

**SEND OR DELIVER TO:**

GENESEE COUNTY DEPARTMENT OF PLANNING  
3837 West Main Street Road  
Batavia, N.Y. 14020-9404

**DEPARTMENT USE ONLY:**

G.C.D.P. Referral # V-04-BER-9-18  
Date Received 8/31/2018



**\* GENESEE COUNTY \*  
PLANNING BOARD REFERRAL**

RECEIVED  
Genesee County  
Dept. of Planning  
8/31/2018

Required According to:  
**GENERAL MUNICIPAL LAW ARTICLE 12B, SECTIONS 239 L,M,N**  
(Please answer ALL questions as fully as possible)

**1. REFERRING BOARD AND ADDRESS**

Village of Bergen Planning Board  
11 N Lake Ave - PO Box 100  
Bergen, NY 14416

**2. APPLICANT'S NAME, ADDRESS & PHONE #**

Kay Cargill  
75A Rochester St.  
Bergen, NY 14416  
 : of Bergen

MUNICIPALITY : CITY  TOWN  VILLAGE

**3. TYPE OF REFERRAL:** (Check all applicable items)

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Area Variance                 | <input type="checkbox"/> Map Change           | <input type="checkbox"/> Subdivision Proposal |
| <input type="checkbox"/> Use Variance                  | <input type="checkbox"/> Text Amendments      | <input type="checkbox"/> Preliminary          |
| <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> New Zoning Ordinance | <input type="checkbox"/> Final                |
| <input type="checkbox"/> Site Plan Review              | <input type="checkbox"/> Other: _____         |   |

**4. LOCATION OF THE REAL PROPERTY PERTAINING TO THIS REFERRAL:**

- A. Road name 75 A Rochester Street
- B. Nearest intersection Rochester St and Buffalo Road (Rt 33)
- C. Tax Map Parcel # (T.M.P.) 2, - 2-23
- D. Dimensions of the property 100 X 231 Area of the property .053 acres
- E. Present zoning district R-1 Residential

**5. REFERRAL CASE INFORMATION:**

- A. Has this referral been previously reviewed by the Genesee County Planning Board?  
NO  YES  If Yes, give date and action taken \_\_\_\_\_

B. Special Use Permit and/or Variances refer to the following section(s) of the present zoning ordinance and/or law  
section 307 / section 414 / section 401

C. Please describe the nature of this request to construct an in-law  
apartment over garage portion of home

**6. ENCLOSURES** - Please enclose copy(s) of all appropriate items in regard to this referral

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Copy of local application | <input type="checkbox"/> Copy of text amendments     | <input checked="" type="checkbox"/> Other: <u>SEQR</u> |
| <input type="checkbox"/> Sketch of proposal                   | <input type="checkbox"/> Copy of new Ordinance/Law   | <u>part 1</u>  |
| <input type="checkbox"/> Subdivision plot plans               | <input type="checkbox"/> Site Plan                   |  |
| <input type="checkbox"/> Maps                                 | <input type="checkbox"/> Agricultural Data Statement |  |

Name, Address and Phone # of the person representing the community in filling out this form

Rene Vurraro, 11 N Lake Ave Bergen, NY 14416 585-494-1513

# Village of Bergen

Application to the  
Planning Board

## Special Use Permit

RECEIVED

Special Use Number: 01-2018

Date: 8/26/18

BY: BZ

1. Request to the Planning Board to overturn the Zoning Enforcement Officer's decision to Deny  Grant  an application for a Zoning Permit application Number \_\_\_\_\_ Dated \_\_\_\_\_

2. APPLICATION FOR: Special Use Permit

Other  Please Specify \_\_\_\_\_

3. Address of Project Site: 75A Rochester Street  
Tax Map Number: 2.-2-23 KEC Zoning District: R-1 (Residential)

4. Has a previous appeal been filed pertaining to this parcel: No  Yes   
if yes list Appeal No. \_\_\_\_\_ Date \_\_\_\_\_ Purpose of Request: \_\_\_\_\_

5. Justification for request: General Response TO CONSTRUCT IN LAW APARTMENT OVER GARAGE PORTION OF HOME



A more SPECIFIC RESPONSE should accompany this application on separate sheet(s) of paper. Address each of the statements listed on the back of this sheet which pertain to you specific appeal.

The Applicant shall submit with this request, appropriate supporting materials including, but not limited to, site plans, elevation, traffic circulation diagrams, neighborhood land use maps and any other materials that will assist the Board in making a determination regarding this request.

CERTIFICATION: I hereby certify that I have read and examined this application and supporting attachments and know the same to be true and correct. All provisions of laws and ordinances covering this type of work or use will be complied with whether specified herein or not. The granting of an appeal does not presume to give authority to violate or cancel the provisions of any other state or local ordinance or law regulating or performance of construction and/or use.

