

## PLANNING COMMISSION AGENDA

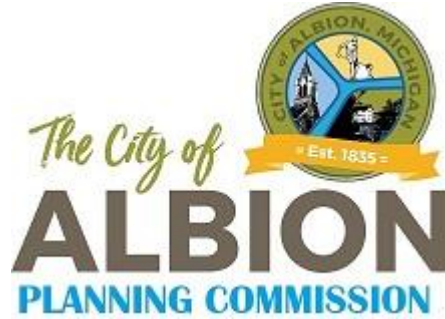
*Meetings: Third Tuesday - 7:00 p.m.  
Tuesday, May 18, 2021*

City Council Chambers ♦ Second Floor ♦ 112 West Cass Street ♦ Albion, MI 49224

---

### Page

- I. CALL TO ORDER (REMINDER: TURN OFF CELL PHONES)
- II. ROLL CALL OF THE COMMISSION
- III. APPROVAL OF PRIOR MEETING MINUTES
- 2 - 5 A. MARCH 16, 2021 MINUTES  
[PLANNING COMMISSION - 16 Mar 2021 - Minutes - Pdf](#)
- IV. CORRESPONDENCE
- V. ORDER OF BUSINESS
- 6 - 25 A. REVIEW OF REVISED SITE PLAN FOR CHRIST APOSTOLIC CHURCH AT 440 BEMER STREET  
[Planning Commission - 440 Bemer St Revised Site Plan Review 5-18-21 Recommendations Per Ordinance 5-12-21](#)  
[2021.04.19\\_194204 Christ Apostolic Church\\_Civil Set ZONING BOARD OF APPEALS - 09 Mar 2021](#)
- B. APPROVE MEDICAL MARIHUANA GROWER LICENSE FOR COMCO, LLC
- 26 - 29 C. DISCUSSION MOBILE FOOD VENDING ORDINANCE  
[City of Albion Mobile Food Vending Ordinance Draft 1 4-5-21](#)
- D. DISCUSSION OF COMPREHENSIVE PLAN PUBLIC ENGAGEMENT
- E. EXCUSE ABSENT BOARD MEMBER
- VI. PUBLIC COMMENTS
- VII. ADJOURNMENT



**MINUTES**  
**PLANNING COMMISSION**  
Tuesday, March 16, 2021 @ 7:00 PM  
City Council Chambers

**I CALL TO ORDER (Reminder: turn off cell phones)**

Vice Chair T Pitt called the regular Planning Commission to order at 7:04 p.m.

**II ROLL CALL of the Commission**

A.

PRESENT: Albert Amos (Albion, MI) ; Mayor Victoria Snyder (Albion, MI); Mark Lelle (Albion, MI); Tom Pitt (home); Scott Kipp (Albion, MI); Lenn Reid (home); George Strander (home) (arrived at 7:07 p.m.) and Joseph Verbeke (home)

ABSENT: Sharon Ponds

ADMINISTRATION: Haley Snyder, City Manager, Jill Domingo, City Clerk and Ian Arnold, Planning & Building Director

**III APPROVAL OF Prior Meeting MINUTES**

A. MINUTES

Moved by Commissioner Lelle, seconded by Commissioner Amos

*To approve February 17, 2021 minutes as presented*

Carried

**IV CORRESPONDENCE- None**

**V Order of Business**

A. APPROVE TWO MEDICAL MARIHUANA RENEWAL GROWER LICENSES FOR HONGRUI ENTERPRISES

Clerk Domingo corrected the agenda item to reflect that these were two new licenses not renewal licenses

Comments were received from Commissioner T Pitt; Director of Planning & Building Arnold; and John Fraser, Attorney for Hongrui Enterprises

Moved by Commissioner Pitt, seconded by Commissioner Lelle

*Approve Two Medical Marihuana Grower Licenses for Hongrui Enterprises*

Carried

B. DISCUSSION MOBILE FOOD VENDORS ORDINANCE

Director of Planning & Building stated the sub-committee consisting of Commissioners T Pitt, Mayor Snyder, A Amos and J Verbeke are working on reviewing several sample mobile food vendor ordinances. They will pull various pieces from the ordinances and include any special provisions that pertain to Albion. Director Arnold felt that the Marquette ordinance was much too detailed on the type of food and how it is prepared

Mayor Snyder asked if the sub-committee would be able to meet in person and work on the draft ordinance

Commissioner T Pitt stated the sub-committee may be able to present a draft ordinance for discussion at the next meeting

Chair G Strander felt the Ferndale ordinance was very detailed

C. UPDATES TO COMPREHENSIVE PLAN

Director of Planning & Building Arnold stated there were no updates at this time.

Commissioner T Pitt asked when the plan is due

Director of Planning & Building Arnold stated the plan is not due until next February

D. ZONING ORDINANCE MAXIMUM HEIGHT DISCUSSION

Director of Planning & Building Arnold stated that there has been a special use permit granted from the Planning Commission to Knauf Insulation and the Zoning Board of Appeals granted a variance to Christ Apostolic Church for height. He is asking the Planning Commission if the 36 foot height restriction makes sense. Changing the ordinance could be done by zoning areas.

Commissioner T Pitt stated that while working on the zoning re-write, the Zoning Re-Write Committee was very intentional about the 36 foot height restriction while allowing for residents to apply for a special use permit. The committee didn't want a skyline of varying heights

Commissioner Kipp agreed that the 36 foot height restriction was intentional

E. EXCUSE ABSENT BOARD MEMBER

Comments were received from Commissioners M Lelle and L Reid and City Manager Snyder

Moved by (2) Reid, seconded by Commissioner Pitt

*To Excuse Commissioner S Ponds*

Carried

**VI PUBLIC COMMENTS**

No public comments were received

**VII ADJOURNMENT**

Moved by Commissioner Pitt, seconded by (2) Reid

*To adjourn regular Planning Commission meeting*

*Chair G Strander adjourned the regular Planning Commission meeting at 7:24 p.m.*

Carried



---

Jill A. Domingo, City Clerk

**Planning Commission 440 Bemer St. Site plan review**

Per the City of Albion Zoning Ordinance, Section 5.5 D

“Prior to any final decision on a Major Project, the Planning Department and Planning Commission shall seek the recommendations of the City Inspector, City Engineer, Public Safety Chief, Fire Marshal, and Water and Sewer Department.”

Below are the returned comments from the requested parties.

**Questions and concerns from Building Inspector:**

1. Total Height?
  - a. Main structure is 36 ft, what is the total height of the center glass portion?
    - i. I believe the variance was given for 42’.
2. The area labeled “future service drive” to the East is on property that is not owned by CAC and cannot be included in the consideration of their site plan.
3. No accommodation for dumpster.

Zoning Ordinance: Section 3.11, E

“Refuse containers for other than single and two-family uses shall be screened from view of any public right-of way or adjacent residential use or residential zone. Screening shall consist of a solid wall or fence or live landscape material at least six (6) feet high.”

4. Landscape management plan?

**Questions and concerns from Director of Public Works**

No questions, Public Works Director was satisfied with drawings.

**Questions and concerns from Public Safety/Police/Fire**

No recommendation returned – Scott is on the Planning Commission and his recommendation can be taken during the regular meeting.

**Questions and concerns from City Engineer**

No recommendation returned. Mickey Bittner works on a contractual basis for the city, and is employed by the same organization that Noah Boyd, the engineer, or designer for Christ Apostolic Church’s project.

# CHRIST APOSTOLIC CHURCH

## APOSTOLIC CHURCH DEVELOPMENT

### NOTES

EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS OR IN THE PROPOSAL AND SUPPLEMENTAL SPECIFICATIONS CONTAINED THEREIN, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE 2012 MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION.

THE PLACING OF PAVEMENT MARKINGS AND TRAFFIC CONTROL SIGNS SHALL BE DONE IN ACCORDANCE WITH THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AS AMENDED.

IN CONFORMANCE WITH PUBLIC ACT 174 OF 2013, ALL CONTRACTORS SHALL CALL MISS DIG @ 811 OR 800-482-7171 FOR PROTECTION OF UNDERGROUND UTILITIES. A MINIMUM OF THREE FULL WORKING DAYS (EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS) PRIOR TO BEGINNING EACH EXCAVATION IN ANY AREA, MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

#### BENCHMARKS:

BENCHMARK 1  
SET GIN SPIKE IN NORTHWEST SIDE OF UTILITY POLE  
ELEVATION = 991.73' (NAVD 88)

BENCHMARK 2  
SET GIN SPIKE IN NORTHEAST SIDE OF UTILITY POLE  
ELEVATION = 991.86' (NAVD 88)

### UTILITIES

ELECTRIC	CONSUMERS ENERGY 311 E MICHIGAN AVE BATTLE CREEK, MI 49014 (800) 477-5050
TELECOM	AMERITECH 133 W LOVELL, ROOM 105 KALAMAZOO, MI 49007 (800) 244-4444
CABLE	AT&T 15869 W MICHIGAN AVE MARSHALL, MI 49068 (866) 385-6265
GAS	SEMCO ENERGY GAS CO. 55 HAMBLIN BATTLE CREEK, MI 49017 (888) GAS-1-GAS
WATER, SEWER & STORM	CITY OF ALBION DEPARTMENT OF PUBLIC SERVICES 112 W. CASS STREET ALBION, MI 49224 MICHAEL LOHRKE MLOHRKE@CITYOFALBIONMI.GOV (517) 629-7887
"MISS DIG"	811

### INDEX OF PLANS

G001	COVER SHEET
CD100	EXISTING CONDITIONS DEMOLITION PLAN
CP101	SITE PLAN
CG102	GRADING PLAN
CU103	UTILITY PLAN
CE104	EROSION CONTROL PLAN
G500	DETAILS
L101	LANDSCAPE PLAN
L501	LANDSCAPE DETAILS

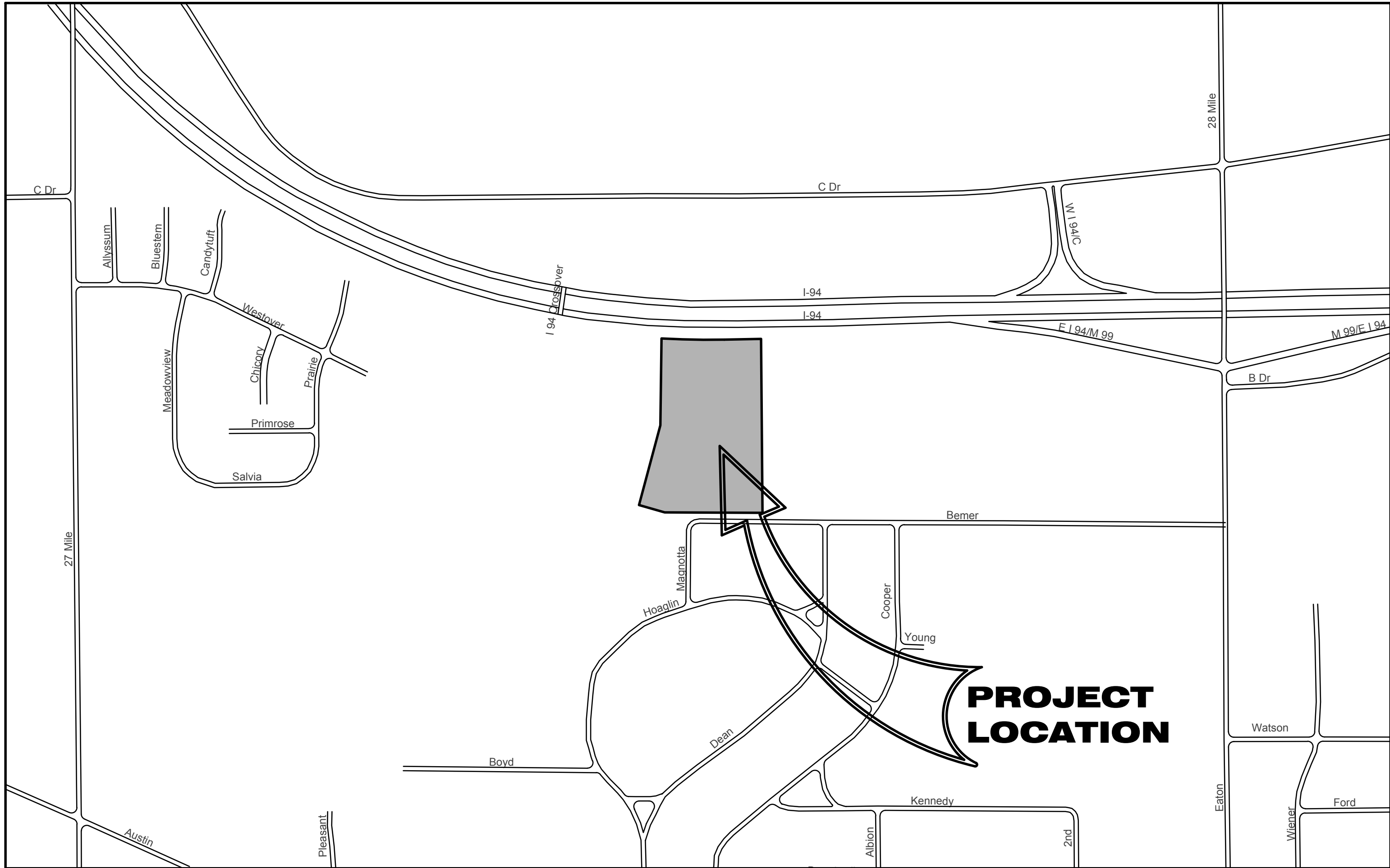
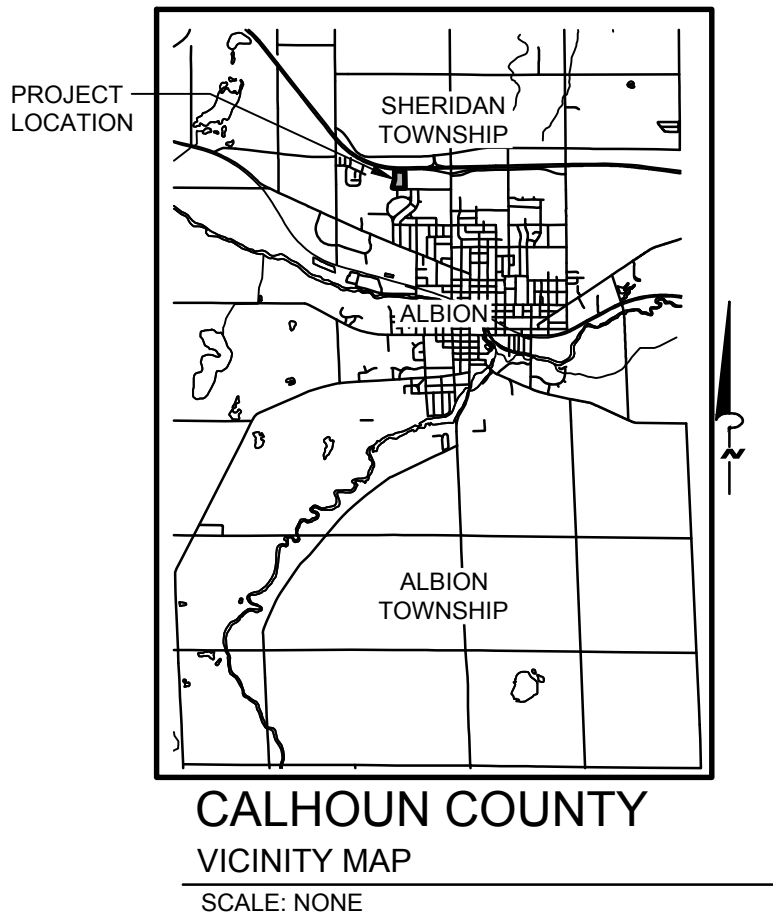
<b>W+</b> <b>WIGHTMAN</b>
<b>BENTON HARBOR</b> 269.927.0100
<b>KALAMAZOO</b> 269.327.3532
<b>ALLEGAN</b> 269.673.8465
<b>ROYAL OAK</b> 248.791.1371

[www.gowightman.com](http://www.gowightman.com)

DAN E. YERKS  
ENGINEER NO. 57717

PROJECT NAME:  
**APOSTOLIC CHURCH DEVELOPMENT**  
440 BEMER STREET  
ALBION, MI 49224

**CHRIST APOSTOLIC CHURCH**  
530 N SUPERIOR STREET  
ALBION, MI 49224



LEGEND	
EXISTING	PROPOSED
— C —	— C — CABLE
— E —	— E — ELECTRIC LINE
— OHE —	— OHE — ELECTRIC LINE (OVERHEAD)
— FO —	— FO — FIBER OPTIC LINE
— G —	— G — GAS LINE
— T —	— T — TELEPHONE LINE
— * — * — * —	— * — * — * — FENCE
— — — — —	— — — — — FORCEMAIN
— — — — —	— — — — — GUARDRAIL
— — — — —	— — — — — SANITARY SEWER
— — — — —	— — — — — STORM SEWER
— — — — —	— — — — — WATER MAIN
— — — — —	— — — — — CENTER LINE
— — — — —	— — — — — EXISTING TREE LINE
— — — — —	— — — — — EXISTING DITCH LINE
— — — — —	— — — — — EASEMENT LINE/GRADING PERMIT
— — — — —	— — — — — GRADING LIMITS/LIMITS OF DISTURBANCE
— — — — —	— — — — — PROPERTY LINE
— — — — —	— — — — — RIGHT-OF-WAY LINE
— — — — —	— — — — — SECTION LINE
— — — — —	— — — — — TO BE ABANDONED

⚡ = ANTENNA	••• = PAVEMENT/SOIL BORING
☐ = CATCH BASIN	⊗ = PROPOSED HYDRANT
☐ = CABLE RISER BOX	⊗ = PROPOSED GATE VALVE & BOX
☐ = CLEAN OUT	⊗ = PROPOSED GATE VALVE & VAULT
☐ = CURB INLET	⊗ = PROPOSED REDUCER
⊗ = ELECTRIC MANHOLE	⊗ = PROPOSED SANITARY MANHOLE
⊗ = FIRE HYDRANT	⊗ = PROPOSED STORM MANHOLE
⊗ = FOUND IRON PIPE	⊗ = STORM MANHOLE
⊗ = GAS VALVE	⊗ = TELEPHONE MANHOLE
⊗ = GUY ANCHOR	⊗ = TELEPHONE RISER BOX
⊗ = LIGHT POLE	⊗ = TURNING POINT/TRVERSE
⊗ = MAILBOX	⊗ = UTILITY POLE
⊗ = MONITORING WELL	⊗ = VAULT
• = POST	• = WATER ELEVATION
• = SATELLITE DISH	• = WATER MANHOLE
⊗ = SANITARY MANHOLE	⊗ = WATER METER
⊗ = SECTION CORNER	⊗ = WATER VALVE
⊗ = SIGN	⊗ = WATER SPIGOT
	⊗ = WELL

TREE DESIGNATORS	
☁ BUSH	☁ STUMP
☼ CONIFEROUS TREE	☼ DECIDUOUS TREE
☼ CONIFEROUS TREE TO BE REMOVED	☼ DECIDUOUS TREE TO BE REMOVED

**ISSUED FOR REVIEW**  
**SEPTEMBER, 2020**

02 APRIL 2021 NEB  
SITE PLAN SUBMITTAL

01 AUGUST 2020 NEB  
PRE-APPLICATION REVIEW

00 7/28/2020 NEB  
PRELIMINARY - NOT FOR CONSTRUCTION

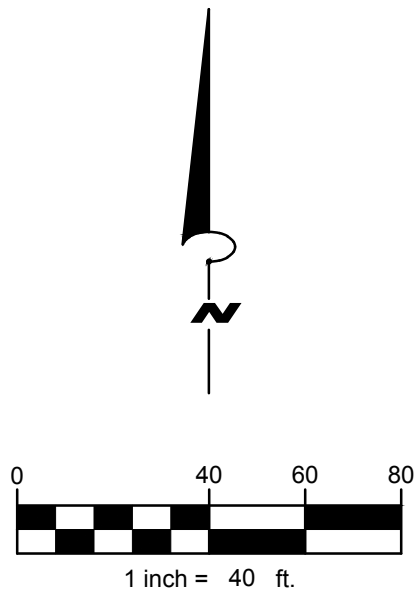
REVISIONS  
THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED.  
© 2020 WIGHTMAN & ASSOCIATES, INC.

