

CITY COUNCIL WORK SESSION

Donna Pittman-Mayor

Robert J. Patrick-District 1
Trudy Jones Dean – District 2
Karen Pachuta – District 3

Pam Fleming – District 1
Brian Bates – District 2
Maria Alexander – District 3 Mayor Pro-Tem

AGENDA

November 12, 2013- 6:30pm

1. CALL TO ORDER
2. ROLL CALL
3. APPROVAL OF MINUTES:
4. APPROVAL OF MEETING AGENDA
5. PUBLIC COMMENT
6. REPORTS AND PRESENTATIONS
7. UNFINISHED BUSINESS
 - a) Architectural Design Standards-Shawn Gillen
8. NEW BUSINESS
9. OTHER BUSINESS
10. ADJOURNMENT



Non-Residential Design Standards
Guidebook

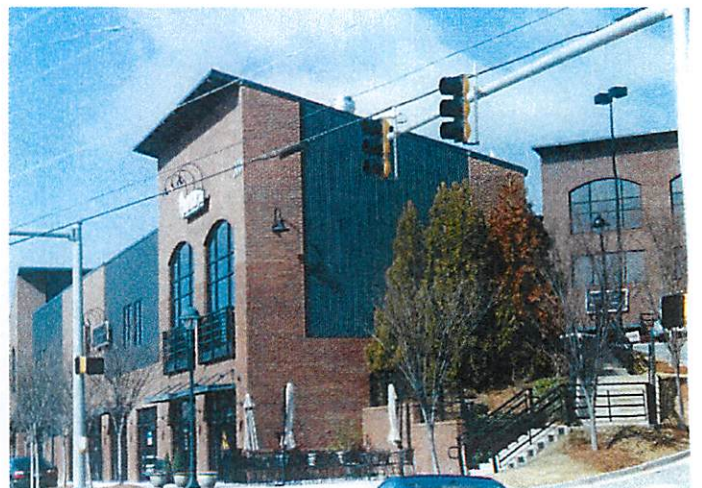
WORKING DRAFT

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Intent and Purpose

The stated **Intent and Purpose** of these design standards is:



- To promote architectural and site design treatments which enhance the visual appearance of non-residential development within the City.
- To ensure compatibility and appropriate visual and physical screening in association with commercial, office and industrial uses.
- To maintain and enhance the attractiveness of the streetscape within the community.
- To create and maintain a strong community image and identity by providing for architectural and landscaping treatments that enhance the visual impact and contribution of commercial, office and industrial development in City of Doraville.
- To require articulation that reduces the mass, scale and/or potentially uniform monolithic appearance of large commercial, office and industrial buildings, and insure that such projects incorporate architectural and landscaping features that provide visual interest while allowing design flexibility.

City of Doraville

Commercial Design Standards Guidebook



This guidebook provides a user-friendly interpretation of Chapter 23 Article XVII which establishes minimum architectural design standards for new non-residential development. The graphics and corresponding text within this manual are interpretations of the standards and are intended to be used only as examples of those standards. This guidebook is not intended to be a substitute for the provisions within Sections 23-1701 through 23-1709 of the City of Doraville Code. The reader is encouraged to review the complete contents of 'Architectural Standards and Guidelines for Commercial Buildings and Projects' within Chapter 23 Article XVII of the City of Doraville Code of Ordinances. Most importantly, this Guidebook is not intended to stifle alternative design solutions which are found to be consistent with the intent and purpose of the Ordinance. The Building Official or his/her designee shall determine such consistency.

For more information contact:

City of Doraville, Georgia

Community Development Department: 770-451-8745

What type of drawings shall I submit for review?

In addition to any drawings and exhibits required elsewhere within the Code of Ordinances, complete architectural elevations of each side of all proposed buildings, ancillary structures and/or free-standing structures (e.g. canopies, screen walls, kiosks, carwashes,) shall be submitted. A site plan, at a scale of approximately 1 inch = 20 feet, shall also be submitted which clearly identifies and distinguishes all foundation planting areas and paving material surfaces.

How are colors restricted?

Buildings' exterior surfaces may not incorporate electric, fluorescent or neon color schemes. A display board of acceptable color tints and ranges is available for viewing at the Planning & Development Department at City Hall. Unpainted natural stone or roofing material is exempt from these restrictions.

General Provisions

Architectural Consistency with Adjacent Structures - Primary Facades will be architecturally compatible and consistent in character with the facades in the surrounding area (especially in rural settlements, historic areas, historic structures, etc.)

Architectural Consistency Among Adjacent Facades (same building) - Secondary Facades on the same building shall be designed with an architectural style, detail, trim features, and roof treatments which are consistent with that of the other Primary/Secondary Facades on the same structure.

Consistent Level of Detail Among Facades (same building) - All Primary/Secondary Facades on the same building shall be designed with a similar level of treatment, detail and visual interest as other Primary/Secondary Facades on said structure.

Alternatives to Windows and Entrances - In lieu of actual windows or entrances, the design may incorporate niches and alcoves with significant architectural delineation and definition in order to suggest windows, entry features and to meet the spirit of the Ordinance.

Corporate Colors – The use of corporate colors is permitted provided that such colors are not patterned so as to compete for visual attention (e.g. polka-dots, stripes). The use of corporate colors shall not create an advertisement of the building itself. Corporate colors shall not violate any other color limitations within the Ordinance.

Visibility from Adjacent Residential Area - Any side of an Office, Commercial or Industrial use structure not otherwise meeting the definition of a Primary or Secondary Façade, but which is visible from and adjacent to residential areas, shall be deemed a Secondary Façade and shall meet the architectural requirements for same.

Exceptions to Secondary Façade Applicability - Secondary Façade standards may be deemed not applicable or only partially applicable by the Building Official if it is determined that the narrowness and/or lack of visibility of the subject space or façade renders a strict enforcement of the architectural standards to be unfeasible or unnecessary. Any such determination may only be made where the subject space between structures is less than 10 feet wide. Regardless of any such determinations of inapplicability, when the space between buildings is over 10 feet wide, all tree and landscape provisions shall apply.

Applicability

Which zoning categories and which projects are subject to these regulations?

- Neighborhood Commercial (C-1); General Commercial (C-2); Commercial Transition (C-T); Office/Institutional (O-I); and Office/Warehouse (OW).
- The landscaping provisions for both Primary and Secondary Facades apply to temporary sales offices and model centers.
- The standards are applicable to redevelopment or renovation of existing buildings when more than 50 percent of a Primary or Secondary façade are involved. This 50 percent standard only applies to that façade undergoing renovation or redevelopment. New development or building expansions involving more than a 50 percent increase in gross floor area require full compliance.
- Principle uses, whether they occur on parent parcels or on out-parcels;
- Free-standing ancillary or secondary uses including kiosks, ticket booths, carwashes and gas station canopies.



Awning or canopy is any cloth, plastic or metallic covering or shelter that is suspended or projected over a window, door, walkway, gasp pump island or outdoor space.

Good use of awnings



Ornamental and Structural Detail is a colored, raised or decorative feature that provides a focal point or highlight within an otherwise flat, unarticulated wall section. Such detail does not include incidental drainage (down spout), electrical, mechanical or other such equipment, corporate logos, textures, colors or materials.

Typical cornice detail



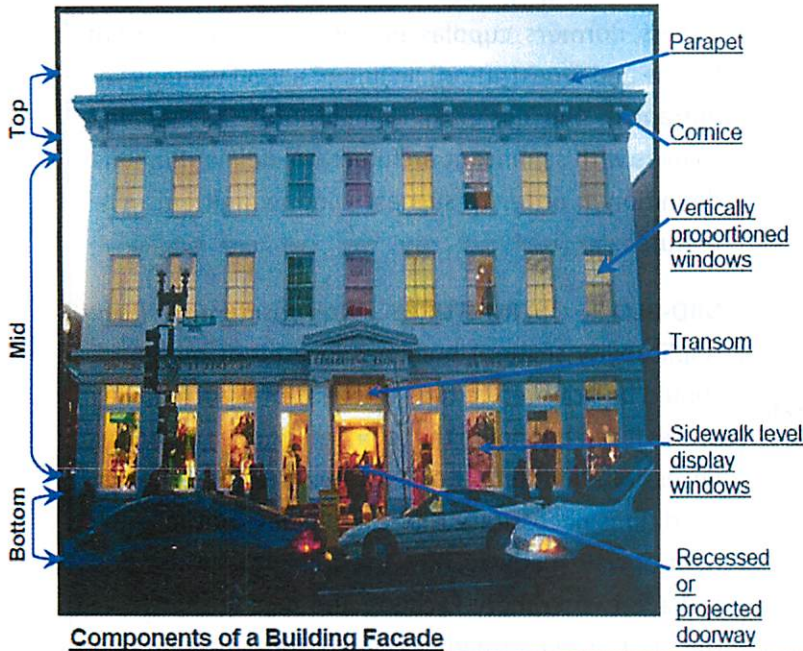
Cornice is an ornamental band of molding at the top edge of a building or free-standing wall that flares outward to provide a continuous crown. Free-standing walls that provide visual screening of trash enclosures, loading docks, service areas, mechanical equipment or grocery cart enclosures would all benefit from cornice detailing.

Example of cornice and ornamental detail

Architectural Definitions *(Ref. Sec. 23-1703)*

Primary Façade(s) shall mean any and all sides of a building which: 1) face an adjacent public right-of-way; or 2) has a primary customer entrance. NOTE: Many buildings have multiple Primary Facades.

Secondary Façade(s) shall mean any and all sides of a building that, while not fulfilling the definition of a Primary Façade, is either visible from a public right-of-way or roadway or has a secondary or tertiary customer entrance. NOTE: Many buildings have multiple Secondary Facades.



Roof line variations and facades which are compatible with the surrounding area



Projected balcony

Shaded pedestrian colonnade

Primary Façade

Facade which features a customer entrance, or which faces a street.

Secondary (Side) Façade

Facade which can largely be seen from a street (side elevation).

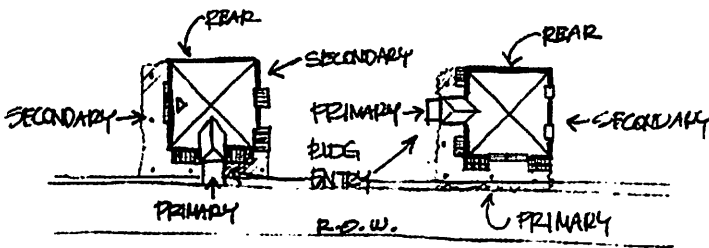
BUILDING ORIENTATION: Primary Facades

THE INTENT of this section is to orient non-residential buildings toward the public right-of-way, the roadway or toward private internal collector-type roadways. The orientation helps physically define the streets and public spaces as places of shared use. Street lined by building facades are more interesting to move along, especially for pedestrians, and provide a safer environment.

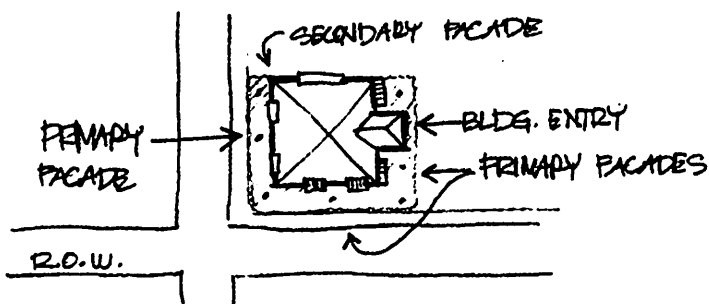
PRIMARY FAÇADE: CONSISTENT ARCHITECTURAL TREATMENT All Primary Facades of a building shall be designed with consistent architectural style, detail, trim features and roof treatments. In addition, all the Primary Facades of a structure shall be designed with a similar level of treatment, detail and visual interest. This includes the design of windows, primary entrances, roof forms (e.g. parapet, gable, hip, mansard, or combination) and architectural elements (e.g. columns, pilasters, overhangs, balustrades, towers, dormers, cupolas and/or other projections of façade and fenestration). In lieu of actual windows or entrances, the design may incorporate niches and alcoves with significant architectural delineation and definition in order to suggest window and entrance features.

MID-BLOCK STRUCTURES Non-residential (see Applicability section) buildings located at mid-block should be oriented to face the right-of-way/roadway unless it can be shown that compelling site conditions necessitate a different orientation. If compelling site conditions necessitate that the building not face the right-of-way/roadway, then the building is considered to have two Primary Facades; the façade that faces the right-of-way/roadway and the façade that incorporates the primary customer service entrance.

CORNER LOT STRUCTURES Non-residential buildings located on corner lots shall be oriented to face a right-of-way/roadway, unless it can be shown that there are compelling site conditions that necessitate a different orientation. If compelling site conditions necessitate that the building not face such right-of-way/roadway, then the building is considered to have three Primary Facades: the two façades that face both adjacent right-of-ways/roadways, and the third façade that incorporates the primary customer service entrance.



Mid-block structure



Corner lot structure

Required Landscaping

Landscaping helps tie together buildings, define space and create a human-scaled pedestrian realm. Quality landscaping is an essential component of the built urban form of the city. It fosters unity of design and helps development blend with the natural landscaping. Existing landscaping should be retained where possible. Do not assume mass clearing is preferable simply because it may be easiest.

Builders in City of Doraville are encouraged to consider using drought-tolerant plants and other xeriscape techniques. These include amending the soil, mulching, grouping plants by water need and using water-efficient irrigation equipment and schedules.



Example of good landscape scheme

Soften the public realm with landscaping at key pedestrian nodes.

The following describes the landscaping required along all Primary and Secondary Facades on Commercial uses.

Commercial parcels of 1/2 acre or larger, will establish an eight-foot-wide building perimeter foundation landscape. The landscape is measured perpendicular to the façade and will be planted immediately adjacent to and along 100 percent of the Primary Façade (along at least 50 percent of Secondary Facades). If a sidewalk is designed immediately adjacent to the Primary or Secondary Façade, the landscaping will instead be placed between the walk and the adjacent curb or walk lining any parking or rights-of-way.

The landscaped area must be a minimum of eight feet wide and should include shrubs and groundcover with one understory tree for each 25 feet or fraction thereof of the linear length of the Primary Façade (along 50 percent of the linear length of the Secondary Façade). Understory trees may be planted no closer than 10 feet on center and such understory may be clustered.

NOTE: For parcels LESS than 1/2 acre, the provision of landscaping materials along the Primary and Secondary Facades becomes one of the Optional Design Features, not a requirement, that are described within this guidebook.

PRIMARY AND SECONDARY FACADES: Determining the Required Number of Optional Design Features (Ref. Sec. 23-1704)

Primary Facades on Commercial use parcels, which do not incorporate a customer entrance, shall incorporate at least two other ODF from the list below.

Secondary Facades on Commercial, Industrial or Office use parcels larger than ½ acre shall incorporate at least one of the ODF from the following list.*

Optional Design Features (ODF):

A primary customer entrance including associated architectural entry treatments and pedestrian-scaled landscaping.

