAZ"	SATIN
PT-08	PAINT	SHERWIN WILLIAMS	6056	"JUTE BROWN"	SATIN
PT-09	PAINT	SHERWIN WILLIAMS	6097	"STURDY BROWN"	SATIN
PT-10	PAINT	SHERWIN WILLIAMS	6090	"JAVA"	SATIN
PT-11	PAINT	SHERWIN WILLIAMS	6069	"FRESH ROAST"	SATIN
PT-12	PAINT	SHERWIN WILLIAMS	6009	"BLACK BEAN"	SATIN



2 RIGHT SIDE ELEVATION  
1/4" = 1'-0" NOTE

**dunkin'**  
brands™

**dm**  
DARYL MARTIN  
ARCHITECTURE & INTERIOR DESIGN, LLC  
PH: (716) 667-1416  
FAX: (716) 667-0163  
dmarthruce@gmail.com

DATE	SCALE	AS NOTED	DRAWN	SCD	DKM	DKM
8/15/2014						

NO.	DESCRIPTION	DATE	BY	APPROVED

NEW BATAVIA STORE  
401 WEST MAIN ST. BATAVIA, NY  
PROPOSED ELEVATIONS  
PC NUMBER XXXXXX

A-8



C-16-BAT-9-14