DATE: JULY 2020  
SCALE: 1" = 400'

COVER SHEET

JOB No. 194204  
**G001**





- DEMOLITION NOTES
1.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING UTILITIES, PAVING, STRUCTURES, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED ON THE PLANS
2.

THE CONTRACTOR SHALL DISPOSE OF ALL DEBRIS, TRASH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. DISPOSAL OF SUCH ITEMS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS
3.

ANY DAMAGE TO ADJACENT PROPERTIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL RECEIVE WRITTEN PERMISSION PRIOR TO ANY OFFSITE DISTURBANCE, UNLESS SPECIFICALLY MENTIONED ON THIS SHEET
4.

THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN. UTILITY LOCATIONS SHOWN ARE BASED OFF PREVIOUS RECORD DRAWINGS AND FIELD MEASUREMENTS WHERE APPLICABLE. THE INFORMATION IS NOT TO BE RELIED UPON AND MUST BE CONFIRMED BY THE UTILITY COMPANY. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO THE EXCAVATION TO REQUEST FIELD LOCATING.
5.

ANY DEMOLITION WITHIN THE RIGHT-OF-WAY MUST BE COORDINATED WITH THE LOCAL JURISDICTION. FURTHERMORE, THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED TRAFFIC CONTROL IS IN PLACE PRIOR TO WORK WITHIN THE RIGHT-OF-WAY.
6.

EROSION CONTROL BMP'S SHALL BE IN PLACE PRIOR TO ANY DEMOLITION WORK
7.

THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR ALL SUBSURFACE INFORMATION
8.

ALL UTILITIES SHOWN THAT ARE NOT TO BE REMOVED DURING DEMOLITION SHALL BE PROTECTED. ANY DAMAGE TO SUCH UTILITIES OR STRUCTURES, SHALL BE REPAIRED OR REPLACED AT THE GENERAL CONTRACTORS EXPENSE.
9.

THE CONTRACTOR SHALL USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST. SEE EROSION CONTROL SHEET FOR FURTHER EROSION CONTROL REQUIREMENTS.
10.

THE CONTRACTOR SHALL COMPLETELY FILL ALL VOIDS RESULTING FROM DEMOLITION ACTIVITIES. MATERIAL SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS FOR BACKFILL. FILL MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 12 INCHES IN LOOSE DEPTH AND COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY.

- DEMOLITION LEGEND
- REMOVE EXISTING PAVEMENT
- SAWCUT AND REMOVE EXISTING CURB AND GUTTER TO NEAREST JOINT
- REMOVAL/CLEARING AREA
- = EXISTING FENCE TO BE REMOVED
- = EXISTING UTILITY TO BE REMOVED

- LEGEND
- = EXISTING ELECTRIC LINE (OVERHEAD)
- = EXISTING ELECTRIC LINE (UNDERGROUND)
- = EXISTING FENCE
- = EXISTING GUARDRAIL
- = EXISTING MAJOR CONTOUR
- = EXISTING MINOR CONTOUR
- = EXISTING STORM SEWER
- = EXISTING TELECOMMUNICATIONS
- = EXISTING GAS MAIN
- = EXISTING WATER MAIN
- = EXISTING CENTER LINE
- = PROPERTY LINE/EASEMENT LINE
- = RIGHT-OF-WAY LINE
- = SECTION LINE
- = EXISTING TREE LINE
- = EXISTING GRAVEL EDGE
- = POWER POLE
- = GUY WIRE ANCHOR
- = BENCHMARK

- BENCHMARKS
- BENCHMARK 1

SET GIN SPIKE IN NORTHWEST SIDE OF UTILITY POLE

ELEVATION = 991.73' (NAVD 88)
- BENCHMARK 2

SET GIN SPIKE IN NORTHEAST SIDE OF UTILITY POLE

ELEVATION = 991.86' (NAVD 88)

**WIGHTMAN**

BENTON HARBOR  
269.927.0100

KALAMAZOO  
269.327.3532

ALLEGAN  
269.673.8465

ROYAL OAK  
248.791.1371

[www.gowightman.com](http://www.gowightman.com)

DAN E. YERKS  
ENGINEER NO. 57717

PROJECT NAME:  
**APOSTOLIC CHURCH DEVELOPMENT**  
440 BEMER STREET  
ALBION, MI 49224

**CHRIST APOSTOLIC CHURCH**  
530 N SUPERIOR STREET  
ALBION, MI 49224

02 APRIL 2021  
SITE PLAN SUBMITTAL

01 AUGUST 2020  
PRE-APPLICATION REVIEW

00 7/28/2020  
PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS

THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED.

© 2020 WIGHTMAN & ASSOCIATES, INC.

DATE: JULY 2020

SCALE: 1" = 40'

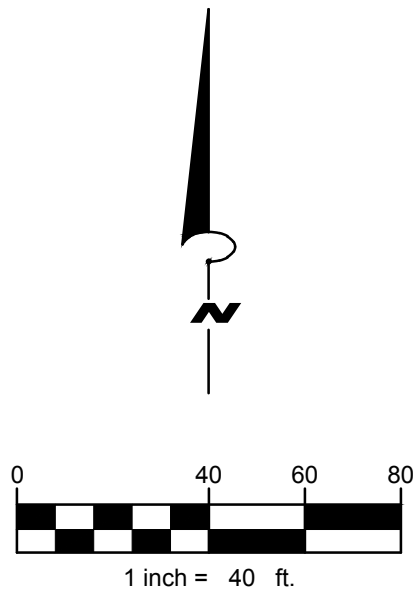
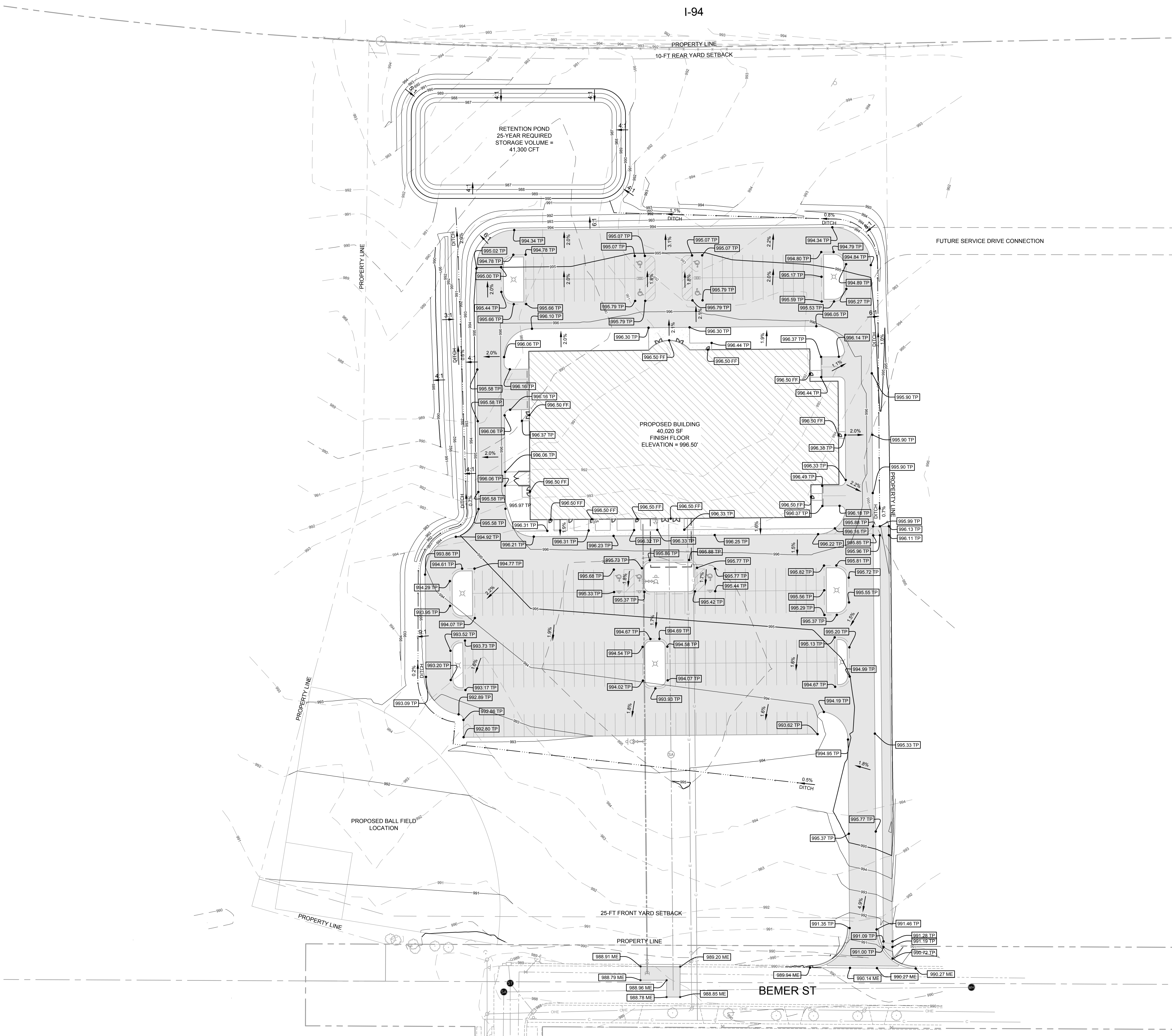
EXISTING CONDITIONS  
DEMOLITION PLAN

JOB No. 194204  
**CD100**









GRADING NOTES

1. ALL SPOT GRADE ELEVATIONS ALONG CURB REFER TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
2. ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH EXCAVATOR, LANDSCAPE, AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
3. ALL EARTHEN SLOPES SHALL BE LESS THAN 3:1 UNLESS OTHERWISE NOTED
4. THE MAXIMUM RUNNING SLOPE FOR ALL SIDEWALK SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2%.
5. THE CONTRACTOR SHALL MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS UNLESS OTHERWISE NOTED

GRADING LEGEND

- TC = TOP OF CURB  
ME = MATCH ELEVATION  
R = RIM ELEVATION  
FG = FINISH GRADE  
FL = FLOW LINE  
TP = TOP OF PAVEMENT
- XXX --- EXISTING CONTOUR  
--- XXX --- PROPOSED CONTOUR  
--- RIDGE --- RIDGE LINE  
--- SWALE --- PROPOSED SWALE

RETENTION POND VOLUME

ELEV.	AREA (sq. ft.)	DEPTH (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)	REMARK
987.00	12,160.56	N/A	N/A	0.00	BOTTOM
988.00	13,573.59	1.00	12867.08	12867.08	N/A
989.00	15,043.15	1.00	14308.37	27175.44	N/A
989.90	16,413.73	0.90	14155.59	41331.04	25-YEAR VOL.
990.00	18,151.88	0.10	1728.28	43059.32	TOP

**WIGHTMAN**

**BENTON HARBOR**  
269.927.0100

**KALAMAZOO**  
269.327.3532

**ALLEGAN**  
269.673.8465

**ROYAL OAK**  
248.791.1371

[www.gowightman.com](http://www.gowightman.com)

DAN E. YERKS  
ENGINEER NO. 57717

PROJECT NAME:  
**APOSTOLIC CHURCH DEVELOPMENT**  
440 BEMER STREET  
ALBION, MI 49224

**CHRIST APOSTOLIC CHURCH**  
530 N SUPERIOR STREET  
ALBION, MI 49224

02 APRIL 2021 NEB  
SITE PLAN SUBMITTAL

01 AUGUST 2020 NEB  
PRE-APPLICATION REVIEW

00 7/28/2020 NEB  
PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS

THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED.  
© 2020 WIGHTMAN & ASSOCIATES, INC.

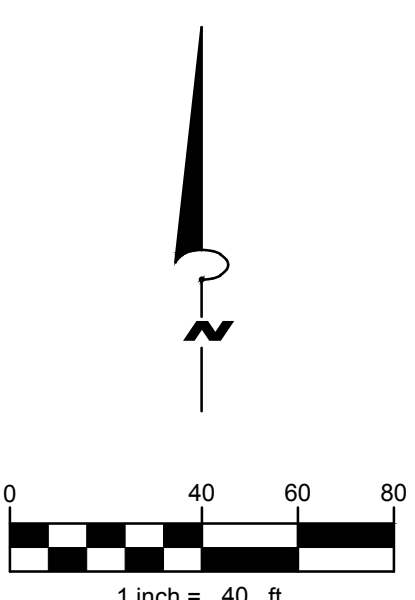
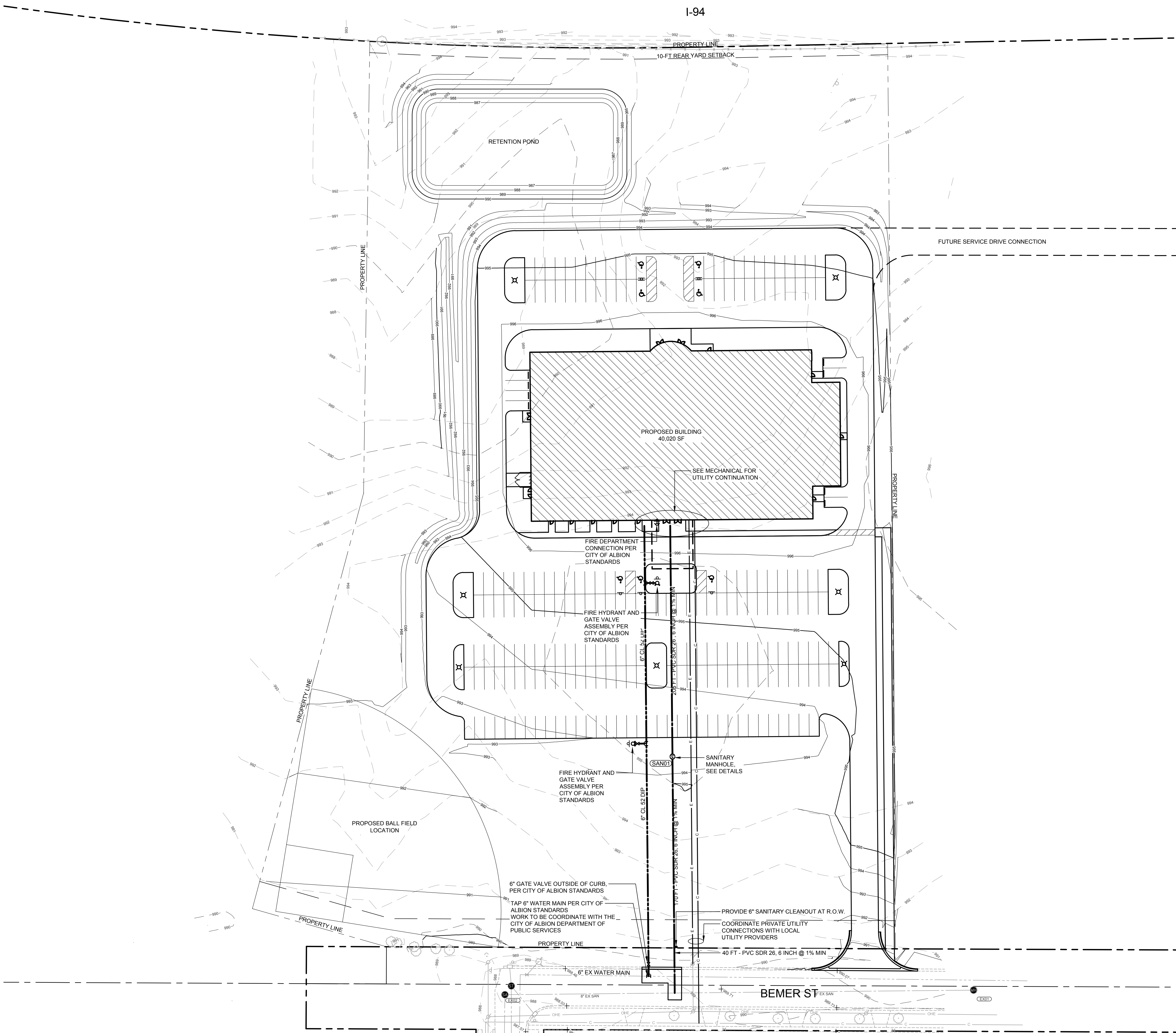
DATE: JULY 2020

SCALE: 1" = 40'

GRADING PLAN

JOB No. 194204  
**CG102**





UTILITY NOTES

1. ALL WATER LINES GREATER THAN 3 INCHES IN DIAMETER SHALL BE DUCTILE IRON PIPE, CLASS 52
2. SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN. THIS PIPE SHALL BE AWWA C900 (UNLESS CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER AND MINIMUM 18" SEPARATION BETWEEN PIPES.
3. ANY DISRUPTIONS TO EXISTING SERVICE LINES FOR ADJACENT PROPERTIES SHALL BE COORDINATED WITH AFFECTED PROPERTY OWNERS
4. THE CONTRACTOR SHALL NOTIFY MISS DIG (800-482-7171) TO COORDINATE FIELD LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
5. SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING

SAN. STRUCTURES	
EX01	RIM 990.15 INV. 982.40 - 8" W
EX02	RIM 988.22 INV. 980.74 - 8" E INV. 980.65 - 10" S
SAN01	RIM 993.66 INV. 984.57 - 6" N INV. 984.57 - 6" S

UTILITY LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	SECTION LINE
	EASEMENT LINE/GRADING PERMIT
	EXISTING CABLE
	EXISTING ELECTRIC LINE
	EXISTING ELECTRIC LINE (OVERHEAD)
	EXISTING FIBER OPTIC LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER MAIN
	PROPOSED ELECTRIC LINE
	PROPOSED GAS LINE
	PROPOSED TELEPHONE LINE
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED WATER MAIN

	= CATCH BASIN		= PROPOSED HYDRANT
	= CABLE RISER BOX		= PROPOSED GATE VALVE & BOX
	= CLEAN OUT		= PROPOSED GATE VALVE & VAULT
	= CURB INLET		= PROPOSED REDUCER
	= ELECTRIC MANHOLE		= PROPOSED SANITARY MANHOLE
	= FIRE HYDRANT		= PROPOSED STORM MANHOLE
	= FOUND IRON PIPE		= STORM MANHOLE
	= LIGHT POLE		= TELEPHONE MANHOLE
	= MAILBOX		= TELEPHONE RISER BOX
	= MONITORING WELL		= TURNING POINT/TRVERSE
	= POST		= UTILITY POLE
	= SANITARY MANHOLE		= WATER MANHOLE
	= SECTION CORNER		= WATER METER
	= SIGN		= WATER VALVE