Arcades or colonnades a minimum of six feet wide on primary facades and eight feet wide on secondary facades or other roof/wall treatments that provide shade and a break in at least 50 percent of the vertical plane of the building.

Display windows with associated architectural trim features are strongly encouraged along the façade of buildings. Display windows attract window-shopping pedestrians and add vitality to the streetscape. Display windows shall not become a surface for advertising. Generally, display windows should extend, for example, from approximately 36 inches above finished grade to approximately six feet above finished grade. The windows shall cover at least 50 percent of the length of the wall. (Note: Windows located too high for pedestrian use or too high to add visual interest to a building façade are discouraged and shall not be accepted.)

Awnings associated with windows and doors and which are fabricated of materials and colors which enhance the building's architecture are strongly encouraged along an appropriate horizontal length of the buildings façade.

Windows covering an architecturally-appropriate portion (at least 40 percent) of the façade.

Landscaping is an option only on parcels LESS than ½ acre.

Any other treatment that, in the opinion of the building official, meets the spirit and intent of this Section is acceptable.

* Notes:

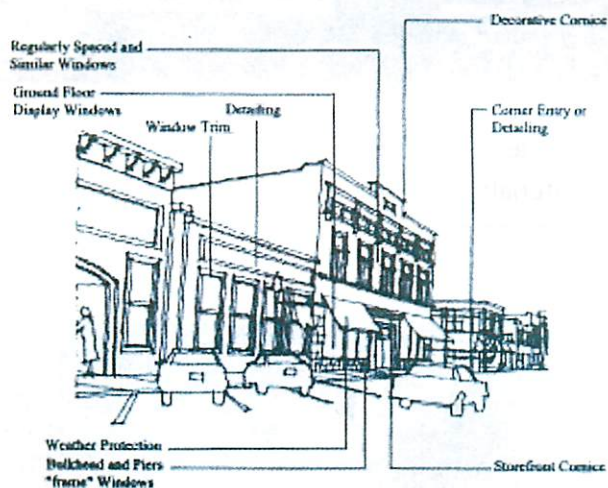
1) Customer service entrances (which include associated formalized architectural entry treatments) shall satisfy only one of the two required ODF on Commercial parcels. That is, the Primary Façade(s) of Commercial uses shall incorporate at least one ODF in addition to any customer service entrances.

2) Landscaping is required along the Primary and Secondary Facades of all Commercial use parcels which are larger than ½ acre. Under Required Landscaping above, see the provision involving 50 percent landscape coverage along Secondary Facades.

3) Landscaping along Primary and Secondary Façades becomes one of the Optional Design Features only on Commercial parcels which are less than ½ acre

PRIMARY/SECONDARY FACADE DESIGN STANDARDS: Design Features

General Provisions



Building facades

Building facades should be varied and articulated to provide visual interest to pedestrians. Street level windows and numerous building entries also contribute to a welcoming sense of place. Streets with monotonous and unarticulated facades are hostile to pedestrian activity.

Exceptions to Secondary Façade Applicability – The Building Official may determine that Secondary Façade standards are not applicable or only partially applicable. A façade's narrowness or lack of visibility can make a strict enforcement of the architectural standards unfeasible or unnecessary. Any such determination will only be made where the subject space between structures is less than 10 feet wide. When the space between buildings is more than 10 feet wide, regardless of any such determinations of inapplicability, all tree and landscape provisions shall apply.

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Corporate Colors – The use of corporate colors is permitted as long as the colors are not patterned so as to compete for visual attention (e.g. polka-dots, stripes). The use of corporate colors shall not create an advertisement of the building itself. Corporate colors shall not violate any other color limitations within the Ordinance.

Visibility from Adjacent Residential Area – If any side of a regulated structure does not otherwise meet the definition of a Primary or Secondary Façade, but is visible from an adjacent residential area, it will be considered a Secondary Façade and will meet the architectural requirements for a Secondary Façade.



Canopies or porticos integrated with the building's mass, style, details and materials.



Overhanging eaves that extend a minimum of three feet



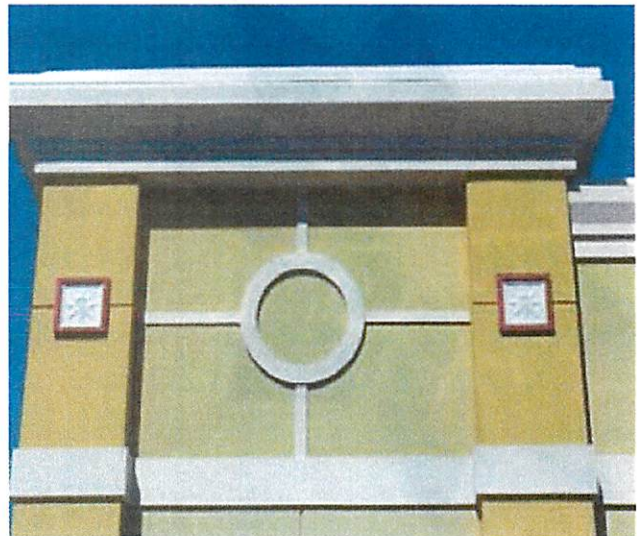
Peaked roof forms that offer a variety of peak heights.

BUILDING ORNAMENTATION: Optional Design Features (Ref. Sec. 23-1704)

THE INTENT of requiring a minimum level of architectural ornamentation is to add visual appeal to new construction and to maintain and enhance the attractiveness of the streetscapes within the City.

Both single and multiple-tenant buildings are required to provide a minimum of **three of the following features**:

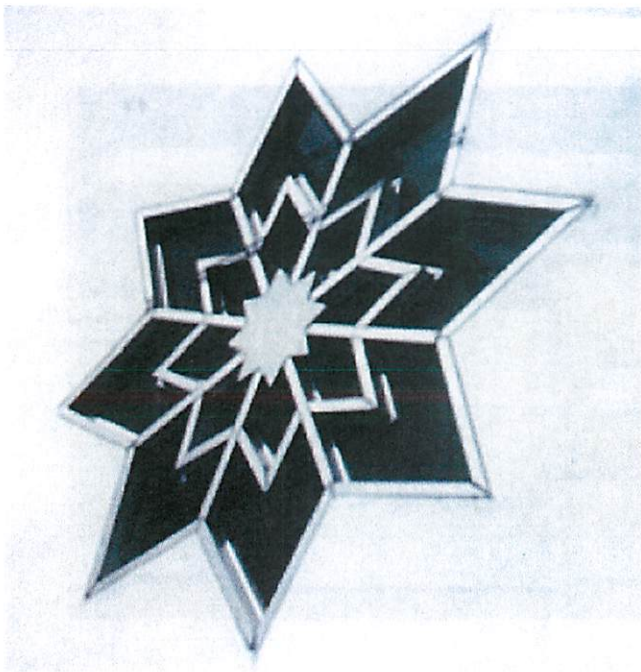
- **Parapets with arched, gabled, stepped or decorative features and cornice treatments** over the primary customer entrance area that is integrated with the building's style and massing
- **Canopies or porticos** integrated with the building's mass, style, details and materials.
- **Overhanging eaves** that extend a minimum of three feet
- **Peaked roof forms** that offer a variety of peak heights.
- **Arcades** a minimum of six feet in depth.
- **Arches** or arched forms.
- **Display windows** extending from 36 inches above finished grade upward and extending proportionately along the first floor façade and at the customer entry area.
- **Ornamental details** that are integrated into the building structure.
- **Clock or bell tower** or other approved vertical feature.
- **Sculptured artwork** but not corporate logos or advertising.
- **Any other treatment** that meets the intent of the design standards is acceptable.



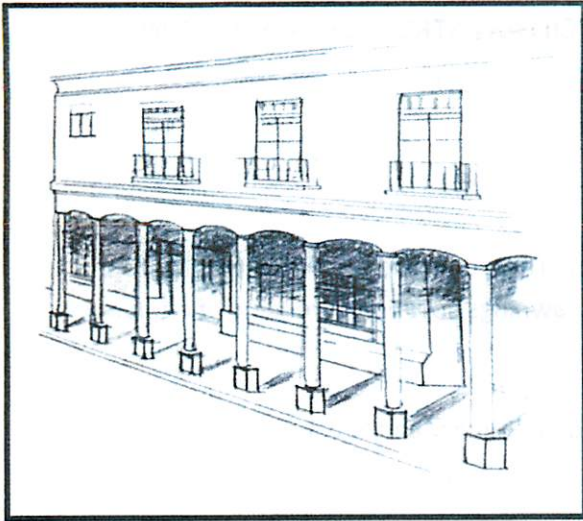
Parapets with arched, gabled, stepped or decorative features and cornice treatments over the primary customer entrance area that is integrated with the building's style and massing.



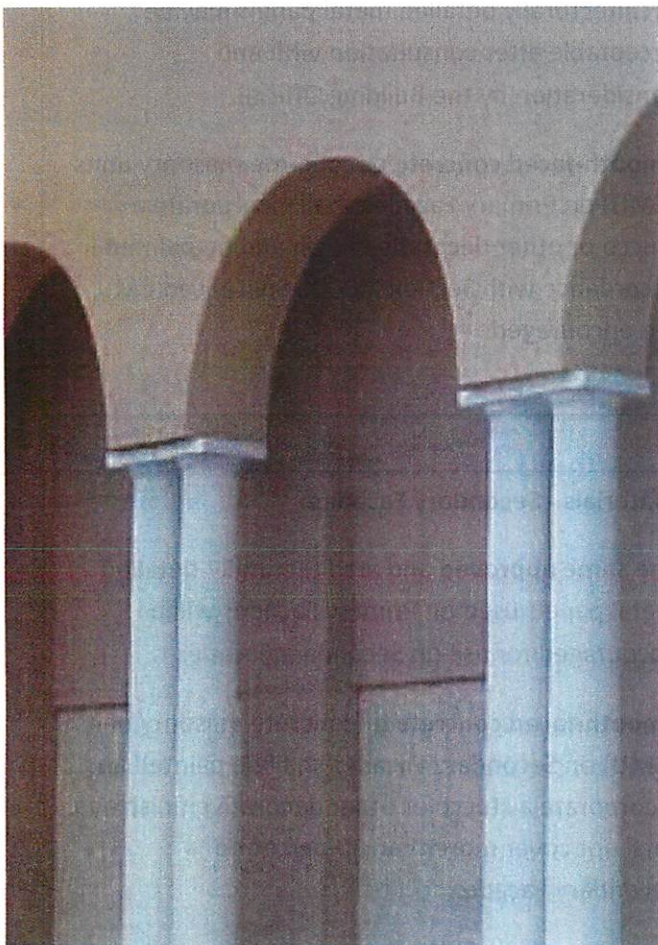
Display windows extending from 36 inches above finished grade upward and extending proportionately along the first floor façade and at the customer entry area.



Ornamental details that are integrated into the building structure.



Arcades a minimum of six feet in depth.



Arches or arched forms.

EXTERIOR BUILDING: MATERIALS, AWNINGS, ANCILLARY STRUCTURES, SCREENING OF APURTENANCES, COLORS (Ref. Sec. 23-1705)

Many issues contribute to the visual impact of buildings on adjacent properties, on travelers within the adjacent rights-of-way, and on the character of neighborhood. Building materials, awnings, location/screening of equipment and color are each important in shaping a project's visual impact.

The use of certain materials, colors and lighting techniques are restricted on Primary and Secondary Facades. The following are specific, non-optional design limitations:



Example of prohibited material

Corrugated metals as a primary exterior building material are prohibited.

Materials - Primary Facades

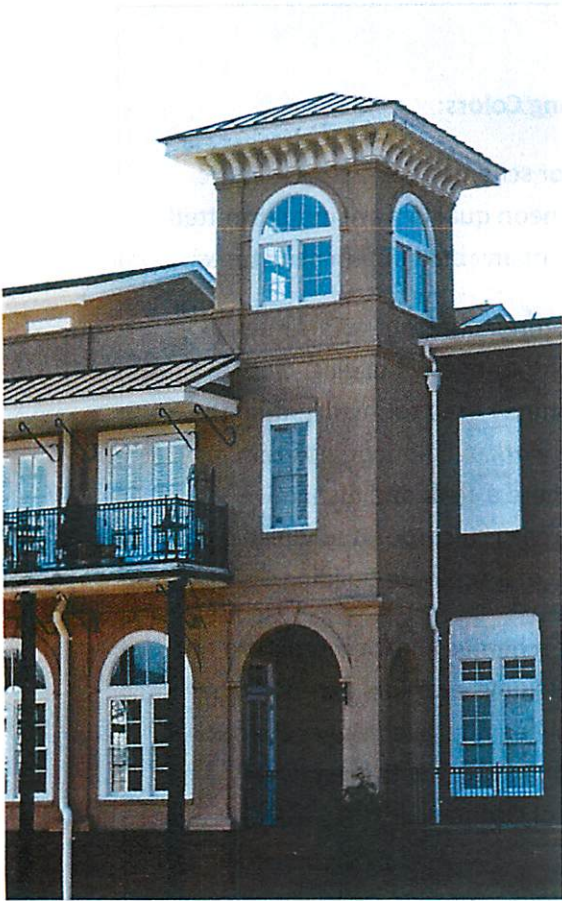
Corrugated metal panels, used as a finish material, are prohibited on Primary and Secondary Façades. Architecturally detailed metal panels may be acceptable after consultation with and consideration by the Building Official.

Smooth-faced concrete or concrete masonry units (CMU) on Primary Facades shall incorporate a stucco or other decorative finish and be painted in accordance with Section XXXXX. Split-faced CMU are encouraged.

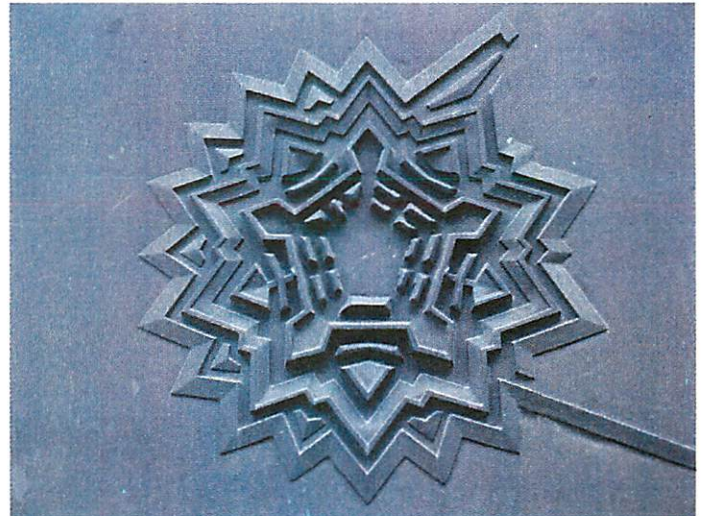
Materials - Secondary Facades

The same approved and architecturally-detailed metal panels used on Primary Façades will be encouraged for use on Secondary Facades.

