



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

City/Town _____

WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

A. General Information

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

McDonald's USA, LLC

Name

E-Mail Address

110 Carpenter St

Mailing Address

Chicago

City/Town

IL

State

60607

Zip Code

Phone Number

Fax Number (if applicable)

2. Representative (if any):

Bohler Engineering

Firm

James Cranston

Contact Name

jcranston@bohlereng.com

E-Mail Address

352 Turnpike Road

Mailing Address

Southborough

City/Town

MA

State

01772

Zip Code

508-480-9900

Phone Number

508-480-9080

Fax Number (if applicable)

B. Determinations

1. I request the Ware Conservation Commission make the following determination(s). Check any that apply:

- ☐ a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- ☐ b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- ☒ c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- ☐ d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

Name of Municipality _____

- ☐ e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).





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C. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

117-119 West Street

Street Address

Ware

City/Town

Map #56

Assessors Map/Plat Number

Lot #111

Parcel/Lot Number

- b. Area Description (use additional paper, if necessary):

1.2 acre property containing an existing McDonald's restaurant with associated paved parking lot

and driveways, utilities and landscaping. Muddy Brook is off-site to the north, and the northern portions of the site are previously developed and located within the 200' riverfront area associated with Muddy Brook.

- c. Plan and/or Map Reference(s):

Site Development Plans prepared by: Bohler Engineering

02/24/2022

Title

Date

Title

Date

Title

Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

Proposed work is to reconfigure the existing single lane drive-thru with a side-by-side configuration consisting of two (2) lanes with a total of two (2) order points/digital menu boards plus two (2) digital pre-browse boards. To accommodate for the proposed layout, the existing trash enclosure will be modified to improve truck access. No changes to the existing building, site access, interior circulation, surface water drainage, lighting, or utilities are proposed as part of the project. The improvements will result in a net reduction of approx. 105 sq. ft. of impervious area and erosion control BMPs are proposed as shown on the enclosed site plan documents.



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C. Project Description (cont.)

b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

Our request is supported by Section 10.58(4)(d) of the Wetland Protection Act. "No Significant Adverse Impact". The proposed work is limited to reconfiguring the existing drive-thru. To accommodate for the proposed layout, the existing trash enclosure will be modified to improve truck access. No changes to the existing building, site access, interior circulation, surface water drainage, lighting, or utilities are proposed as part of the project. The improvements will result in a net reduction of approx. 105 sq. ft. of impervious area and erosion control BMPs are proposed as shown on the enclosed site plan documents.

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- ☐ Single family house on a lot recorded on or before 8/1/96
- ☐ Single family house on a lot recorded after 8/1/96
- ☐ Expansion of an existing structure on a lot recorded after 8/1/96
- ☐ Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- ☐ New agriculture or aquaculture project
- ☐ Public project where funds were appropriated prior to 8/7/96
- ☐ Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- ☐ Residential subdivision; institutional, industrial, or commercial project
- ☐ Municipal project
- ☐ District, county, state, or federal government project
- ☐ Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)

N/A



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D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

McDonald's Corp.

Name

110 Carpenter St

Mailing Address

Chicago

City/Town

IL

State

60607

Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Signature of Applicant

Date

Jane J. Curt

Signature of Representative (if any)

3/21/2022

Date



352 Turnpike Road
Southborough, MA 01772
508.480.9900

March 21, 2022

Town of Ware
Conservation Commission
126 Main Street
Ware, MA 01082

Attn: John Prenosil, Conservation Agent



**Re: Request for Determination of Applicability
McDonald's Restaurant
117-119 West Street
Ware, MA**

Dear Mr. Prenosil,

On behalf of McDonald's USA, LLC, please find the enclosed Application for Request for Determination of Applicability (RDA) for the proposed drive-thru site improvements at the McDonald's Restaurant located at 117-119 West Street. In support of this application, please find enclosed the following documents:

- Seven (7) copies of the Application for Request for Determination of Applicability;
- Two (2) 24"x36" sets of the Site Development Plans prepared by Bohler Engineering, dated 02/24/2022;
- Seven (7) 11"x17" sets of the Site Development Plans prepared by Bohler Engineering, dated 02/24/2022;
- Seven (7) copies of the Assessor's GIS Field Card;
- Seven (7) copies of the Assessor's Map; and
- One (1) check in the amount of \$75 made out to Town of Ware for application fee.

In an effort to improve their existing drive-thru operations, McDonald's is proposing to reconfigure the existing single lane drive-thru containing one order point/digital menu boards with a side-by-side configuration consisting of two (2) lanes with a total of two (2) order points/digital menu boards plus two (2) digital pre-browse boards. The dual order point drive-thru improvements are proposed to manage existing drive-thru operations more efficiently. These improvements will result in reduced customer wait times and a better management of the existing drive-thru stacking resulting in more efficient drive thru processing and a reduction of queuing. In the instance that a customer is making a larger order or taking additional time to browse the menu at one order point, customers can order and vehicles continue to move through the second order point and lane. The proposed layout provides 67 parking spaces and is suitable for this location. In addition, McDonald's is proposing modifications to the existing trash enclosure to improve truck access. No changes to the existing building, site access, interior circulation, surface water drainage, lighting, or utilities are proposed as part of the project.

All of this work will be performed below pavement grade and as an added precaution, silt dike BMPs are provided on the pavement to contain any potential sediment from the minimal sitework proposed and to protect the downstream brook. There will be a net reduction of approximately 105 sq. ft. of impervious area (reducing stormwater runoff from the site) and there is no new development within the Riverfront Area associated with the adjacent Muddy Brook. No new drainage structures are proposed, and drainage patterns will remain the same as existing.

We hope the Commission will agree that the scope of the work is minor and that a Notice of Intent will not be required, as there will be essentially no changes to the site relative to the provisions of the Wetland Protection Act.



We trust the provided information is sufficient for your review and we look forward to discussing the project at the April 13th Meeting. Should you have any questions or need additional information, please do not hesitate to contact either of us at 508-480-9900.

Sincerely,

BOHLER

A handwritten signature in cursive script, appearing to read "James J. Cranston".

James Cranston

A handwritten signature in cursive script, appearing to read "Connor Ennis".

Connor Ennis

CC: DEP Western Region

Assessment Field Card

Town of Ware, Massachusetts



Parcel Information



Address: 117 WEST ST
Map-Lot: 56-0-111
Patriot Account #: 2479
Owner: MC DONALD'S CORP (20/107)
Co-Owner: C/O MCDONALDS
Mailing Address: CORPORATION
 P O BOX 182571
 COLUMBUS, OH 43218

Building Exterior Details

Building Type: FAST FOOD
Year Built: 1988
Grade: A-
Frame Type: STEEL
Living Units: 1
Building Condition: Very Good
Roof Cover: MEMBRANE/RUB
Roof Type: FLAT
Exterior Wall Type: BRICK VENR
Pool: False

General Information

Total Acres: 1.21
Land Use Code: 326
Neighborhood Code:
Owner Occupied: Y
Condo Name:
Condo Unit:
Zone: HC
Utility Code 1: SEWE
Utility Code 2: WATE
Utility Code 3:

Building Area

Gross Area: 4472 sqft
Finished Area: 4372 sqft
Basement Area: 0 sqft
Garage Area: 0 sqft
Detached Garage: sqft
Basement Garage: 0 sqft

Ownership History

Sale Date: 4/6/1972
Sale Price: \$ 73000
Nal Description:
Grantor (Seller): C DURSO AND SONS INC
Book/Page: 1627-274

Building Interior

No. Total Rooms: 0
No. Bedrooms: 0
No. Full Baths: 0
No. Half Baths: 2
Bath Rating:
No. Kitchens: 1
Kitchen Rating: GOOD
Building Framing: STEEL
Interior Wall Type: DRYWALL
Fireplaces: 0
Solar Hot Water: False
Central Vac: False
Floor Type: CERAMIC TL
Heat Type: FORCED H/A
Heat Fuel: GAS
Percent A/C: 100

Assessed Value

Assessed Yard Value: \$ 35600
Assessed Land Value: \$ 89400
Assessed Bldg Value: \$830500
Total Assessed Value: \$955500



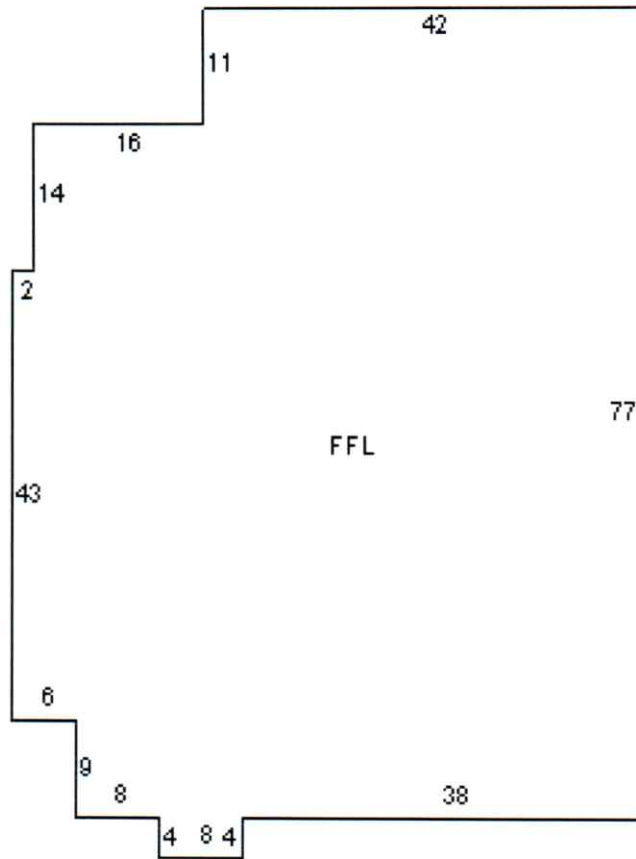
www.cai-tech.com

3/21/2022

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Property Information - Ware, MA