**WIGHTMAN**  
BENTON HARBOR  
269.927.0100  
KALAMAZOO  
269.327.3532  
ALLEGAN  
269.673.8465  
ROYAL OAK  
248.791.1371  
[www.gowightman.com](http://www.gowightman.com)

PROJECT NAME:  
**APOSTOLIC CHURCH DEVELOPMENT**  
440 BEMER STREET  
ALBION, MI 49224

**CHRIST APOSTOLIC CHURCH**  
530 N SUPERIOR STREET  
ALBION, MI 49224

02 APRIL 2021 NEB  
SITE PLAN SUBMITTAL

01 AUGUST 2020 NEB  
PRE-APPLICATION REVIEW

00 7/28/2020 NEB  
PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS

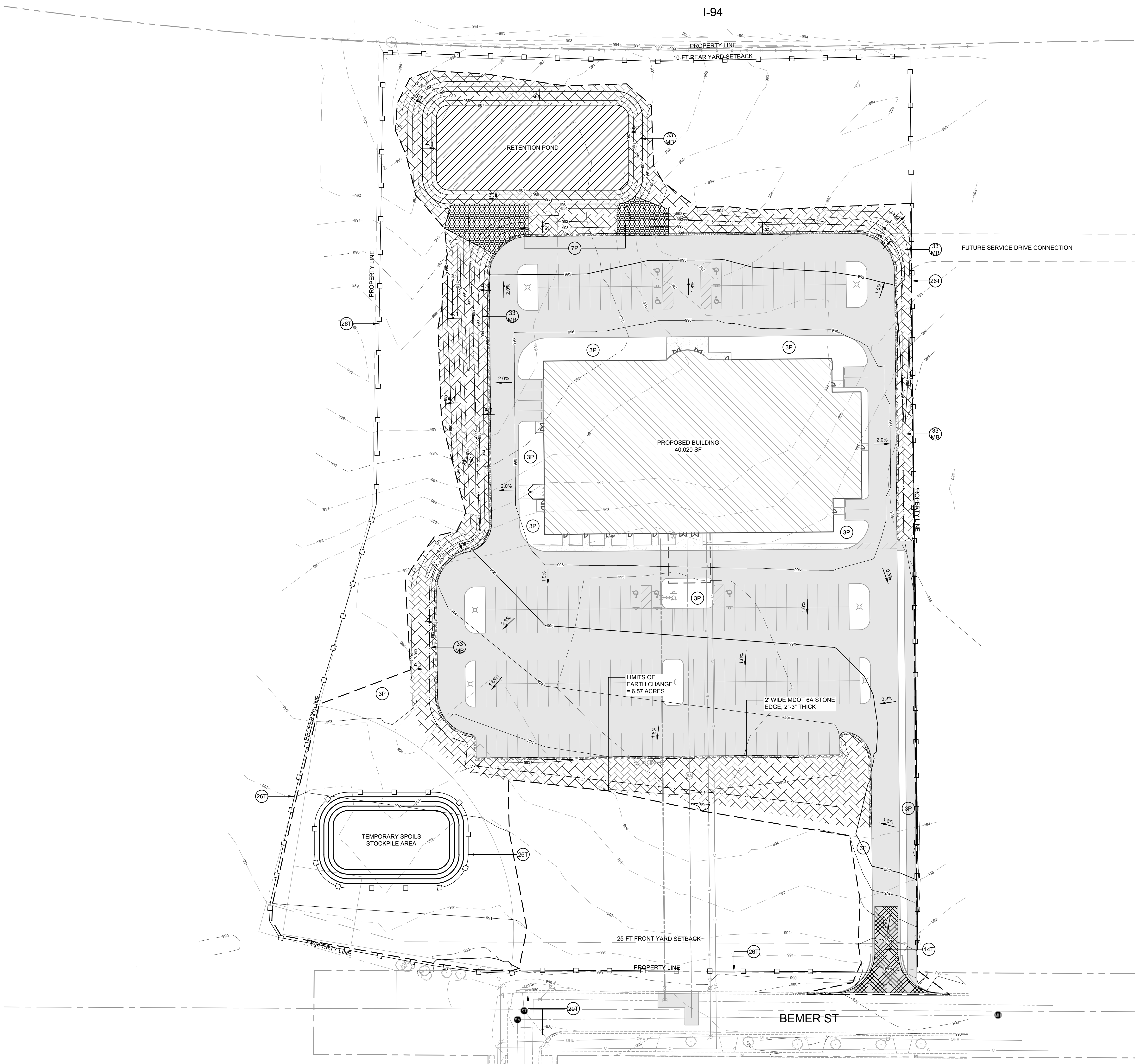
Drawn by: WIGHTMAN & ASSOCIATES, INC. (C) 2020 WIGHTMAN & ASSOCIATES, INC. ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF WIGHTMAN & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR OTHERWISE USED WITHOUT WRITTEN CONSENT OF WIGHTMAN & ASSOCIATES, INC.

DATE: JULY 2020  
SCALE: 1" = 40'

UTILITY PLAN

JOB No. 194204  
**CU103**





SOIL EROSION & SEDIMENTATION CONTROL NOTES

1

ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH THE MICHIGAN SOIL EROSION AND SEDIMENTATION CONTROL ACT. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE COUNTY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM THE MDEQ PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE COUNTY "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.

2

AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER, THESE COVER AREAS ACT AS SEDIMENT FILTERS.

3

ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.

4

GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.

5

MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.

NUMBER IN CIRCLE REFERS TO NUMBERED DETAILS ON MDOT STANDARD PLAN R-96 SERIES, SOIL EROSION & SEDIMENTATION CONTROL MEASURES. "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.

3P

DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. PLACE TOPSOIL SURFACE, SALV. 3 INCH, MDOT SEEDING MIXTURE TUF APPLIED AT A RATE OF 176 LB/ACRE, FERTILIZER, CHEMICAL NUTRIENT, CL A APPLIED AT A RATE OF 228 LB/ACRE, MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)

7P

DENOTES RIPRAP. INSTALL RIPRAP. PLAIN AS DIRECTED BY THE ENGINEER IN THE FIELD. THE RIPRAP, PLAIN PAY ITEM SHALL INCLUDE A GEOTEXTILE UNDERLAYMENT.

14T

DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MINIMUM OF 10' WIDE, 6" DEEP, AND CONSIST OF 2"-4" AGGREGATE

26T

DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.

29T

DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM.

33 MB

DENOTES MULCH BLANKETS. MULCH BLANKET SHALL BE PROVIDED AT LOCATIONS SHOWN ON THE PLANS, AT SLOPES GREATER THAN 1:3. AREAS WITH CONCENTRATED FLOWS, AND AS DIRECTED BY THE ENGINEER IN THE FIELD, TO PREVENT RUNOFF AND EROSION.

EROSION CONTROL LEGEND

NATIVE SEEDING (POND BOTTOM)

SEEDING WITH FIBER BLANKET  
NORTH AMERICAN GREEN S150BN

RIP-RAP

TEMPORARY CONSTRUCTION  
ENTRANCE

MDOT 6A STONE EDGE

LEGEND

= EXISTING ELECTRIC LINE (OVERHEAD)

= EXISTING ELECTRIC LINE (UNDERGROUND)

= EXISTING FENCE

= EXISTING MAJOR CONTOUR

= EXISTING MINOR CONTOUR

= EXISTING STORM SEWER

= EXISTING TELECOMMUNICATIONS

= EXISTING GAS MAIN

= EXISTING WATER MAIN

= EXISTING CENTER LINE

= PROPERTY LINE/EASEMENT LINE

= RIGHT-OF-WAY LINE

= SECTION LINE

= PROPOSED MAJOR CONTOUR

= PROPOSED MINOR CONTOUR

= PROPOSED FENCE

= PROPOSED STORM SEWER

= SILT FENCE

= LIMITS OF CONSTRUCTION

= POWER POLE

= GUY WIRE ANCHOR

= BENCHMARK

**WIGHTMAN**

BENTON HARBOR

269.927.0100

KALAMAZOO

269.327.3532

ALLEGAN

269.673.8465

ROYAL OAK

248.791.1371

[www.gowightman.com](http://www.gowightman.com)

DAN E. YERKS  
ENGINEER NO. 57717

PROJECT NAME:  
**APOSTOLIC CHURCH DEVELOPMENT**  
440 BEMER STREET  
ALBION, MI 49224

**CHRIST APOSTOLIC CHURCH**  
530 N SUPERIOR STREET  
ALBION, MI 49224

02 APRIL 2021  
SITE PLAN SUBMITTAL

01 AUGUST 2020  
PRE-APPLICATION REVIEW

00 7/28/2020  
PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS

THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED.

© 2020 WIGHTMAN & ASSOCIATES, INC.

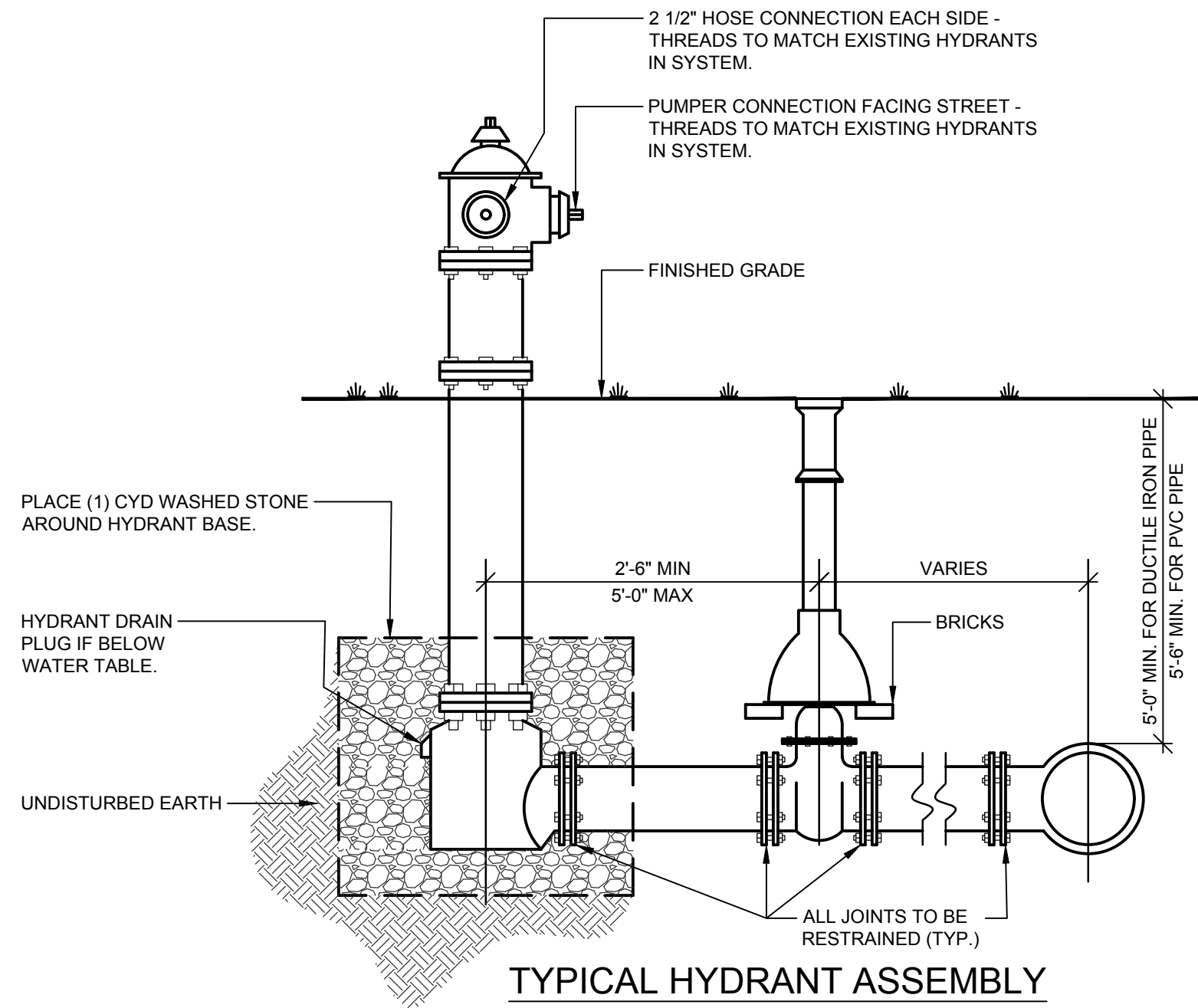
DATE: JULY 2020

SCALE: 1" = 40'

EROSION CONTROL PLAN

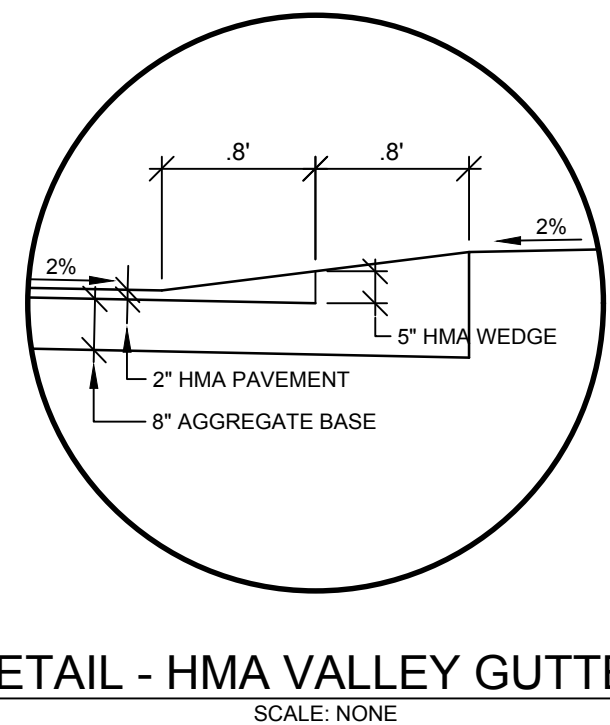
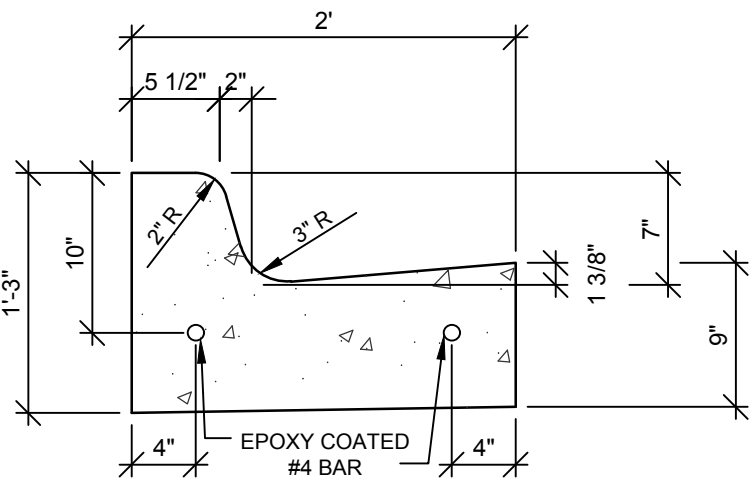
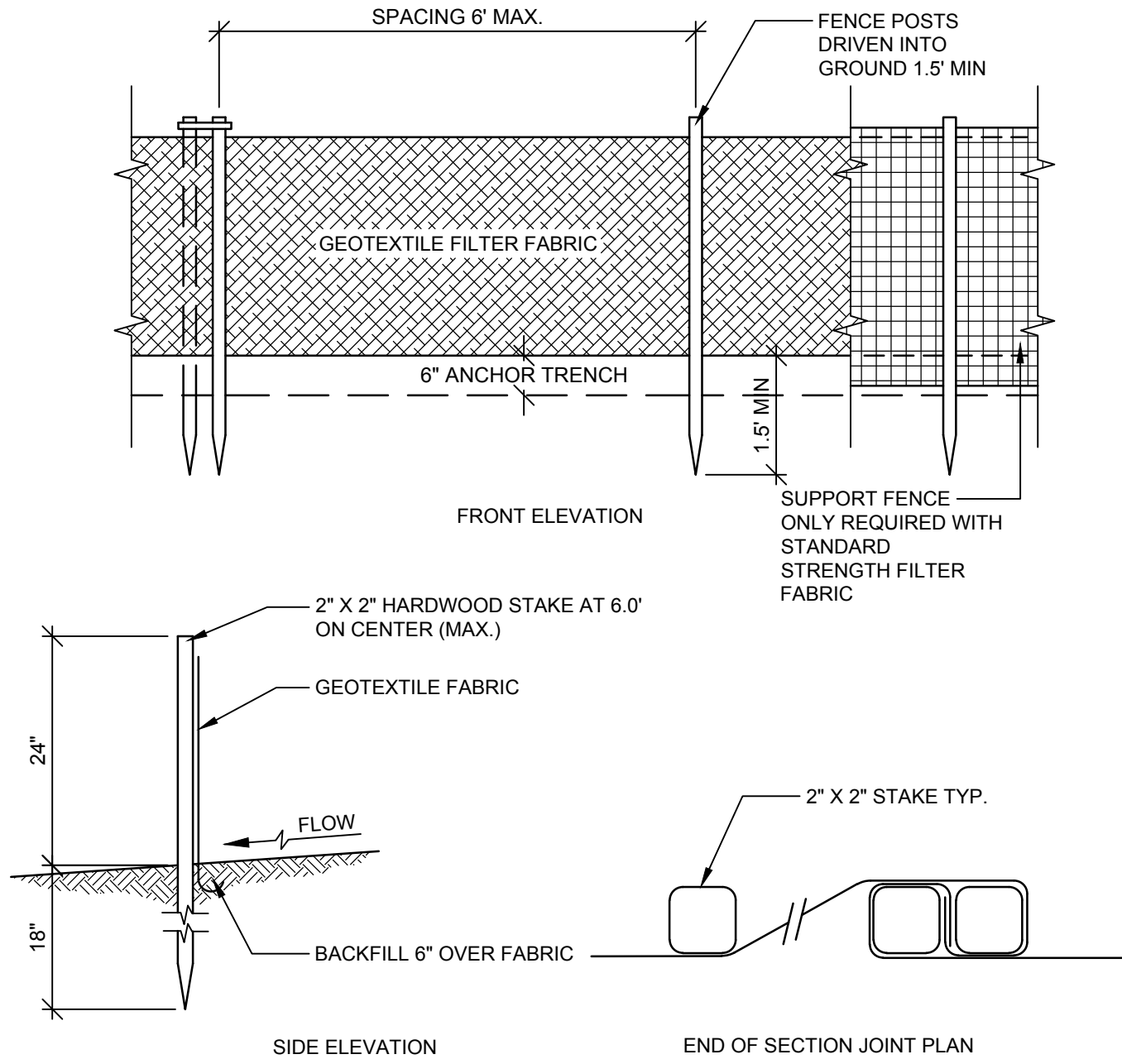
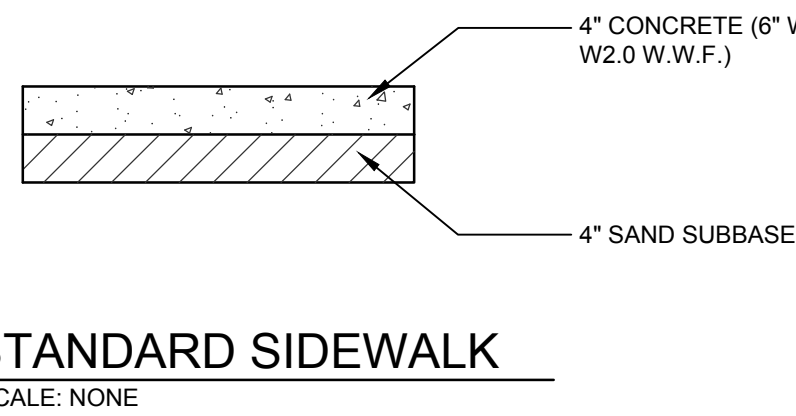
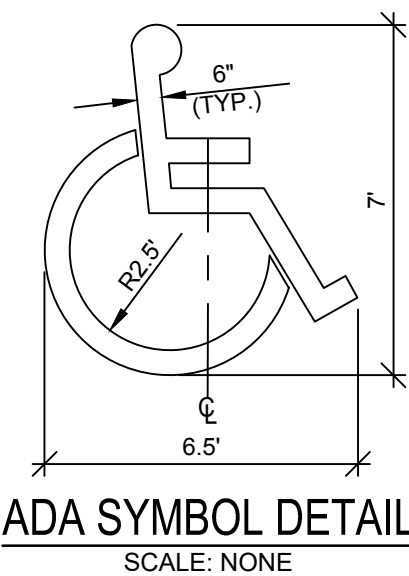
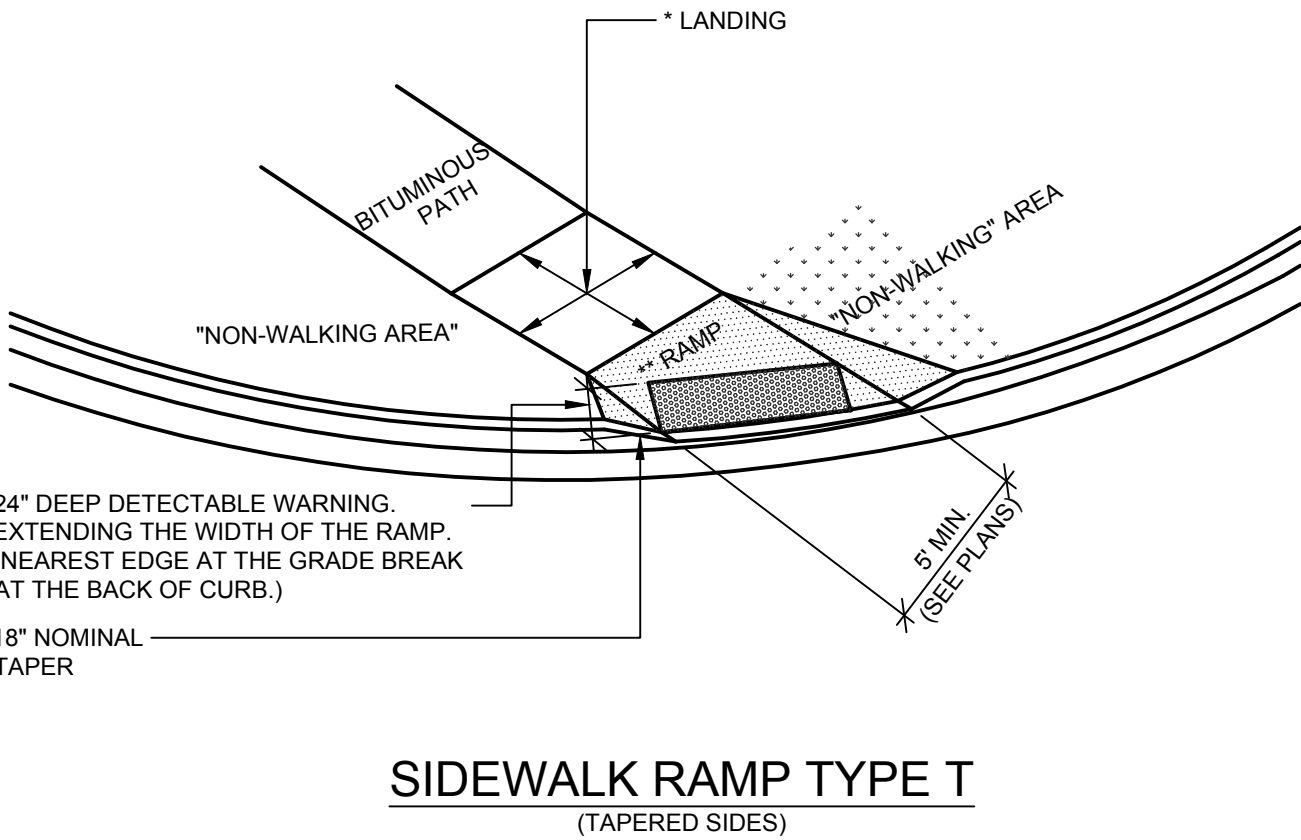
JOB No. 194204  
**CE104**