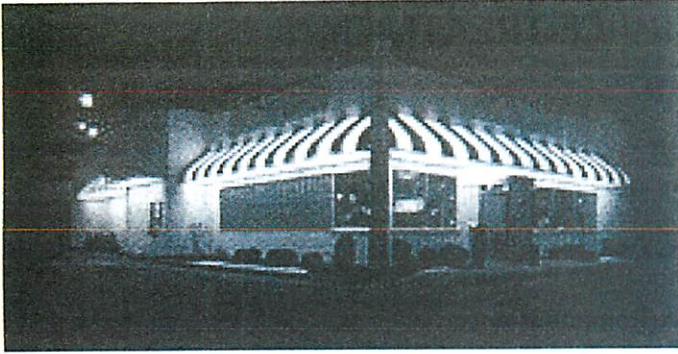
Smooth-faced concrete or concrete masonry units (CMU) on Secondary Facades shall be painted and incorporate a stucco or other decorative finish and shall not cover more than 30 percent of a Secondary Façade.



Clock or bell tower or other approved vertical feature.



Sculptured artwork but not corporate logos or advertising.



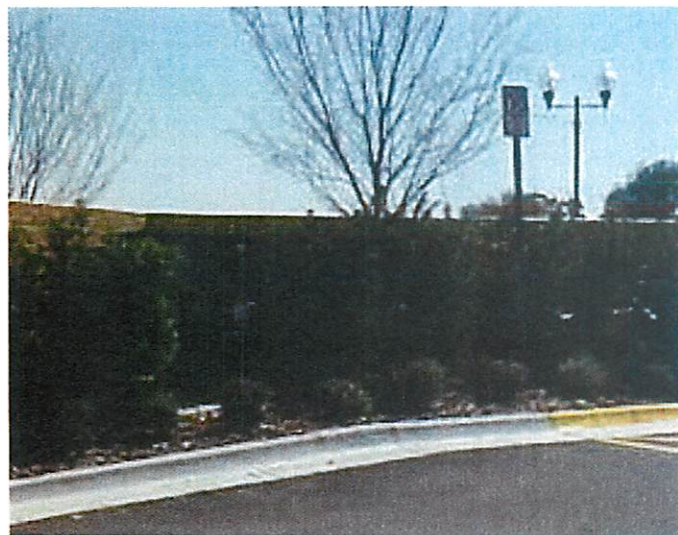
Backlit awnings

Backlit awnings are specifically prohibited.



Cart storage

Outdoor storage of shopping carts should be appropriately screened; security is also increased.



Mechanical equipment

Landscaping can be used to camouflage ground-level equipment. It is difficult to discern where the equipment is in this photo due to effective screening.

Awnings: Except for those portions of awnings or canopies that may have received County approval for backlit sign copy area, backlit awnings or canopies are specifically prohibited. This includes backlit awnings or canopies on, for instance, service stations, convenience stores or other retail establishments. Furthermore, pre-wiring of awnings or canopies for back-lighting is prohibited.

Ancillary Structures: Ancillary structures, like car washes, cashier booths and canopies over gas pumps will incorporate the same architectural detailing, design elements, materials, colors and roof design as the principal structure, including a comparable peaked-roof pitch and parapet or cornice treatments.

Screening of Shopping Carts: Screening needs to be provided for all outdoor storage of customer shopping carts adjacent to the building. Shopping cart areas shall be screened by a four-foot-high (minimum) wall. The exterior face of the screen wall should be architecturally treated, for instance, by using colors, materials, finish or trim, in a manner consistent with that of the adjacent Primary or Secondary Façade.

Screening of Ground Level Equipment: A wall of sufficient height should surround any exterior ground-level mechanical equipment. The wall should completely screen the equipment from view. This includes any equipment like food freezers, air handling units and the like which may be located between any structure and an adjacent residential area or right-of-way. The screening wall should appear as an architectural extension of the principle building and will incorporate cap and architectural trim and features consistent with the adjacent facade. When such equipment is visible only from adjacent commercial or industrial uses and not a right-of-way, the screen wall may instead be painted to match the color of the building.

REQUIRED CUSTOMER SERVICE TREATMENTS

In addition to providing protection from the sun and shelter from adverse weather conditions, customer service treatments also provide a visually-inviting space for visitors and enhance the streetscape perspective. The following requirements are not applicable to single-tenant buildings with a gross floor area of 10,000 square feet or less, or to multiple-tenant buildings and projects with a gross floor area of less than 20,000 square feet.

Single-tenant buildings with a gross floor area of more than 10,000 square feet, but less than 20,000 square feet, shall have a highly visible primary customer entrance.

Single-tenant buildings with more than 20,000 square feet of gross floor area shall incorporate the same, highly visible primary customer entrance and incorporate decorative landscape planters or wing walls with integrated landscaping.

Multiple-tenant buildings and projects that have more than 20,000 square feet of gross floor area shall incorporate the following:

- Highly-visible primary customer service entrances on the anchor tenant structure(s).
- Decorative landscape planters or wing walls and intermittent, shaded outdoor gathering spaces located in association with the customer entrance or integrated with the pedestrian circulation path of the complex.



Example of highly-visible customer entrance with accompanying landscape.



Example of a highly-visible customer entrance with accompanying landscape.

REQUIRED ROOF TREATMENTS: Optional Design Features

THE INTENT of requiring a minimum of roof treatment is to promote visual interest, to avoid large, monolithic roof planes and to screen rooftop equipment. The roof design standards below apply to all principle structures as well as free-standing ancillary or secondary structures like kiosks, cashier booths and car wash enclosures.

Single and multiple-tenant buildings are required to incorporate variations in the roofline peaks and features which are architecturally consistent with the building's mass and scale. Roofs shall incorporate at least two of the following features:

- Decorative parapets which extend a minimum of three feet above the finished roof surface and which are high enough to block the view of any mechanical equipment or fixtures which may be located on the roof.
- A three-dimensional cornice treatment which measures a minimum of 12 inches in height and which includes three vertical (not horizontal) changes in plane and a variety of thicknesses in relief ranging from greatest at the top to the least at the bottom thereby giving visual weight to the upper most plane.
- Overhanging eaves that extend at least three feet beyond the supporting walls with a minimum fascia depth of six inches.
- Three or more roof/peak planes per façade.
- A sloping roof height (measured from the top of the supporting wall vertically to the peak of the sloping roof) shall not exceed the average height of the supporting walls. The sloping roof height shall not be less than a pitch of 4:12. However, a pitch of 3:12 may be acceptable depending on the mass and scale and elevations and renderings showing the appropriateness and compatibility of the design.
- Any other treatment that meets the spirit and intent of the Ordinance.

Backlit awnings used as a mansard or canopy roof shall be prohibited in both single and multiple-tenant buildings.

Exterior rooftop equipment including any HVAC roof refrigeration or other mechanical fixtures shall be concealed from eye-level view from any public right-of-way and from any adjacent properties by incorporating a parapet wall extension and capped cornice treatments.

DRIVE-THROUGH WINDOWS AND LANES: Specific Design Requirements

Drive-through lanes and windows shall satisfy all of the following standards:



Example of acceptable drive-through The above photo is an example of an acceptable porte-cochere over a drive-through.



Example of acceptable drive-through



Example of unacceptable drive-through The photo shows an Unacceptable example; the structure needs to extend over the entire width of the second drive-through lane.

Drive-through windows/lanes located between the right-of-way and the associated building shall incorporate an eight-foot-wide landscape buffer extending the entire length of the drive-through cueing or stacking area. (see landscaping of drive-through lanes Code Section XXXX)

Drive-through windows or lanes that are visible from a right-of-way or roadway will be screened by a five-foot-wide landscape buffer that extends the entire length of the drive-through cueing or stacking area.

A permanent porte-cochere structure shall be constructed over the drive-through, service and any other associated customer service windows. The porte-cochere(s) shall extend the width of the drive and be a minimum of 20 feet in length. The porte-cochere(s) shall be structurally and architecturally-integrated into the building and provide architectural detailing and roof treatments that are consistent with the facade and roof design of the building. The porte-cochere may encroach into the side yard setback.

ALL FACADE TREATMENTS: Optional Design Features

The intent of this section is to avoid the construction of building facades that lack visual interest by requiring at least a minimum of architectural detailing facades.



Example of appropriate commercial façade

This commercial façade has visual interest achieved through the use of natural materials, variation in horizontal and vertical articulations, thoughtful use of windows and color change.

All facades of buildings with a gross floor area of 20,000 square feet or more shall be required to incorporate at least three of the treatments listed below. At least one of these treatments shall repeat horizontally and all such design elements shall repeat at intervals of no more than 30 feet, either horizontally or vertically.

All facades of buildings with a gross floor area of less than 20,000 square feet shall be required to incorporate at least two of the treatments listed below and again, at least one of these treatments shall repeat horizontally.

All such design elements shall repeat at intervals of no more than 25 feet, either horizontally or vertically.

Optional Façade Treatments

- Expression of a vertical architectural treatment with a minimum width of 12 inches.
- Building step-backs, offsets or projections involving a minimum of three feet in depth.
- Color change.
- Texture and/or material change.
- Architectural banding.
- Pattern change.
- Any other treatment that meets the spirit and intent of the Ordinance.

CURBSTOPS, BUILDING PERIMETER CROSSWALKS: Specific Design Requirements



Example of pedestrian walkway and crosswalk

The concrete and colored brick pavers effectively identify this pedestrian crossing, increasing pedestrian safety and visibility.

Curb stops are required wherever a parking stall abuts a pedestrian walkway.

Pedestrian walkways shall be a minimum of five feet wide and curbed wherever possible. If, however, a lack of available space creates a parking design challenge, walkways should be seven feet wide to address any potential vehicular overhang encroachment.

Shaded project sidewalk and pedestrian crosswalk systems shall be integrated within the project's design and coordinated to move people safely and comfortably to and from buildings, parking areas and adjacent rights-of-ways. Safe and pleasant pedestrian circulation is accomplished by creating well-defined, shaded pedestrian corridors which are, to greatest extent possible, separated from vehicular use areas.

Pedestrian crossings are to be identified and highlighted with signage and constructed of special paving materials (not simply with paint) in order to identify them as such. Concrete/ colored brick pavers, stamped concrete or other paving materials are all acceptable.

STATE OF GEORGIA
CITY OF DORAVILLE

ORDINANCE NO. 2013 - _

AN ORDINANCE OF THE CITY OF DORAVILLE, GEORGIA, TO AMEND CHAPTER 23, (ZONING), BY ADDITION OF NEW ARTICLE XVII (DESIGN STANDARDS) TO CREATE DESIGN STANDARDS AND OTHER REGULATIONS FOR NEW DEVELOPMENT; TO ADD DEFINITIONS FOR SAME; TO DELETE CURRENT DESIGN STANDARDS IN CHAPTER 5 OF THE CITY CODE; TO PROVIDE SEVERABILITY; TO PROVIDE FOR REPEAL OF CONFLICTING ORDINANCES; TO PROVIDE FOR AN ADOPTION AND EFFECTIVE DATE; TO PROVIDE FOR CODIFICATION; AND TO PROVIDE FOR OTHER LAWFUL PURPOSES

WHEREAS, the City Council of the City of Doraville, Georgia is tasked with the protection of the City's public health, safety and general welfare; and

WHEREAS, the Mayor and City Council previously adopted temporary design standards in Chapter 5 of the City Code that provides minimal design regulations for certain development within the City; and

WHEREAS, the Mayor and City Council wish to create comprehensive design standards for development in the City to enhance existing streetscape and architecture and maintain a strong identity of the City; and

WHEREAS, the Mayor and City Council desire to amend the Zoning regulations of the City to place said design standards within it to regulate design requirements of various zoning districts; and

WHEREAS, a duly advertised public hearing, in accordance with the Georgia Zoning Procedures Act, has been held by the City of Doraville to consider these revisions.

THEREFORE, THE MAYOR AND COUNCIL OF THE CITY OF DORAVILLE, GEORGIA HEREBY ORDAIN, as follows:

This Chapter 23 (Zoning) of the City of Doraville, Georgia Code is hereby amended by adding a new Article XVII (Design Standards) to read as follows:

ARTICLE XVII. DESIGN STANDARDS

Sec. 23-1701. - Intent and purpose.

The intent and purpose of this article are as follows:

- (a) To maintain and enhance the attractiveness of the streetscape and the existing architecture in the community.*
- (b) To create and maintain a strong community image and identity by providing for architectural treatments that enhances the visual experience of commercial development in the City of Doraville.*
- (c) To require articulation that reduces the mass/scale and uniform monolithic appearance of large commercial and institutional buildings, and ensures that commercial and institutional buildings and projects incorporate architectural features that provide visual interest, while allowing design flexibility.*

Sec. 23-1702. - Applicability; scope.

(a) Applicability.

- (1) The provisions of this article shall apply to buildings and projects in C-1 (Neighborhood Commercial), CT (Commercial Transitional), C-2 (General Business), O-I (Office Institutional), and O-W (Office Warehouse) zoning districts.*
- (2) The landscape provisions (both primary and secondary) of section 23-1704 shall also apply to temporary sales offices and model centers.*

- (3) *The provisions of this article shall apply to new development, and redevelopment or renovation of an existing building that changes more than forty (40) percent of a primary or secondary facade. The forty (40) percent facade remodeling or renovation standard only applies to that building facade undergoing renovation or redevelopment. New development or building expansion greater than twenty(20) percent in gross floor area shall require full structure compliance. Redevelopment or renovation that changes more than twenty (20) percent of the exterior of an existing building will require compliance with Sec. 23-1705(c)(2) Building color.*
- (4) *The provisions of this article shall also apply to all principal uses, whether on parent parcels or out-parcels, and to free standing ancillary or secondary uses, such as kiosks, ticket booths, car washes, etcetera.*
- (5) *The provisions of this article are not intended to prevent the use of alternative design solutions that meet the intent and purpose established in section 23-1701, as determined by the reasonable discretion of the city's Director of Planning and Development after consultation and written approval.*
- (6) *Compliance with the standards set forth in this article shall be demonstrated by submittal of architectural drawings and elevations (of all sides), and a site development plan or site improvement plan in accordance with this and other sections of this code.*

(7) Any decision by the city's Director of Planning and Development in regards to this article may be appealed to the City Council pursuant to Section 23-1401 of this Code.

Sec. 23-1703. - Definitions.

The following words and terms, when used in this division, shall have the meanings ascribed to them in this section:

Awning or canopy. A covering, hood or shelter (of cloth, plastic, metallic or similar material) suspended or projected over a window or door.

Cornice. An ornamental molding that finishes or crowns the top of a building, wall, arch, and etcetera.

Ornamental and structural detail. A raised or decorative feature, other than a corporate logo, and not including textures, color or materials. Examples are decorative tile, molding, niches, pilasters and columns.

Primary facade. A side of a building that faces a public or private right-of-way or roadway or has the primary customer entrance. (A building may have more than one primary facade.)

Secondary facade. A side of a building that is not a primary facade and either is visible from a public or private right-of-way or roadway or has a secondary or tertiary customer entrance. (A building may have more than one secondary facade.)

Sec. 23-1704. - Building orientation; primary and secondary facades.