Page 1 of 2



Unsketched SubAreas:
CNP: 100,



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3/21/2022

Property Information - Ware, MA

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117-119 West Street

Ware, MA

March 21, 2022

1 inch = 200 Feet

0

200

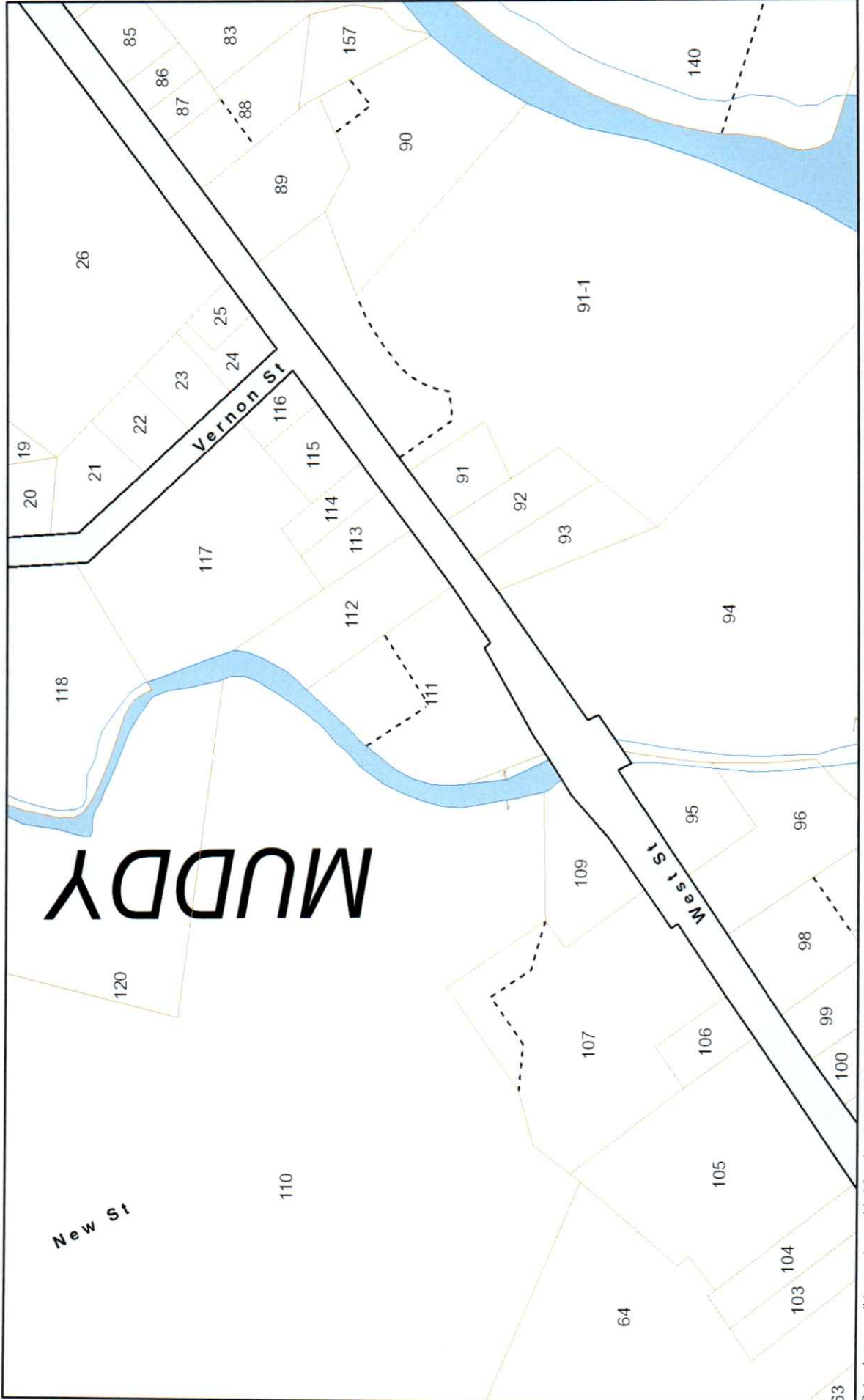
400

600

RECEIVED
MAR 22 2022
RDMA - 2022-04

CAI Technologies
Precision Mapping Geospatial Solutions

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

From: [James Cranston](#)
To: [Prenosil, John](#); [Croteau, Nicole](#)
Cc: [Connor Ennis](#)
Subject: FW: 117-119 West Street - Ware MA // Priority Habitat (McDonald"s)
Date: Tuesday, March 22, 2022 9:15:54 AM
Attachments: [image001.png](#)

CAUTION: This email originated from outside of the Town of Ware organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

John, please see below response from the MA Division of Fisheries & Wildlife regarding the NHESP boundary. It looks like this is a non-issue and we look forward to discussing the RDA with the Con. Comm. Please let us know with any questions.

Thanks,
Jim

Hi Nathan:

Thank you for submitting project plans and supporting documentation to the Natural Heritage and Endangered Species Program of the MA Division of Fisheries & Wildlife (the "Division") for review pursuant to the Massachusetts Endangered Species Act (MESA) (MGL c.131A) and its implementing regulations (321 CMR 10.00).

Based on a review of the information that was provided, the Division has determined that this project, as currently proposed, appears to be exempt from a MESA review pursuant to 321 CMR 10.14 which states: "[t]he following Projects and Activities shall be exempt from the requirements of 321 CMR 10.18 through 10.23..."

(3) the maintenance, repair, removal, or replacement, or additions that do not exceed 50% of the footprint of existing commercial and industrial buildings, multifamily and mixed use structures within existing paved areas and lawfully developed and maintained lawns or landscaped areas;

Any changes to the proposed project or any additional work beyond that provided may require a filing with the Division pursuant to the MESA. If the project site is within Estimated Habitat and a Notice of Intent (NOI) is required, then a copy of the NOI must be submitted to the Division so that it is received at the same time as the local conservation commission. Based on a review of the project plans, the Division anticipates that the proposed project will **not**

adversely affect the actual Resource Area Habitat of state-protected rare wildlife species.

Please note that this determination addresses only the matter of state-listed species and their habitats. If you have any questions about this letter, please contact me.

Jesse Leddick (he/his)

Chief of Regulatory Review

Massachusetts Division of Fisheries & Wildlife

1 Rabbit Hill Road, Westborough, MA 01581

Temp Phone: (978) 707-9587 | e: jesse.lednick@mass.gov

mass.gov/masswildlife | facebook.com/masswildlife

Jesse,

Thanks again for your help on this matter. Please see attached site plan documents for your review and use and below is a brief description of the work planned. As discussed, we have recently filed an RDA with the Con. Comm. and will be heard at their April 13th meeting. Our goal is to obtain a written determination from your department prior to the 4/13 meeting, preferably noting that the proposed work scope won't have any detrimental impacts to the habitat. The approx. limits of the NHESP boundary have been overlaid & labeled on the plans as requested.

McDonald's is proposing modifications to their existing drive-thru and trash enclosure. No changes to the existing building, site access, interior circulation, surface water drainage, lighting, or utilities are proposed as part of the project. All of this work will be performed below pavement grade and as an added precaution, silt dike BMPs are provided on the pavement to contain any potential sediment from the minimal sitework proposed and to protect the downstream brook. There will be a net reduction of approximately 105 sq. ft. of impervious area (reducing stormwater runoff from the site) and there is no new development within the Riverfront Area associated with the adjacent Muddy Brook. No new drainage structures are proposed, and drainage patterns will remain the

same as existing.

Once you've had the opportunity to review please let us know if there are any questions or need for additional information.

Nathan

Nathaniel E. Mahonen, P.E.

Chief Engineer

352 Turnpike Road

Southborough, MA 01772

o 508-480-9900 / c 978-660-8945 / nmahonen@bohlereng.com

www.BohlerEngineering.com

BOHLER //

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Good morning,

I left a voicemail the other day but wanted to follow up with an email as well. I was looking to speak with you about a project located at 117-119 West Street in Ware and the priority habitat shown in the attached PDF. Please let me know when you may be available either today or early next week, I'd anticipate it would only take 15 min or so.

Thanks

Nathaniel E. Mahonen, P.E.