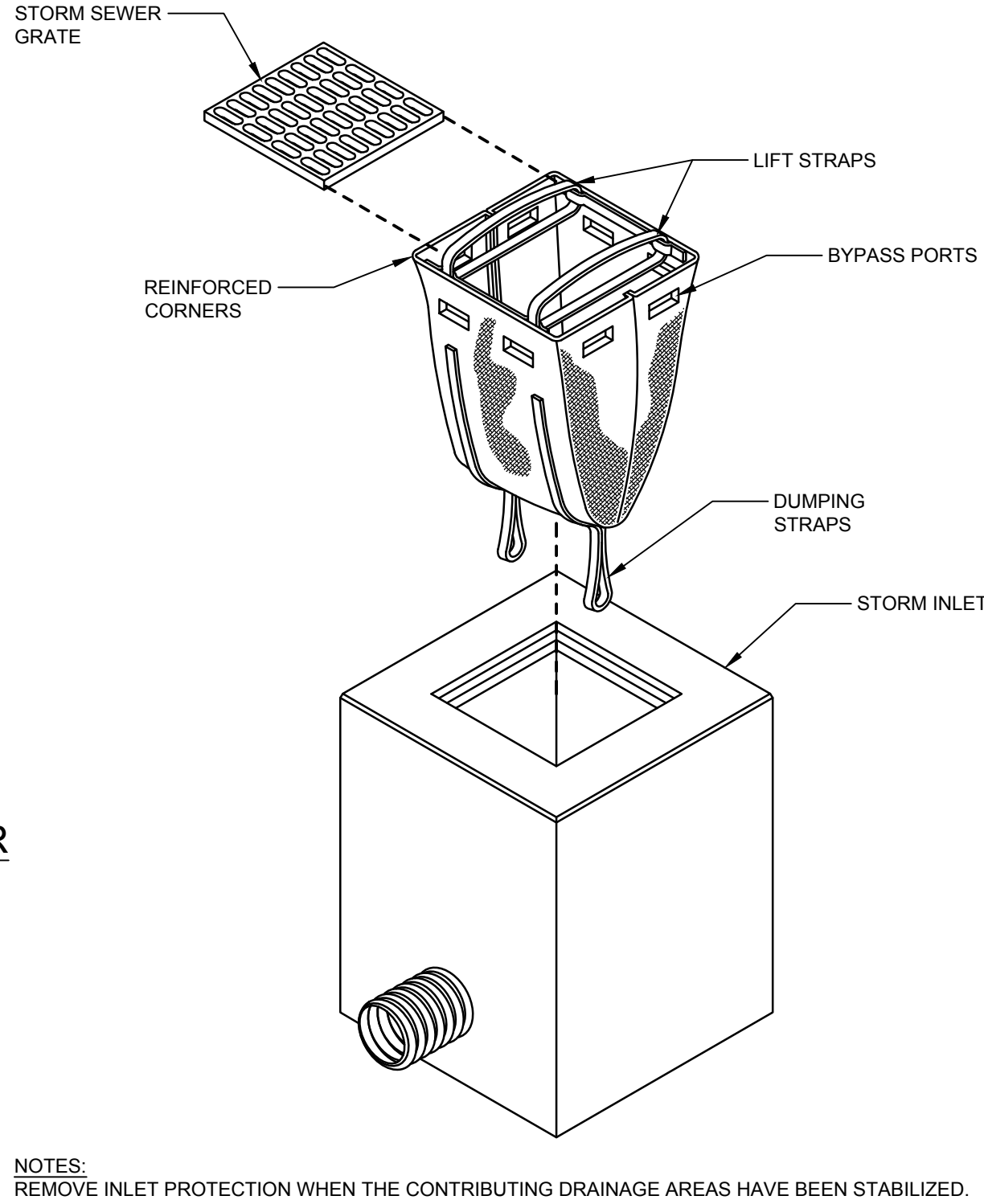
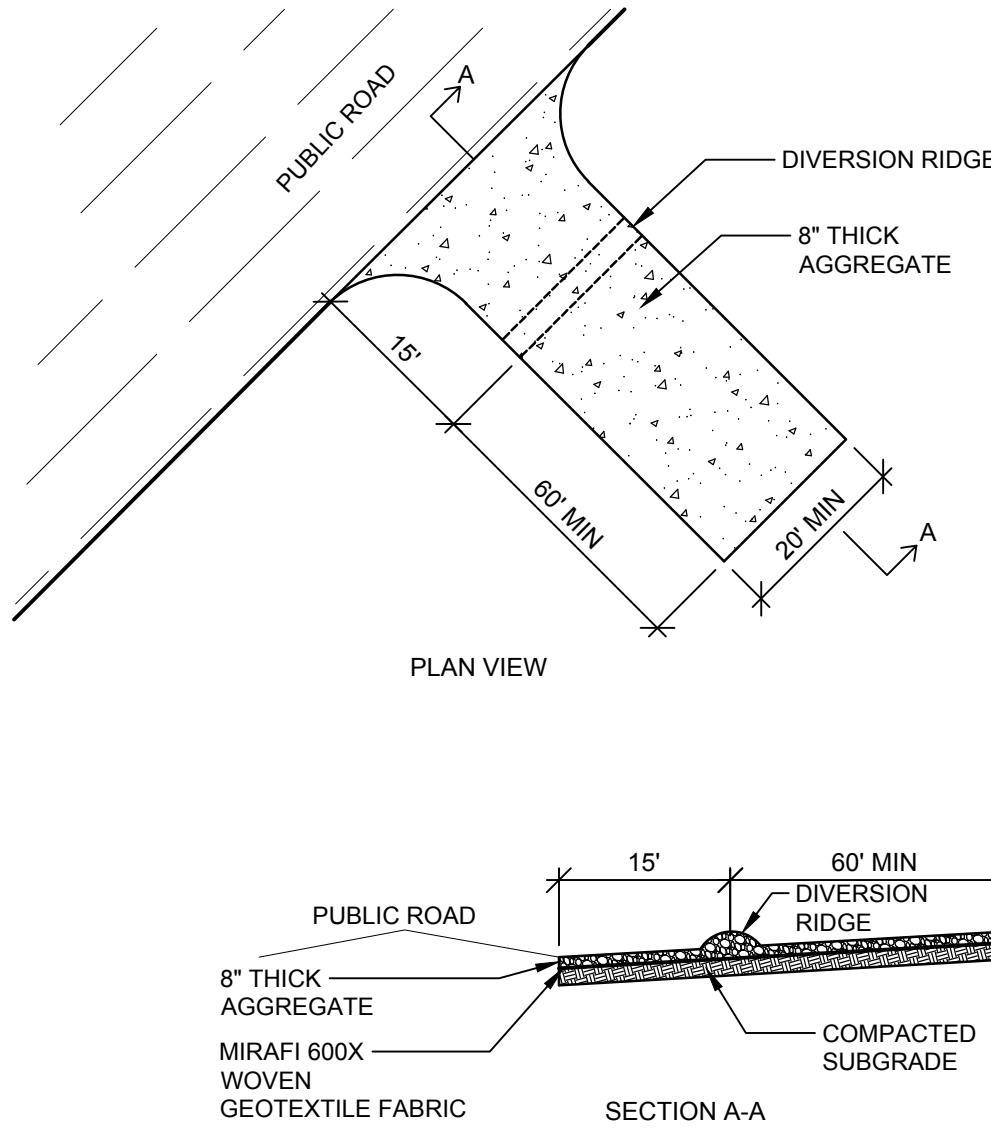
\* MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2.0%. MINIMUM LANDING DIMENSIONS ARE 5' x 5'. SEE NOTES ON MDOT STANDARD PLAN R-28 SERIES.

\*\* MAXIMUM CROSS SLOPE ON RAMP IS THE SAME AS THAT FOR SIDEWALK (2.0%). RUNNING SLOPE 5% - 7% (8.3% MAXIMUM) SEE NOTES ON MDOT STANDARD PLAN R-28 SERIES.



## SILT FENCE NOTES

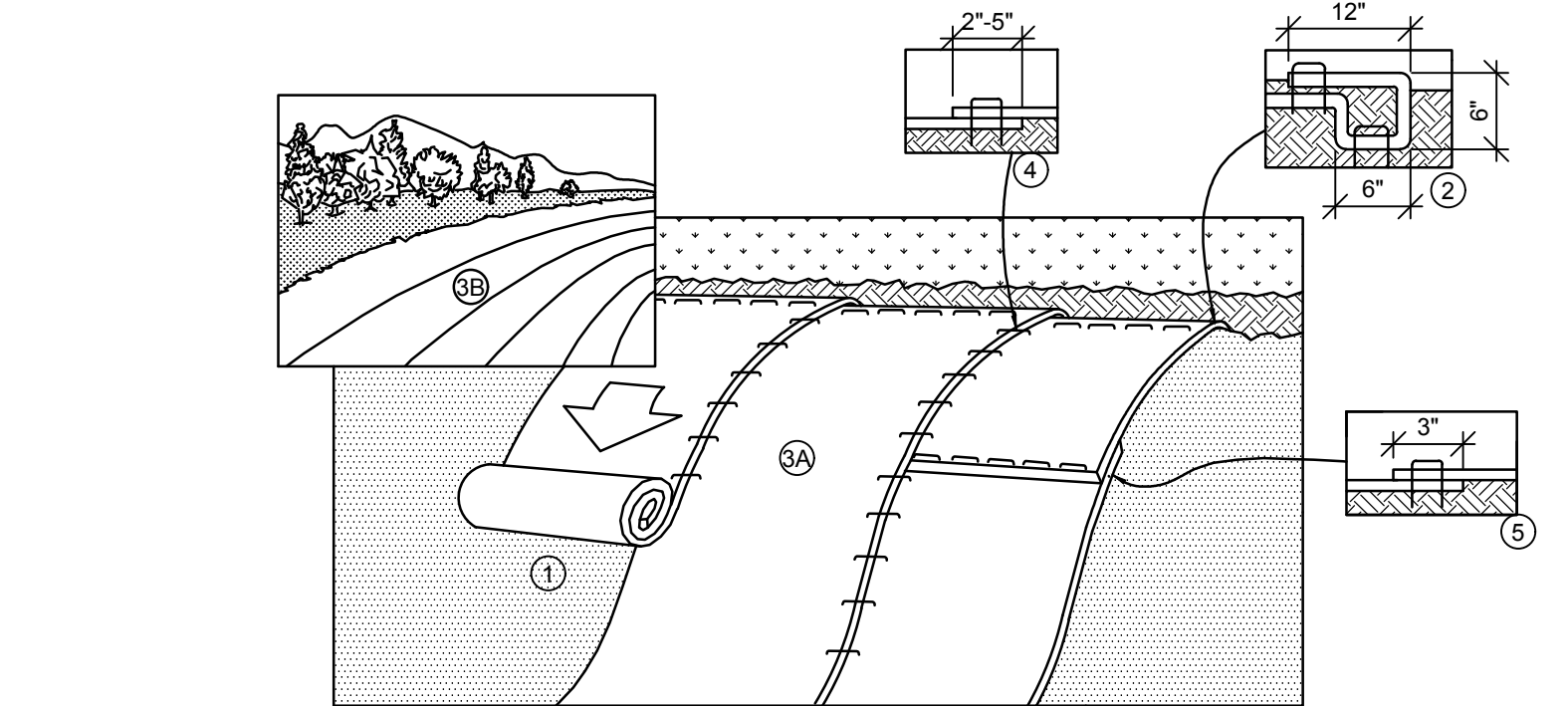
1. THE HEIGHT OF SILT FENCE SHALL NOT EXCEED 36 INCHES ABOVE GROUND.
2. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM OF A 6 INCH OVERLAP, AND SECURELY SEALED.
3. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 18 INCHES).
4. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4-INCHES WIDE AND 4 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
5. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1-INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2-INCHES.
6. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 6-INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH.
7. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
8. WHEN EXTRA STRENGTH FILTER FABRIC IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.
9. THE TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE FILTER FABRIC.
10. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
11. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
12. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
13. SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED



NOTES:  
REMOVE INLET PROTECTION WHEN THE CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.