Applicant as SEC construction 8/26/18  
Applicant's Signature Date

Kay E. Cargill  
Owner's Signature (if other than applicant) Date

### Office Use Only

#### Provisions of Zoning Law for Special Use:

Article \_\_\_\_\_ Section \_\_\_\_\_  
Subsection \_\_\_\_\_ Paragraph \_\_\_\_\_

State Reason: \_\_\_\_\_

#### Fee Collected

Check# \_\_\_\_\_

Special Use Fee \$ 300.<sup>00</sup>  
Public Hearing Fee \$ 100.<sup>00</sup>  
Total Fee \$ 300.<sup>00</sup>

Paid 8/27/18

Signature - Zoning Enforcement Officer

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

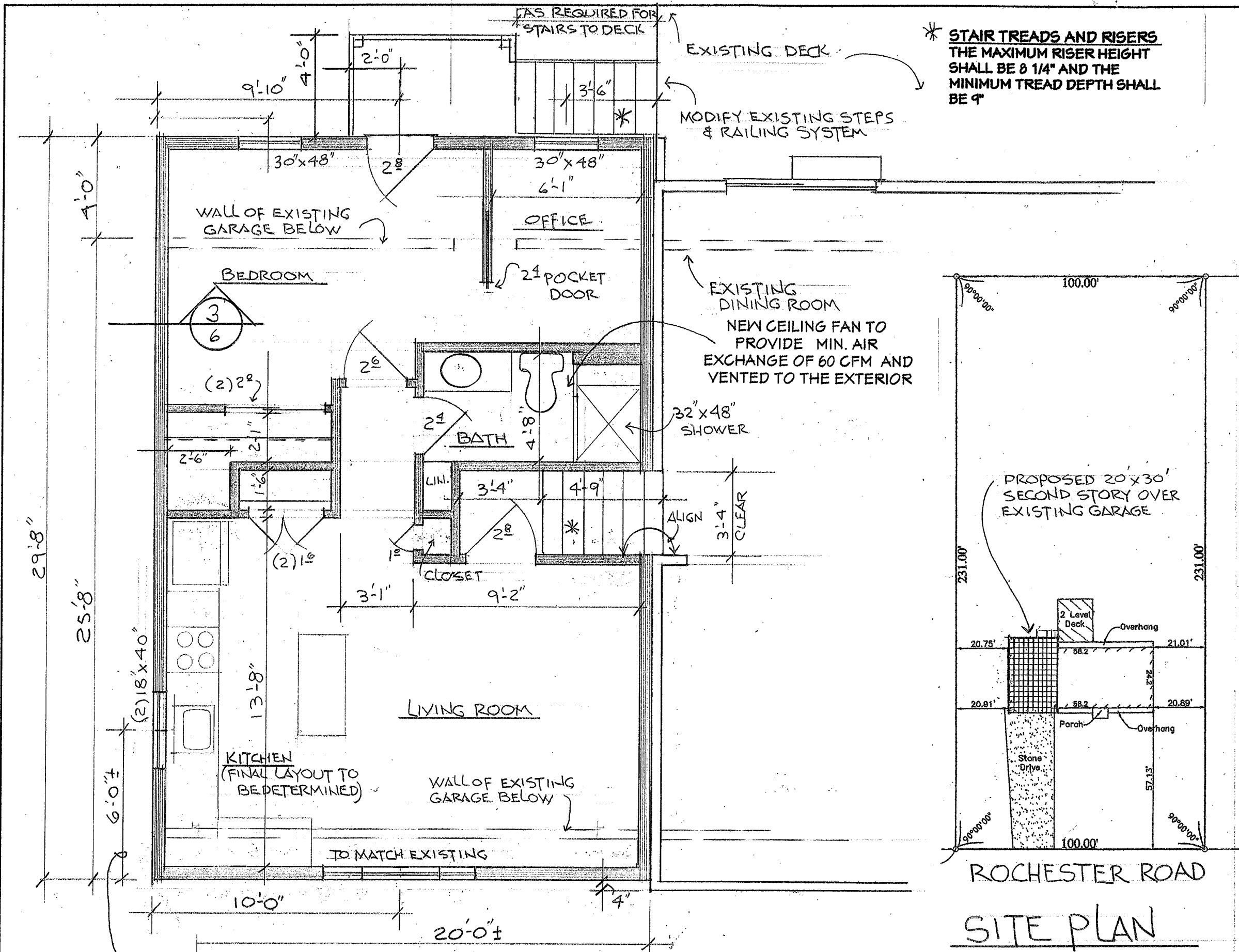
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: <i>PROVIDE 1st LAW SUITE OVER GARAGE</i>							
Project Location (describe, and attach a location map):							
Brief Description of Proposed Action: <i>REMOVE TOP OF GARAGE AND BUILD 1st LAW SUITE</i>							
Name of Applicant or Sponsor: <i>MAY CARGILL</i>		Telephone: <i>X 585-487-6168</i>					
		E-Mail: <i>X CargillMay@gmail.com</i>					
Address: <i>X 75A Rochester St.</i>							
City/PO: <i>X Bergen</i>		State: <i>X NY</i>	Zip Code: <i>X 14416</i>				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">NO</th> <th style="width: 50%;">YES</th> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		<i>.053</i> acres					
b. Total acreage to be physically disturbed?		<i>.053</i> acres <i>Only existing foundation</i>					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>.053</i> acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____							
<input checked="" type="checkbox"/> Parkland							