Chief Engineer

352 Turnpike Road

Southborough, MA 01772

o 508-480-9900 / c 978-660-8945 / nmahonen@bohlereng.com

www.BohlerEngineering.com

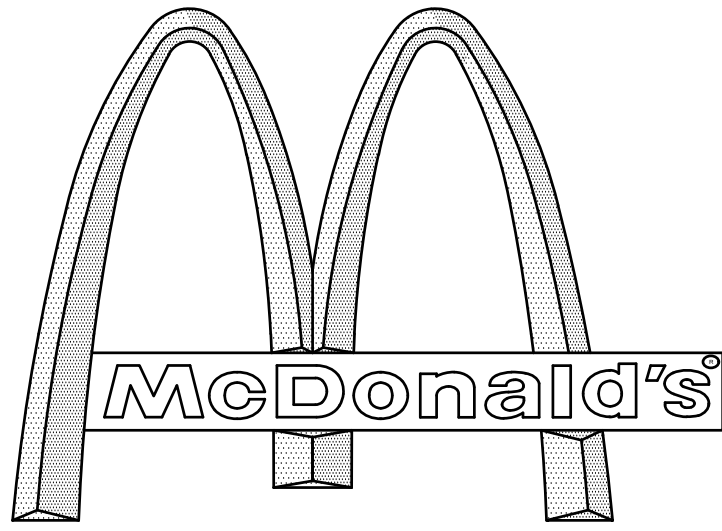
BOHLER //

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PROPOSED SITE PLAN DOCUMENTS

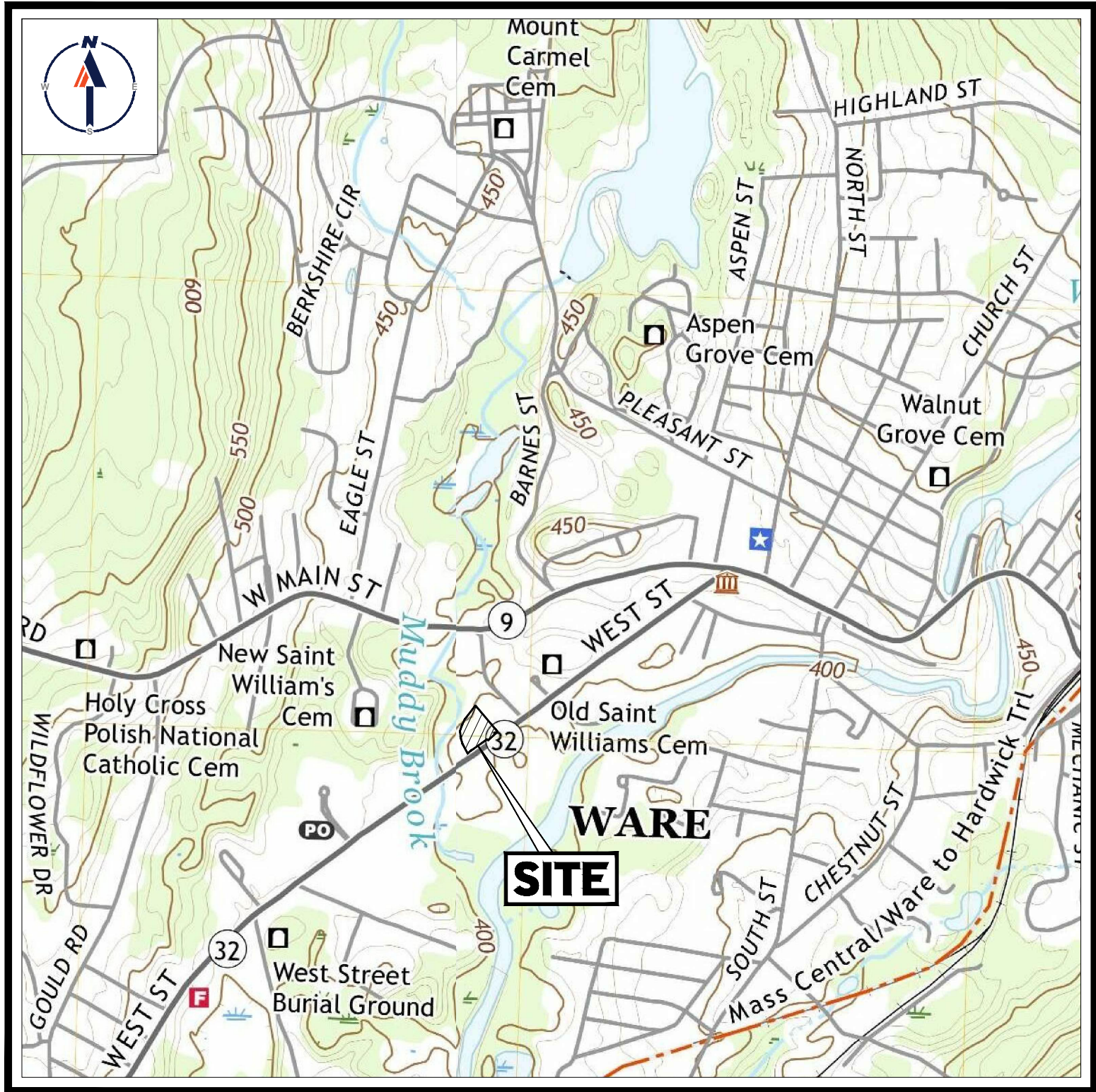
FOR EXISTING



WITH DRIVE-THRU

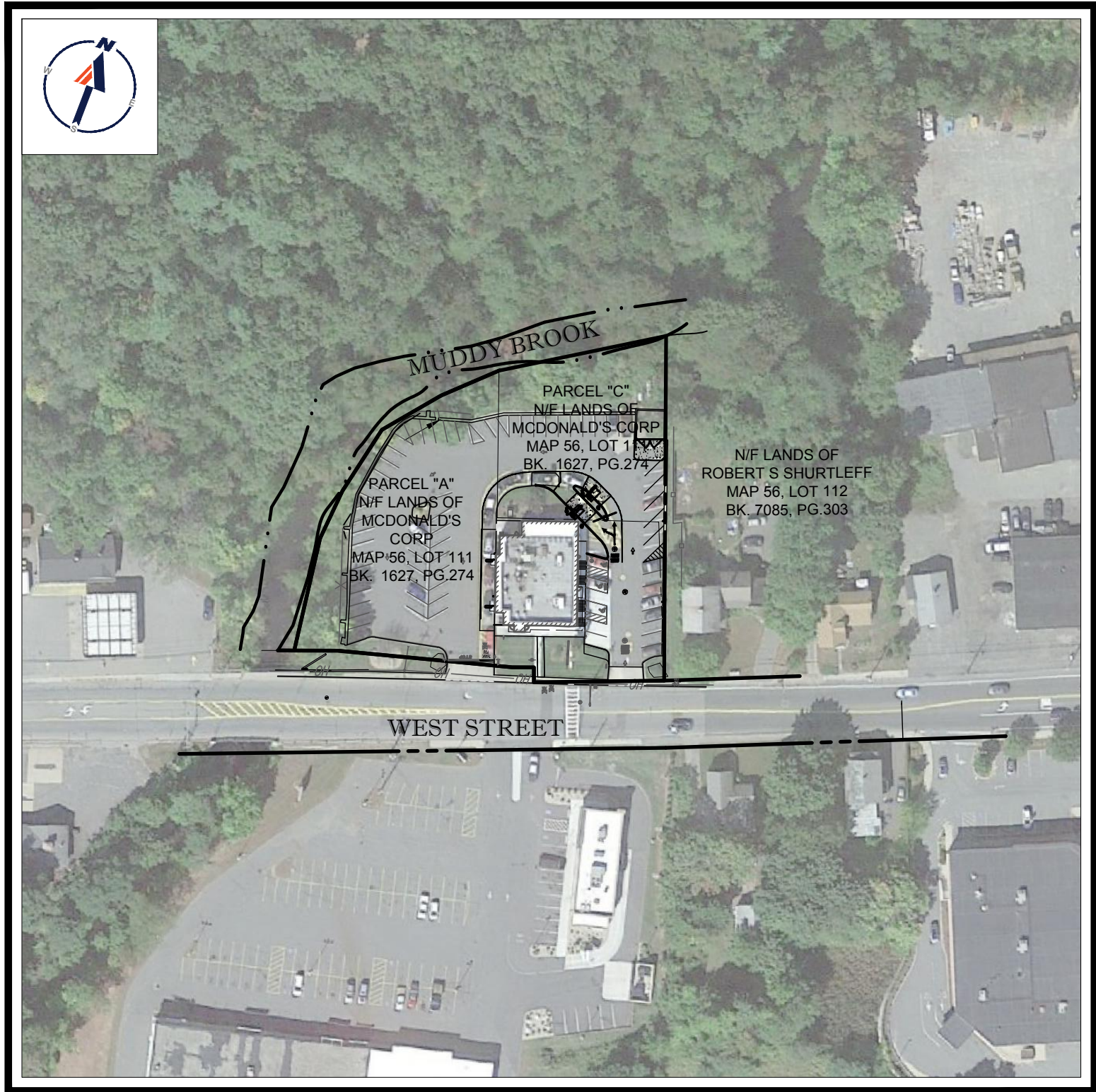
LOCATION OF SITE

117-119 WEST STREET, TOWN OF WARE
HAMPSHIRE COUNTY, MASSACHUSETTS
MAP 56, LOT 111



USGS MAP

SCALE: 1" = 1,000'
SOURCE: USGS WARE QUADRANGLE & WINSOR DAM QUADRANGLE



SITE MAP

SCALE: 1" = 100'
SOURCE: GOOGLE AERIAL

DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION & EROSION CONTROL PLAN	C-201
SITE LAYOUT PLAN	C-301
GRADING AND DRAINAGE PLAN	C-401
DETAIL SHEET	C-901
DETAIL SHEET	C-902
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

COMPLIANCE CHECK

DATE

CONSTRUCTION CHECK

DATE

CONSTRUCTION CHECK

DATE

PROJECT No.:
W212039

CAD I.D. #:
W212039-CVL-0.dwg

- GENERAL NOTES:
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
 - 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
 - BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
 - PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
 - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
 - ALL ELEVATIONS SHOWN ARE BASED UPON: NAVD 88 PER SURVEY NOTE #7.
 - ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
 - LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.