## INLET PROTECTION DETAIL

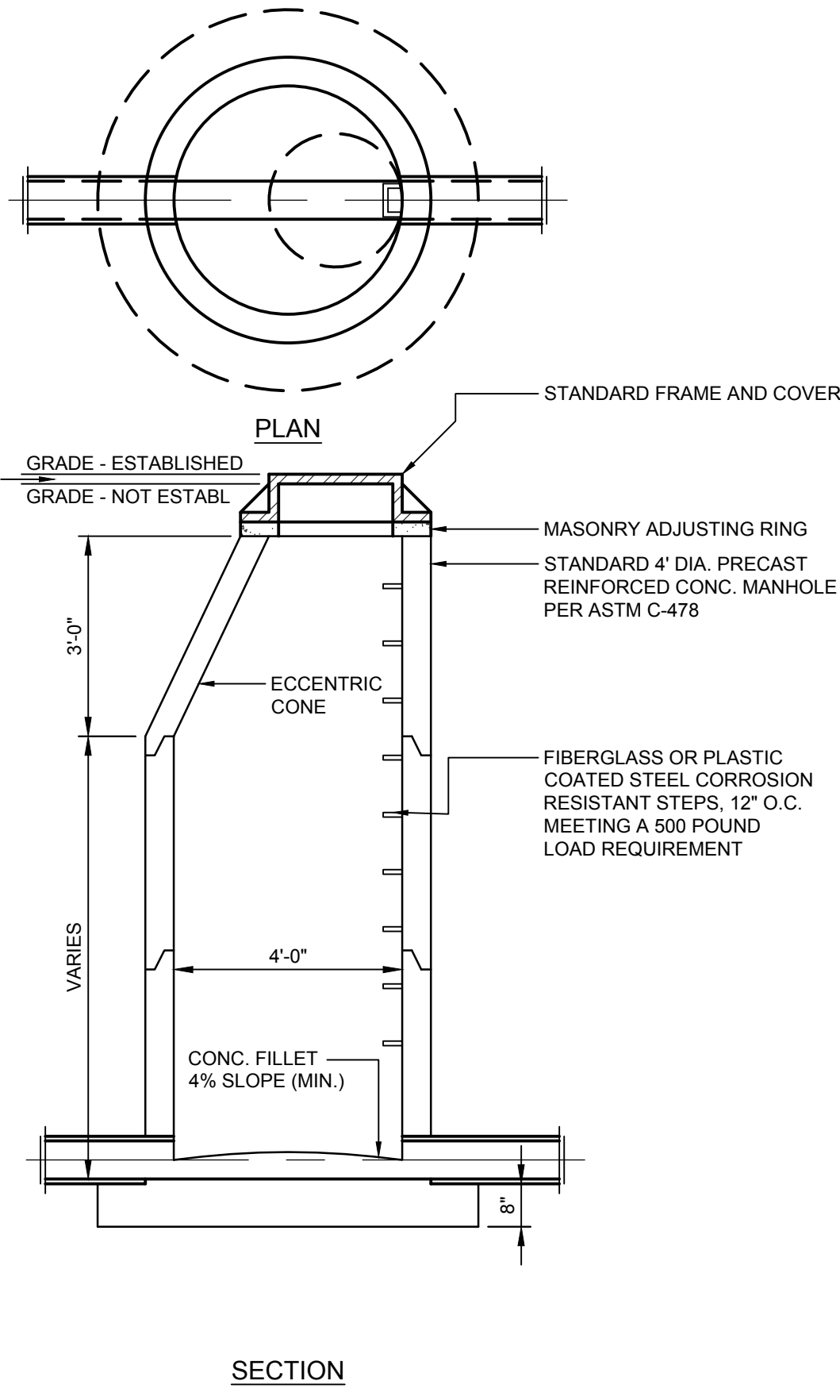
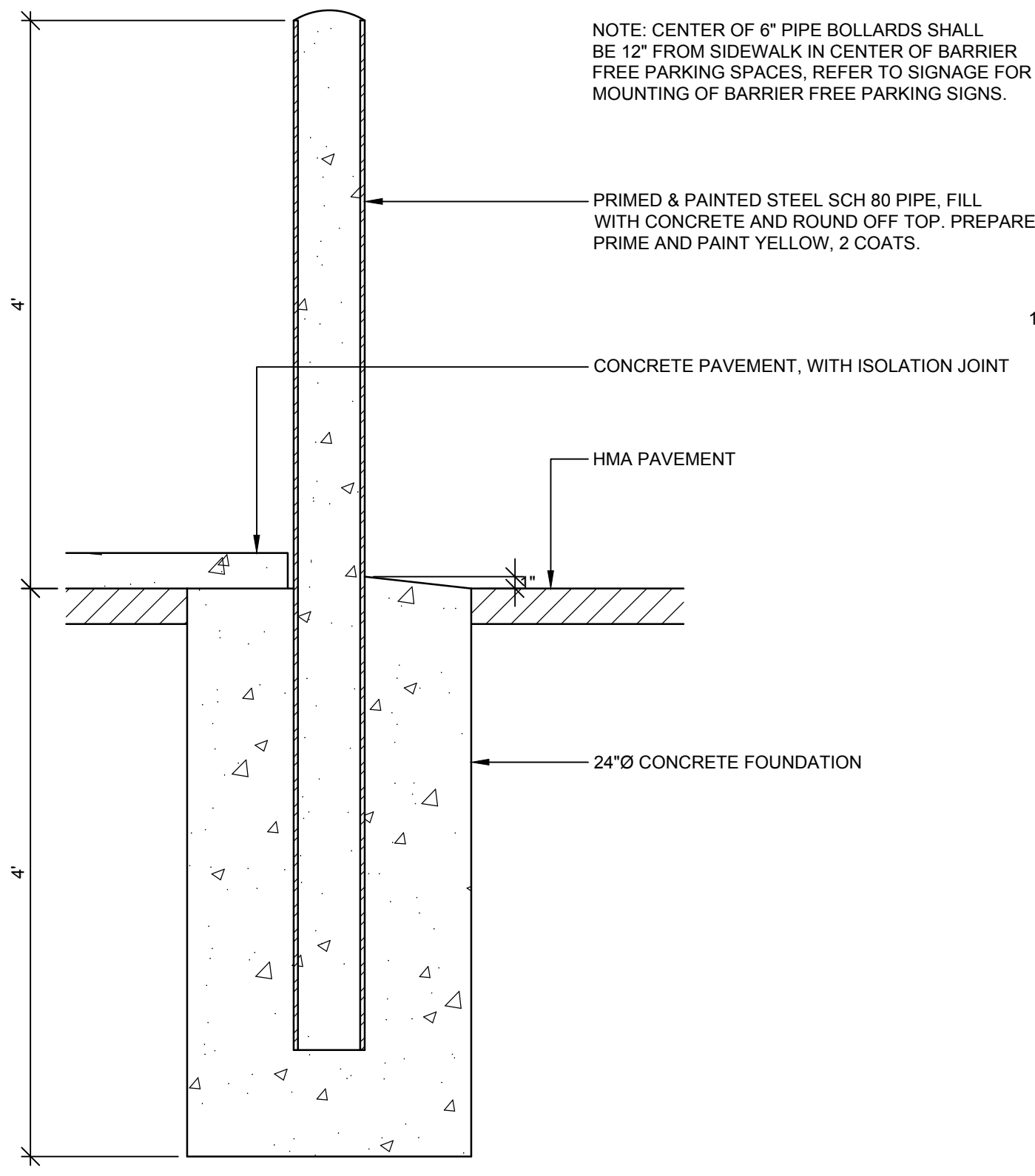
SCALE: NONE



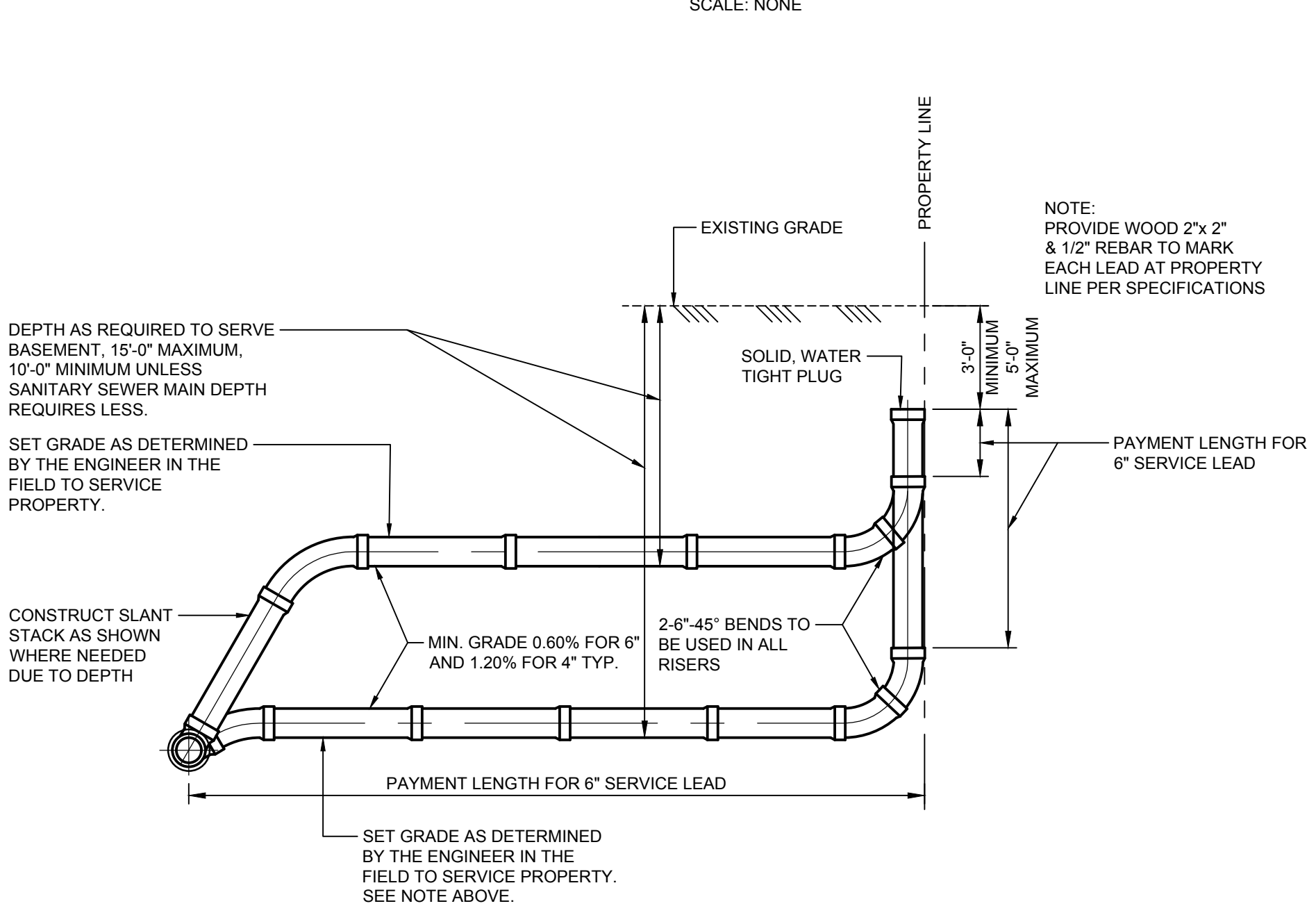
1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S) WITH TOPSOIL AND FERTILIZER PER RESTORATION NOTES, AND AEP STANDARD SPECIFICATION SS-160102.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECP'S.
3. ROLL THE RECP'S (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" OVERLAP DEPENDING ON RECP'S TYPE.
5. CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE RECP'S WIDTH. NOTE: "IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

## MULCH BLANKET SLOPE PATTERN

SCALE: NONE



## STANDARD PRECAST MANHOLE



## SERVICE CONNECTIONS - TYPICAL CONSTRUCTION

## NOTES

1. UTILIZE EXISTING DRIVEWAY AND ADD STONE AS REQUIRED WHEN POSSIBLE.
2. ACCEPTABLE AGGREGATE
  - a. ASTM D48 SIZE #1 (2" TO 3" DIA.)
  - b. INDOT COURSE AGGREGATE NO. 2
  - c. MDOT COARSE AGGREGATE 3x1 (3/4" TO 3" DIA.)
3. PLACE GEOTEXTILE OVER ENTIRE AREA PRIOR TO AGGREGATE PLACEMENT.
4. SURFACE WATER TO BE ROUTED AROUND CONSTRUCTION ENTRANCE WITH CULVERT UNDER ENTRANCE OR MOUNTABLE BERM AROUND ENTRANCE.
5. THE ENTRANCE SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC ROAD. PERIODIC PLACEMENT OF ADDITIONAL AGGREGATE MAY BE REQUIRED.
6. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROAD SHALL BE REMOVED IMMEDIATELY.
7. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING PUBLIC ROADS. IF WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
8. PROVIDE PERIODIC INSPECTION AND MAINTENANCE, INCLUDING AFTER EACH RAIN EVENT.

**W+**  
**WIGHTMAN**  
BENTON HARBOR  
269.927.0100  
KALAMAZOO  
269.327.3532  
ALLEGAN  
269.673.8465  
ROYAL OAK  
248.791.1371

www.gowightman.com

DAN E. YERKS  
ENGINEER NO. 57717

PROJECT NAME:  
**APOSTOLIC CHURCH DEVELOPMENT**  
440 BEMER STREET  
ALBION, MI 49224

**CHRIST APOSTOLIC CHURCH**  
530 N SUPERIOR STREET  
ALBION, MI 49224

02 APRIL 2021 SITE PLAN SUBMITTAL NEB

01 AUGUST 2020 PRE-APPLICATION REVIEW NEB

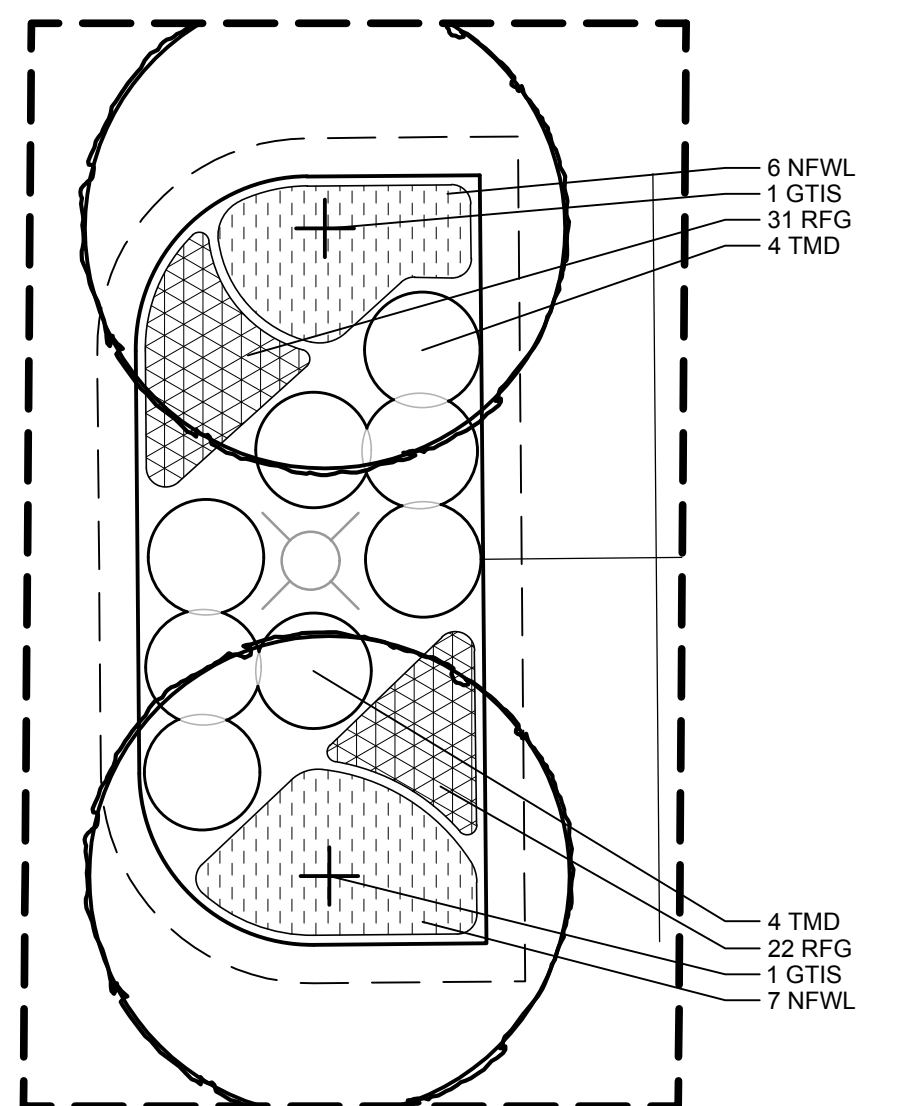
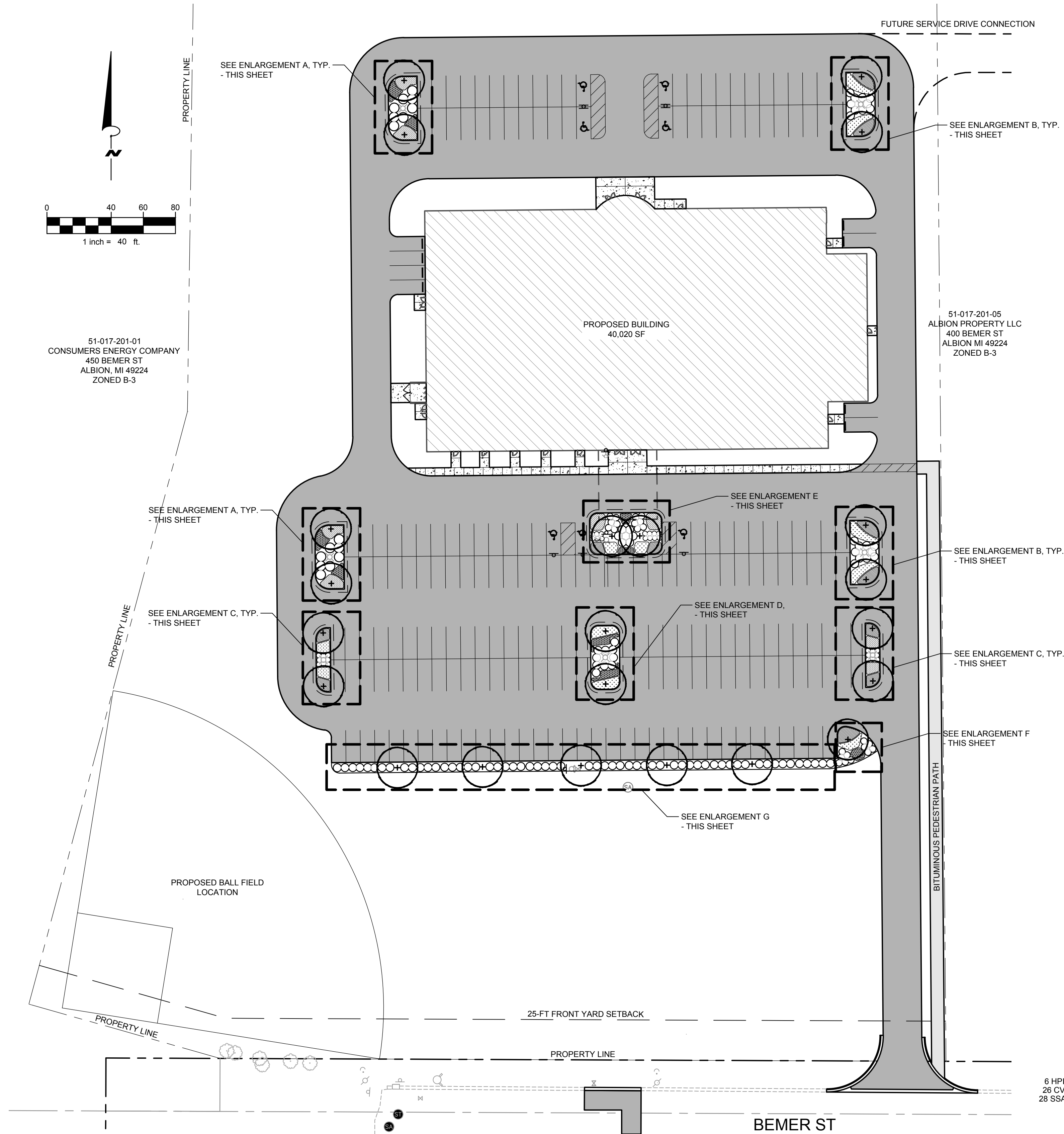
00 7/28/2020 PRELIMINARY - NOT FOR CONSTRUCTION NEB