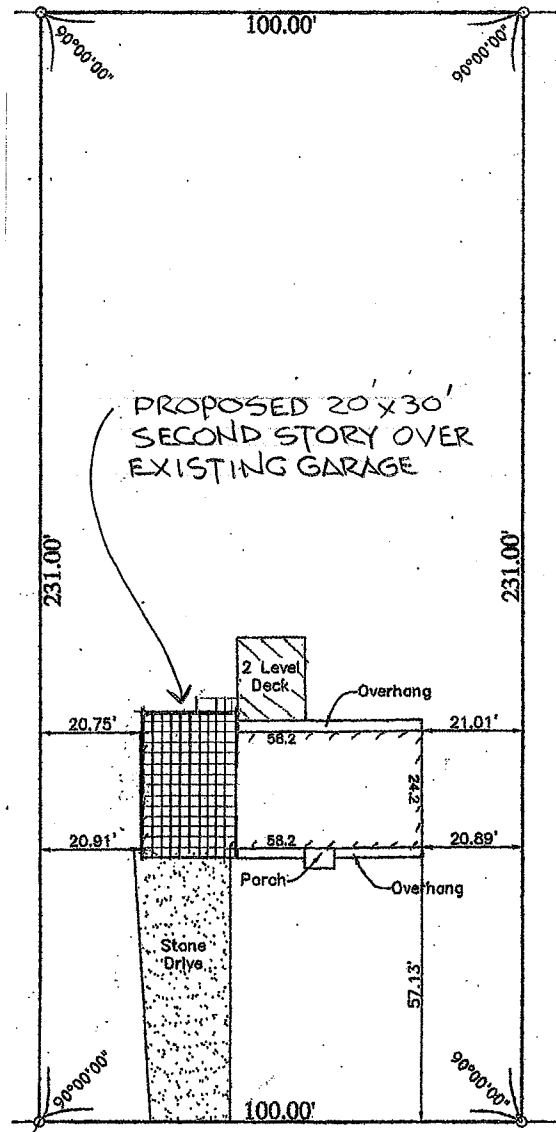
<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor name: _____ Date: <u>Y Aug 27, 2018</u></p> <p>Signature: <u>X Ray E. Cargiel</u></p>		





FINAL KITCHEN LAYOUT TO DETERMINE LOCATION OF WINDOW(S) ABOVE SINK.

**FLOOR PLAN**

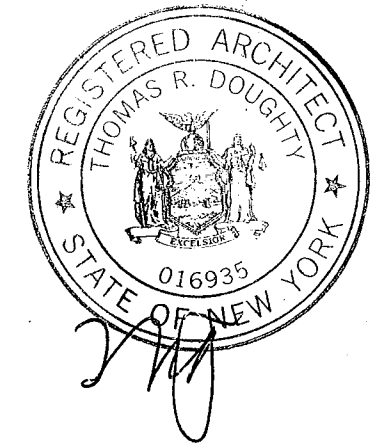


**SITE PLAN**

**THOMAS R. DOUGHTY ARCHITECT, P.C.**

4 WOODBRIAR LANE  
ROCHESTER, NY 14624

(585) 247-6480  
doughty.t@gmail.com



THESE DRAWINGS ARE THE PROPERTY OF THOMAS R. DOUGHTY, ARCHITECT AND SHALL NOT BE REVISED, COPIED NOR REPRODUCED WITHOUT AUTHORIZATION

DATE: 8-20-18

SCALE:

REVISIONS

PROJECT

Residential Addition/Renovation for:

75A Rochester Road  
Bergen, New York 14416

DRAWING TITLE

FLOOR PLAN &  
SITE PLAN

SHEET NUMBER

1 OF 6

**ATTIC NOTES**

**VENTILATION:** PROVIDE VENTILATION SYSTEM THAT ALLOWS A CONTINUOUS FLOW OF OUTSIDE AIR THROUGH THE ATTIC (BALANCE BETWEEN SOFFIT VENTS AND RIDGE VENTS)

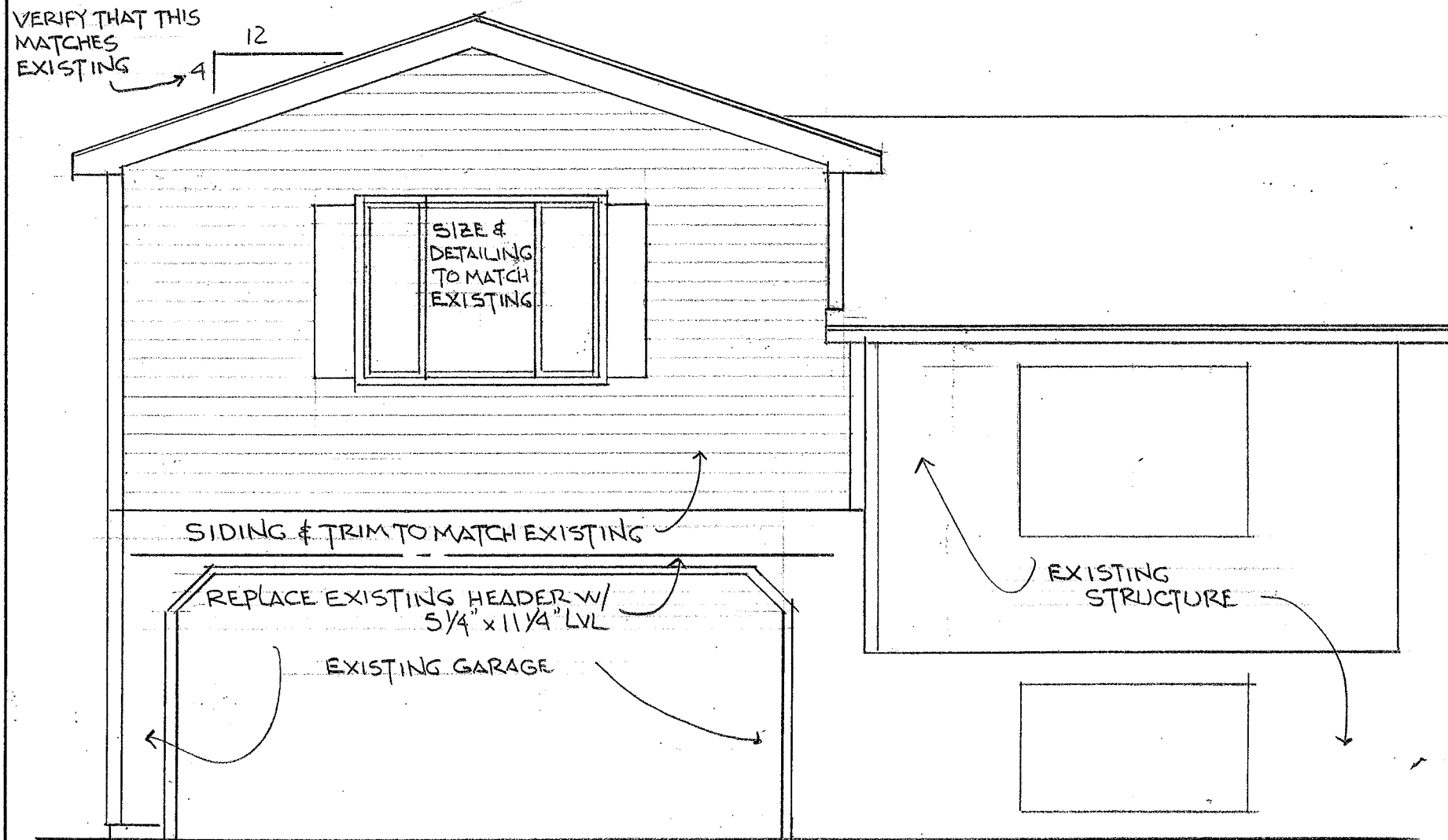
**ACCESS:** PROVIDE ATTIC ACCESS (MIN. 22"X30") FROM A READILY ACCESSIBLE LOCATION. A 30" UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING. FINAL LOCATION OF THIS ACCESS IS TO BE DETERMINED BY HOMEOWNER.