(a) The intent of this section is to orient commercial buildings toward the public right-of-way or roadway or to private internal collector type/roadways and to establish architectural standards for primary and secondary facades in the City of Doraville.

(b) *Primary and secondary facades shall satisfy the applicable facade standards set forth in this section.*

(c) **Building Orientation**

(1) *Mid-block commercial buildings shall be oriented to face the right-of-way/roadway, unless it can be shown that compelling site conditions necessitate a different orientation. If compelling site conditions necessitate that the building not face the right-of-way/roadway, then the building is considered to have two (2) primary facades: the facade that faces the right-of-way/roadway and the facade that incorporates the primary customer entrance.*

(2) *Corner lot commercial buildings shall be oriented to face a right-of-way/roadway, unless it can be shown that there are compelling site conditions that necessitate a different orientation. If compelling site conditions necessitate that the building not face such right-of-way/roadway, then the building is considered to have three (3) primary facades: the two facades that face the right-of-way/roadway and the facade that incorporates the primary customer entrance.*

(d) **Primary facades**

(1) *All primary facades of a building shall have architectural style, detail, trim features, and roof treatments that are consistent with each other. Further, all primary facades shall have a similar level of treatment, detail and visual interest. This is inclusive of window, primary entrance, roof form (parapet, gable, hip, mansard or combination) and architectural elements (columns,*

pilasters, pediments, cornices, balustrades, awnings, dormers, cupolas and/or other projections of facade and fenestration. In lieu of actual windows and entrances, niches and alcoves with significant architectural delineation and definition to suggest window and entrance elements shall be used.

- (2) *For parcels one half (½) acre or larger, building base perimeter landscaping shall be planted immediately adjacent to and along the full linear length of the primary facade, or between the walk immediately adjacent to the primary facade and the curb along the entire linear length of the primary facade. However, such perimeter landscaping shall allow for reasonable breaks for pedestrian access. The landscaped area shall be a minimum of five (5) feet in depth and shall include shrubs and groundcover with one understory tree planted for each twenty-five (25) feet or fraction thereof of the lineal length of the primary facade. (Understory trees are to be planted no closer than ten (10) feet on center.)*
- (3) *Office and institutional use primary facades shall have at least one (1) of the following components exclusive of (4)(i) below; and a primary facade subject to subsection (2) of this section shall have at least one (1) of the following components exclusive of (4)(ii) below.*
- (4) *Commercial use primary facades shall have at least two (2) of the following components, except that a primary facade with the primary customer entrance shall have at least one (1) of the following components exclusive of the component described in subsection (4)(i) and a primary facade*

subject to subsection (2) of this section shall have at least two (2) of the following components exclusive of the component described in subsection (4)(ii).

- i. The primary customer entrance.*
- ii. For parcels less than one-half (½) acre, building base perimeter landscaping shall be planted adjacent to and along the full linear length of the primary facade. The landscaped area shall be a minimum of five (5) feet in depth and shall include shrubs and groundcover with one understory tree planted for each twenty-five (25) feet or fraction thereof of the lineal primary facade, planted for each fifteen (15) feet or fraction thereof of the lineal primary facade. (Understory trees are to be planted no closer than ten (10) feet on center.)*
- iii. Arcades or colonnades a minimum of six (6) feet in width, or other roof treatments that provide shade and break the vertical plane, shall be incorporated along at least fifty (50) percent of the linear length of the primary facade.*
- iv. Display windows a minimum of six (6) feet in height shall exist, along at least fifty (50) percent of the linear length of the primary facade.*
- v. Awnings associated with windows and/or doors, installed in increments of ten (10) feet or less in length, along at least fifty (50) percent of the linear length of the primary facade.*

Windows that cover at least forty (40) percent of the area of the primary facade.

vi. Any other treatment that, in the reasonable opinion of the City's Planning and Development Director or Design Review Board if one is constituted, and after consultation, meets the intent of this section.

(5) A primary facade shall incorporate the screening of outdoor storage of customer shopping carts adjacent to the building. Shopping cart storage areas shall be screened by a wall a minimum of four (4) feet in height. The exterior facade of the screen wall shall be consistent with that of the primary facade.

*(e) **Exterior building materials** contribute significantly to the visual impact of a building on the community. Exterior building materials shall be restricted on primary facades as follows:*

(1) Corrugated metal panels, used as a finish material, shall be prohibited. Architectural metal panels are acceptable, subject to consultation and a determination by the city's Planning and Development Director or Design Review Board if one is constituted that the treatment meets the intent of this section.

(2) Highly reflective or mirror-like materials shall be prohibited.

(3) Blacked out or darkened windows and window treatments or uses that obscure clear visibility into and out-of the building shall be prohibited.

(4) Smooth-faced concrete shall have stucco or other decorative finish.

(5) Backlit awnings and backlit canopies including service station and convenience store backlit awnings and canopies, shall be prohibited, except

for those portions of awnings or canopies which may have approved backlit sign copy area.

(6) *The use of full-depth brick, natural stone, cast stone, terra cotta, pre-cast concrete resembling brick or stone or hard coat stucco as major component of the primary façade with accents of ceramic tile, galvanized steel, glass block, wood, stone or stucco are strongly encouraged*

(f) **Secondary facade standards** *may be deemed wholly or partially inapplicable by the city's Planning and Development Director or Design Review Board if one is constituted due to the narrowness and low visibility of the area between the side of the building and the side of the adjacent building, provided this determination may be made only where the side yard is less than ten (10) feet in width, and such determination does not modify applicable landscape and related requirements.*

(1) *All secondary facades of a building shall have architectural style, detail, trim features, and roof treatments that are consistent with those for the primary facade.*

(2) *Any side of an office, commercial or industrial building visible from and adjacent to residential areas shall be treated in the same manner as a secondary facade.*

(3) **For parcels one-half (½) acre or larger**, *perimeter landscaping planted adjacent to and along fifty (50) percent of the linear length of the secondary facade shall be required. The landscaped area shall be a minimum of five (5) feet in depth and shall include shrubs and groundcover with one understory tree planted for each twenty-five (25) feet or fraction thereof of*

the fifty (50) percent lineal secondary facade. Understory trees are to be planted no closer than ten (10) feet on center.

- (4) *A secondary facade shall have at least one (1) of the following components:*
- i. *For parcels less than one-half (½) acre, perimeter landscaping planted adjacent to and along fifty (50) percent of the linear length of the secondary facade shall be required. The landscaped area shall be a minimum of five (5) feet in depth and shall include shrubs and groundcover with one understory tree planted for each twenty-five (25) feet or fraction thereof of the fifty (50) percent lineal secondary facade. (Understory trees are to be planted no closer than ten (10) feet on center.)*
 - ii. *Arcades or colonnades a minimum of eight (8) feet in width, or other roof treatments that provide shade and a break in the vertical plane shall be incorporated along at least fifty (50) percent of the horizontal length of the secondary facade.*
 - iii. *Display windows a minimum of six (6) feet in height shall exist along at least fifty (50) percent of the horizontal length of the secondary facade.*
 - iv. *Awnings associated with windows and/or doors, installed in increments of ten (10) feet or less in length, along at least fifty (50) percent of the horizontal length of the secondary facade.*
 - v. *Windows that cover at least forty (40) percent of the secondary facade.*

vi. Any other treatment that, in the opinion of the city's Planning and Development Director or Design Review Board if one is constituted and after consultation, meets the intent of this section.

- (5) *A secondary facade shall incorporate the screening of outdoor storage for customer shopping carts adjacent to the building. Shopping cart storage areas shall be screened by a wall a minimum of four (4) feet in height. The exterior facade of the screen wall shall be consistent with that of the secondary facade.*
- (6) *Exterior building materials contribute significantly to the visual impact of a building on the community. Exterior building materials shall be restricted on secondary facades as follows:*
- i. *Corrugated metal panels, used as a finish material, shall not cover more than thirty (30) percent of a secondary facade. The same type of architectural metal panels applied to the primary facade are acceptable for a secondary facade, subject to consultation and a determination by the city's Planning and Development Director or Design Review Board if one is constituted that the treatment meets the intent of this section.*
 - ii. *Smooth-faced concrete shall not cover more than thirty (30) percent of a secondary facade.*
 - iii. *Backlit awnings and backlit canopies including service station and convenience store backlit awnings and canopies shall be prohibited*

except for those portions of awnings or canopies which may have approved backlit sign copy area.

- (7) *Exterior ground level mechanical equipment, mechanical equipment package units, or related attachments (food freezers, air handling units, and etcetera) adjacent to a residential area or visible from a public right-of-way shall be concealed, hidden by a wall with caps as an extension of the building. When such units abut commercial or industrial uses and are not visible from a public right-of-way (i.e., they are not a primary or secondary facade), they shall be painted to match the color of the building.*

Sec. 23-1705. - Building design.

- (a) *The intent of this section is to promote better architectural design and to create visual interest by requiring minimum design treatments for commercial buildings and projects.*
- (b) *Both single and multiple-tenant buildings are required to provide a minimum of three (3) of the following building design treatments:*
- (1) *An arched, gabled, stepped or decorative parapet with cornice over the primary customer entrance that is integrated with the building's mass and style.*
 - (2) *Canopies or porticos integrated with the building's massing and style.*
 - (3) *Peaked roof forms.*
 - (4) *Overhangs a minimum of three (3) feet in depth.*
 - (5) *Arcades a minimum of six (6) feet in depth wide.*

- (6) *Arches or archaic forms.*
 - (7) *Display windows, a minimum of six (6) feet in height*
 - (8) *Ornamental and structural details that are integrated into the building structure.*
 - (9) *Clock tower or bell tower.*
 - (10) *Sculptured artwork (excluding corporate logos or advertising).*
 - (11) *Any other treatment that, in the opinion of the city's Planning and Development Director or Design Review Board if one is constituted, meets the intent of this section.*
- (c) *Exterior building colors have a significant visual impact. Accordingly, colors are restricted as follows:*
- (1) *Building color schemes that use colors that are electric, fluorescent or neon shall not be permitted on the exterior of any building.*
 - (2) *Building color schemes shall be consistent with the "Commercial/Institutional Color Chart" maintained by the City Planning and Development Department.*
 - (3) *A maximum of three (3) colors may be used on the exterior of any building, plus one additional color for trim or cornice work. Where a clear break exists giving the appearance of a separate building, such color scheme may be repeated. These limitations exclude unpainted natural stone or roof material.*

- (c) *Graphics, color schemes, or murals shall not be permitted on a building except as may be permitted as a part of allowable signage consistent with Chapter 14 of the City of Doraville's code of ordinances.*
- (d) *Separate ancillary structures (carwash, cashier booths, canopies over gas pumps, etc.) shall have comparable pitch or parapets for roofs and shall otherwise have the same architectural detail, design elements and roof design as the primary structure, including the same cornice treatment, the same materials and colors, etcetera.*

Sec. 23-1706. - Roof treatments.

- (a) *The intent of this section is to add visual interest, and to reduce massing and screen rooftop equipment, by requiring minimum roof treatments. This section shall apply to all principal uses and to free standing ancillary or secondary uses, such as kiosks, ticket booths, car washes, and etcetera.*
- (b) *Both single and multiple-tenant buildings are required to have variations in the rooflines, and roof features that are consistent with the building's mass and scale. In addition, roofs shall meet at least two (2) of the following requirements:*
 - (1) *Decorative parapets that are a minimum of three (3) feet in height above the finished roof or that are high enough to block the view of any mechanical equipment or fixtures that are situated on the roof.*
 - (2) *A three-dimensional cornice treatment, a minimum of twelve (12) inches in height, having a minimum of three (3) vertical (not diagonal) changes in plane (no two (2) on the same plane), and a variety of thickness in relief ranging from the greatest at the top to the least at the bottom.*

- (3) *Overhanging eaves that extend at least three (3) feet beyond the supporting wall, with a minimum fascia depth of six (6) inches.*
 - (4) *Three (3) or more roof planes per primary facade.*
 - (5) *A sloping roof height (measured from the top of the supporting wall vertically to the peak of the sloping roof) shall not exceed the average height of the supporting walls. The sloping roof height shall not be less than a pitch of 4:12. However, a pitch of 3:12 may be acceptable depending on the mass and scale and elevations and renderings showing the appropriateness and compatibility of the design.*
 - (6) *Any other treatment that, in the opinion of the city's Planning and Development Director or Design Review Board if one is constituted meets the intent of this section.*
- (c) *Backlit awnings used as a mansard or canopy roof shall be prohibited in both single and multiple-tenant buildings.*
 - (d) *Exterior rooftop equipment including any HVAC roof refrigeration equipment or other mechanical rooftop equipment, fixtures or structure (such as hill house, penthouse, or trailer type) shall be concealed from eye-level view from any public right-of-way and from any adjacent properties by a roof or parapet wall extension with caps as an extension of the building.*

Sec. 23-1707. - Customer convenience treatments.

- (a) *The intent of this section is to provide protection from the sun and adverse weather conditions for customers and employees of commercial businesses. These requirements are not applicable to single-tenant buildings with a gross floor area*

of ten thousand (10,000) square feet or less, or multiple-tenant buildings and projects with a gross floor area of less than twenty thousand (20,000) square feet.

(b) Except as provided under subsection (a) of this section, the following customer convenience treatments shall be required:

(1) Single-tenant buildings, with a gross floor area of over ten thousand (10,000) square feet and less than twenty thousand (20,000) square feet, shall have a highly visible primary customer entrance.

(2) Single-tenant buildings with a gross floor area of twenty thousand (20,000) square feet or more shall have a highly visible primary customer entrance incorporating decorative landscape planters or wing walls that incorporate landscaped areas.

(3) Multiple-tenant buildings and projects with a gross floor area of twenty thousand (20,000) square feet or more shall have the following:

a. Anchor tenants shall provide highly visible primary customer entrances.

b. Decorative landscape planters or wing walls and intermittent shaded outdoor community space shall be provided. Such area shall be located adjacent to the primary customer entrance, or circulation path of the complex.

Sec. 23-1708. - Facade treatments.

(a) The intent of this section is to provide visual interest to all facades by requiring a minimum level of detail features on facades. These detail features shall not consist solely of applied graphics or paint.

- (b) *All facades of buildings with a gross floor area of twenty thousand (20,000) square feet or more shall be required to incorporate at least three (3) of the following facade treatments. At least one of these treatments shall repeat horizontally. All such design elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically. All facades of buildings with a gross floor area of less than twenty thousand (20,000) square feet shall be required to incorporate at least two (2) of the following facade treatments. At least one (1) of these treatments shall repeat horizontally. All such design elements shall repeat at intervals of no more than twenty-five (25) feet, either horizontally or vertically.*
- (1) *Expression of a vertical architectural treatment with a minimum width of twelve (12) inches.*
 - (2) *Building setbacks, offsets or projections, a minimum of three (3) feet in depth.*
 - (3) *Color change.*
 - (4) *Texture and/or material change.*
 - (5) *Architectural banding.*
 - (6) *Pattern change.*
 - (7) *Any other treatment that, in the opinion of the city's Planning and Development Director or Design Review Board if one is constituted, meets the intent of this section.*
- (c) *Blank wall areas on any facade shall not exceed ten (10) feet in vertical direction or twenty (20) feet in horizontal direction. Control and expansion joints constitute a detail feature only if incorporated as a decorative pattern and spaced apart at*

intervals of six inches or less. Relief and reveal depth must be a minimum of one-half (1/2) inch.