**REVISIONS**  
THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED.  
DATE: JULY 2020  
SCALE:

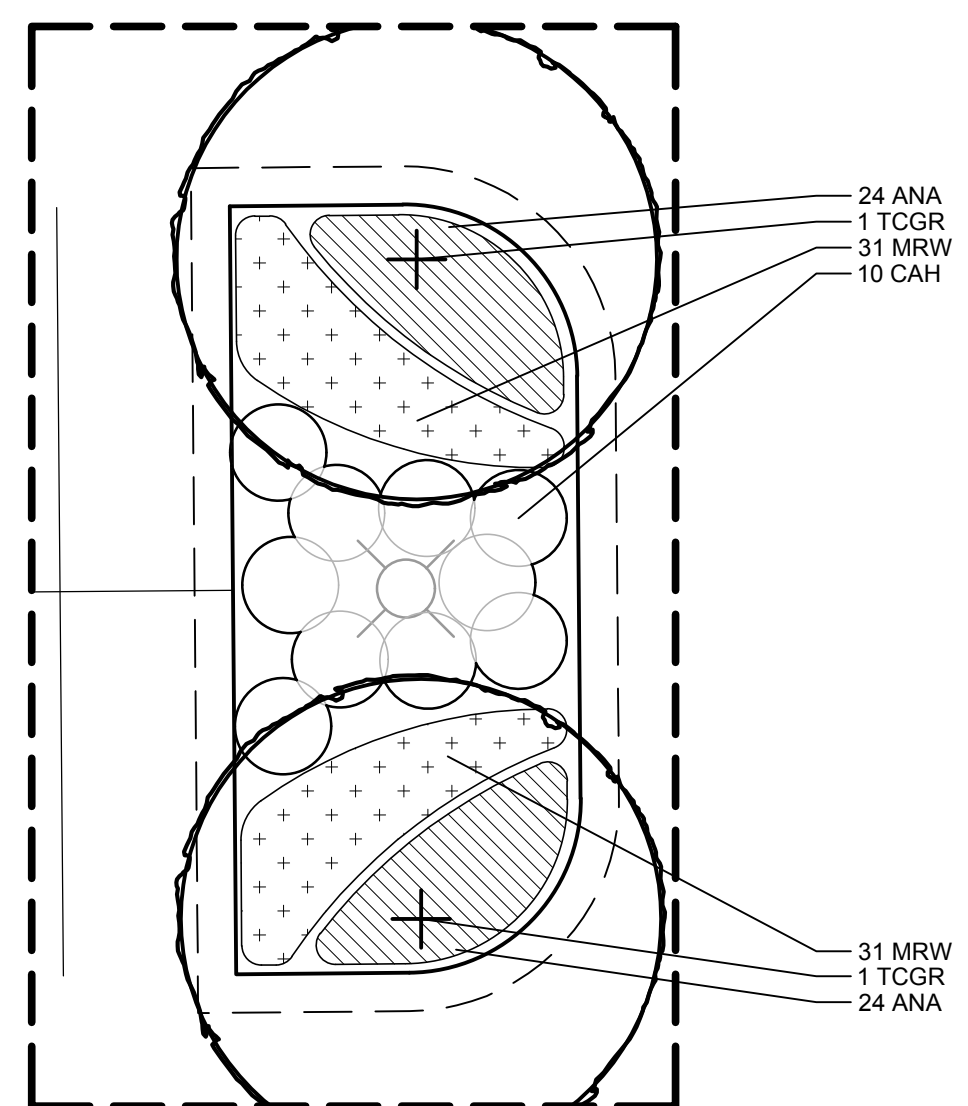
DETAILS

JOB No. 194204  
**G500**

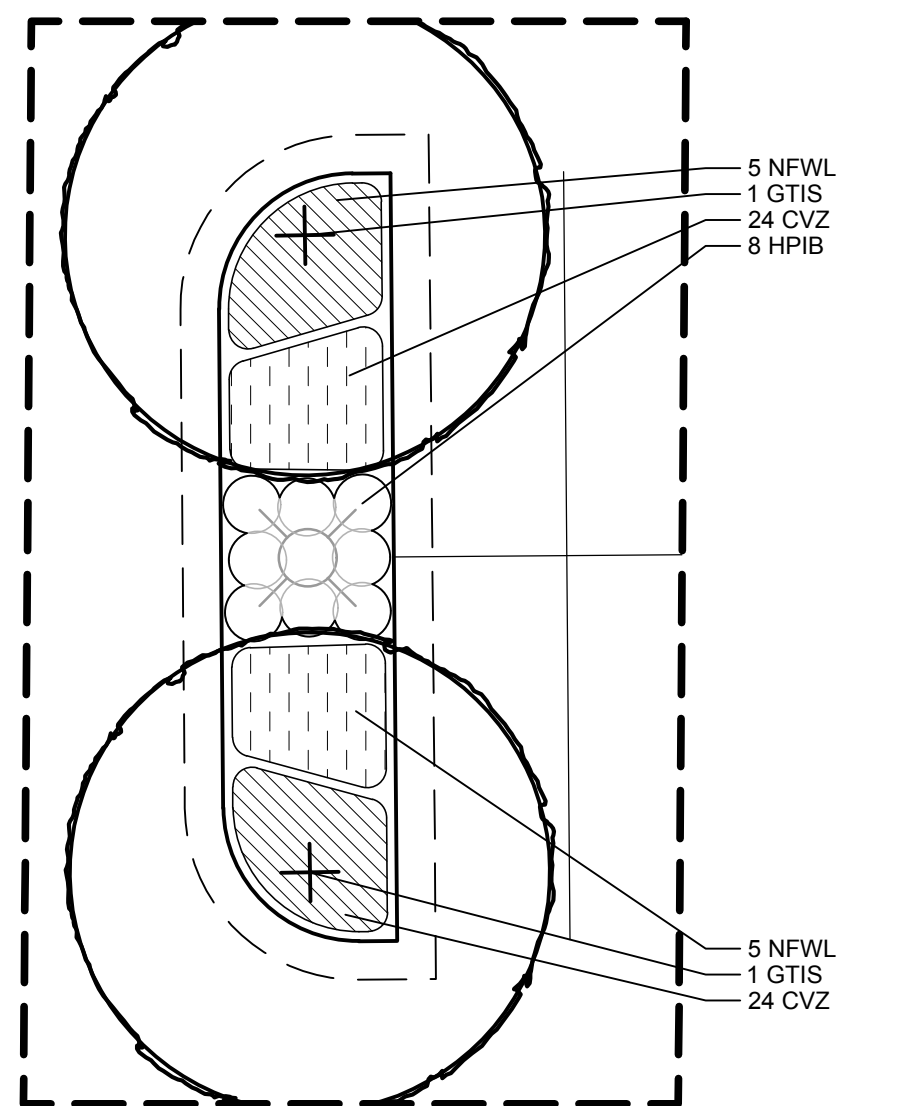




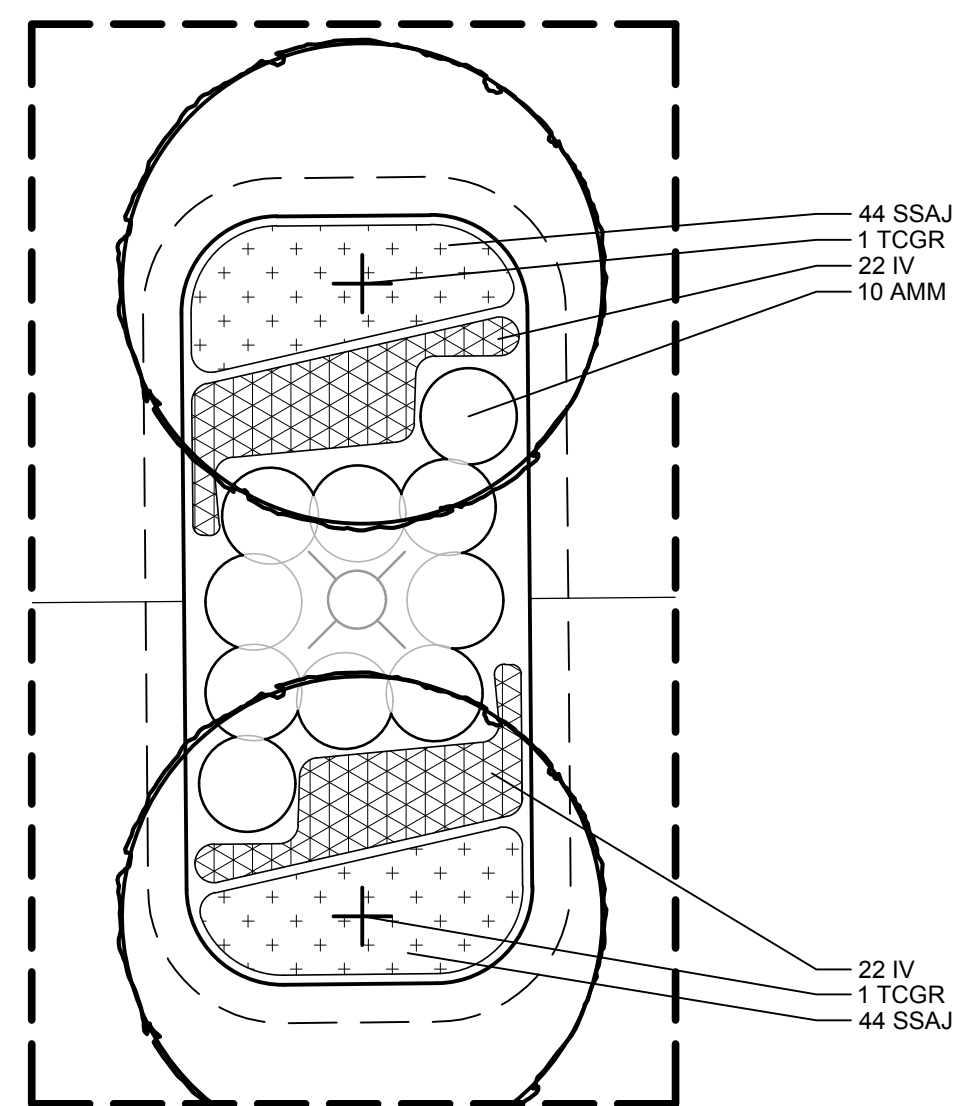
ENLARGEMENT A, TYP.  
1" = 10'-0"



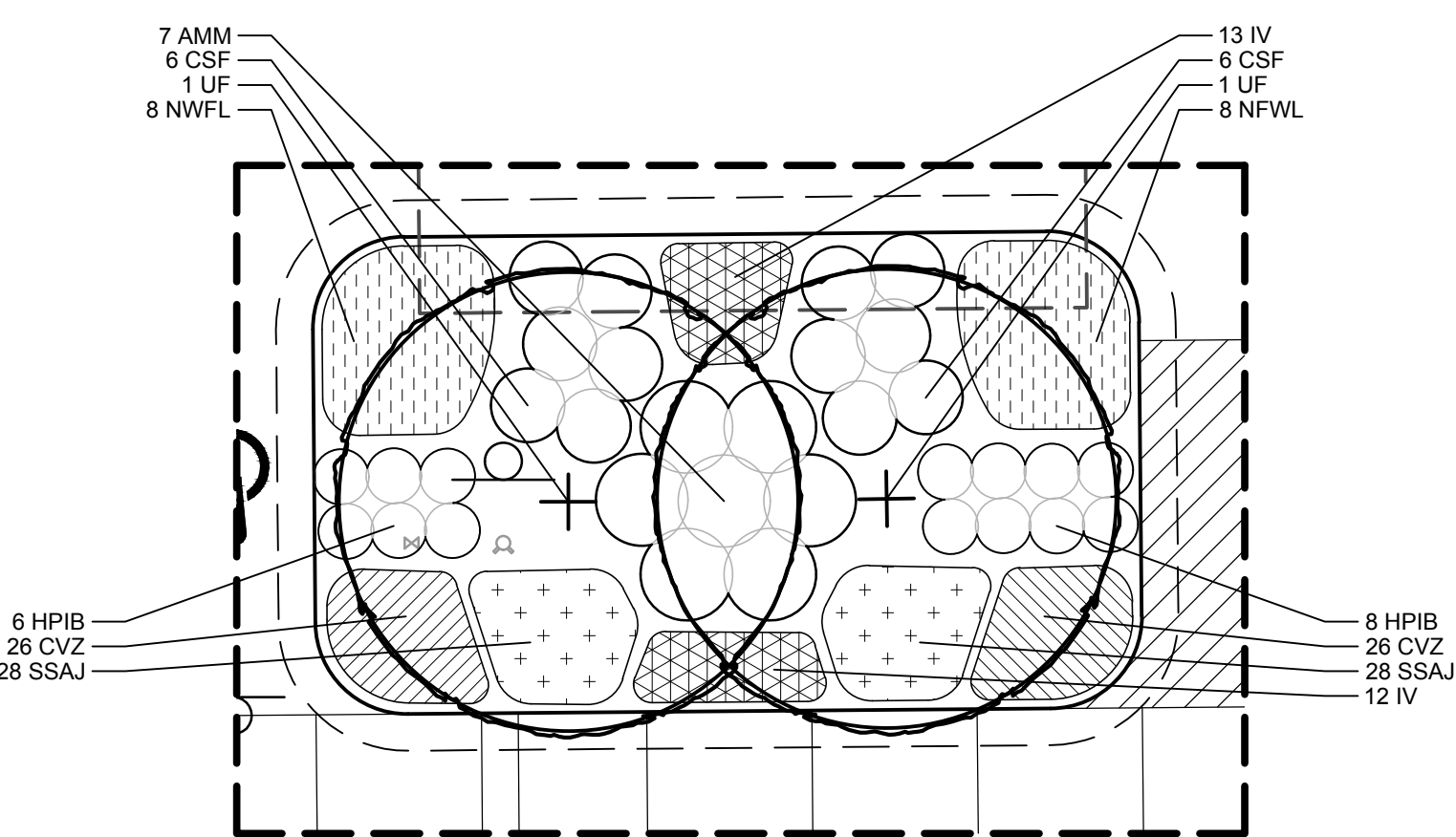
ENLARGEMENT B, TYP.  
1" = 10'-0"



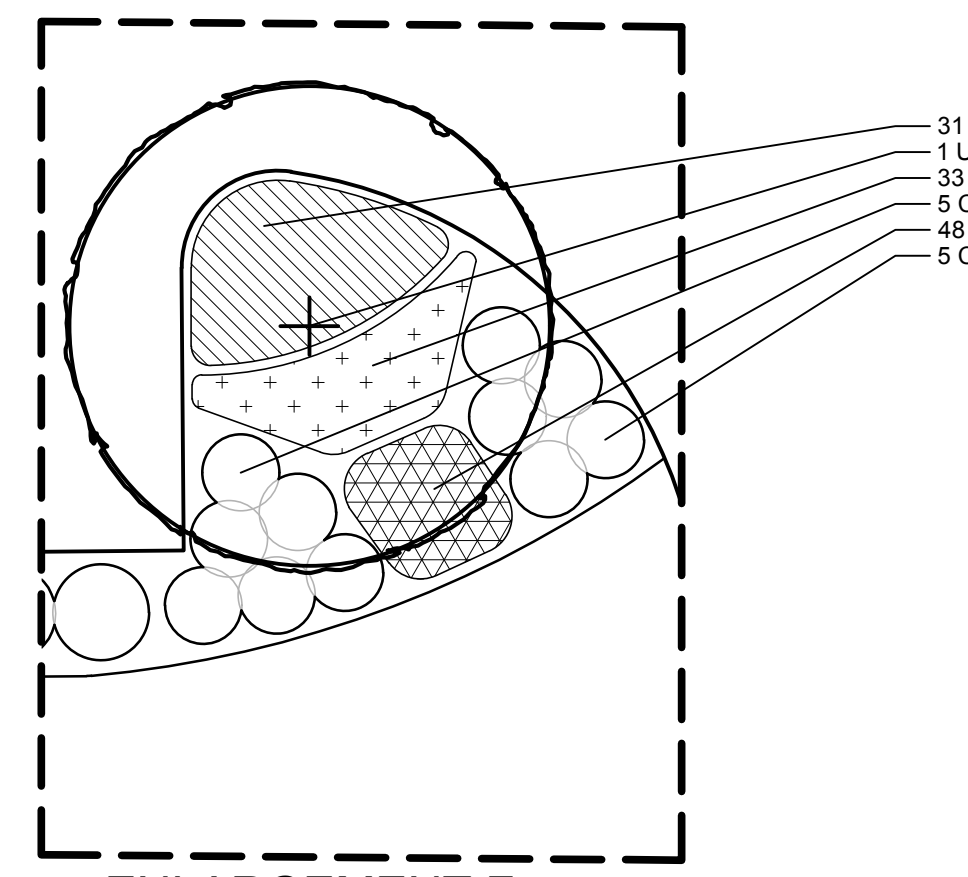
ENLARGEMENT C, TYP.  
1" = 10'-0"



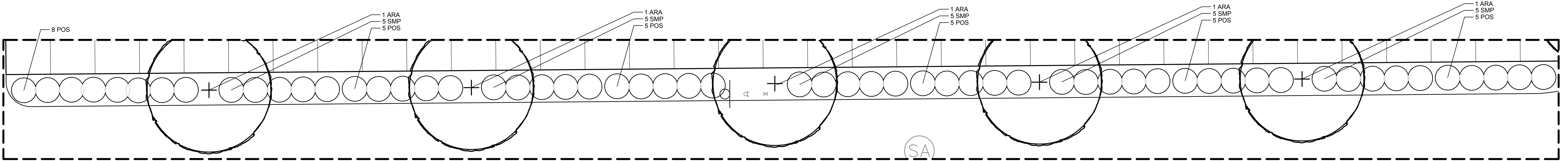
ENLARGEMENT D  
1" = 10'-0"



ENLARGEMENT E  
1" = 10'-0"



ENLARGEMENT F  
1" = 10'-0"



ENLARGEMENT G  
1" = 10'-0"

**WIGHTMAN**  
BENTON HARBOR  
269.927.0100  
KALAMAZOO  
269.327.3532  
ALLEGAN  
269.673.8465  
ROYAL OAK  
248.791.1371  
[www.gowightman.com](http://www.gowightman.com)

DAN E. YERKS  
ENGINEER NO. 57717  
PROJECT NAME:  
**APOSTOLIC CHURCH DEVELOPMENT**  
440 BEMER STREET  
ALBION, MI 49224  
  
**CHRIST APOSTOLIC CHURCH**  
530 N SUPERIOR STREET  
ALBION, MI 49224

02 APRIL 2021	NEB
SITE PLAN SUBMITTAL	
01 AUGUST 2020	NEB
PRE-APPLICATION REVIEW	
00 7/28/2020	NEB
PRELIMINARY - NOT FOR CONSTRUCTION	
<b>REVISIONS</b>	
THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT IS PROHIBITED. © 2020 WIGHTMAN & ASSOCIATES, INC.	
DATE: JULY 2020	
SCALE: 1" = 40'	
LANDSCAPE PLAN	
JOB No. 194204 <b>L101</b>	