**FRAMING NOTES**

Verify all mechanical requirements before framing  
 Provide double studs (min) under beams w/ solid blocking to foundation (w/ solid CMU cores at point load) for proper support and load transfer  
 All structural lumber to be #2 hem fir or equal and pressure treated lumber to be #2 yellow pine or equal  
 Maximum header spans unless otherwise specified:  
 (2) 2 X 6 4'-0" (2) 2X10 8'-0"  
 (2) 2 X 8 6'-0" (2) 2X12 10'-0"  
 Note: Double jack studs required for openings over 4'-6" in bearing walls  
 Hurricane clips at all rafters/trusses

**MISC. NOTES**

Owner to specify interiors as required (floor covering, wall covering, moldings, interior doors, etc.)  
 All penetrations in the building envelope shall be sealed (caulked, weather-stripped, etc.)  
 Seamless aluminum gutters and downspouts to be provided for positive drainage away from foundation  
 Provide required flashing to meet or exceed acceptable common building practice where required and at roof changes, horizontal abutments, projections, valleys, openings...etc.  
 All glass located within 18" of floor, 24" of door swing or located within 80" off floor at bathtubs, whirlpools, showers, saunas, steam rooms, or hot tubs shall be tempered  
 All exposed insulation shall have a flame spread rating less than 25 and a smoke density rating less than 450  
 Contractor to coordinate all closet shelving and cabinetry requirements

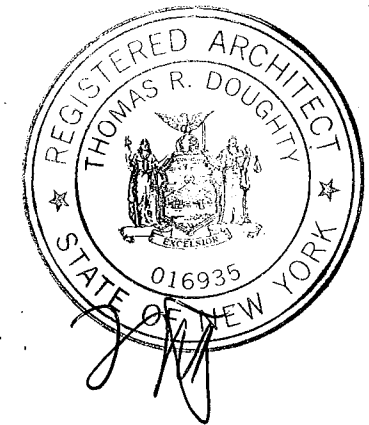


**FRONT ELEVATION**

**THOMAS R. DOUGHTY  
ARCHITECT, P.C.**

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DATE: 8-20-18

SCALE:

**REVISIONS**

**PROJECT**

Residential Addition/Renovation for:

75A Rochester Road  
Bergen, New York 14416

**DRAWING TITLE**

**FRONT ELEVATION**

**SHEET NUMBER**

2 OF 6

**EXISTING CONDITIONS**

THESE DRAWINGS HAVE BEEN DEVELOPED FROM OWNER INPUT AND READILY VISIBLE EXISTING CONDITIONS. EXISTING CONDITIONS THAT WERE NOT VERIFIED SUCH AS FOUNDATIONS, ROOF STRUCTURE, HEADERS, ETC. HAVE BEEN ASSUMED TO BE DESIGNED AND INSTALLED AS PER BUILDING CODES AT THE TIME OF INSTALLATION AND AS PER COMMON CONSTRUCTION PRACTICES.

**VALUE ENGINEERING**

ARCHITECT WELCOMES INPUT FROM CONTRACTOR(S) ON OPPORTUNITIES FOR VALUE ENGINEERING (ANALYZING COST VS VALUE AND ALTERNATIVE MATERIALS / METHODS). ALL CONTRACTOR INPUT SHALL BE IN WRITING AND APPROVED BY ARCHITECT BEFORE REVISION MAY BE IMPLEMENTED

**SMOKE DETECTORS**

SMOKE DETECTORS SHALL BE INSTALLED IN THE ADDITION AS WELL AS IN THE EXISTING STRUCTURE AS FOLLOWS: IN EACH BEDROOM, OUTSIDE THE BEDROOM AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, IN THE BASEMENT AND ADDITIONAL AREAS AS REQUIRED SO EACH STORY SHALL HAVE AT LEAST ONE SMOKE DETECTOR. IF POSSIBLE THE DETECTORS SHOULD BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS AND BE HARD WIRED WITH BATTERY BACK-UP. BATTERY OPERATED DETECTOR/ALARMS ARE PERMITTED IF WALLS AND CEILINGS OF THE EXISTING STRUCTURE REMAIN INTACT.