(d) Big Box Development: By encouraging the visual appearance of numerous smaller storefronts, in lieu of one (1) large big box storefront, this subsection is intended to reduce the large visual mass and monotonous exterior appearance typically associated with big box development (defined in section 38-1 of this Code). The standards in this subsection call for individually-peaked, forward-projecting, and vertically-oriented exterior architectural forms and features on street-facing facades and rooflines. Such forms will assist owners in architecturally expressing, on the exterior of their stores, the individual components (e.g., garden, grocery, pharmacy) within their stores. As such, the vertically-oriented, forward-projecting, and peaked components shall incorporate vertical components which serve to interrupt the pronounced horizontal roofline of big box structures and to reinforce the appearance of smaller, individual storefronts.

(1) Building entry finish materials. Owners shall maximize the amount of pedestrian-scaled windows (avoiding extensive opaque surfaces) along the street-facing facade which contains the primary customer entrance. Furthermore, owners shall utilize smaller-scaled, and darker colored, exterior finish materials (e.g., individual bricks or stone veneer in lieu of light-colored stucco on masonry or pre-cast concrete panels) on the lower portions (the "water table") of big box exterior walls which are adjacent to customer entrance(s), and which flank the exterior pedestrian sidewalk system on street-facing facades. Such darker, smaller-scaled finish

... shall be featured from the finished grade to no less than four (4) feet above sidewalk grade.

- (2) *Required transparent windows.* Such primary customer entrance facades shall incorporate a minimum of twenty-five (25) percent transparency (windows). The transparency calculation may include the glass surfaces of the customer entrance window system itself. The area of required transparency shall be calculated by multiplying the structure's linear frontage by a height (above adjacent finished pavement grade) of twelve (12) feet. In addition, street-facing primary customer entrance facades shall incorporate an overhead projecting portico, arcade, or colonnade, as described below. Such customer entrance overhead forms shall, at a minimum, extend over the same twenty-five (25) percent transparency area.
- (3) *Transparency alternative; architectural projections.* As an alternative to meeting the twenty-five (25) percent transparency and entranceway overhead form requirements, street-facing facades containing the primary customer entrance shall include covered porticos, arcades, colonnades, or a combination thereof, along a minimum of sixty (60) percent of the horizontal length of the subject facade.
- (4) *The roof plane of such porticos, arcades, or colonnades shall not extend horizontally for more than fifty (50) linear feet without the substantially and proportionately-sized, interrupting vertical architectural forms referenced above. The face (fascia) of such vertical forms shall project upward a minimum of fifteen (15) feet above the horizontal fascia of the portico,*

arcade, or colonnade lying below. The highest point of the fascia or gable, of such vertical projections shall extend upward to a point at least as high as the horizontal roof line (parapet edge) of the big box development's principal structure. Furthermore, such vertical forms shall be no less than twenty (20) feet wide, as measured at the face (fascia) or base of the gable.

- (5) The covered porticos, arcades, or colonnades shall incorporate the customer sidewalk below with a minimum pedestrian clearance (clear width), between the structure and the supporting columns, of twelve (12) feet. Such porticos, arcades, or colonnades, and twelve-foot wide sidewalks, shall not replace any required building foundation area landscape planter requirements for primary and secondary facades.*
- (6) Facades which face an adjacent street, but which do not possess the primary customer entrance (i.e., a side street facade), shall provide the above-referenced porticos, arcades, or colonnades, and associated individual roofline vertical projections, along at least forty (40) percent of the street-facing (side) facade. Such forty (40) percent requirement shall only apply to any segment of a side facade which does not incorporate a garden center decorative perimeter wall system as described in this subsection.*
- (7) Garden center walls. When a garden center is placed along a street-facing facade, a garden center decorative perimeter wall system may be substituted for the porticos, colonnades, arcades, and vertical form required above. Such garden center decorative wall systems shall be constructed of columns (posts) at least thirty-six (36) inches wide (or thirty-*

six (36) inches in diameter, and spaced no more than twenty-five (25) feet on-center along the perimeter of the garden center.

- i. The columns shall be horizontally interconnected across each of their top portions with a substantial cross member. The columns or column cap component may extend above the horizontal cross members up to twenty-four (24) inches. Such upper horizontal cross member shall feature colors, finish, dimensions, proportions, and trim details which are architecturally consistent with the adjacent supporting columns and with the big box principal structure. The upper cross members shall be the highest visual component of the wall system, and no other fencing materials, or store merchandise, may protrude above the horizontal cross members. Disproportionate, undersized, or otherwise architecturally incompatible columns or horizontal cross member designs are prohibited. Alternative designs for garden center decorative perimeter wall systems may be approved by City Planning and Development Director or Design Review Board if one is constituted on a case by case basis.*
- ii. Chain link fencing material, including vinyl-clad or other coated fencing, is prohibited on such garden center walls. Instead, garden center decorative walls systems may infill the gaps between the columns and the upper horizontal connecting cross members, with*

and other decorative fencing materials, e.g., wrought iron-styled aluminum fencing.

- iii. *In addition, black fabric mesh, or similarly opaque and approved materials, shall be installed on the interior side of the decorative metal fencing in order to visually screen any materials which may be stacked or stored on the inside of the garden center decorative wall system.*
- iv. *Garden center wall exterior foundations shall adhere to primary and secondary building facade landscaping requirements.*

Sec. 23-1709. - Curb stops; building perimeter crosswalks.

- (a) *Curb stops shall be required whenever parking facilities directly abut pedestrian walkways.*
- (b) *Building perimeter crosswalks shall be designed and coordinated to move people safely to and from buildings and parking areas by identifying pedestrian crossings with signage and variations in pavement materials or markings.*
- (c) *Pedestrian walkways shall be a minimum of five (5) feet wide. Materials may include concrete, brick, or other material as approved by the city's Building and Development Director. Pedestrian walkways through a parking lot or drive area shall be designated or identified by not only painted stripes but also other material or treatment sufficiently to clearly designate or identify them as such. Pedestrian walkways shall be curbed wherever possible. Textured pedestrian walkways surfaces shall be sufficiently smooth not to hinder walking or the movement of shopping carts or strollers.*

Sec. 23-1710. Design Review Board

- (a) The Mayor and City Council may constitute a Design Review Board. If such Board is constituted, it shall consist of five (5) individual volunteers that have qualifications in either engineering, architecture planning or design. The term of the members shall be two (2) years. The committee shall make recommendations to the Planning Director pursuant to the requirements of this Article and shall make decisions in regards to variations requested by the applicant pursuant to this Article.*
- (b) Prior to the issuance of any land disturbance permit, building permit, or sign permit for properties under the scope of this Article, and after submission of applications for same to the Planning Director, full plans, including a site plan, landscaping plan, building design including elevations and architectural details of proposed buildings, exterior materials and colors, and plans and elevations of all sides, all of which shall demonstrate that the proposed design is in compliance with all of the requirements of this Article or request specific variations pursuant to the authority of this Article, shall be submitted to the Design Review Board for approval.*
- (c) Upon submission, the Design Review Board shall review same in a public meeting no later than ten (10) business days following the date of submission, which meeting shall be public and noticed to the applicant no later than five (5) days prior to the meeting. The Planning Director shall make any other notification to adjacent property owners as he deems necessary in order to notify same of the proposed meeting, and the cost of said notifications shall be borne by the applicant.*

- (d) *The Mayor and City Council may adopt a fee in addition to any other plans submission fee for those applications that must be forwarded to the Design Review Board for review.*
- (e) *At the conclusion of the meeting, unless same is postponed at the request of the applicant, the Design Review Board shall issue its approval or denial of the application based on the standards in this Article. As to the provisions of this Article, the decision of the Design Review Board shall be final and may be appealed as authorized in this Article.*

Section 2

That Chapter 23 (Zoning) is further amended by adding a definition of “Big Box Development” to Section 23-402 to read as follows:

“Big box development” shall mean an individual retail and/or wholesale commercial establishment (store) with more than seventy-five thousand (75,000) square feet of gross floor area, which may include a home improvement center or a membership warehouse club. The “gross floor area” of such a store includes outdoor storage areas and any outdoor area providing services, such as, but not limited to, outdoor merchandise display, garden supplies, plant display, snack bars, etc. “Gross floor area,” however, does not include loading areas. For the purpose of determining the applicability of the seventy-five thousand (75,000) square foot threshold, the aggregate square footage of all adjacent stores which may share either a series of checkout stands, management areas, storage areas, common entrances, or a controlling ownership interest, shall be considered a single commercial establishment (for example, a plant nursery associated with a general merchandise store or home improvement store, or a discount department store associated

with a grocery store). The term "big box development" does not include an individual commercial establishment integrated within an indoor mall regional shopping facility.

Section 3

That the City of Doraville Code of Ordinance is hereby further amended by deleting Article XII of Chapter 5 of the City Code (Design Guidelines), Sections 5-321, 5-322 and 5-323 in their entirety and leaving that Article "Reserved."

Section 4

a. It is hereby declared to be the intention of the Mayor and Council that all sections, paragraphs, sentences, clauses and phrases of this Ordinance are or were, upon their enactment, believed by the Mayor and Council to be fully valid, enforceable and constitutional.

b. It is hereby declared to be the intention of the Mayor and Council that, to the greatest extent allowed by law, each and every section, paragraph, sentence, clause or phrase of this Ordinance is severable from every other section, paragraph, sentence, clause or phrase of this Ordinance. It is hereby further declared to be the intention of the Mayor and Council that, to the greatest extent allowed by law, no section, paragraph, sentence, clause or phrase of this Ordinance is mutually dependent upon any other section paragraph, sentence, clause or phrase of this Ordinance.

c. In the event that any phrase, clause, sentence, paragraph or section of this Ordinance shall, for any reason whatsoever, be declared invalid, unconstitutional or otherwise unenforceable by the valid judgment or decree of any court of competent jurisdiction, it is the express intent of the Mayor and Council that such invalidity, unconstitutionality or

if any provision shall, to the extent permitted by law, be rendered invalid, unconstitutional or otherwise unenforceable, any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinance and that, to the greatest extent allowed by law, all remaining phrases, clauses, sentences, paragraphs and sections of the Ordinance shall remain valid, constitutional, enforceable, and of full force and effect.

Section 5

All ordinances or parts of ordinances in conflict herewith are hereby expressly repealed.

Section 6

The Ordinance shall be codified in a manner consistent with the laws of the State of Georgia and the City of Doraville.

Section 7

It is the intention of the governing body, and it is hereby ordained that the provisions of this Ordinance shall become and be made part of the Code of Ordinances, City of Doraville, Georgia and the sections of this Ordinance may be renumbered to accomplish such intention.

Section 8

This Ordinance shall become effective on the date of adoption.

SO ORDAINED AND EFFECTIVE, this ___ day of _____, 2012.

CITY OF DORAVILLE, GEORGIA

Mayor

First Reading

Second Reading

ATTEST:

_____(SEAL)
Sandra Bryant, Acting City Clerk

APPROVED AS TO FORM:

Cecil G. McLendon, Jr., City Attorney

	Yea	Nay
Maria Alexander	<input type="checkbox"/>	<input type="checkbox"/>
Brian Bates	<input type="checkbox"/>	<input type="checkbox"/>
Pam Fleming	<input type="checkbox"/>	<input type="checkbox"/>
Karen Pachuta	<input type="checkbox"/>	<input type="checkbox"/>
Trudy Jones Dean	<input type="checkbox"/>	<input type="checkbox"/>
Robert Patrick	<input type="checkbox"/>	<input type="checkbox"/>

Non-Residential Design Standards

PowerPoint Presentation

Doraville City Council

10/25/12

City of Doraville Commercial Design Standards Guidebook



For more information contact:
City of Doraville, Georgia
Planning & Development Department: 770-451-8745

DRAFT COPY 10/25/12

This guidebook provides a user-friendly interpretation of Ordinance **XXXXXXX** which establishes minimum architectural design standards for new non-residential development. The graphics and corresponding text within this manual are interpretations of the standards and are intended to be used only as examples of those standards. This guidebook is not intended to be a substitute for the provisions within Sections **XXXXXXX** of the City of Doraville Code. The reader is encouraged to review the complete contents of 'Architectural Standards and Guidelines for Commercial Buildings and Projects' within Section **XXXXXX** of the City of Doraville Code of Ordinances. Most importantly, this Guidebook is not intended to stifle alternative design solutions which are found to be consistent with the intent and purpose of the Ordinance. The Building Official or his/her designee shall determine such consistency.



Intent and Purpose

The stated **Intent and Purpose** of these design standards is:

- To promote architectural and site design treatments which enhance the visual appearance of non-residential development within the City.
- To ensure compatibility and appropriate visual and physical screening in association with commercial, office and industrial uses.
- To maintain and enhance the attractiveness of the streetscape within the community.
- To create and maintain a strong community image and identity by providing for architectural and landscaping treatments that enhance the visual impact and contribution of commercial, office and industrial development in City of Doraville.
- To require articulation that reduces the mass, scale and/or potentially uniform monolithic appearance of large commercial, office and industrial buildings, and insure that such projects incorporate architectural and landscaping features that provide visual interest while allowing design flexibility.





General Provisions

Architectural Consistency with Adjacent Structures - Primary Facades will be architecturally compatible and consistent in character with the facades in the surrounding area (especially in rural settlements, historic areas, historic structures, etc.)

Architectural Consistency Among Adjacent Facades (same building) - Secondary Facades on the same building shall be designed with an architectural style, detail, trim features, and roof treatments which are consistent with that of the other Primary/Secondary Facades on the same structure.

Consistent Level of Detail Among Facades (same building) - All Primary/Secondary Facades on the same building shall be designed with a similar level of treatment, detail and visual interest as other Primary/Secondary Facades on said structure.

Alternatives to Windows and Entrances - In lieu of actual windows or entrances, the design may incorporate niches and alcoves with significant architectural delineation and definition in order to suggest windows, entry features and to meet the spirit of the Ordinance.

Corporate Colors – The use of corporate colors is permitted provided that such colors are not patterned so as to compete for visual attention (e.g. polka-dots, stripes). The use of corporate colors shall not create an advertisement of the building itself. Corporate colors shall not violate any other color limitations within the Ordinance.

Visibility from Adjacent Residential Area - Any side of an Office, Commercial or Industrial use structure not otherwise meeting the definition of a Primary or Secondary Façade, but which is visible from and adjacent to residential areas, shall be deemed a Secondary Façade and shall meet the architectural requirements for same.

Exceptions to Secondary Façade Applicability - Secondary Façade standards may be deemed not applicable or only partially applicable by the Building Official if it is determined that the narrowness and/or lack of visibility of the subject space or façade renders a strict enforcement of the architectural standards to be unfeasible or unnecessary. Any such determination may only be made where the subject space between structures is less than 10 feet wide. Regardless of any such determinations of inapplicability, when the space between buildings is over 10 feet wide, all tree and landscape provisions shall apply.

