



## **CITY COUNCIL WORK SESSION**

Donna Pittman-Mayor

Robert J. Patrick-District 1  
Trudy Jones Dean – District 2  
Karen Pachuta – District 3

Pam Fleming – District 1  
Brian Bates – District 2  
Maria Alexander – District 3 Mayor Pro-Tem

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### **AGENDA**

**October 14 2013- 6:30pm**

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- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. APPROVAL OF MINUTES:**
- 4. APPROVAL OF MEETING AGENDA**
- 5. PUBLIC COMMENT**
- 6. REPORTS AND PRESENTATIONS**
  - a) Form Based Code- Caleb Racicot
- 7. UNFINISHED BUSINESS**
  - a) Architectural Standards
- 8. NEW BUSINESS**
- 9. OTHER BUSINESS**
- 10. ADJOURNMENT**

## **LIVABLE COMMUNITY CODE – V3**

*City of Doraville*

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### **ARTICLE 1. GENERAL**

- 1.1 INTENT
- 1.2 APPLICABILITY
- 1.3 PROCESS
- 1.4 TRANSECT ZONES AND SPECIAL DISTRICTS
- 1.5 VARIANCES
- 1.6 DENSITY CALCULATIONS

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- 2.2 SPECIAL AREA PLAN REQUIREMENTS
- 2.3 REQUIRED BUFFERS

### **ARTICLE 3. PUBLIC STANDARDS**

- 3.1 ARTICLE APPLICABILITY
- 3.2 THOROUGHFARES - VEHICULAR LANES
- 3.3 THOROUGHFARES - BICYCLE FACILITIES
- 3.4 THOROUGHFARES - PUBLIC FRONTAGES
- 3.5 CIVIC ZONES

### **ARTICLE 4. LOT AND BUILDING PLANS**

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- 4.2 NON-CONFORMING PROPERTIES
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- 4.4 BUILDING PLACEMENT
- 4.5 BUILDING FORM
- 4.6 BUILDING FUNCTION
- 4.7 SCREENING AND FENCING
- 4.8 OFF-STREET PARKING AND LOADING
- 4.9 PARKING LOCATION STANDARDS
- 4.10 LANDSCAPE STANDARDS
- 4.11 DRIVE-THROUGH STANDARDS
- 4.12 AUTOMOBILE FUEL STATION STANDARDS
- 4.13 LIGHTING STANDARDS
- 4.14 SIGN STANDARDS
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### **ARTICLE 5. STANDARDS AND TABLES**

- TABLE 1 TRANSECT ZONE DESCRIPTIONS
- TABLE 2 MODIFICATION TO NON-CONFORMING PROPERTIES
- TABLE 3A VEHICULAR LANE DIMENSIONS
- TABLE 3B VEHICULAR LANE/PARKING ASSEMBLIES
- TABLE 4A PUBLIC FRONTAGES - GENERAL
- TABLE 4B PUBLIC FRONTAGES – SPECIFIC
- TABLE 4C THOROUGHFARE ASSEMBLIES
- TABLE 5 CIVIC SPACE
- TABLE 6 BUILDING FORM - HEIGHT
- TABLE 7 BUILDING PLACEMENT
- TABLE 8 PRIVATE FRONTAGES
- TABLE 9 BUILDING FUNCTION
- TABLE 10 SPECIFIC FUNCTION & USE
- TABLE 11 CODE SUMMARY
- TABLE 12A LANDSCAPING – TREES
- TABLE 12B LANDSCAPING – INVASIVE SPECIES
- TABLE 13 SPECIAL DISTRICTS
- TABLE 14 DEFINITIONS ILLUSTRATED

### **ARTICLE 6. DEFINITIONS OF TERMS**

**ARTICLE 1. GENERAL**

**1.1 INTENT**

The intent and purpose of this code is to enable and support the implementation of the following policies:

- a. That the Doraville MARTA station area is the focal point for high-quality, mixed-use development in the City of Doraville as established in the 2010 Doraville Downtown Master Plan Livable Centers Initiative and the 2005-2025 Comprehensive Plan.
- b. That within Doraville ordinary activities of daily life should occur within walking or bicycling distance of most dwellings.
- c. That interconnected networks of thoroughfares should be designed to disperse traffic and reduce the length of automobile trips.
- d. That appropriate densities and land uses should be provided within walking distance of transit stops.
- e. That a range of housing options should be provided to accommodate different needs in the community.
- f. That the quality-of-life in existing neighborhoods should be preserved, protected, and enhanced.
- g. That development patterns should enable children to walk or bicycle to school.
- h. That a range of open spaces including parks, squares, playgrounds, and preserved green corridors should be distributed throughout Doraville.
- i. That buildings and landscaping should contribute to the physical definition of thoroughfares as civic places.
- j. That development should adequately accommodate automobiles while respecting the pedestrian and the spatial form of public areas.
- k. That community design should reinforce safe environments, but not at the expense of accessibility.
- l. That civic buildings and public gathering places should be provided as locations that reinforce community identity and support self-governance.
- m. That civic buildings should be distinctive and appropriate to a role more important than the other buildings that constitute the fabric of the area.
- n. That the harmonious and orderly development and redevelopment of Doraville should be secured through form-based codes.