**CARBON MONOXIDE ALARMS**

CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE EXISTING STRUCTURE AS FOLLOWS: IN EVERY STORY (INCLUDING BASEMENT). IF POSSIBLE THE DETECTORS SHOULD BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS AND BE HARD WIRED WITH BATTERY BACK-UP. BATTERY OPERATED DETECTOR/ALARMS ARE PERMITTED IF WALLS AND CEILINGS OF THE EXISTING STRUCTURE REMAIN INTACT. ALARMS SHALL NOT BE LOCATED IN OR NEAR LOCATIONS SPECIFIED IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

**THOMAS R. DOUGHTY  
ARCHITECT, P.C.**

4 WOODBRIAR LANE  
ROCHESTER, NY 14624

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ROOFING TO MATCH EXISTING  
ON 15# FELT ON 1/2" PLYWOOD  
(ICE/WATER SHIELD OVER FIRST  
24" OF HEATED AREA)

ROOF TRUSSES @ 24" o.c.  
DESIGNED BY MANUFACTURER  
FOR 40 lb. per sq. ft. GROUND  
SNOW LOAD

SIDING/TRIM TO MATCH  
EXISTING

EXISTING GARAGE

EXISTING STRUCTURE  
BEYOND

**SIDE ELEVATION**

12" x 8" THICK CONC. FOOTING FOR (4) COLUMNS

48" MIN

6x6 PT

(2) 2x8P

2x6 PT @ 16" o.c.

18" x 40"  
18" x 40"



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DATE: 8-20-18

SCALE: 1/4" = 1'-0"

**REVISIONS**

**PROJECT**

Residential Addition/Renovation for:

75A Rochester Road  
Bergen, New York 14416

**DRAWING TITLE**

SIDE ELEVATION

**SHEET NUMBER**

3 OF 6



**GENERAL NOTES**

The intent of the final design is to match all existing materials  
 Contractor to verify all existing conditions and dimensions for compliance with construction documents  
 Codes govern over drawings  
 All construction as per the 2015 International Residential Code and 2017 NYS Supplement  
 In the event of conflict between pertinent codes, regulations and referenced standards of these drawings and specifications, the most stringent provisions shall govern

Structural Design Loads:  
 First Floor Living Space 40 PSF  
 Second Floor Living Space 30 PSF  
 Snow Load 40 PSF  
 Wind Speed 110 MPH

Thomas R. Doughty Architect has not been engaged for construction supervision and assumes no responsibility for construction conformance, means, methods, techniques or procedures of on-site work relating to the construction plans

Contractor to be responsible for all materials, construction methods, craftsmanship, procedures and conditions (including safety)

Design of electric, plumbing and HVAC systems by others. Verify location of existing utilities/services prior to construction.

Dimensions govern over scale

It is the responsibility of the contractor to notify the Architect of any discrepancies or deviations from these drawings

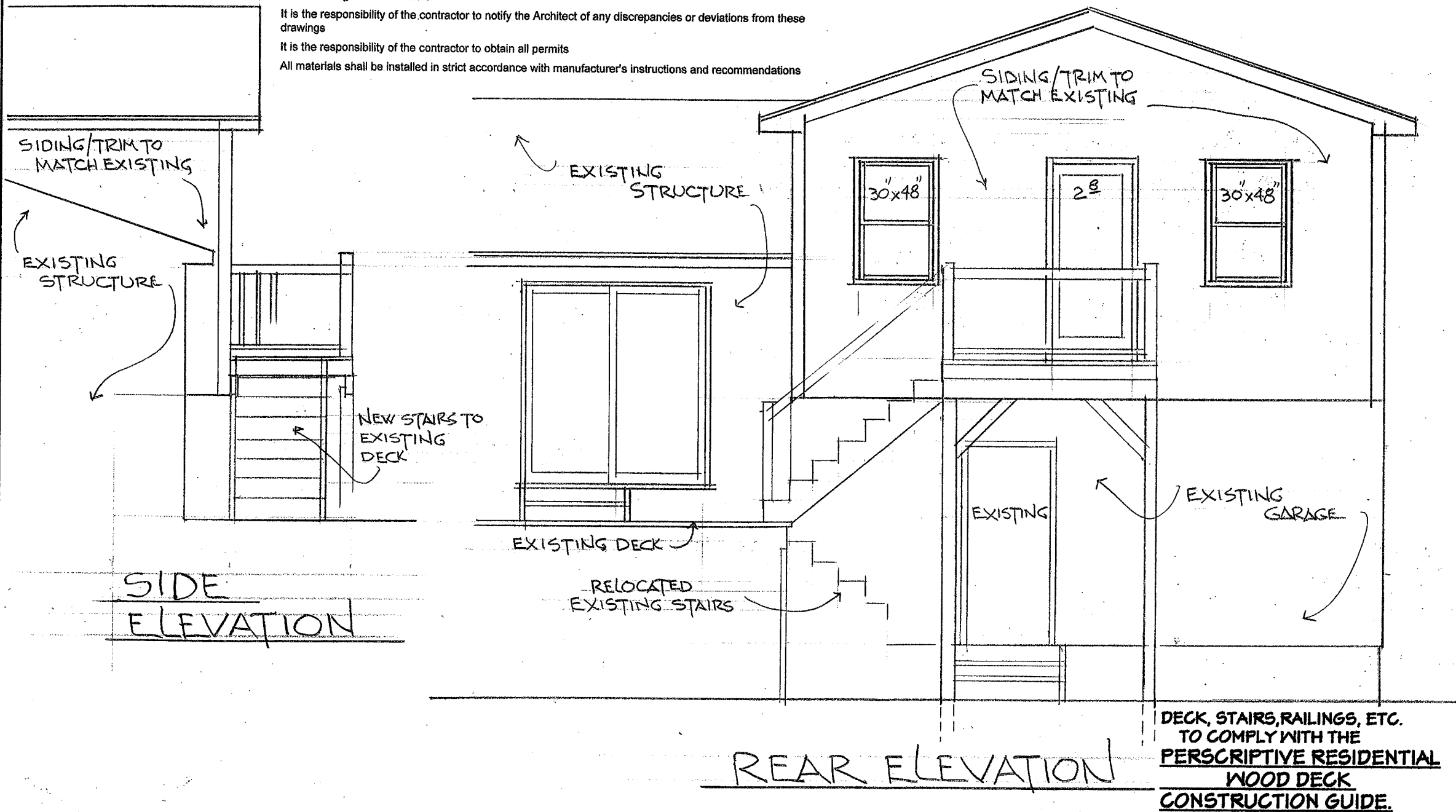
It is the responsibility of the contractor to obtain all permits