Applicability

Which zoning categories and which projects are subject to these regulations?

- Neighborhood Commercial (C-1);
- General Commercial (C-2);
- The landscaping provisions for both Primary and Secondary Facades apply to temporary sales offices and model centers.
- The standards are applicable to redevelopment or renovation of existing buildings when more than 50 percent of a Primary or Secondary façade are involved. This 50 percent standard only applies to that façade undergoing renovation or redevelopment. New development or building expansions involving more than a 50 percent increase in gross floor area require full compliance.
- Principle uses, whether they occur on parent parcels or on out-parcels;
- Free-standing ancillary or secondary uses including kiosks, ticket booths, carwashes and gas station canopies.

What type of drawings shall I submit for review?

In addition to any drawings and exhibits required elsewhere within the Code of Ordinances, complete architectural elevations of each side of all proposed buildings, ancillary structures and/or free-standing structures (e.g. canopies, screen walls, kiosks, carwashes,) shall be submitted. A site plan, at a scale of approximately 1 inch = 20 feet, shall also be submitted which clearly identifies and distinguishes all foundation planting areas and paving material surfaces.

Which projects are exempt from the Standards?

Except for restrictions on exterior colors, places of worship, hotels, and motels within the C-1, and C-2 zoning districts are exempt from these regulations.

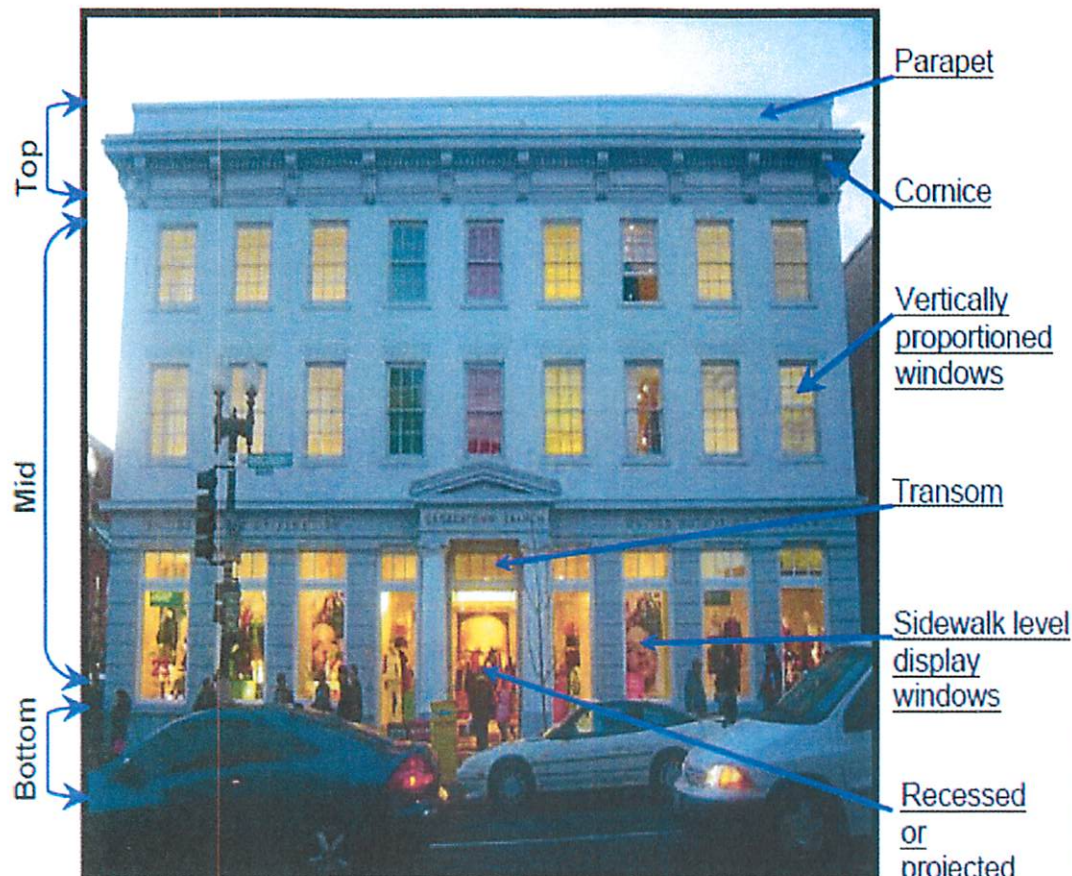
How are colors restricted?

Buildings' exterior surfaces (including those within the C-1 and C-2 districts associated with places of worship, hotels and motels) may not incorporate electric, fluorescent or neon color schemes. A display board of acceptable color tints and ranges is available for viewing at the Planning & Development Department at City Hall. Unpainted natural stone or roofing material is exempt from these restrictions.

Architectural Definitions (Sec. XXXXX)

Primary Façade(s) shall mean any and all sides of a building which: 1) face an adjacent public right-of-way; or 2) has a primary customer entrance. NOTE: Many buildings have multiple Primary Facades.

Secondary Façade(s) shall mean any and all sides of a building that, while not fulfilling the definition of a Primary Façade, is either visible from a public right-of-way or roadway or has a secondary or tertiary customer entrance. NOTE: Many buildings have multiple Secondary Facades.



Components of a Building Facade



Roof line variations and facades which are compatible with the surrounding area



Projected balcony

Shaded pedestrian colonnade

Primary Facade
 Facade which features a customer entrance, or which faces a street.

Secondary (Side) Facade
 Facade which can largely be seen from a street (side elevation).



Good use of awnings

Awning or canopy is any cloth, plastic or metallic covering or shelter that is suspended or projected over a window, door, walkway, gasp pump island or outdoor space.



Typical cornice detail

Cornice is an ornamental band of molding at the top edge of a building or free-standing wall that flares outward to provide a continuous crown. Free-standing walls that provide visual screening of trash enclosures, loading docks, service areas, mechanical equipment or grocery cart enclosures would all benefit from cornice detailing.



Ornamental and Structural Detail is a colored, raised or decorative feature that provides a focal point or highlight within an otherwise flat, unarticulated wall section. Such detail does not include incidental drainage (down spout), electrical, mechanical or other such equipment, corporate logos, textures, colors or materials.

Required Landscaping

Landscaping helps tie together buildings, define space and create a human-scaled pedestrian realm. Quality landscaping is an essential component of the built urban form of the city. It fosters unity of design and helps development blend with the natural landscaping. Existing landscaping should be retained where possible. Do not assume mass clearing is preferable simply because it may be easiest.

Builders in City of Doraville are encouraged to consider using drought-tolerant plants and other xeriscape techniques. These include amending the soil, mulching, grouping plants by water need and using water-efficient irrigation equipment and schedules.



Example of good landscape scheme

Soften the public realm with landscaping at key pedestrian nodes.

The following describes the landscaping required along all Primary and Secondary Facades on Commercial, Office and Industrial* uses.

Commercial, Office and Industrial* parcels of 1/2 acre or larger, will establish an eight-foot-wide building perimeter foundation landscape. The landscape is measured perpendicular to the façade and will be planted immediately adjacent to and along 100 percent of the Primary Façade (along at least 50 percent of Secondary Facades). If a sidewalk is designed immediately adjacent to the Primary or Secondary Façade, the landscaping will instead be placed between the walk and the adjacent curb or walk lining any parking or rights-of-way.

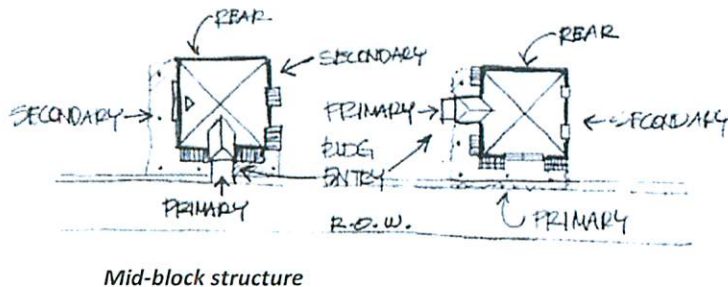
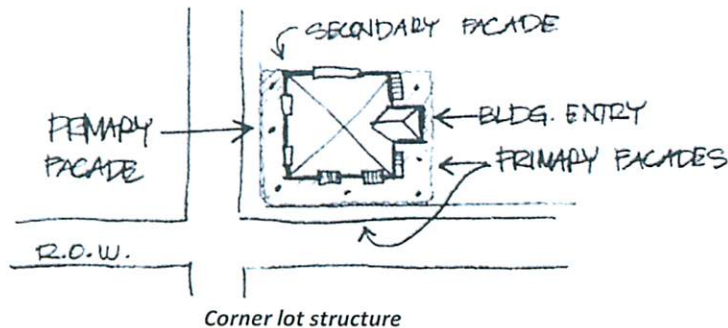
The landscaped area must be a minimum of eight feet wide and should include shrubs and groundcover with one understory tree for each 25 feet or fraction thereof of the linear length of the Primary Façade (along 50 percent of the linear length of the Secondary Façade).. Understory trees may be planted no closer than 10 feet on center and such understory may be clustered.

NOTE: For parcels LESS than 1/2 acre, the provision of landscaping materials along the Primary and Secondary Facades becomes one of the Optional Design Features, not a requirement, that are described within this guidebook.

**Section XXXX, provides for applicability to Industrial uses within 50 feet of residential development or within 75 feet of an adjacent ROW or those Industrial uses fronting on any major, arterial or collector road.*

BUILDING ORIENTATION: Primary Facades

THE INTENT of this section is to orient non-residential buildings toward the public right-of-way, the roadway or toward private internal collector-type roadways. The orientation helps physically define the streets and public spaces as places of shared use. Street lined by building facades are more interesting to move along, especially for pedestrians, and provide a safer environment.



PRIMARY FAÇADE: CONSISTENT ARCHITECTURAL TREATMENT

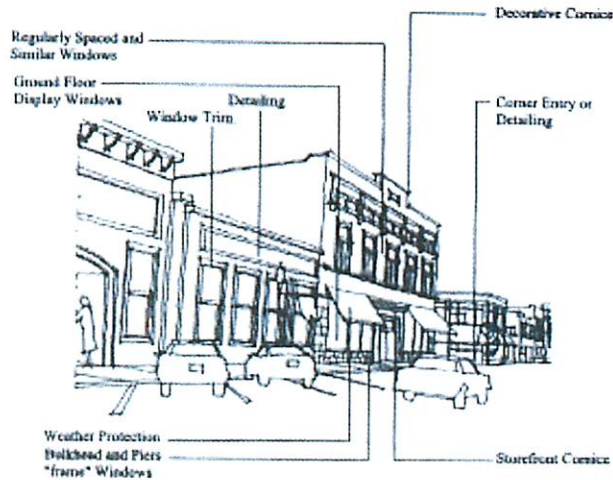
All Primary Facades of a building shall be designed with consistent architectural style, detail, trim features and roof treatments. In addition, all the Primary Facades of a structure shall be designed with a similar level of treatment, detail and visual interest. This includes the design of windows, primary entrances, roof forms (e.g. parapet, gable, hip, mansard, or combination) and architectural elements (e.g. columns, pilasters, overhangs, balustrades, towers, dormers, cupolas and/or other projections of façade and fenestration). In lieu of actual windows or entrances, the design may incorporate niches and alcoves with significant architectural delineation and definition in order to suggest window and entrance features.

MID-BLOCK STRUCTURES Non-residential (see Applicability section) buildings located at mid-block should be oriented to face the right-of-way/roadway unless it can be shown that compelling site conditions necessitate a different orientation. If compelling site conditions necessitate that the building not face the right-of-way/roadway, then the building is considered to have two Primary Facades; the façade that faces the right-of-way/roadway and the façade that incorporates the primary customer service entrance.

CORNER LOT STRUCTURES Non-residential buildings located on corner lots shall be oriented to face a right-of-way/roadway, unless it can be shown that there are compelling site conditions that necessitate a different orientation. If compelling site conditions necessitate that the building not face such right-of-way/roadway, then the building is considered to have three Primary Facades: the two façades that face both adjacent right-of-ways/roadways, and the third façade that incorporates the primary customer service entrance.

PRIMARY/SECONDARY FACADE DESIGN STANDARDS: Design Features

General Provisions



Building facades

Building facades should be varied and articulated to provide visual interest to pedestrians. Street level windows and numerous building entries also contribute to a welcoming sense of place. Streets with monotonous and unarticulated facades are hostile to pedestrian activity.

Exceptions to Secondary Facade Applicability – The Building Official may determine that Secondary Facade standards are not applicable or only partially applicable. A facade's narrowness or lack of visibility can make a strict enforcement of the architectural standards unfeasible or unnecessary. Any such determination will only be made where the subject space between structures is less than 10 feet wide. When the space between buildings is more than 10 feet wide, regardless of any such determinations of inapplicability, all tree and landscape provisions shall apply.

Architectural Consistency with Adjacent Structures - Primary Facades will be architecturally compatible and consistent in character with the facades in the surrounding area (especially in rural settlements, historic areas, historic structures, etc.)

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Consistent Level of Detail Among Facades (same building) - All Primary/Secondary Facades on the same building shall be designed with a similar level of treatment, detail and visual interest as other Primary/Secondary Facades on said structure.

Alternatives to Windows and Entrances - In lieu of actual windows or entrances, the design may incorporate niches and alcoves with significant architectural delineation and definition in order to suggest windows, entry features and to meet the spirit of the Ordinance.

Corporate Colors – The use of corporate colors is permitted as long as the colors are not patterned so as to compete for visual attention (e.g. polka-dots, stripes). The use of corporate colors shall not create an advertisement of the building itself. Corporate colors shall not violate any other color limitations within the Ordinance.

Visibility from Adjacent Residential Area – If any side of an Office or Commercial structure does not otherwise meet the definition of a Primary or Secondary Facade, but is visible from an adjacent residential area, it will be considered a Secondary Facade and will meet the architectural requirements for a Secondary Facade.

PRIMARY AND SECONDARY FACADES:

Determining the Required Number of Optional Design Features

Design Features

Primary Facades on Office use parcels (not commercial), which are larger than ½ acre, shall incorporate at least one of the Optional Design Features (ODF) from the list below. However, those Office use Primary Facades that also include a customer entrance (and associated architectural entry treatments) must incorporate at least one additional ODF.

Primary Facades on Commercial use parcels, which do not incorporate a customer entrance, shall incorporate at least two other ODF from the list below.

Secondary Facades on Commercial or Office use parcels larger than ½ acre shall incorporate at least one of the ODF from the following list.*

Optional Design Features (ODF):

A primary customer entrance including associated architectural entry treatments and pedestrian-scaled landscaping.

Arcades or colonnades a minimum of six feet wide on primary facades and eight feet wide on secondary facades or other roof/wall treatments that provide shade and a break in at least 50 percent of the vertical plane of the building.