**1.2 APPLICABILITY**

- 1.2.1 In areas subject to this code, all ordinances or parts of ordinances in conflict with this chapter or inconsistent with its provisions in the City of Doraville Code of Ordinances (including, without limitation, the Zoning Code of the City of Doraville and the Doraville Subdivision Regulations), are hereby superseded to the full extent necessary to give this code full force and effect.
- 1.2.2 Should any provision of this be declared invalid or unconstitutional by a court of competent jurisdiction, such declaration shall not affect this chapter as a whole or any part hereof except that specific provision which was the subject of the declaration.
- 1.2.3 Capitalized terms used throughout this code may be defined in Article 6 Definitions of Terms. Article 6 contains regulatory language that is integral to this code. Those terms not defined in Article 6 shall be accorded their commonly accepted meanings. In the event of conflicts between these definitions and those of Section 23-402 Definitions of this zoning ordinance, those of this code shall take precedence when applied to the regulations found herein.

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- 1.2.4 The metrics of Article 5 Standards and Tables are an integral part of this code. However, the diagrams and illustrations that accompany them should be considered advisory, with the exception of those in Table 14 Definitions Illustrated, which are legally binding.

- 1.2.5 Where in conflict, numerical metrics shall take precedence over graphic metrics.

### **1.3 PROCESS**

- 1.3.1 Properties may only be rezoned to this code as part of a Regulating Plan and in accordance with Article 2.
- 1.3.2 The procedure for rezoning to a Regulating Plan shall be the same as required for any other application for zoning map amendment as described in Article XVI of the zoning ordinance, subject to the modifications thereto and additional requirements set forth below.
- 1.3.3 Regulating Plan rezoning applications submitted by any entity, including the City, shall be exempt from the correct site plan requirements set forth in Section 23-1602 Application for a Zoning Amendment, but shall provide the following instead:
  - a. A Regulating Plan in accordance with the requirements of Section 2.1.2;
  - b. A map of existing structures on the site and those proposed to remain after development;
  - c. Proposed maximum number of residential units and maximum non-residential floor area;
  - d. Standards for Special Districts, if applicable; and
  - e. Requested Variances for concurrent approval by City Council, if applicable.
- 1.3.4 Once the Mayor and City Council approves a rezoning under this code, the parcel(s) shall be designated LCC (Livable Community Code) on the City of Doraville zoning map.
- 1.3.5 Special Area Plans identified in Section 2.14 may only be approved by the Mayor and City Council in accordance with the procedures set forth for Regulating Plan rezoning applications.

### **1.4 TRANSECT ZONES AND SPECIAL DISTRICTS**

- 1.4.1 The standards for Transect Zones and Civic Zones shall be as set forth in Articles 3, 4, and 5.
- 1.4.2 Areas that, by their intrinsic character, cannot conform to the requirements of any Transect Zone may be designated as Special Districts on a Regulating Plan.
- 1.4.3 The standards for Special Districts shall be approved by the Mayor and City Council as part of Regulating Plan and shall include either:
  - a. Standards specifically prepared for the Special District and recorded in Table 13: Special Districts; or
  - b. Standards of any City of Doraville zoning district.
- 1.4.4 Special Districts shall comply with:
  - a. All Special District provisions identified in Article 3 unless relief is granted by Variance; and
  - b. Special District provisions set forth in Table 13: Special Districts, as applicable; or
  - c. The requirements the base zoning, including conditions, as applicable; or
  - d. The requirements of any other City of Doraville zoning district, as applicable.

### **1.5 VARIANCES**

- 1.5.1 Variances from the requirements of this code shall be in accordance with Article XIV of the zoning ordinance except as identified to the contrary herein.
- 1.5.2 The requirements of Sections 23-1402 Variances and 23-1402A Additional Authorization to Grant Variances of Article XIV notwithstanding, the Mayor and City Council are authorized upon appeal in specific cases to consider variances as will not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of the article will, in an individual case,



result in practical difficulty or unnecessary hardship, so that the spirit of the code shall be observed, public safety and welfare secured, and substantial justice done. The existence of a nonconforming use of neighboring land, buildings or structures in the same or in other districts shall not constitute a reason for a Variance. A variance may be granted in an individual case of unnecessary hardship upon a finding by the Mayor and City Council as relevant that all the conditions below are met. When the Mayor and City Council consider approval, denial or nonbinding recommendations on variances as may be relevant, all of the following conditions must be considered and found present or found not to be present.

- a. The variance is justified by the provision of Section 1.1 Intent.
- b. The variance is consistent with the comprehensive plan.
- c. The variance will not materially endanger the public health or safety or constitute a public nuisance if located where proposed and developed according to the plans and information submitted and approved.
- d. The variance will not substantially injure the value of adjoining property.
- e. The variance, if developed according to the plans and information approved, will result in development that is in harmony with nearby land uses.
- f. The variance will advance the presence of the intended form of the development.