PAVING SPECIFICATION
(SEE PAVEMENT DETAIL)

FLEXIBLE PAVEMENT SECTION:
-1.5" M.04.02- CLASS 2 TOP COURSE
-1.5" M.04.02- CLASS 1 BASE COURSE
-12.0" M.02.06 TYPE C PROCESSED GRAVEL SUBBASE

RIGID PAVEMENT SECTION:
-6.0" 4500 PSI AIR-ENTRAINED CONCRETE
-8.0" 4500 PSI AIR-ENTRAINED CONCRETE AT TRASH ENCLOSURE
-12.0" M.02.06 TYPE C PROCESSED GRAVEL SUBBASE

NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

PARKING INFORMATION		
TOTAL SPACES	5 PROPOSED SPACES	9.0' x 14.6' @ 45°
67	62 EXISTING SPACES	

UTILITY INFORMATION			
	SIZE	TYPE	LOCATION
SANITARY SEWER	UNKNOWN	UG	ON-SITE / WEST STREET R.O.W.
WATER	UNKNOWN	UG	ON-SITE / WEST STREET R.O.W.
STORM SEWER	VARIES	VARIES	ON-SITE / WEST STREET R.O.W.
ELECTRIC	UNKNOWN	OH / UG	ON-SITE / WEST STREET R.O.W.
GAS	UNKNOWN	UNKNOWN	TANKS ON-SITE

SURVEY INFORMATION

PREPARED BY: CONTROL POINT ASSOCIATES, INC.
332 TURNPIKE ROAD
SOUTH-BOROUGH, MA 01772
JOB #: 03-170294
DATE: FEBRUARY 12, 2018
REVISED: JUNE 13, 2018

TYPICAL LEGEND		
EXISTING		PROPOSED
---	PROPERTY LINE	
---	SETBACK	
---	EASEMENT	
---	CURB	
①	STORM MANHOLE	⊙
②	SEWER MANHOLE	⊙
■	CATCH BASIN	⊙
△	WETLAND FLAG	
---	WETLAND LINE	
× 54.83	SPOT ELEVATION	
× TC 54.58	TOP & BOTTOM OF CURB	
---	CONTOUR	
→	FLOW ARROW	
→	PAINTED ARROW	
---	OVERHEAD WIRE	
---	GAS LINE	
---	TELEPHONE LINE	
---	ELECTRIC LINE	
---	WATER LINE	

STREET ADDRESS
117-119 WEST STREET

CITY
WARE

STATE
MA

COUNTY
HAMPSHIRE

SITE I.D.
020-0107

PLAN DESCRIPTION
COVER SHEET

MASSACHUSETTS
JOHN A. KUCIEMBA
CIVIL
No. 41530
REGISTERED PROFESSIONAL ENGINEER
NEW HAMPSHIRE REG. NO. 15478
CONTRACT NO. 2017-0000000000000000
RIDGE ISLAND, MA 02819
MASS. LICENSE NO. 20000

McDonald's

AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION

BOSTON REGION
110 N CARPENTER ST
CHICAGO, IL 60607

PLAN APPROVALS

SIGNATURE

DATE

APPROVED McDONALD'S AGENT

STATUS

DATE

BY

DRAWN BY: 02/04/22 CSE

PLAN CHECKED: 02/04/22 JAK

AS-BUILT

SHEET NO.
C-101
OF 7

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- "BOUNDARY & TOPOGRAPHIC SURVEY," PREPARED BY CONTROL POINT ASSOCIATES INC., DATED 2/21/2018, REVISED 6/13/2018.
- "SITE DEVELOPMENT PLANS" PREPARED BY BOHLER ENGINEERING, DATED 6/6/2018, REVISED 10/10/2018.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HEUSHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTORS RESPONSIBILITY.

4. ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MOST STRINGENT OF THE REQUIREMENTS OF THE "2010 INTERNATIONAL BUILDING CODE" AND "2010 INTERNATIONAL PLUMBING AND MECHANICAL CODE" AND THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

5. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST OBTAIN ALL PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.

6. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

7. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

8. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MOST STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS, THE CONTRACTOR MUST NOTIFY THE ENGINEER, AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

9. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS.

10. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING IMMEDIATELY AFTER THE DISCOVERY OF SUCH DISCREPANCIES, AND OBTAIN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

11. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY-EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

12. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES PRIOR TO THE START OF CONSTRUCTION.

13. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

14. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

15. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRANS AND ANYONE INVOLVED WITH THE PROJECT.

16. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DUE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAGAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING ALL SIGNAL, INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO ITS ORIGINAL CONDITION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ANY SUCH REPAIRS. APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

17. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS. DETAILS AND/OR GEOTECHNICAL REPORT.

18. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

19. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.

20. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS SUBCONTRACTORS AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO NAME BOHLER ENGINEERING AS ADDITIONAL NAMED INSURED. CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON REPEXAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, CONTRACTOR MUST OBTAIN CONTRACTOR LIABILITY COVERAGE TO INSURE THIS HOLD HARMLESS AND INDEMNIFY OBLIGATIONS ASSUMED BY THE CONTRACTORS, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES IN CONNECTION WITH ANY CONSTRUCTION OR PROPERTY OF THE CONTRACTOR OR SUBCONTRACTOR, INCLUDING BUT NOT LIMITED TO, REASONABLE ATTORNEYS FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

21. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE PROJECT AND NOT FOR THE PURPOSE OF REVIEWING OR COMMENTING ON THE CONSTRUCTION OF THE PROJECT. CONTRACTOR AGREES AND AGREES TO HOLD BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES IN CONNECTION WITH ANY CONSTRUCTION OR PROPERTY OF THE CONTRACTOR OR SUBCONTRACTOR, INCLUDING BUT NOT LIMITED TO, REASONABLE ATTORNEYS FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

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25. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE PROJECT AND NOT FOR THE PURPOSE OF REVIEWING OR COMMENTING ON THE CONSTRUCTION OF THE PROJECT. CONTRACTOR AGREES AND AGREES TO HOLD BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES IN CONNECTION WITH ANY CONSTRUCTION OR PROPERTY OF THE CONTRACTOR OR SUBCONTRACTOR, INCLUDING BUT NOT LIMITED TO, REASONABLE ATTORNEYS FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

26. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE PROJECT AND NOT FOR THE PURPOSE OF REVIEWING OR COMMENTING ON THE CONSTRUCTION OF THE PROJECT. CONTRACTOR AGREES AND AGREES TO

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE

- [illegible]

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

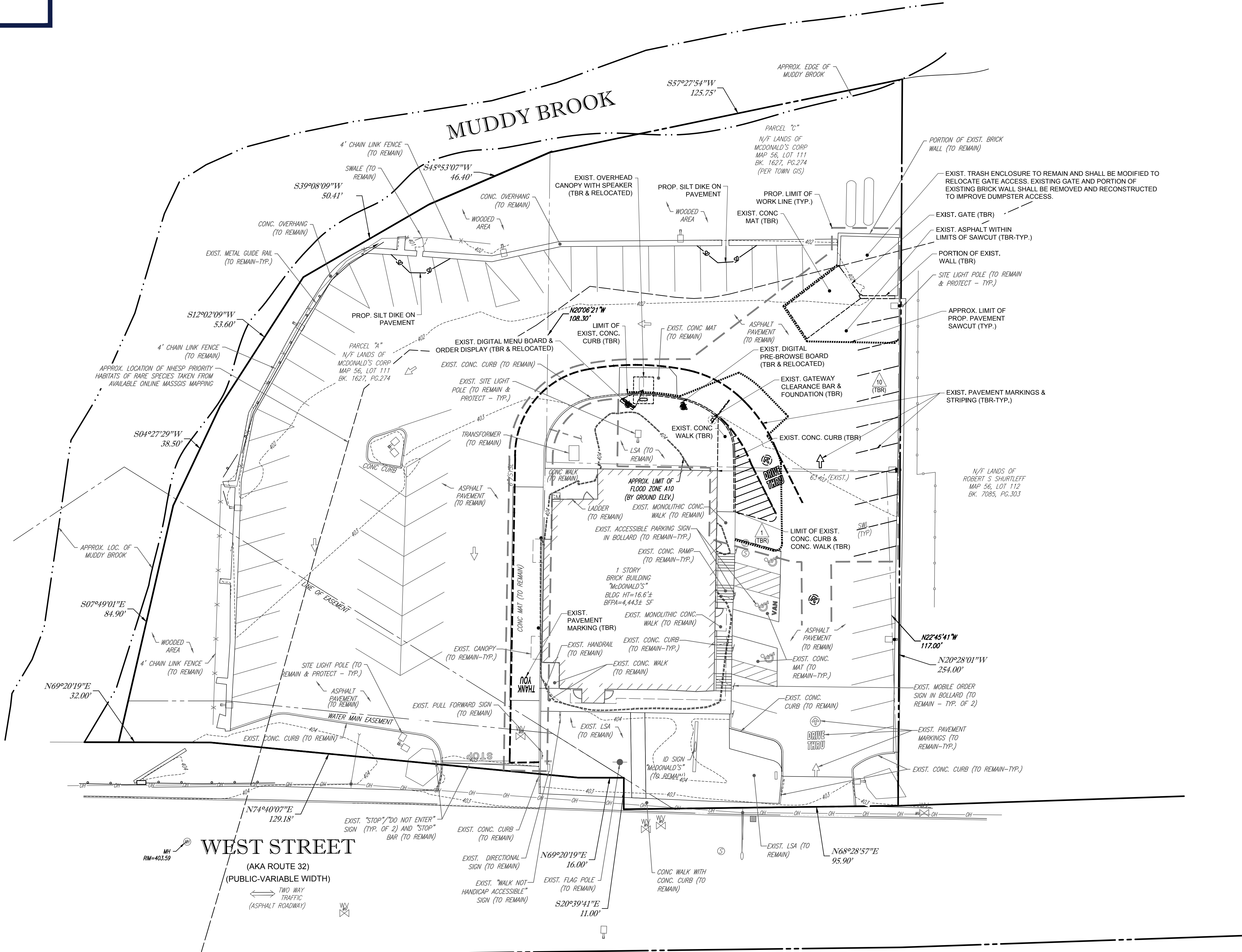
1. "SITE DEVELOPMENT PLANS" PREPARED BY BOHLER ENGINEERING, DATED 6/6/2018, REVISED 10/10/2018.
2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY. REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY REGULATIONS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR:
- A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
- B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
- C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
- D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.
- E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC, WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
- F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
- G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
- H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT AN ADDITIONAL COST TO THE OWNER.
- I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
7. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
8. THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.
9. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
10. CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEAR IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.
11. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
12. CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY.
13. CONTRACTOR MUST CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
14. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.
15. THE CONTRACTOR MUST USE DUST SUPPRESSION MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
16. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
17. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH MUST INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
19. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
20. CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
- ADA INSTRUCTIONS TO CONTRACTOR:**
- CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (ACCESSIBLY) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE PROJECT. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA (AND/OR STATE ARCHITECTURAL ACCESS BOARD STANDARDS AND REGULATIONS) BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA AND/OR ARCHITECTURAL ACCESS BOARD CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
- PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1%) PER FOOT OR NOMINALLY 2.0% IN ANY DIRECTION.
 - CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
 - LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1%) PER FOOT OR NOMINALLY 2.0% IN ANY DIRECTION.
 - PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1%) PER FOOT OR NOMINALLY 2.0% IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%) FOR A MAXIMUM OF 30 FEET OF SLOPE IS ALLOWED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSSED SOLO NO MORE THAN 1:50 IN DIRECTION (1:4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
 - DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1%) PER FOOT OR NOMINALLY 2.0% FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY A JURISDICTIONAL AGENCY.