Display windows with associated architectural trim features are strongly encouraged along the façade of buildings. Display windows attract window-shopping pedestrians and add vitality to the streetscape. Display windows shall not become a surface for advertising. Generally, display windows should extend, for example, from approximately 36 inches above finished grade to approximately six feet above finished grade. The windows shall cover at least 50 percent of the length of the wall. (Note: Windows located too high for pedestrian use or too high to add visual interest to a building façade are discouraged and shall not be accepted.)

Awnings associated with windows and doors and which are fabricated of materials and colors which enhance the building's architecture are strongly encouraged along an appropriate horizontal length of the buildings façade.

Windows covering an architecturally-appropriate portion (at least 40 percent) of the façade.

Landscaping is an option only on parcels LESS than ½ acre.

Any other treatment that, in the opinion of the building official, meets the spirit and intent of this Section is acceptable.

* Notes:

- 1) Customer service entrances (which include associated formalized architectural entry treatments) shall satisfy only one of the two required ODF on Commercial parcels. That is, the Primary Façade(s) of Commercial uses shall incorporate at least one ODF in addition to any customer service entrances.
- 2) Landscaping is required along the Primary and Secondary Facades of all Commercial and Office use parcels which are larger than ½ acre. Under Required Landscaping above, see the provision involving 50 percent landscape coverage along Secondary Facades.
- 3) Landscaping along Primary and Secondary Façades becomes one of the Optional Design Features only on Commercial and Office parcels which are less than ½ acre

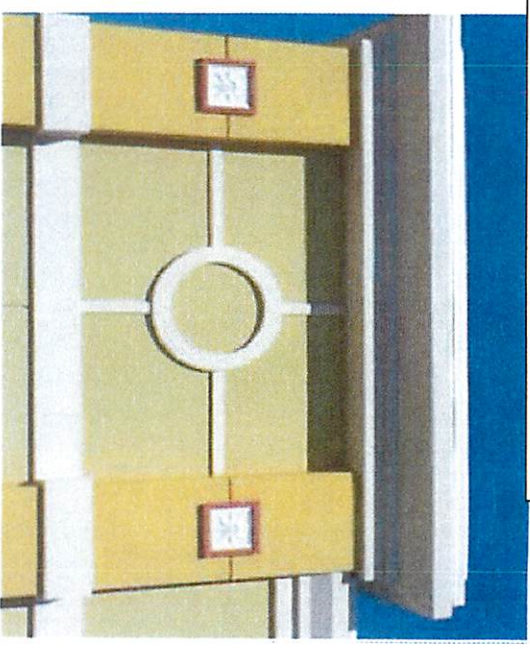
BUILDING ORNAMENTATION: Optional Design Features

THE INTENT of requiring a minimum level of architectural ornamentation is to add visual appeal to new construction and to maintain and enhance the attractiveness of the streetscapes within the City.

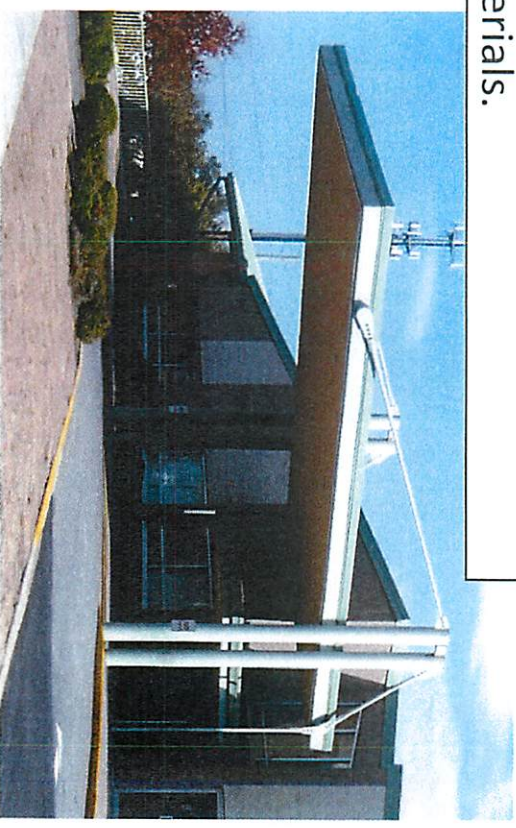
Both single and multiple-tenant buildings are required to provide a **minimum of three of the following features:**

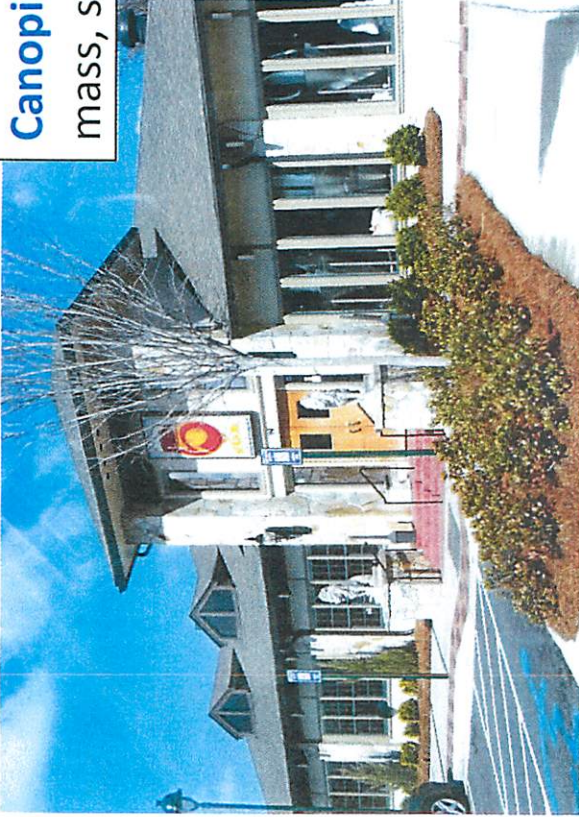
- Parapets with arched, gabled, stepped or decorative features and cornice treatments over the primary customer entrance area that is integrated with the building's style and massing
- Canopies or porticos integrated with the building's mass, style, details and materials.
- Overhanging eaves that extend a minimum of three feet
- Peaked roof forms that offer a variety of peak heights.
- Arcades a minimum of six feet in depth.
- Arches or arched forms.
- Display windows extending from 36 inches above finished grade upward and extending proportionately along the first floor façade and at the customer entry area.
- Ornamental details that are integrated into the building structure.
- Clock or bell tower or other approved vertical feature.
- Sculptured artwork but not corporate logos or advertising.
- Any other treatment that meets the intent of the design standards is acceptable.

Parapets with arched, gabled, stepped or decorative features and cornice treatments over the primary customer entrance area that is integrated with the building's style and massing.



Canopies or porticos integrated with the building's mass, style, details and materials.

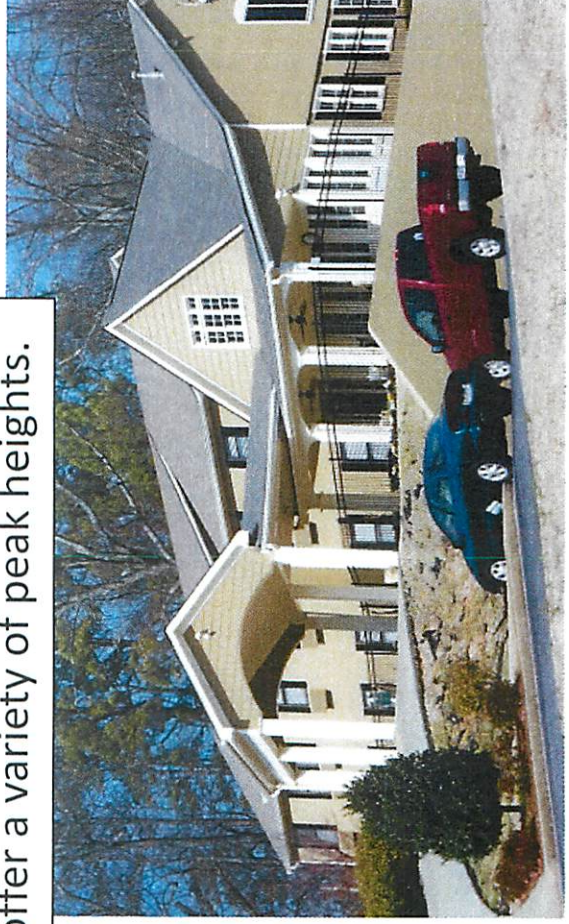
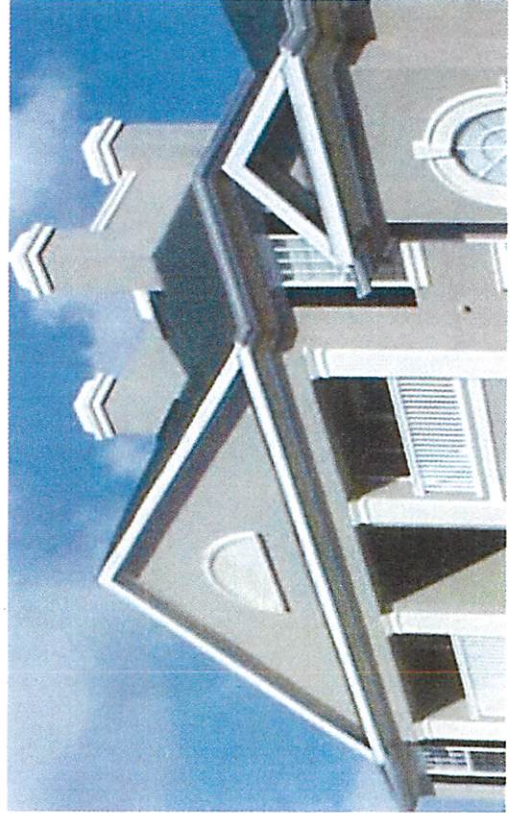


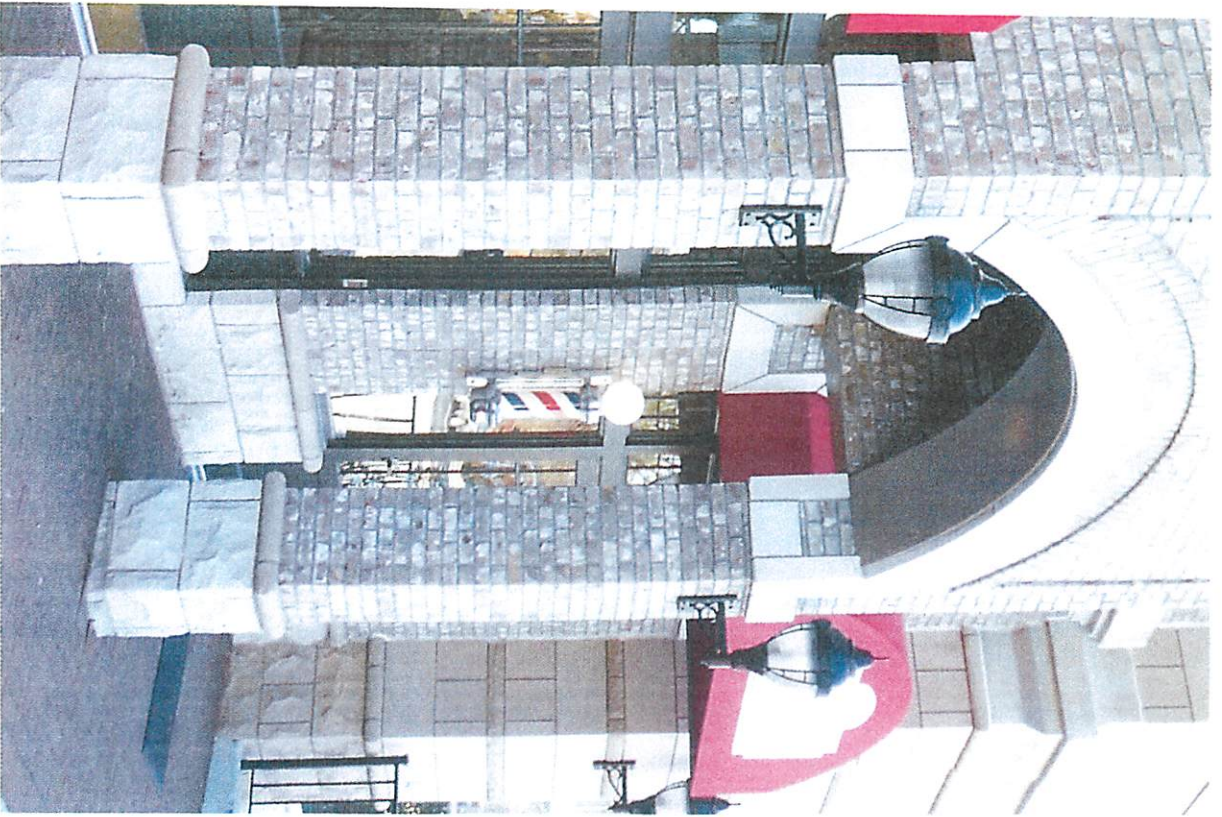


Canopies or porticos integrated with the building's mass, style, details and materials.

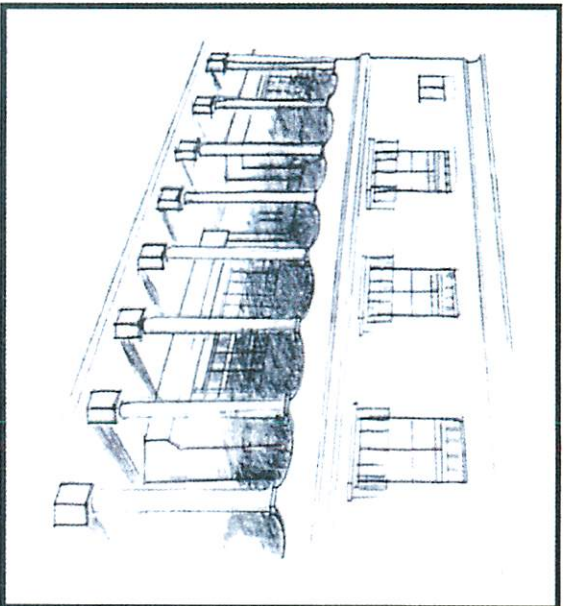


Peaked roof forms that offer a variety of peak heights.