All materials shall be installed in strict accordance with manufacturer's instructions and recommendations

**FOUNDATION NOTES**

Footings designed for soil bearing of 1500 psf  
 Final (3) inches of excavation shall be removed by hand tool operations in order to assure undisturbed bearing surfaces.  
 Footings and slabs-on-grade shall not be placed on muddy or frozen ground  
 All footings shall bear on undisturbed native materials free of organics or other deleterious materials (if condition of soil is different contact Architect at (585) 247-6480)  
 Step footings as required (bottom of all footings to be min. 48" below finish grade)  
 The contractor assumes full responsibility for verification of the assumed safe soil bearing value

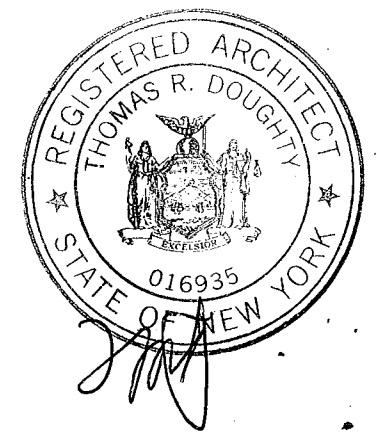
Minimum concrete compressive strength in 28 days: 2500psi for footings and slabs (garage slabs to be 3500psi)  
 It is the responsibility of the contractor to notify the Architect of any unusual site conditions that may effect structural design and/or drainage



**THOMAS R. DOUGHTY  
 ARCHITECT, P.C.**

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 ROCHESTER, NY 14624**

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SCALE: 1/4"=1'-0"

**REVISIONS**

**PROJECT**

Residential Addition/Renovation for:

75A Rochester Road  
 Bergen, New York 14416

**DRAWING TITLE**

REAR & SIDE  
 ELEVATIONS

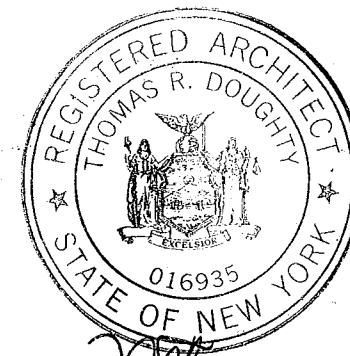
**SHEET NUMBER**

4 OF 6

**THOMAS R. DOUGHTY  
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DATE: 8-20-18

SCALE:

**REVISIONS**

**PROJECT**

Residential Addition/Renovation for:

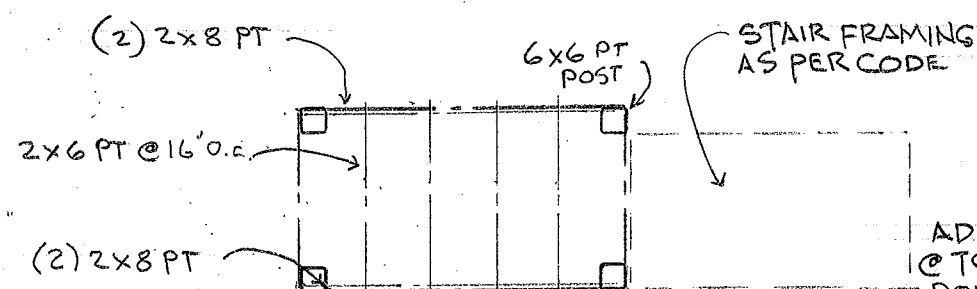
75A Rochester Road  
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**DRAWING TITLE**

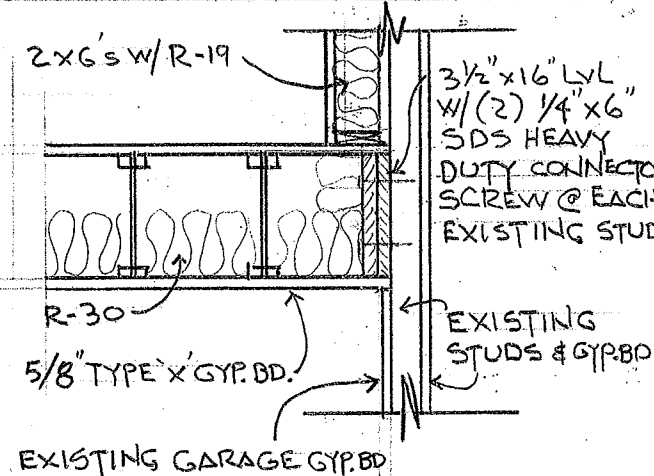
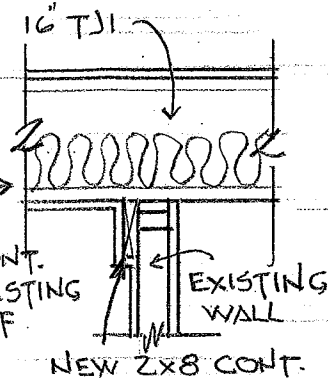
**FLOOR FRAMING  
& SECTIONS**