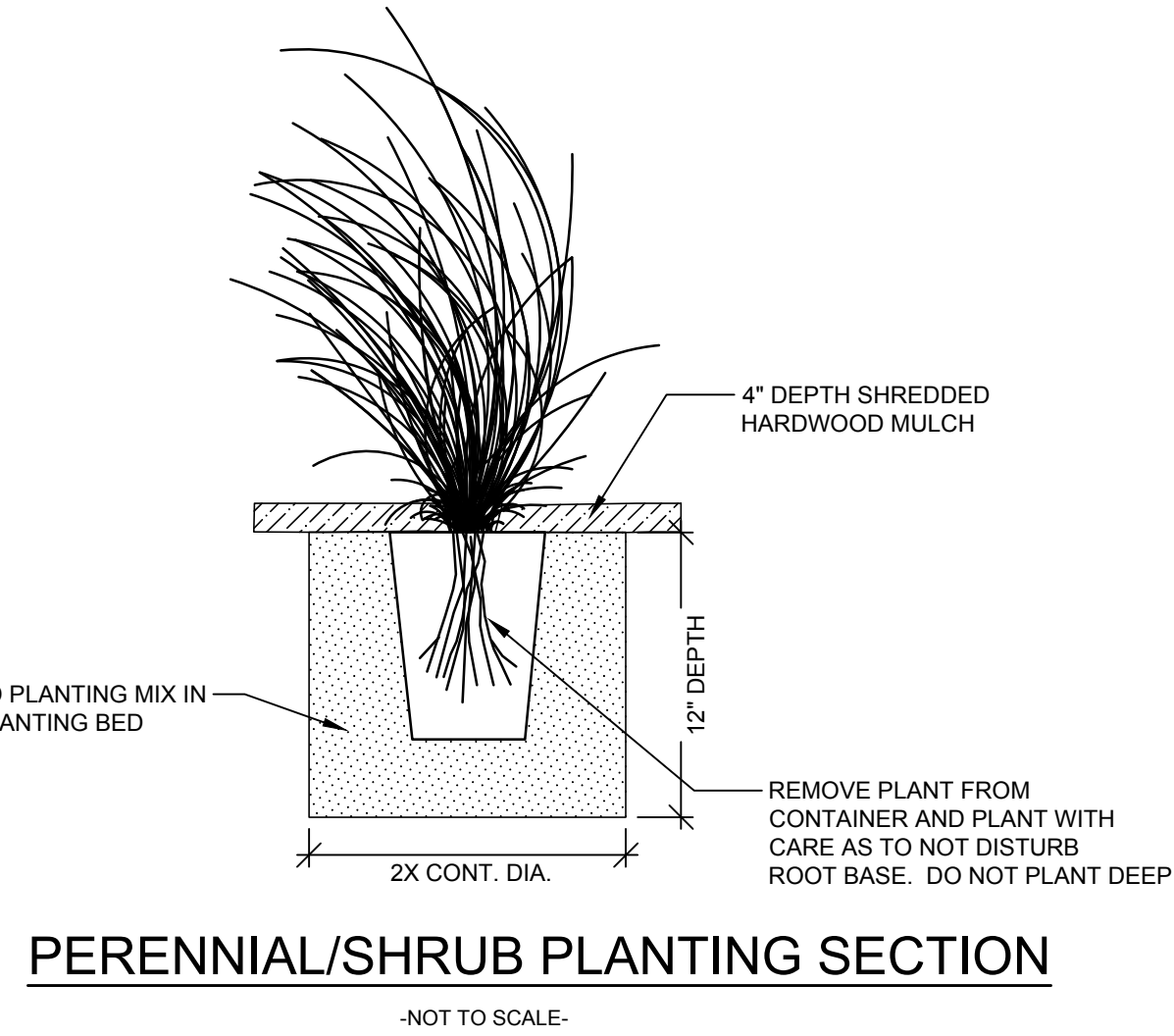



1. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES CONTRACTOR MUST CALL 811 FOR UTILITY LOCATIONS THREE DAYS PRIOR TO DIGGING.
2. LANDSCAPE BEDS TO RECEIVE 4" SHREDDED HARDWOOD BARK. APPLY PRE-EMERGENT HERBICIDE TO ALL LANDSCAPE BEDS.
3. CONDUCT SOIL TEST TO VERIFY FERTILITY OF TOPSOIL. AMEND SOIL IF PH IS LESS THAN 5.0 OR GREATER THAN 7.5. MAKE OTHER ADJUSTMENTS AS SOIL ANALYSIS INDICATES
4. PLANTING MIX TO BE A 12" MINIMUM DEPTH IN ALL PLANTING BEDS.
5. PLANT TREES SO THAT TOP OF ROOTBALL IS EVEN WITH THE FINISHED GRADE. FOR BACKFILL AREAS, PLANT BALL UP TO 3" HIGH TO ALLOW FOR SETTLING. ALL TREE WRAP/TWINE ETC TO BE REMOVED FROM TREE IN ONE YEAR AS PART OF MAINTENANCE.
6. ALL AREAS OF THE SITE NOT DESIGNATED AS PAVED OR LANDSCAPE BED TO BE PLANTED IN TURFGRASS. REWORK ANY AREAS OF EXISTING TURFGRASS TO A FULL STAND. SEED MIXTURE SHALL BE 40% CREEPING RED FESCUE, 30% PERENNIAL RYEGRASS AND 30% 98/05 KENTUCKY BLUEGRASS OR APPROVED EQUAL. ALL LAWN AREAS TO RECEIVE 4" OF TOPSOIL.
7. ALL LANDSCAPE BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE.
8. LANDSCAPE ARCHITECT TO REVIEW ALL TREES EITHER IN THE NURSERIES OR VIA PHOTOGRAPHS OF EACH PLANT. CONTRACTOR TO COORDINATE.
9. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.

NOTE: QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.

	CODE	BOTANICAL NAME	COMMON NAME	QTY	CAL	HT	SPRD	ROOT	REMARKS
Shade Trees									
	ARA	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	5	2"			B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
	GTIS	GLEDITSIA TRIACANTHOS VAR. 'INERMIS 'SKYLINE'	SKYLINE THORNLLESS HONEYLOCUST	8	2"			B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
	TCGR	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	6	2"			B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
	UF	ULMUS X 'FRONTIER'	FRONTIER ELM	3	2"			B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
Shrubs									
	AMM	ARONIA MELANOCARPA 'MORTON'	IROQUOIS BEAUTY BLACK CHOKEBERRY	17				#3	5'-0" ON CENTER
	CAH	CLETHRRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	20				#3	5'-0" ON CENTER
	CSF	CORNUS SERICEA 'FARROW'	ARTIC FIRE RED TWIG DOGWOOD	22				#3	4'-0" ON CENTER
	HPIB	HYDRANGEA PANICULATA 'LVOBO' BOBO	BOBO HYDRANGEA	40				#3	3'-0" ON CENTER
	POS	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	SUMMER WINE NINEBARK	33				#3	5'-0" ON CENTER
	SMP	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	25				#3	5'-0" ON CENTER
	TMD	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	16				#3	6'-0" ON CENTER
Perennials									
	ANA	ASTER NOVAE-ANGLIAE 'PURPLE DOME'	PURPLE DOME NEW ENGLAND ASTER	96				#1	2'-0" ON CENTER
	CVZ	COREOPSIS VERTICILLATA 'ZAGREB'	ZAGREB COREOPSIS	148				#1	1'-6" ON CENTER
	EPKK	ECHINACEA PURPUREA 'KIMS' KNEE HIGH'	KIMS' KNEE HIGH PURPLE CONEFLOWER	33				#1	1'-6" ON CENTER
	HRS	HOSTA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	31				#1	2'-0" ON CENTER
	IV	IRIS VERSICOLOR	BLUE FLAG IRIS	69				#1	2'-0" ON CENTER
	LAM	LAVANDULA ANGUSTIFOLIA 'MUNSTEAD'	MUNSTEAD ENGLISH LAVENDER	48				#1	1'-0" ON CENTER
	MRW	MONARDA 'RASPBERRY WINE'	RASPBERRY WINE BEE BALM	124				#1	2'-0" ON CENTER
	NFWL	NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	70				#1	3'-0" ON CENTER
	RFG	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK EYED SUSAN	106				#1	1'-6" ON CENTER
	SSAJ	SEDUM SPECTABILE 'AUTUMN JOY'	AUTUMN JOY SEDUM	144				#1	1'-6" ON CENTER



	REQUIRED	PROVIDED
SEC. 3.11 - C: LANDSCAPING & SCREENING OF PARKING AREAS		
	GREEN STRIP	
	10' WIDE WITH MIN. 36" TALL SCREEN	36" TALL HEDGE SCREEN
		36" TALL HEDGE SCREEN
	PARKING LOT INTERIOR: 81,000 SF OF PARKING LOT	
	1 SF OF LANDSCAPE PER 15 SF PARKING LOT	= 5,400 SF OF LANDSCAPE
		=5,400 SF OF LANDSCAPE



<div><div><b>WIGHTMAN</b></div><div><b>BENTON HARBOR</b> 269.927.0100</div><div><b>KALAMAZOO</b> 269.327.3532</div><div><b>ALLEGAN</b> 269.673.8465</div><div><b>ROYAL OAK</b> 248.791.1371</div></div> <div><a href="http://www.gowightman.com">www.gowightman.com</a></div>		
<div>DAN E. YERKS ENGINEER NO. 57717</div> <div>PROJECT NAME: <b>APOSTOLIC CHURCH DEVELOPMENT</b> 440 BEMER STREET ALBION, MI 49224</div>		
<div><b>CHRIST APOSTOLIC CHURCH</b> 530 N SUPERIOR STREET ALBION, MI 49224</div>		
02 APRIL 2021	SITE PLAN SUBMITTAL	NEB
01 AUGUST 2020	PRE-APPLICATION REVIEW	NEB
00 7/28/2020	PRELIMINARY - NOT FOR CONSTRUCTION	NEB
<div>REVISIONS</div> <div><small>*Examination of this Drawing is the responsibility of the Engineer. The Engineer does not warrant the accuracy of this drawing or the results of its use. No other use of this drawing is permitted without the written consent of Wightman &amp; Associates, Inc.</small></div>		
<div>DATE: JULY 2020</div> <div>SCALE: 1" = 40'</div>		
<div>LANDSCAPE DETAILS</div>		
<div>JOB No. 194204</div> <div><b>L501</b></div>		



Luminaire Schedule

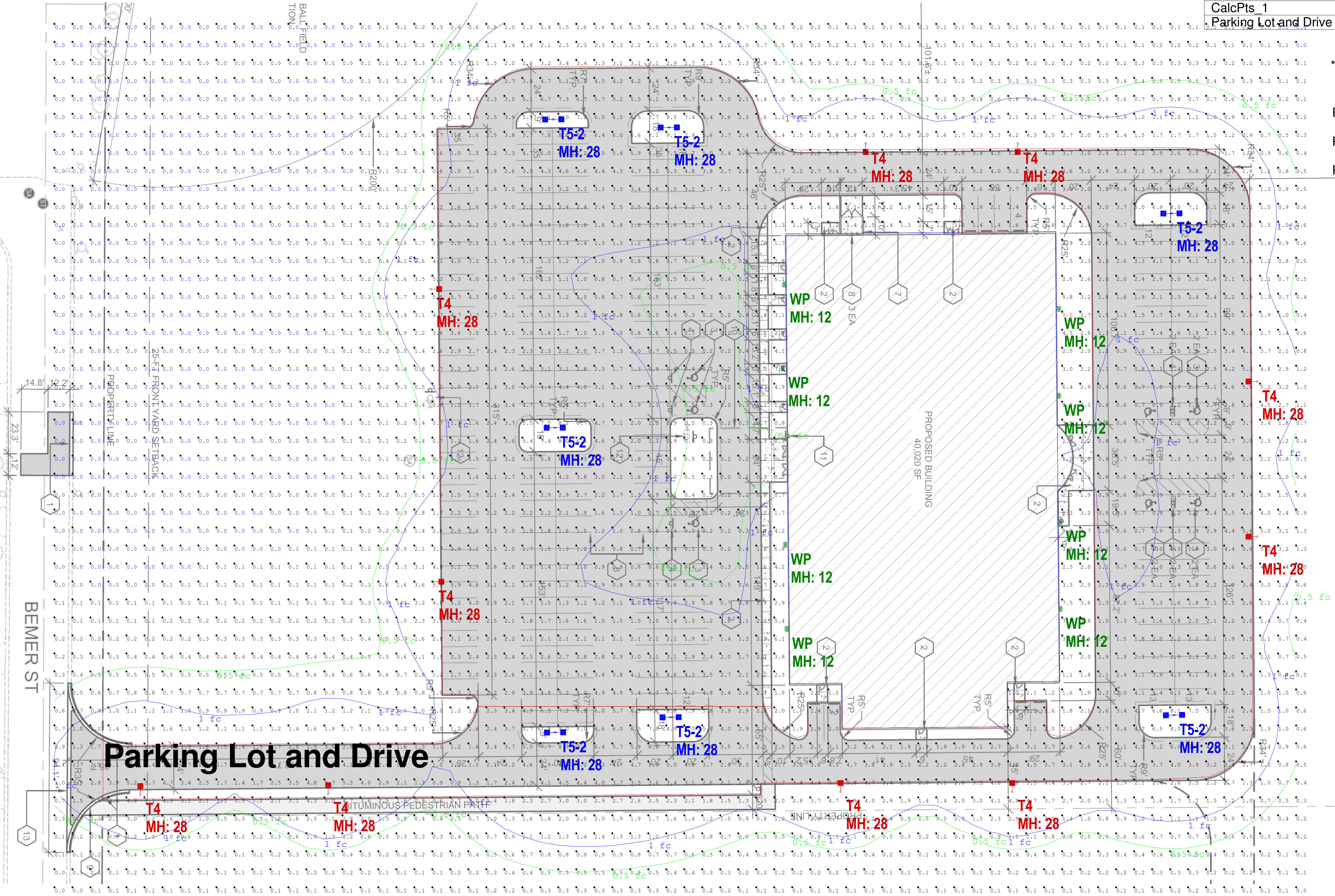
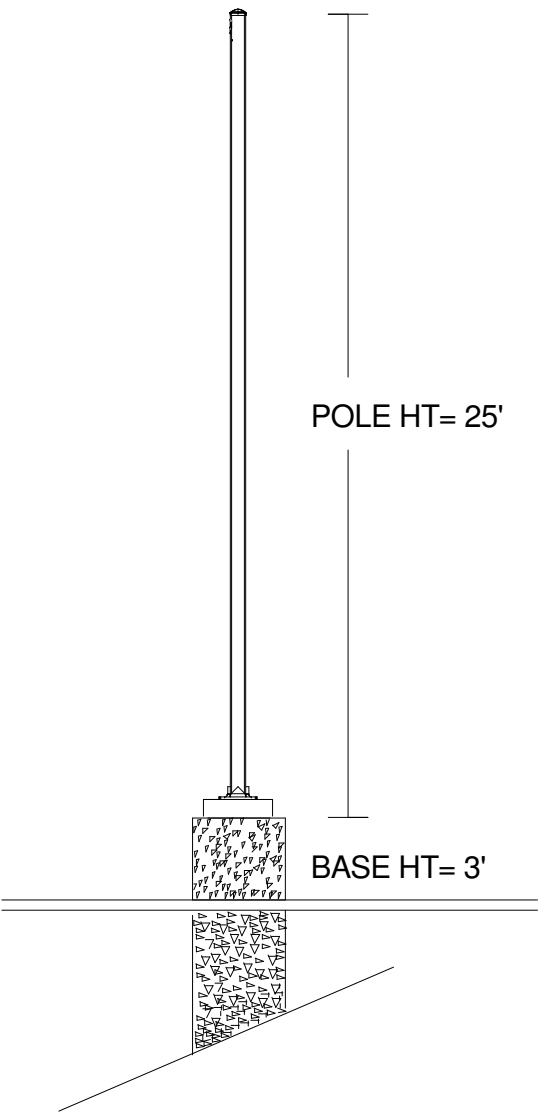
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
	10	T4	SINGLE	N.A.	1.000	1300	NTA-A-NM-T4-19L-40K-UL-BZ
	7	T5-2	D180°	N.A.	1.000	1820	NTA-A-NM-T5-19L-40K-UL-BZ
	8	WP	SINGLE	5721.56	1.000	328	C-WP-A-FCA-05-40K-DB

Calculation Summary

Label	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	1.53	9.5	0.0	N.A.	N.A.
Parking Lot and Drive	2.71	9.1	0.2	13.55	45.50

\*\*\*Customer to verify Color, Mounting, Fixture Location and Voltage prior to ordering.\*\*\*

Pole Schedule  
(10) E-PS4E25S1DB (25' X 4" STEEL SQUARE POLE)  
Proposed poles meet 100 MPH sustained winds.  
(7) E-PS4E25S2DB (25' X 4" STEEL SQUARE POLE)  
Proposed poles meet 100 MPH sustained winds.  
(24) NTA-DA-BZ (Direct Arm Mount)



e-conolight®

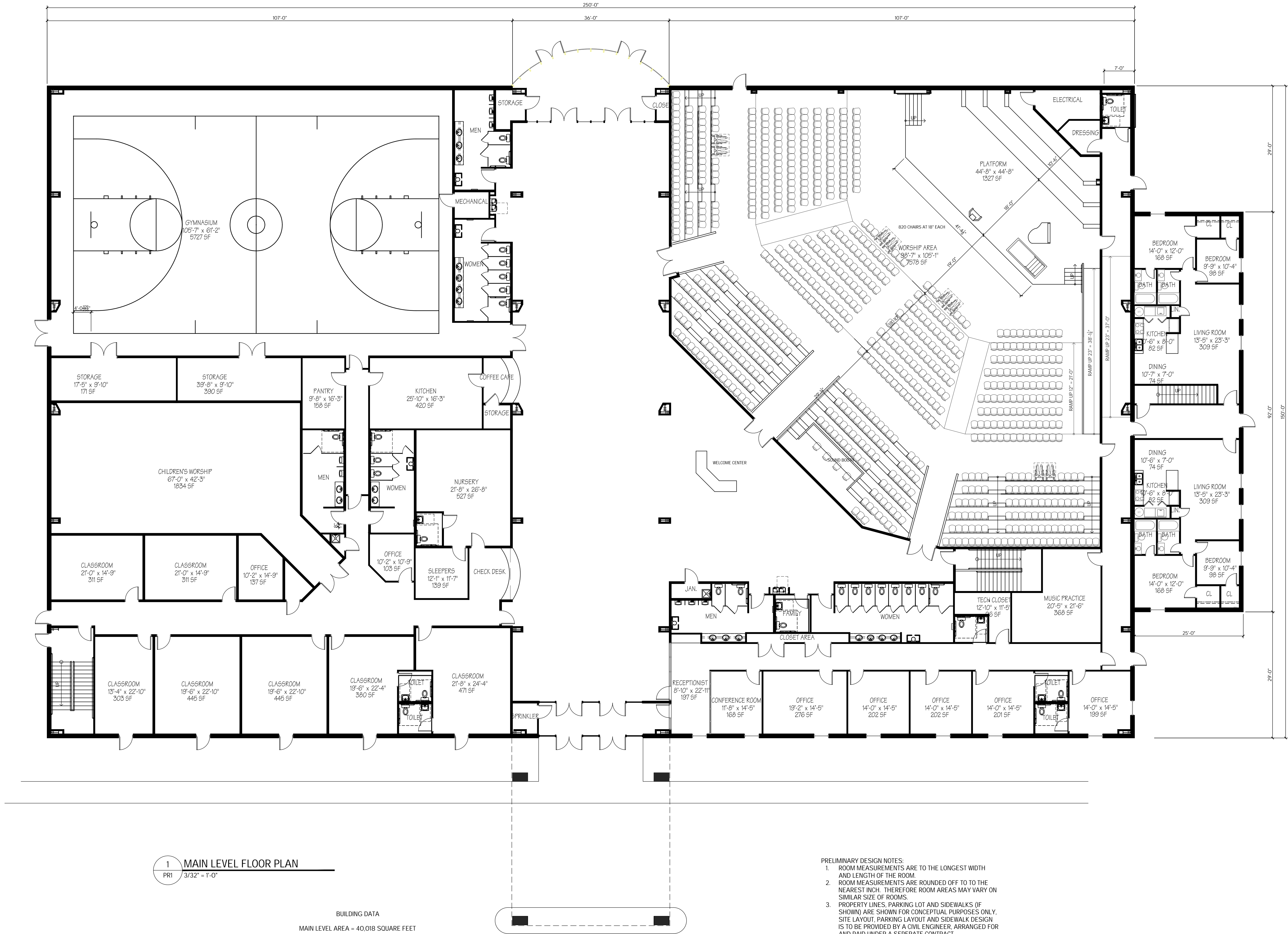
1501 96th Street  
Sturtevant, Wisconsin 53177  
PH: (888) 243-9445  
FX: (262) 504-5409  
www.e-conolight.com

Customer responsible to verify ordering information/  
catalogue number prior to placing order.