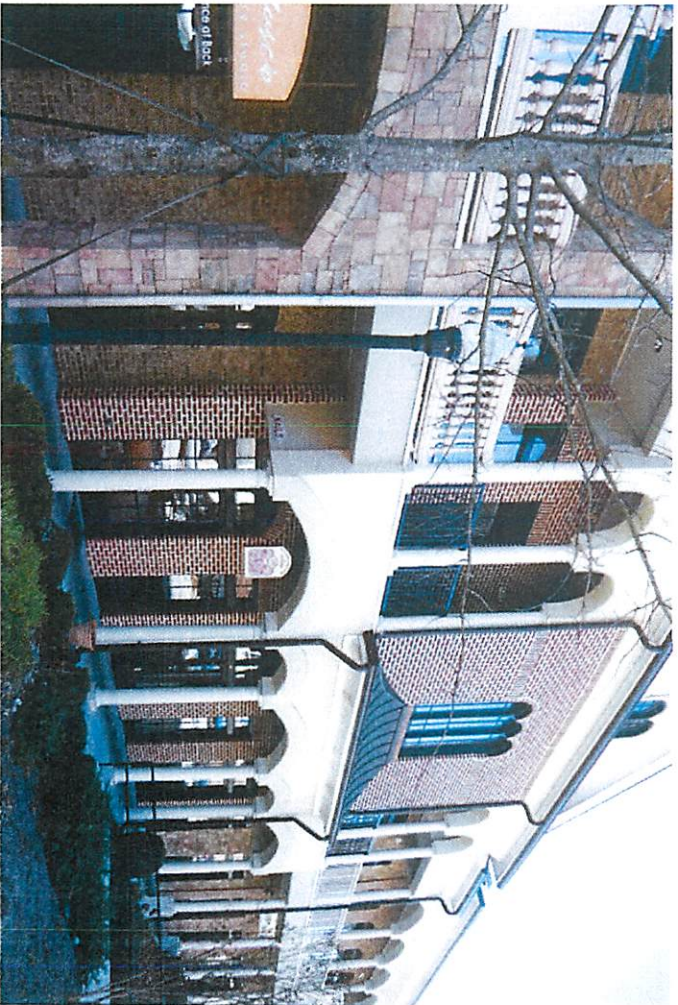




Arches or arched forms.



Arcades a minimum of six feet in depth.





Display windows extending from 36 inches above finished grade upward and extending proportionately along the first floor façade and at the customer entry area.



Ornamental details that are integrated into the building structure.





Clock or bell tower or other approved vertical feature. Sculptured artwork but not corporate logos or advertising.



Sculptured artwork but not corporate logos or advertising.



EXTERIOR BUILDING: MATERIALS, AWNINGS, ANCILLARY STRUCTURES, SCREENING OF APURTENANCES, COLORS

Many issues contribute to the visual impact of buildings on adjacent properties, on travelers within the adjacent rights-of-way, and on the character of neighborhood. Building materials, awnings, location/screening of equipment and color are each important in shaping a project's visual impact.

The use of certain materials, colors and lighting techniques are restricted on Primary and Secondary Facades. The following are specific, non-optional design limitations:

Example of prohibited material.

Corrugated metals as a primary exterior building material are prohibited.



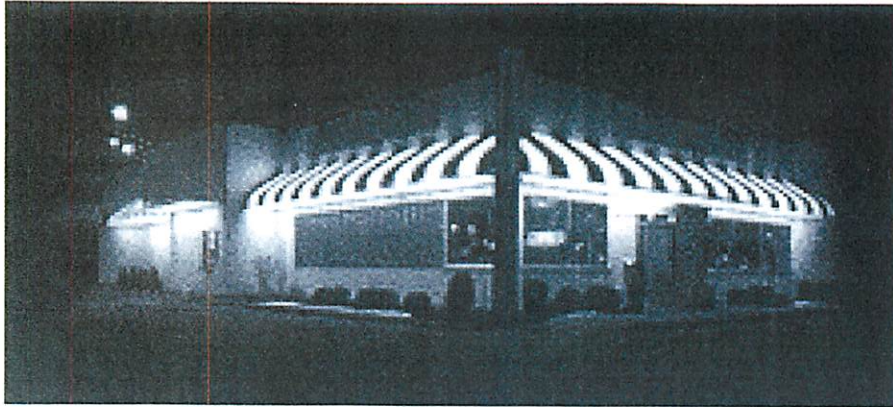
Materials - Primary Facades

Corrugated metal panels, used as a finish material, are prohibited on Primary Façades. Architecturally detailed metal panels may be acceptable after consultation with and consideration by the Building Official. **Smooth-faced concrete** or concrete masonry units (CMU) on Primary Facades shall incorporate a stucco or other decorative finish and be painted in accordance with Section XXXXX. Split-faced CMU are encouraged.

Materials - Secondary Facades

Corrugated metal panels, used as a finish material, shall not cover more than 30 percent of a Secondary Façade. The same approved and architecturally-detailed metal panels used on Primary Façades will be encouraged for use on Secondary Facades.

Smooth-faced concrete or concrete masonry units (CMU) on Secondary Facades shall be painted and incorporate a stucco or other decorative finish and shall not cover more than 30 percent of a Secondary Façade.



Awnings: Backlit awnings or canopies are specifically prohibited. This includes backlit awnings or canopies on, for instance, service stations, convenience stores or other retail establishments. Furthermore, pre-wiring of awnings or canopies for back-lighting is prohibited.



Cart storage

Outdoor storage of shopping carts should be appropriately screened; security is also increased.

Ancillary Structures: Ancillary structures, like car washes, cashier booths and canopies over gas pumps will incorporate the same architectural detailing, design elements, materials, colors and roof design as the principal structure, including a comparable peaked-roof pitch and parapet or cornice treatments.

Screening of Ground Level Equipment: A wall of sufficient height should surround any exterior ground-level mechanical equipment. The wall should completely screen the equipment from view. This includes any equipment like food freezers, air handling units and the like which may be located between any structure and an adjacent residential area or right-of-way. The screening wall should appear as an architectural extension of the principle building and will incorporate cap and architectural trim and features consistent with the adjacent facade. When such equipment is visible only from adjacent commercial or industrial uses and not a right-of-way, the screen wall may instead be painted to match the color of the building.





Example of Color Chart to Provide a General Range of Muted Colors

Exterior Building Colors:

Colors and color schemes possessing electric, fluorescent or neon qualities are not permitted on the exterior of any buildings or structures.

A maximum of three different colors may be used on the exterior of any building. One additional color may be used for highlighting the trim or cornice work. A color composition may be repeated where a clear and distinctive architectural break is incorporated which gives the appearance of a separate building.

Graphics, color schemes and/or murals are not permitted on building exteriors except as may be permitted within an approved signage proposal and otherwise consistent with the City of Doraville Code of Ordinances.

REQUIRED ROOF TREATMENTS: **Optional Design Features**

THE INTENT of requiring a minimum of roof treatment is to promote visual interest, to avoid large, monolithic roof planes and to screen rooftop equipment. The roof design standards below apply to all principle structures as well as free-standing ancillary or secondary structures like kiosks, cashier booths and car wash enclosures.

Single and multiple-tenant buildings are required to incorporate variations in the roofline peaks and features which are architecturally consistent with the building's mass and scale. Roofs shall incorporate at least two of the following features:

- **Decorative parapets** which extend a minimum of three feet above the finished roof surface and which are high enough to block the view of any mechanical equipment or fixtures which may be located on the roof.
- **A three-dimensional cornice treatment** which measures a minimum of 12 inches in height and which includes three vertical (not horizontal) changes in plane and a variety of thicknesses in relief ranging from greatest at the top to the least at the bottom thereby giving visual weight to the upper most plane.
- **Overhanging eaves** that extend at least three feet beyond the supporting walls with a minimum fascia depth of six inches.
- **Three or more roof/peak planes** per façade.
- **A sloping roof height** (measured from the top of the supporting wall vertically to the peak of the sloping roof) shall not exceed the average height of the supporting walls. The sloping roof height shall not be less than a pitch of 4:12. However, a pitch of 3:12 may be acceptable depending on the mass and scale and elevations and renderings showing the appropriateness and compatibility of the design.
- **Any other treatment** that meets the spirit and intent of the Ordinance.

Backlit awnings used as a mansard or canopy roof shall be prohibited in both single and multiple-tenant buildings.

Exterior rooftop equipment including any HVAC roof refrigeration or other mechanical fixtures shall be concealed from eye-level view from any public right-of-way and from any adjacent properties by incorporating a parapet wall extension and capped cornice treatments.

REQUIRED CUSTOMER SERVICE TREATMENTS

In addition to providing protection from the sun and shelter from adverse weather conditions, customer service treatments also provide a visually-inviting space for visitors and enhance the streetscape perspective. The following requirements are not applicable to single-tenant buildings with a gross floor area of 10,000 square feet or less, or to multiple-tenant buildings and projects with a gross floor area of less than 20,000 square feet.



Example of highly-visible customer entrance with accompanying landscape.



Example of a highly-visible customer entrance with accompanying landscape.

ALL FACADE TREATMENTS: **Optional Design Features**

The intent of this section is to avoid the construction of building facades that lack visual interest by requiring at least a minimum of architectural detailing facades.



Example of appropriate commercial façade

This commercial façade has visual interest achieved through the use of natural materials, variation in horizontal and vertical articulations, thoughtful use of windows and color change.

All facades of buildings with a gross floor area of 20,000 square feet or more shall be required to incorporate at least three of the treatments listed below. At least one of these treatments shall repeat horizontally and all such design elements shall repeat at intervals of no more than 30 feet, either horizontally or vertically.

All facades of buildings with a gross floor area of less than 20,000 square feet shall be required to incorporate at least two of the treatments listed below and again, at least one of these treatments shall repeat horizontally. All such design elements shall repeat at intervals of no more than 25 feet, either horizontally or vertically.

Optional Façade Treatments

- **Expression of a vertical architectural treatment with a minimum width of 12inches.**
- **Building step-backs, offsets or projections involving a minimum of three feet in depth.**
- **Color change.**
- **Texture and/or material change.**
- **Architectural banding.**
- **Pattern change.**
- **Any other treatment that meets the spirit and intent of the Ordinance.**

DRIVE-THROUGH WINDOWS AND LANES: Specific Design Requirements

Drive-through lanes and windows shall satisfy all of the following standards:

Drive-through windows/lanes located between the right-of-way and the associated building shall incorporate an eight-foot-wide landscape buffer extending the entire length of the drive-through cueing or stacking area. (see landscaping of drive-through lanes Code Section XXXX)

Drive-through windows or lanes that are visible from a right-of-way or roadway will be screened by a five-foot-wide landscape buffer that extends the entire length of the drive-through cueing or stacking area.

A permanent porte-cochere structure shall be constructed over the drive-through, service and any other associated customer service windows. The porte-cochere(s) shall extend the width of the drive and be a minimum of 20 feet in length. The porte-cochere(s) shall be structurally and architecturally-integrated into the building and provide architectural detailing and roof treatments that are consistent with the facade and roof design of the building. The porte-cochere may encroach into the side yard setback.



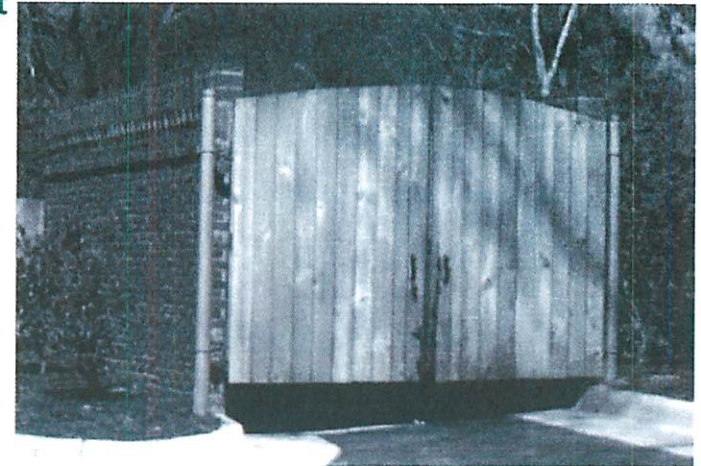
Example of acceptable drive-through
The above photo is an example of an acceptable porte-cochere over a drive-through.

SERVICE AREAS, LOADING DOCKS AND DUMPSTER SCREENING: **Specific Design Requirements**

Service areas and loading docks are prohibited from locations adjacent to any roadway unless they are enclosed on all sides.

All sides of the enclosure must replicate the architectural detailing, materials, finish material and landscaping of the principal structure's Primary Façade.

Service areas and dumpsters shall be visually screened from public view by a masonry wall constructed to a minimum height of 6 feet above finished grade.



Service area and dumpster areas shall be directed away from any adjacent residential developments.

No part of a dumpster or the materials stored within a service area are to extend above the required masonry wall.

The masonry wall shall be constructed of decoratively-finished concrete block, brick, stucco or other decorative material. The wall shall be detailed so as to replicate the architectural style of the principal structure.

No chain link, unfinished concrete block (painted or otherwise), barbed wire or wood will be permitted materials as part of a wall.

Each enclosure shall include a decorative, opaque gate equal in height to the masonry wall.

Each service area, loading dock and dumpster requiring fencing shall further comply with the landscape requirements in Code section XXXX.

CURBSTOPS, BUILDING PERIMETER CROSSWALKS:

Specific Design Requirements



Example of pedestrian walkway and crosswalk
The concrete and colored brick pavers effectively identify this pedestrian crossing, increasing pedestrian safety and visibility.



Curb stops are required wherever a parking stall abuts a pedestrian walkway.

Pedestrian walkways shall be a minimum of five feet wide and curbed wherever possible. If, however, a lack of available space creates a parking design challenge, walkways should be seven feet wide to address any potential vehicular overhang encroachment.

Shaded project sidewalk and pedestrian crosswalk systems shall be integrated within the project's design and coordinated to move people safely and comfortably to and from buildings, parking areas and adjacent rights-of-ways. Safe and pleasant pedestrian circulation is accomplished by creating well-defined, shaded pedestrian corridors which are, to greatest extent possible, separated from vehicular use areas.

Pedestrian crossings are to be identified and highlighted with signage and constructed of special paving materials (not simply with paint) in order to identify them as such. Concrete/ colored brick pavers, stamped concrete or other paving materials are all acceptable.

UL130-5 ^o	UL140-5 ^o	UL160-5 ^o	UL170-5 ^o	UL180-5 ^o	UL190-5 ^o	UL200-5 ^o	UL210-5 ^o	UL220-5 ^o	UL230-5 ^o	UL240-5 ^o	UL250-5 ^o	UL260-5 ^o
UL130-6 ^o	UL140-6 ^o	UL160-6 ^o	UL170-6 ^o	UL180-6 ^o	UL190-6 ^o	UL200-6 ^o	UL210-6 ^o	UL220-6 ^o	UL230-6 ^o	UL240-6 ^o	UL250-6 ^o	UL260-6 ^o
UL130-7 ^o	UL140-7 ^o	UL160-7 ^o	UL170-7 ^o	UL180-7 ^o	UL190-7 ^o	UL200-7 ^o	UL210-7 ^o	UL220-7 ^o	UL230-7 ^o	UL240-7 ^o	UL250-7 ^o	UL260-7 ^o
UL130-8 ^o	UL140-8 ^o	UL160-8 ^o	UL170-8 ^o	UL180-8 ^o	UL190-8 ^o	UL200-8 ^o	UL210-8 ^o	UL220-8 ^o	UL230-8 ^o	UL240-8 ^o	UL250-8 ^o	UL260-8 ^o
UL130-9 ^o	UL140-9 ^o	UL160-9 ^o	UL170-9 ^o	UL180-9 ^o	UL190-9 ^o	UL200-9 ^o	UL210-9 ^o	UL220-9 ^o	UL230-9 ^o	UL240-9 ^o	UL250-9 ^o	UL260-9 ^o