MASSACHUSETTS
SEAL OF THE BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS
JOHN A. KUCICH
CIVIL
No. 41530
REGISTERED
PROFESSIONAL ENGINEER
MASS. LICENSE No. 41530
NEW HAVEN, CT 06511
CONNECTICUT LICENSE No. 26177
RHODE ISLAND LICENSE No. 2616
MAINE LICENSE No. 12553

PRICE	BOSTON REGION
PRESS	110 N CARPENTER ST
	CHICAGO, IL 60607

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				PLAN APPROVALS		SIGNATURE	APPROVED McDONALD'S AGENT
		-					
		STREET ADDRESS					
		117-119 WEST STREET					
CITY		STATE		STATUS	DATE	BY	
WARE		MA		DRAWN BY:	02/04/22	CSE	
COUNTY				PLAN CHECKED	02/04/22	JAK	
HAMPSHIRE				AS-BUILT			
SITE I.D.		PLAN DESCRIPTION		SHEET NO.			
020-0107		GENERAL NOTES SHEET		C-102			
				OF 7			



WEST STREET
(AKA ROUTE 32)
(PUBLIC-VARIABLE WIDTH)

TWO WAY
TRAFFIC
(ASPHALT ROADWAY)

REFER TO GENERAL NOTES SHEET FOR
DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR
DEMOLITION/ REMOVAL & SOIL
EROSION CONTROL
PURPOSES ONLY

BOHLER 

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED W/ STRAW, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

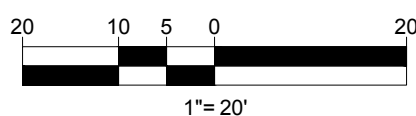
LOCATION	MULCH	RATE (1000 SF)
PROTECT AREA	STRAW	100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

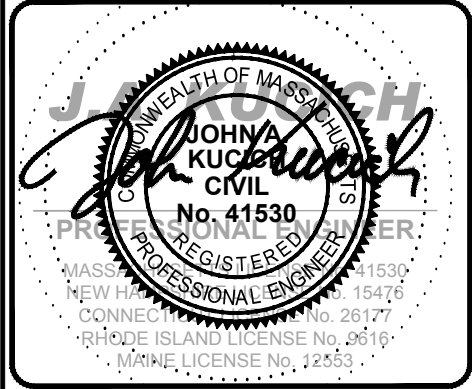
EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDING AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OR WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.



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BOSTON REGION
110 N CARPENTER ST
CHICAGO, IL 60607

OFFICE
ADDRESS

DATE

PLAN APPROVALS

SIGNATURE

APPROVED MCDONALD'S AGENT

STATUS DATE BY
DRAWN BY: 02/04/22 CSE

PLAN CHECKED 02/04/22 JAK
AS-BUILT

SHEET NO.
C-201
OF 7



SITE INFORMATION

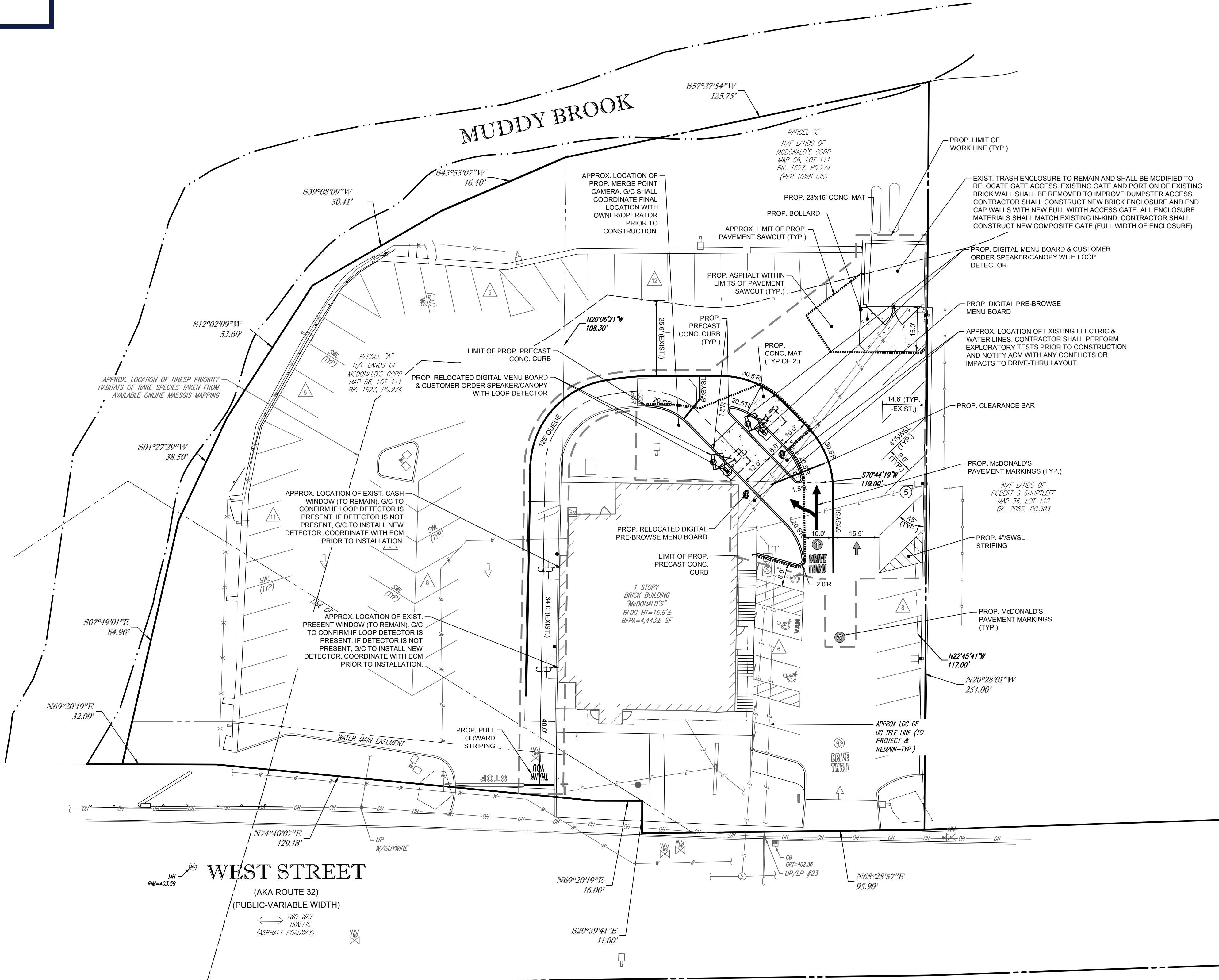
1. APPLICANT:
McDONALD'S USA, LLC
110 CARPENTER ST
CHICAGO, IL 60607
2. OWNER:
McDONALD'S USA, LLC
110 CARPENTER ST
CHICAGO, IL 60607
3. PARCEL:
MAP 56 & LOT 111
117-119 WEST STREET
WARE, MA 01082