Date:4/16/2021	Scale: 1"=30'	Layout by: Ben Foster
Project Name: 129369 - Christ Apostolic Church, Albion, MI	Salesforce: 32929	
Filename: 200928AR1BAFR1.AGI		
Footcandles calculated at grade using initial lumen values		

Illumination results shown on this lighting design are based on project parameters provided to E-conolight used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.





- PRELIMINARY DESIGN NOTES:
- ROOM MEASUREMENTS ARE TO THE LONGEST WIDTH AND LENGTH OF THE ROOM.
  - ROOM MEASUREMENTS ARE ROUNDED OFF TO THE NEAREST INCH. THEREFORE ROOM AREAS MAY VARY ON SIMILAR SIZE OF ROOMS.
  - PROPERTY LINES, PARKING LOT AND SIDEWALKS (IF SHOWN) ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY. SITE LAYOUT, PARKING LAYOUT AND SIDEWALK DESIGN IS TO BE PROVIDED BY A CIVIL ENGINEER, ARRANGED FOR AND PAID UNDER A SEPERATE CONTRACT.
  - KITCHEN IS SCHEMATIC AND DOES NOT SHOW ANY APPLIANCES. PLEASE PROVIDE A LIST OF APPLIANCES YOU EXPECT TO WANT IN THE KITCHEN AND WE WILL WORK OUT A DESIGN FOR THE KITCHEN.

# PRELIMINARY - NOT FOR CONSTRUCTION

A NEW FACILITY FOR

CHRIST APOSTOLIC CHURCH

ALBION, MICHIGAN

PRELIMINARY FLOOR PLAN - MAIN LEVEL

Daniel G. White, Architect, LLC

PO BOX 695 8576 WEST FARM ROAD 76 WILLARD, MISSOURI 65781

DGWHITEARCHIT@GMAIL.COM

ARCHITECT FOR:

ZION CHURCH BUILDERS, INC

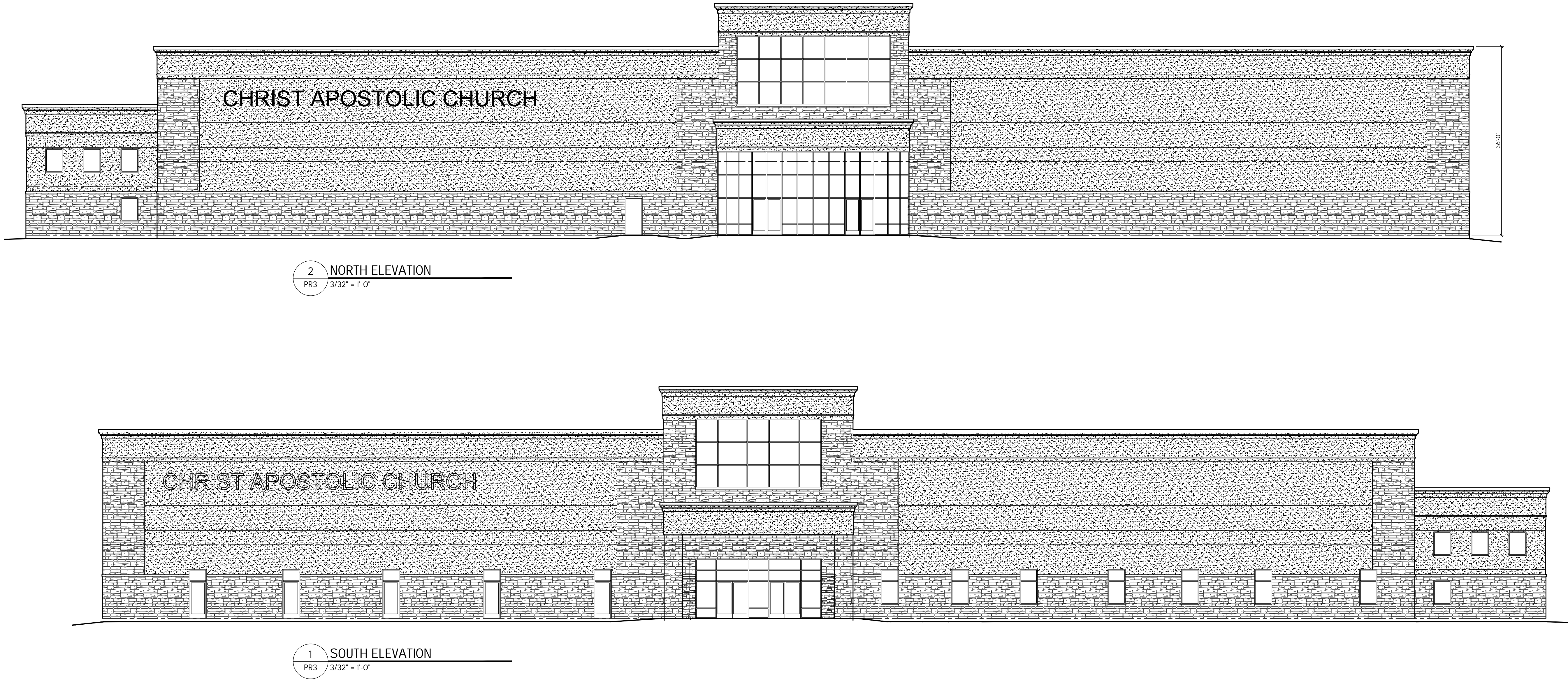
PO BOX 218, WATKINS, MISSOURI 64595

(260) 651-7250 FAX

EMAIL: ZIONCHURCHBUILDERS@GMAIL.COM

26AUG20
24JUL20
22JUL20
No. Date
PROJECT NUMBER
19-09
ORIGINAL ISSUE DATE
08JUN19
PR1
© 2019,2020 OF 3





PRELIMINARY - NOT FOR CONSTRUCTION

A NEW FACILITY FOR  
**CHRIST APOSTOLIC CHURCH**  
ALBION, MICHIGAN  
ELEVATIONS

	24JUL20
	22JUL20
	26OCT19
No.	Date
PROJECT NUMBER 19-09	
ORIGINAL ISSUE DATE 08JUN19	
PR3	
© 2019,2020 OF 3	

**Daniel G. White, Architect, LLC**  
PO BOX 695 8576 WEST FARM ROAD 76 WILLARD, MISSOURI 65781  
(269)5447211 FAX (269)5447216  
EMAIL: DGMCREATIONS@GMAIL.COM

**ARCHITECT FOR:**  
**ZION CHURCH BUILDERS, INC**  
PO BOX 695 8576 WEST FARM ROAD 76 WILLARD, MISSOURI 65781  
(269)5447211 FAX (269)5447216  
EMAIL: ZIONCHURCHBUILDERS@GMAIL.COM

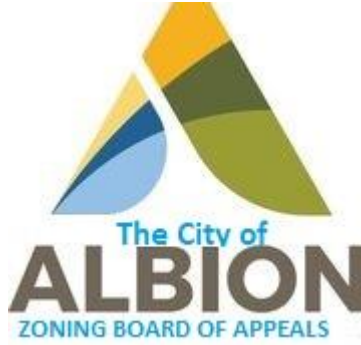


CHRIST APOSTOLIC CHURCH  
ALBION, MICHIGAN



ZION CHURCH BUILDERS, INC.  
MATTAWAN, MICHIGAN





**MINUTES**  
**ZONING BOARD OF APPEALS**  
Tuesday, March 9, 2021 @ 5:30 PM  
Zoom Meeting

**I CALL TO ORDER (Reminder: turn off cell phones)**

Chair Zblewski called the regular Zoning Board of Appeals meeting to order at 5:34 p.m.

**II ROLL CALL of the Commission**

PRESENT: Holly Zblewski, Chair; Joe Domingo; Jacob Tazzi and Joseph Verbeke

ABSENT: All members were present

ADMINISTRATION: Haley Snyder, City Manager; Ian Arnold, Planning & Building Director and Jill Domingo, City Clerk

**III APPROVAL OF Prior Meeting MINUTES**

**A. MARCH 11, 2018 MINUTES**

Moved by Commissioner Tazzi, seconded by Commissioner Verbeke

*To approve minutes as presented*

	<b>For</b>	<b>Against</b>	<b>Abstained</b>	<b>Absent</b>
Domingo Board Member	x			
Tazzi Commissioner	x			
Verbeke Commissioner	x			



Zblewski Commissioner	x			
	4	0	0	0

Carried

**IV CORRESPONDENCE- None****V PUBLIC HEARING****A. VARIANCES FOR 440 BEMER STREET**

Chair Zblewski opened the public hearing at 5:37 p.m.

Terron Erwin, Pastor Christ Apolostic Church stated the Christ Apolostic Church is requesting a height and parking lot/greenspace variance.

Planning & Building Director Arnold stated the variances requested are as follows:

1. Applicant request variance to reduce interior parking lot landscape/greenspace Ref: Parking lots over 10,000 sq. ft. are required to have one (1) sq. ft. of landscaped area for each fifteen (15) sq. ft. of parking lot (*Chapter 100, Article 3. Sec. 3.11, C.2 of the City of Albion Zoning Ordinance*)
2. Applicant request to allow for glass portion of proposed structure to exceed thirty-six feet (36), maximum allowed structure height (Chapter 100, Article 4, Sec 4.8, C, table 4.8 and Sec 4.3, D, of the City of Albion Zoning Ordinance

Chair Zblewski asked if anything pertaining to the property would contain a hardship to support the variance

Planning & Building Director Arnold stated the property backs up to the expressway which may cause a hardship

Chair Zblewski closed the public hearing at 5:42 p.m.

Questions/Comments from the Commission were as follows:

Commissioner Verbeke asked if the Church is requesting a variance because they don't want greenspace in the parking lot?

Terron Erwin stated the Church has greenspace around the parking lot for ball fields but may cause a hardship in the parking lot for plowing and maintenance

Chair Zblewski stated the islands are required for safety issues to prevent cars from being bumper to bumper and also greenspace allows for carbon emissions.

Chair Zblewski asked how much of a height variance is being requested?

Planning & Building Director Arnold stated the height variance will be for the center of the building and will be forty-two (42) feet

Chair Zblewski asked if there have been any conversations with MDOT about the height requirement/variance since it's so close to the expressway?

Planning & Building Director Arnold & City Manager Snyder both stated they have not had conversations with MDOT about the height requirements/variance for this project

Commission Tazzi stated it looked like the building was set back quite a ways from the expressway. Would there be enough parking with the islands in the parking lots?

Terron Erwin, Pastor Christ Apostolic Church stated currently without the islands, there is parking for every seat in the church. The islands would reduce the number of people that would be able to attend.

Commissioner Verbeke asked if the parking lot was the maximum size?

Terron Erwin, Pastor Christ Apostolic Church stated some greenspace that had been planned for ballfields could be used to add parking

## **VI Order of Business**

- A. APPROVE REQUEST TO ALLOW FOR GLASS PORTION OF PROPOSED STRUCTURE TO EXCEED THIRTY-SIX FEET (36), MAXIMUM ALLOWED STRUCTURE HEIGHT

Comments were received from Planning & Building Director Arnold; Terron Erwin, Pastor Christ Apostolic Church; Noah Boyd, Wightman & Associates and David Trammel, Senior Pastor Christ Apostolic Church

Moved by Commissioner Verbeke, seconded by Commissioner Tazzi

*Approve request to allow for glass portion of proposed structure to exceed thirty-six feet (36), maximum allowed structure height*

	<b>For</b>	<b>Against</b>	<b>Abstained</b>	<b>Absent</b>
Domingo Board Member	x			
Tazzi Commissioner	x			
Verbeke Commissioner	x			
Zblewski Commissioner	x			
	4	0	0	0

Carried

**B. APPROVE REQUEST FOR VARIANCE TO REDUCE INTERIOR PARKING LOT LANDSCAPE/GREENSPACE**

Comments were received from Planning & Building Director Arnold; Terron Erwin, Pastor Christ Apostolic Church; Noah Boyd, Wightman & Associates and David Trammel, Senior Pastor Christ Apostolic Church

Moved by Commissioner Tazzi, seconded by Board Member Domingo

*Approve request for variance to reduce interior parking lot landscape/greenspace*

	<b>For</b>	<b>Against</b>	<b>Abstained</b>	<b>Absent</b>
Domingo Board Member	x			
Tazzi Commissioner	x			
Verbeke Commissioner		x		
Zblewski Commissioner		x		
	2	2	0	0

DEFEATED.

**C. APPROVE 2021 MEETING DATES**

Moved by Commissioner Verbeke, seconded by Commissioner Tazzi

*To Approve 2021 Meeting Dates as presented*

	<b>For</b>	<b>Against</b>	<b>Abstained</b>	<b>Absent</b>
Domingo Board Member	x			
Tazzi Commissioner	x			
Verbeke Commissioner	x			
Zblewski Commissioner	x			
	4	0	0	0

Carried

#### D. ELECTION OF OFFICERS (CHAIR, VICE-CHAIR)

Moved by Commissioner Verbeke, seconded by Board Member Domingo

*To TABLE Election of Officers (Chair, Vice-Chair) until vacant seats are filled*

	<b>For</b>	<b>Against</b>	<b>Abstained</b>	<b>Absent</b>
Domingo Board Member	x			
Tazzi Commissioner	x			
Verbeke Commissioner	x			
Zblewski Commissioner	x			
	4	0	0	0

Carried

## VII MISCELLANEOUS ITEMS

Commissioner Domingo asked if various City Boards could be combined

City Manager Snyder stated she will check into whether some city boards can be combined

## VIII EXCUSE ABSENT COMMISSION MEMBERS

No action necessary as all members were present

**IX PUBLIC COMMENTS**

No public comments were received

**X ADJOURNMENT**

Moved by Commissioner Verbeke, seconded by Board Member Domingo

*To adjourn regular Zoning Board of Appeals meeting*

*Chair Zblewski adjourned the regular Zoning Board of Appeals meeting at 6:03 p.m.*

	<b>For</b>	<b>Against</b>	<b>Abstained</b>	<b>Absent</b>
Domingo Board Member	x			
Tazzi Commissioner	x			
Verbeke Commissioner	x			
Zblewski Commissioner	x			
	4	0	0	0

Carried

---

Jill A. Domingo, City Clerk

**City of Albion  
Ordinance #2021-**

AN ORDINANCE TO AMEND CHAPTER 100, ARTICLE, TO ADD SECTION, MOBILE FOOD VENDING

**Purpose and Finding:** To encourage mobile food vending which adds to the vibrancy and desirability of the City of Albion, while providing a regulatory framework under which such businesses shall operate.

**1. Definitions**

The following terms when used in this chapter shall have the meanings ascribed to them in this section.

**Mobile Food Vending Unit** – Any motorized or non-motorized vehicle, trailer, pushcart, or device being used for the sale or distribution of food or beverages.

**Mobile Food Vending** – The sale or distribution of food or beverages from a Mobile Food Vending Unit.

**Mobile Food Vendor** – The owner and operators of a Mobile Food Vending Unit

**2. Permit**

- a. It is unlawful for any person or organization to operate within the City of Albion a Mobile Food Vending Unit without a Mobile Food Vending Permit obtained from the City Clerk.
- b. All permits shall be prominently displayed on the mobile food vending unit while mobile food vending is taking place.
- c. Permits issued under this chapter shall be valid for one (1) calendar year from the date of their issuance. Such permits shall be non-transferable.

**3. Application**

Any person or organization desiring to engage in mobile food vending shall make written application to the City Clerk for a permit under this chapter. The applicant shall truthfully state, in full, all information requested by the City Clerk and be accompanied by a fee established by resolution of the City Council. The application for a license shall be on forms provided by the City Clerk and shall include the following:

- a. Name, signature, phone number, email address, and business address of the applicant.
- b. Information on each mobile food vending unit, including by not limited to year, make, model, vehicle identification number, vehicle or trailer registration plate number, or any other descriptive information required for identification of the mobile food vending unit.
- c. Information setting forth the proposed plans for power access, water supply, and wastewater disposal.
- d. Copies of all licenses or permits issued by the Calhoun County Health Department.
- e.

#### **4. Requirements**

Any mobile food vendor shall comply with the following requirements

- a. Provide appropriate receptacles at the site of the mobile food vending unit and remove all litter, debris, and other waste attributable to the vendor on a daily basis.
- b. If operating on city-owned or controlled property, may only locate on such property as established in a resolution adopted by the City Council.
- c. If parked on public streets, mobile food vendors shall conform to all state and local laws.
- d. A mobile food vendor shall not operate a mobile food vending unit within five hundred (500) feet of any fair, festival, special event, or civic event that is licensed or sanctioned by the City unless the vendor has obtained permission from the event sponsor.
- e. Mobile food vendors shall not use any flashing or blinking or strobing lights; all exterior lights over 60 watts shall contain opaque shielding to direct the illumination downward.
- f. Mobile food vendors shall not use loud music, amplification devices or “crying out” or any other audible methods to gain attention which cause a disruption or safety hazard as determined by the City.
- g. Within R-1, and R-2 zoned districts, mobile food vendors may only operate between the hours of 9:00 am, and 9:00 pm.
- h. Food and beverage service shall be conducted from the side of the mobile food vending unit that faces a curb, lawn, or sidewalk when parked. No food service shall be provided on the driving-lane side of the mobile food vending unit.
- i. No mobile food vendor shall provide or allow any dining area within 10 feet of the mobile food business, including but not limited to tables, chairs, booths, stools, benches, or stand-up counters or within the public right-of-way, including but not limited to sidewalks.
- j. Signage is allowed on the mobile food vending unit, provided it is in compliance with Chapter 64 of the City Code of Ordinances. Additionally, one auxiliary sandwich board sign not more than six (6) square feet in area and up to three feet in height is permitted. The auxiliary sign shall not be placed in vehicle travel lanes and must be located at least five feet of clear pedestrian pathway.
- k. No mobile food vending unit shall be left unattended and unsecured at any time food is in the vehicle. Any mobile food vending unit found to be unattended shall be considered a public safety hazard and may be ticketed and or towed at the owner’s expense.
- l. A mobile food vendor may operate on private property only with owner consent and in compliance with the City Zoning code.
- m. Any electrical power required for the operation of a mobile food vending unit located on a public right-of-way shall be self-contained, and a mobile food business shall not use utilities drawn from the public right-of-way. A mobile food vending unit may use electrical power from private property on which it has permission to operate with the property owner’s consent.

- n. No mobile food vendor shall represent that the granting of a permit under this chapter is an endorsement by the City of Albion.

## **5. Enforcement**

- a. Any permit holder operating a mobile food vending unit in violation of any provision of this article, or any rules and regulations set forth by the City is responsible for a civil infraction and is subject to a fine of \$250 per day. Each day of violation shall constitute a separate and distinct offense.
- b. Once a license has been issued, it may be revoked, suspended, or not renewed by the City clerk for failure to comply with the provisions of this article and any rules or regulations set forth by the City.

### Application information as required

- Copies of all necessary licenses or permits issued by the Calhoun County Health Department
- Any non-typical application information?
  - o Marquette Requires information on what food is being served, though the general feeling from our meeting was that this was uselessly overbearing.
- Mobile Food Vending vehicle inspection for Fire Safety
- Information outline the plan for electricity, water, and wastewater
- Insurance Coverage
  - o Proof of a liability policy (Kalamazoo outlines a specific dollar amount required by the State of Michigan?)
  - o General and Public liability?