**SHEET NUMBER**

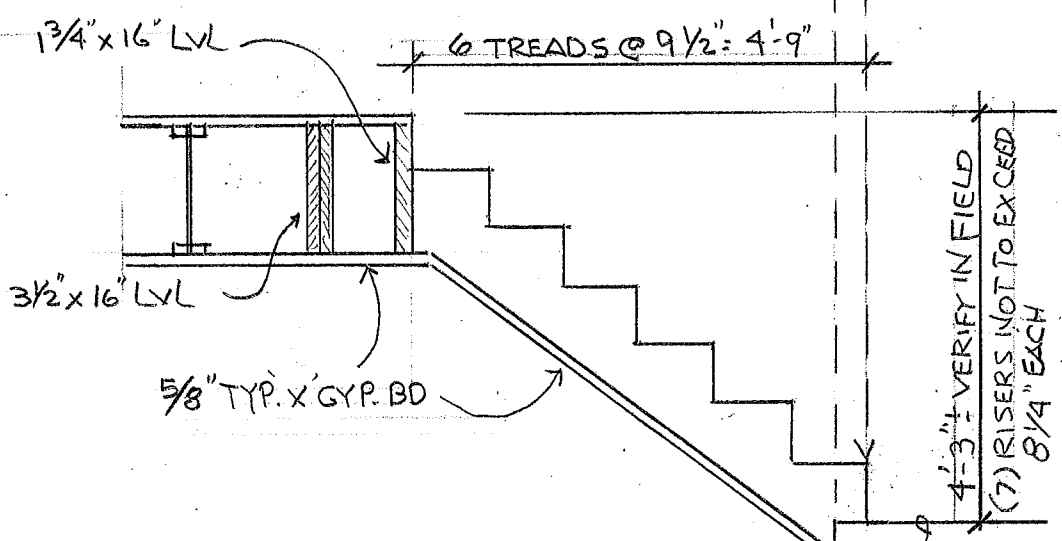
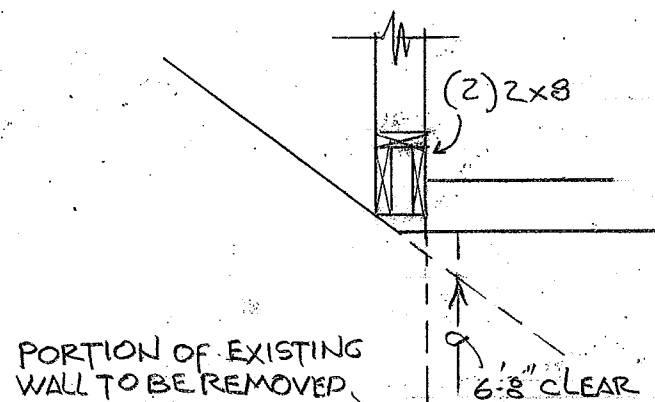
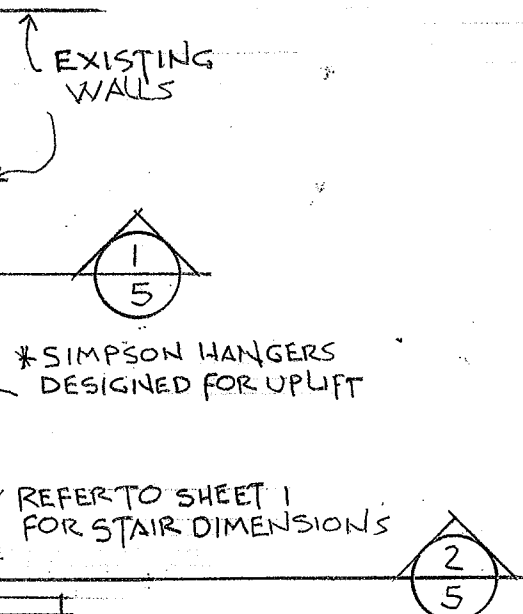
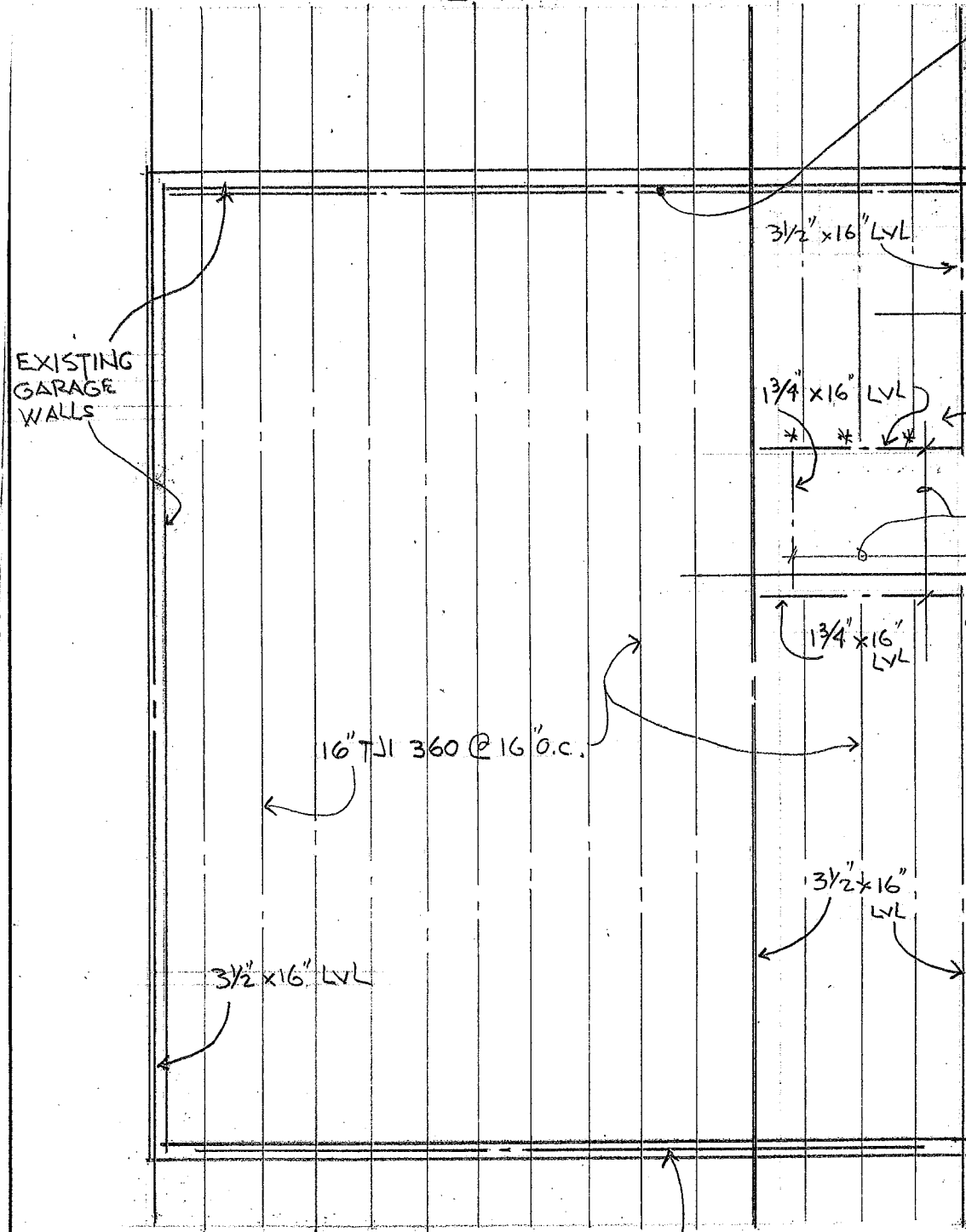
5 of 6