ZONING ANALYSIS TABLE

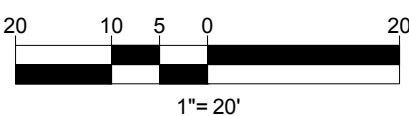
ZONING DISTRICT	HIGHWAY COMMERCIAL (HC)		
OVERLAY DISTRICT	OVERLAY DISTRICT		
REQUIRED PERMIT	PERMIT FROM DEPT.		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	20,000 SF	±52,542 SF	NO CHANGE
MIN. LOT FRONTAGE	100'	±252'	NO CHANGE
MAX. BLDG COVERAGE	20%	8.4%	NO CHANGE
MIN. FRONT SETBACK	25'	26.1'	NO CHANGE
MIN. SIDE SETBACK	20'	63.6'	NO CHANGE
MIN. REAR SETBACK	30'	108.3'	NO CHANGE
MAX. BUILDING HEIGHT	30'	19'-4"	NO CHANGE
MAX. IMPER. COVERAGE	40%	72.0% (E)	71.8% (E)
PARKING SPACES	45	72	67
ACCESS, PARKING SPACES	3	3	NO CHANGE
PARKING STALL CRITERIA STANDARD: 9 FT x 20 FT COMPACT: 8 FT x 16 FT	USE/CATEGORY: EATING ESTABLISHMENT REQUIRED PARKING: (1 SPACE / 100 SF OF GFA + 1 SPACE / 100 SF OUTDOOR DINING AREA) CALCULATION: (1 SPACE / 100 SF GFA) * 4,443 SF + (1 SPACE / 100 SF OUTDOOR DINING AREA) * 0 SF = 44.4 = 45 SPACES		

PAVEMENT STRIPING
LEGEND

- 4" DYSL = 4" DOUBLE YELLOW SOLID LINE
6" SYSL = 6" SINGLE YELLOW SOLID LINE
8" SYSL = 8" SINGLE YELLOW SOLID LINE
4" SWSL = 4" SINGLE WHITE SOLID LINE



THIS PLAN TO BE UTILIZED FOR SITE
LAYOUT PURPOSES ONLY. REFER TO
GENERAL NOTES
SHEET FOR ADDITIONAL NOTES



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COMPLIANCE CHECK DATE

CONSTRUCTION CHECK DATE

CONSTRUCTION CHECK DATE

PROJECT No.:
W212039

CAD I.D. #:
W212039-CVL-0.dwg

STREET ADDRESS
117-119 WEST STREET

CITY
WARE

STATE
MA

COUNTY
HAMPSHIRE

SITE I.D.

020-0107

PLAN DESCRIPTION

**SITE LAYOUT
PLAN**

STATUS
DRAWN BY:

DATE
02/04/22

BY
CSE

PLAN CHECKED

DATE
02/04/22

BY
JAK

AS-BUILT

SHEET NO.

C-301

OF 7

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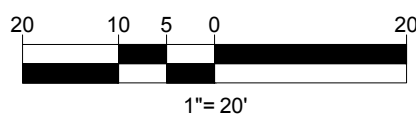
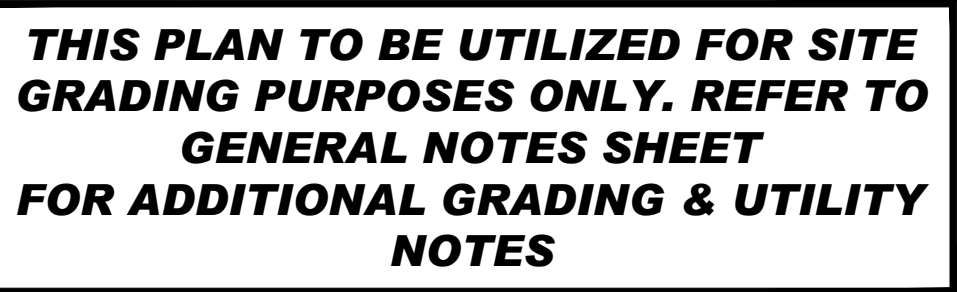
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**THIS PLAN TO BE UTILIZED FOR SITE
GRADING PURPOSES ONLY. REFER TO
GENERAL NOTES SHEET
FOR ADDITIONAL GRADING & UTILITY
NOTES**

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LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
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STREET ADDRESS	
117-119 WEST STREET	
CITY	STATE
WARE	MA
COUNTY	
HAMPSHIRE	
SITE I.D.	PLAN DESCRIPTION
020-0107	<i>GRADING AND DRAINAGE PLAN</i>

STATUS		DATE	BY
DRAWN BY:		02/04/22	CSE
PLAN CHECKED		02/04/22	JAK
AS-BUILT			

PLAN APPROVALS		DATE	BY
SIGNATURE			
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BOSTON REGION

110 N CARPENTER ST
CHICAGO, IL 60607

JOHN KUCHARSKI
CIVIL
No. 41530
REGISTERED PROFESSIONAL ENGINEER
STATE OF ILLINOIS
MECHANICAL ENGINEERING
LICENSE NO. 41530
EXPIRATION DATE 12/31/2023

DESCRIPTION

REV

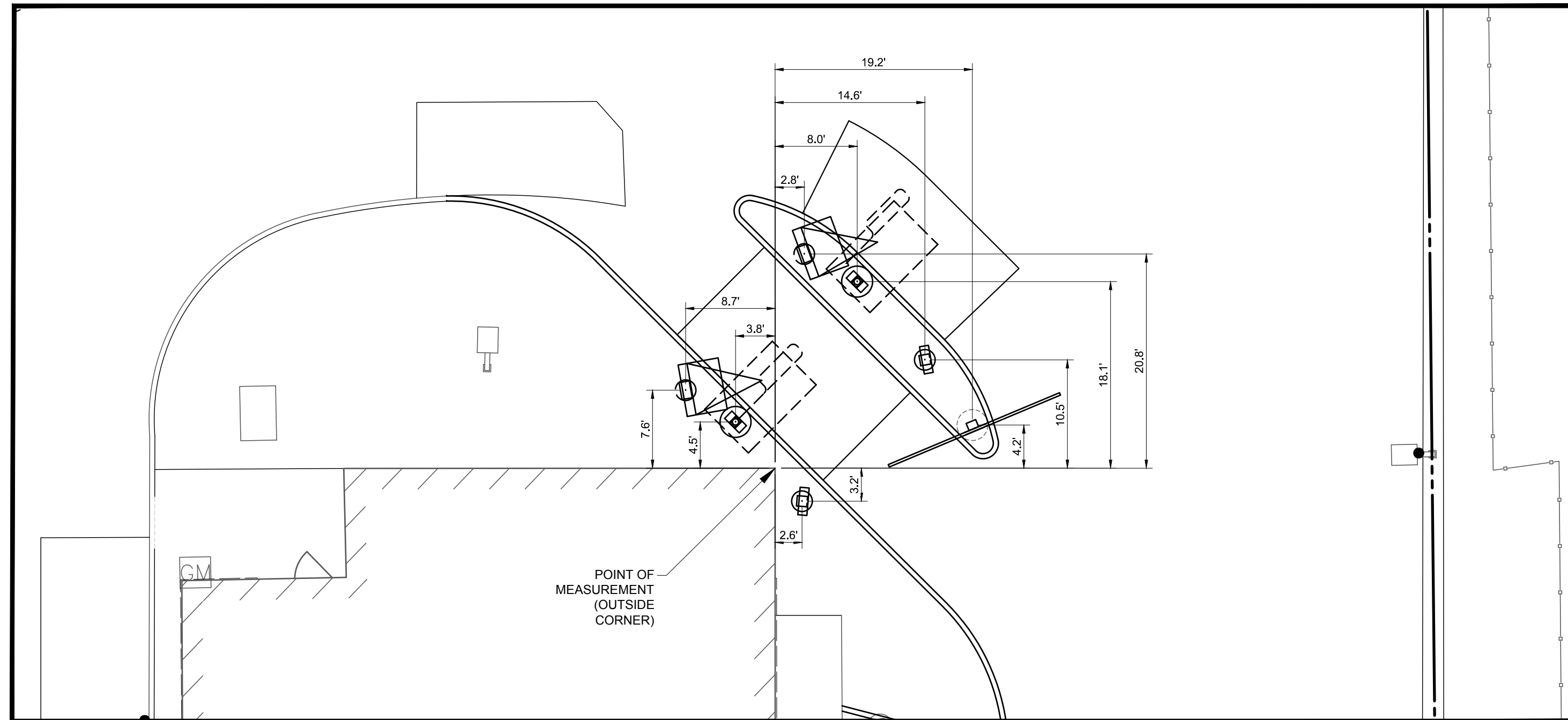
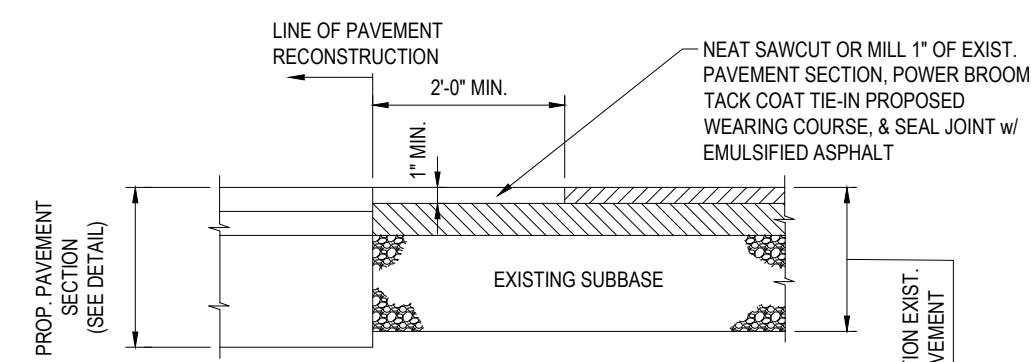
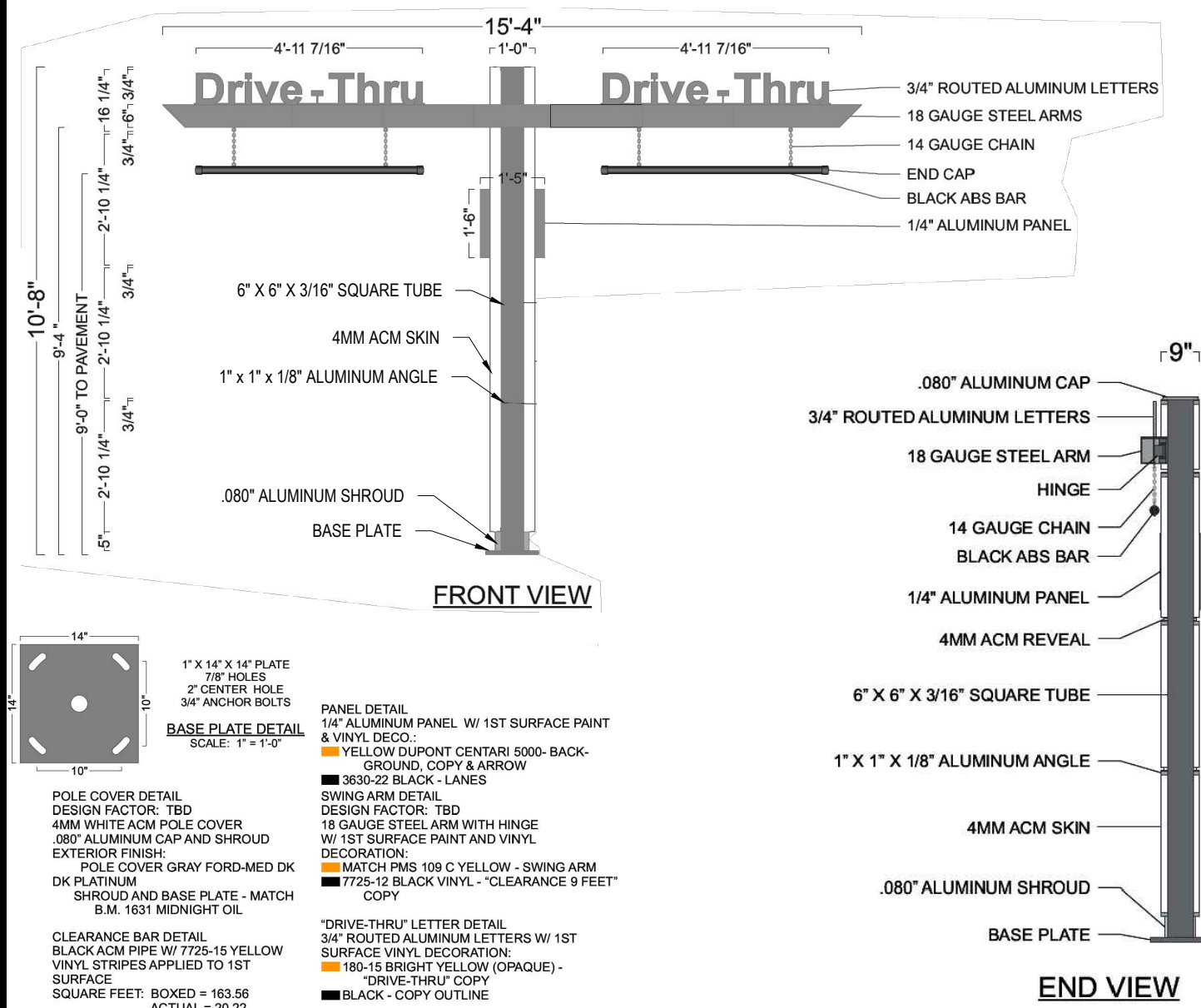
DATE

BY

SHEET NO.

C-401

OF 7



- ### SIDE-BY-SIDE STANDARDS & DESIGN TOLERANCES

- 1) DISTANCE FROM STANDARD IN OPEN PRESENT WINDOW TO CENTER OF OPEN CHASS WINDOW STANDARD IN 42-45" AND IS SPECIFIC TO EACH BUILDING CONFIGURATION. ACCEPTABLE TOLERANCE IS 40" MIN ON REMODELS ONLY.
- 2) DISTANCE FROM CENTER OF OPEN CHASS WINDOW TO CENTER OF PRIMARY LANE DT CANOPY/SPEAKER IS 100' OPTIMUM, 80' OR 60' MIN. ACCEPTABLE TOLERANCE IS PLUS OR MINUS 5' FOR 100' OR 80' QUEUES.
- 3) THE CENTER OF THE DIGITAL MENU BOARD/PEAKING BOARD IS TO BE 5'-9" (5'-6" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION. IT SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° (PREFERRED) FROM A CAR POSITIONED AT THE DT CANOPY/SPEAKER AND WITH 100% VISIBILITY.
- 4) THE CRITICAL HOLD DISTANCE FROM CENTER OF THE PRIMARY LANE DT CANOPY/SPEAKER TO THE CENTER OF THE CURBED ISLAND IS 15'-0".
- 5) THE CRITICAL HOLD DISTANCE FROM TIP OF ISLAND TO CENTER OF SECONDARY LANE DT CANOPY/SPEAKER IS 14'-0".
- 6) THE CENTER OF THE SECONDARY LANE DIGITAL MENU BOARD/PEAKING BOARD SHALL BE 5'-9" (5'-6" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION WITH THE END CAP OF THE SECONDARY MENU BOARD NOT BE LESS THAN 12" FROM FACE OF CURB. IT SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° FROM A VEHICLE POSITIONED AT THE DT CANOPY/SPEAKER AND WITH 100% VISIBILITY.
- 7) THE ISLAND WIDTH IS 13'-0" STANDARD FROM FACE OF CURB TO CURB.
- 8) DIGITAL PRE-BROWSE BOARD IN THE PRIMARY LANE MUST BE 18" 24" FROM FACE OF CURB. THE DISTANCE BETWEEN THE PRIMARY DT CANOPY/SPEAKER AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION. THE ANGLE (APPROXIMATELY 1/2) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY FROM THE SECOND CAR TO DT CANOPY/SPEAKER.
- 9) DIGITAL PRE-BROWSE BOARD IN THE SECONDARY LANE MUST BE MIN. 12" FROM FACE OF CURB. THE PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM THE DT CANOPY/SPEAKER (PREFERRED 35°).
- 10) A GATEWAY IS REQUIRED AND PLACED AT THE DRIVE-THRU LANE ENTRANCE.
- 11) EVERY SBS SHOULD HAVE BOTH DT CANOPY/SPEAKER IN BOTH LANES.

THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL, AND CONSIDERED "RED", ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.

NOTE: THE PLACEMENT OF THE DT CANOPY/SPEAKER SHOULD BE SUCH THAT PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.

NOTE: LINEAR DIMENSIONS ARE MEASURED PERPENDICULAR TO THE BUILDING FACES SHOWN UNLESS OTHERWISE NOTED.

NOTE: ALL SIGN BOLLARDS ARE TO BE 18"-2
FROM FACE OF CURB, THIS IS MEASURED
FROM THE CLOSEST POINT ON THE SIGN.

DRIVE-THRU

SCALE: 1"=10'



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COMPLETION CHECK	DATE
CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.: W212039 CAD I.D. #: W212039-CVL-0-dwg	

STREET ADDRESS	
117-119 WEST STREET	
CITY	STATE
WARE	MA
COUNTY	
HAMPSHIRE	
SITE I.D.	PLAN DESCRIPTION
020-0107	DETAIL SHEET

STATUS	DATE	BY
DRAWN BY:	02/04/22	CSE
PLAN CHECKED	02/04/22	JAK
AS-BUILT		

SHEET NO.

C-902



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BOSTON REGION

CHICAGO, IL 60607

PLAN APPROVALS

SIGNATURE

APPROVED McDONALD'S AGENT

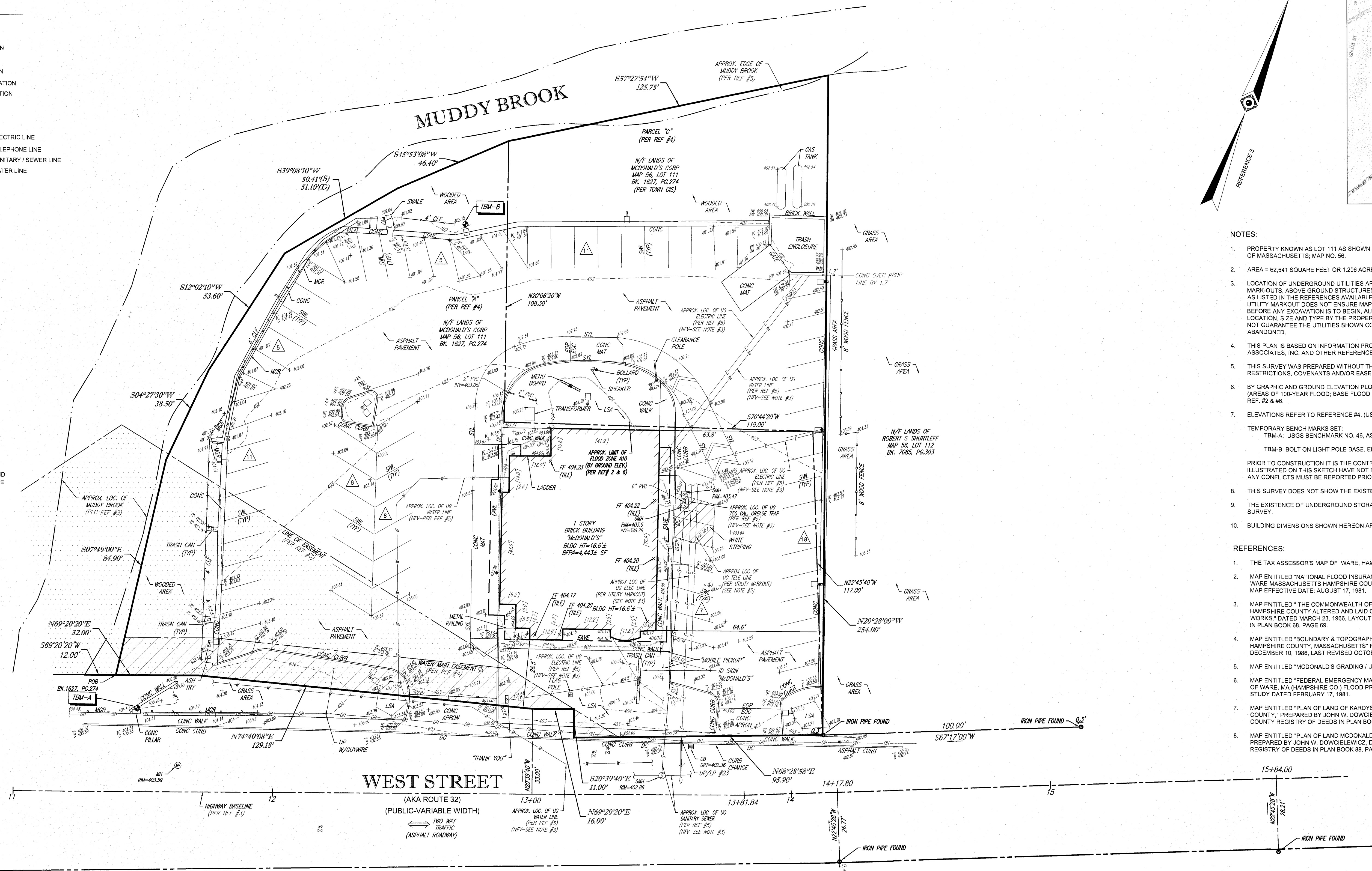
STATUS	DATE	BY
DRAWN BY:	02/04/22	CSE
PLAN CHECKED	02/04/22	JAK
AS-BUILT		