STAIR FRAMING  
AS PER CODE



**SECTION 1**  
1/2" = 1'-0"



**SECTION 2**  
1/2" = 1'-0"

REPLACE EXISTING HEADER W/ 5/4" x 11/4" LVL

**FLOOR FRAMING PLAN**

**SECTION 2**  
1/2" = 1'-0"

ROOF TRUSSES @ 24" O.C. DESIGNED BY TRUSS MANUFACTURER FOR 40 LBS. PER SQ.FT. SNOW LOAD

OPTION: 2X8 RAFTERS @ 16" O.C.

245# ROOFING ON 15 LB. FELT (WITH ICE/WATER SHEILD OVER FIRST 24" OF HEATED AREA)

1/2" PLYWOOD SHEATHING

INSULATION BAFFLE

OVERHANG WITH VENTED SOFFIT, PRE-FINISHED ALUM. GUTTER AND EAVE FLASHING (TO MATCH EXISTING)

R-38 INSULATION

1/2" GYPSUM BOARD

2X6'S @ 16" O.C. WITH R-19 INSULATION, 7/16" OSB, TYEK AND SIDING TO MATCH EXISTING

5/8" ADVANTECH SUBFLOORING (GLUED AND NAILED) ON 16" TJI'S @ 16" OC

3 1/2" X 16" LVL

R-30

5/8" TYPE 'X' GYP. BD.

EXISTING GARAGE WALL (THE EXISTING 1/2" GYP. BD. TO REMAIN INTACT)

### SECTION 3

SCALE: 1/2"=1'-0"

**WINDOW NOTE:** WINDOW SIZES AND LOCATIONS ARE PRELIMINARY. IN THE EVENT THAT THE OWNER REVISES WINDOW SIZES, QUANTITY OR LOCATION THE AREA OF TOTAL GLASS MUST REMAIN AT 8% OF THE AREA OF THE ROOM. ATTENTION MUST ALSO BE MADE THAT WINDOWS COMPLY WITH EGRESS, ENERGY CONSERVATION AND SAFETY GLASS REQUIREMENTS REFERED TO IN THIS DRAWING SET.

**CONTRACTOR/OWNER TO CONTACT ARCHITECT (585 247-6480) IF ANY CLARIFICATION IS NEEDED.**

#### ENERGY EFFICIENCY

TABLE N1102.4.1.1 (402.4.1.1)  
AIR BARRIER AND INSULATION INSTALLATION

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.	
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.
Floors (including above garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing; and extends from the bottom to the top of all perimeter floor framing members.
Crawl space walls	Exposed earth in inverted crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawl space walls.
Shafts, penetrations	Drut shafts, utility penetrations, and fine shafts opening to exterior or unconditioned space shall be sealed.	
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.	
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.	
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC 400.

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2016 INTERNATIONAL RESIDENTIAL CODE®

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DATE: 8-20-18

SCALE:

#### REVISIONS

#### PROJECT

Residential Addition/Renovation for:

75A Rochester Road  
Bergen, New York 14416

#### DRAWING TITLE

SECTION &  
NOTES

#### SHEET NUMBER

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