SHEET NO.

C-902

C-902
OF 7

LEGEND	
---	EXISTING CONTOUR
X 123.45	EXISTING SPOT ELEVATION
X TC 123.45	EXISTING TOP OF CURB ELEVATION
X G 123.45	EXISTING GUTTER ELEVATION
X TW 123.45	EXISTING TOP OF WALL ELEVATION
X BW 123.45	EXISTING BOTTOM OF WALL ELEVATION
X FF 123.45	EXISTING FINISHED FLOOR ELEVATION
WV	WATER VALVE
GM	GAS METER
OH	OVERHEAD WIRES
E	APPROX. LOC. UNDERGROUND ELECTRIC LINE
T	APPROX. LOC. UNDERGROUND TELEPHONE LINE
S	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
W	APPROX. LOC. UNDERGROUND WATER LINE
UP #	UTILITY POLE
GW	GUY WIRE
AL	AREA LIGHT
BL	BOLLARD
MR	METAL GUIDE RAIL
PA	PAINTED ARROWS
CLF	CHAIN LINK FENCE
LSA	LANDSCAPED AREA
(TYP)	TYPICAL
SMH	SANITARY/SEWER MANHOLE
CB	CATCH BASIN OR INLET
PS	PARKING SPACE COUNT
SWL	SOLID WHITE LINE
SYL	SOLID YELLOW LINE
HT	HEIGHT
BLDG	BUILDING
BFFA	BUILDING FOOTPRINT AREA
PVC	POLYVINYL CHLORIDE PIPE
INV	INVERT ELEVATION
GRT	GRATE ELEVATION
[41.9']	BUILDING DIMENSION
MGR	METAL GUIDE RAIL
1.0'	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE



- NOTES:
- PROPERTY KNOWN AS LOT 111 AS SHOWN ON THE TOWN OF WARE, HAMPSHIRE COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 56.
 - AREA = 52,541 SQUARE FEET OR 1.206 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY GRAPHIC AND GROUND ELEVATION PLOTTING PROPERTY IS LOCATED IN FLOOD HAZARD ZONE A10 (AREAS OF 100-YEAR FLOOD; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS DETERMINED) PER REF. #2 & #6.
 - ELEVATIONS REFER TO REFERENCE #4. (USGS NGVD29).
- TEMPORARY BENCH MARKS SET:
- TBM-A: USGS BENCHMARK NO. 46, ASSUMED ELEVATION OF 402.39.
- TBM-B: BOLT ON LIGHT POLE BASE ELEVATION = 403.77.
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.

- REFERENCES:
- THE TAX ASSESSOR'S MAP OF WARE, HAMPSHIRE COUNTY, MAP #56.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF WARE MASSACHUSETTS HAMPSHIRE COUNTY, PANEL 22 OF 30," COMMUNITY-PANEL NUMBER 250172 0022 B, MAP EFFECTIVE DATE: AUGUST 17, 1981.
 - MAP ENTITLED "THE COMMONWEALTH OF MASSACHUSETTS PLAN OF ROAD IN THE TOWN OF WARE HAMPSHIRE COUNTY ALTERED AND LAID OUT AS A STATE HIGHWAY, BY THE DEPARTMENT OF PUBLIC WORKS," DATED MARCH 23, 1966, LAYOUT NO. 5566, RECORDED WITH THE HAMPSHIRE REGISTRY OF DEEDS IN PLAN BOOK 68, PAGE 69.
 - MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY FOR MCDONALDS, WEST STREET, TOWN OF WARE, HAMPSHIRE COUNTY, MASSACHUSETTS" PREPARED BY HOFFMAN ENGINEERS & SURVEYORS DATED DECEMBER 10, 1986, LAST REVISED OCTOBER 5, 1987.
 - MAP ENTITLED "MCDONALD'S GRADING / UTILITY PLAN SP-2" DATED JULY 23, 1987 DRAWN BY ADAM MAKAS.
 - MAP ENTITLED "FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION TOWN OF WARE, MA (HAMPSHIRE CO.) FLOOD PROFILES MUDDY BROOK SHEET 04 OF THE FLOOD INSURANCE STUDY DATED FEBRUARY 17, 1981.
 - MAP ENTITLED "PLAN OF LAND OF KARDY'S, 117 & 119 WEST STREET, WARE MASSACHUSETTS, HAMPSHIRE COUNTY," PREPARED BY JOHN W. DOWCIELEWICZ, DATED MARCH 4, 1972, RECORDED WITH THE HAMPSHIRE COUNTY REGISTRY OF DEEDS IN PLAN BOOK 81, PAGE 58.
 - MAP ENTITLED "PLAN OF LAND MCDONALD'S CORPORATION, WARE MASSACHUSETTS, HAMPSHIRE COUNTY," PREPARED BY JOHN W. DOWCIELEWICZ, DATED AUGUST 13, 1973, RECORDED WITH THE HAMPSHIRE COUNTY REGISTRY OF DEEDS IN PLAN BOOK 88, PAGE 75.

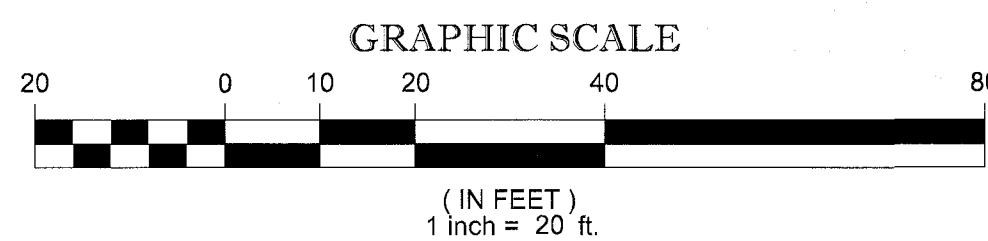
UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. REQUEST NUMBER(S): 20180201883

UTILITY COMPANY	PHONE NUMBER
AMERIGAS - PALMER	800-263-7442
COMCAST - SOUTH BURLINGTON	800-534-5489
NATIONAL GRID ELECTRIC-MASS ELEC	800-322-3223
OSTERMAN PROPANE	800-332-3353
VERIZON	800-822-0204
ON TARGET LOCATING	508-428-1022



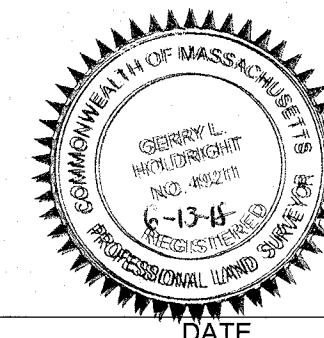
THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211



1	REVISED PER ENGINEERS COMMENTS	-	E.LOC	GL.H.	6-13-18
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
FIELD DATE	1/31/18				
FIELD BOOK NO.	1-MA				
FIELD BOOK PG.	52				
FIELD CREW	AS.P.				
DRAWN	PRIMA				
REVIEWED	R.D.N.				
APPROVED	G.L.H.				
DATE	2-12-18				
SCALE	1"=20'				
FILE NO.	03-170294-00				
DWG. NO.	1 OF 1				

BOUNDARY & TOPOGRAPHIC SURVEY
McDONALD'S USA, LLC
117-119 WEST STREET
MAP 56, LOT 111
TOWN OF WARE
HAMPSHIRE COUNTY
COMMONWEALTH OF MASSACHUSETTS

L/C# 020-0107

CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 • 508.948.3003 FAX

ATBANY, NY 5182175010
CHALFONT, PA 2157128800
MANHATTAN, NY 6467800411
MT LAUREL, NJ 6095772009
WARREN, NJ 9086880099