1.5.3 If a variance is requested in conjunction with an application for a Regulating Plan or Special Area Plan, the Mayor and City Council may process the requested variances concurrently.

## **1.6 DENSITY CALCULATIONS**

1.6.1 The following Density calculations shall apply to all areas except Special Districts that are subject to the standards of any other City of Doraville zoning district as set forth in Section 1.4.3(b).

1.6.2 All areas of a site shall be considered cumulatively the Gross Site Area.

1.6.3 Development on a site shall be limited as follows:

- a. The maximum amount of floor area shall be limited by the maximum building height and applicable setback and lot coverage regulations; and
- b. The maximum number of housing units shall be further limited by the maximum number housing units per acre as specified for each Transect Zone by Table 11: Code Summary, item a Residential Density.

1.6.4 The maximum residential density of a site shall be calculated by multiplying the Transect Zone's density identified in Table 11: Code Summary, item a Residential Density by the Gross Site Area. Where a site includes multiple Transect Zones, each shall be calculated independently. The area of new Thoroughfares and Civic Spaces on the site shall be allocated to the closest Transect Zone(s) on the site. Where a Thoroughfare or Civic Space adjoins multiple Transect Zones, their area shall be proportionally allocated to the adjoining zones.

1.6.5 Where a site is subdivided into lots, a lot's residential density may exceed the residential density of the Transect Zone within which it lies, provided that the maximum residential density of the Transect Zone for the site as whole as established in Section 1.6.2(b) is not exceeded.

1.6.6 Accessory Units do not count toward residential density calculations.

**ARTICLE 2. REGULATING PLANS**

**2.1 INSTRUCTIONS**

- 2.1.1 The provisions of this article shall be utilized for sites being rezoned under this code.
- 2.1.2 Regulating Plans shall consist of one or more maps showing the following:
- a. Transect Zones existing Civic Building Sites and Civic Spaces;
  - b. Thoroughfare network, existing and planned;
  - c. Rail transit alignments, existing and planned;
  - d. A differentiation of Thoroughfares as A-Grid and B-Grid. Buildings along the A-Grid shall be held to the highest standard of this code in support of pedestrian activity. Buildings along the B-Grid may be more readily considered for Variances allowing automobile-oriented standards;
  - e. Special Districts, including an indication of the specific City zoning district, if applicable;
  - f. Mandatory Private Frontages;
  - g. Any special requirements; and
  - h. A record of any Variances.
- 2.1.3 Within any area subject to an approved Regulating Plan, this code becomes the exclusive and mandatory regulation. Property owners within this area may submit Building Scale Plans under Article 4 in accordance with the provisions of this code.
- 2.1.4 The owner(s) of a parcel, or abutting parcels, consisting of 30 acres or more of contiguous lots within an area subject to a Regulating Plan may apply to prepare a Special Area Plan. In consultation with the Department of Community Development, a Special Area Plan may assign new Transect Zones, Civic Zones, Thoroughfares, Special Districts, architectural standards, signage standards, and/or Special Requirements as provided in this code, with appropriate transitions to abutting areas. Special Area Plans shall be approved by the Mayor and City Council.
- 2.1.5 The City of Doraville or the owner of a parcel or abutting parcels in an approved Regulating Plan or Special Area Plan may adjust the following subject to approval of the Director of Community Development:
- a. The locations of proposed Thoroughfares from those shown by up to a total of 300 horizontal feet, provided that the interconnected network shown in the Regulating Plan is maintained.
  - b. The locations of planned rail transit alignments from those shown to the extent necessary to bring said alignments into conformance with those planned by the transit operator.

**2.2 SPECIAL AREA PLAN REQUIREMENTS**

- 2.2.1 Special Area Plans shall include one or more maps in conformance with the requirements for Regulating Plans set forth in Section 2.1.2.
- 2.2.2 Special Area Plans may also include alternative standards for:
- a. Section 4.8.1 off street parking and loading spaces required;
  - b. Section 4.13 Lighting Standards;
  - c. Section 4.14 Sign Standards;
  - d. Section 4.15 Architectural Standards; and
  - e. Table 6: Building Form – Height.
- Where alternate standards are not submitted this requirements of the applicable sections shall apply.
- 2.2.3 The following elements shall not deviate from those established in an approved Regulating Plan:

- a. Mandatory Public Frontages along existing Thoroughfares; and
    - b. Greenways, although their exact locations may vary provided the connections to adjacent sites shown outside of the Regulating Plan are maintained.
  - 2.2.4 Each Special Area Plan shall dedicate at least 5% of its total area to Civic Space.
  - 2.2.5 Civic Space shall be designed as generally described in Table 5: Civic Space and as allowed in the Transect Zones in accordance with Table 11: Code Summary, item d Civic Spaces. Greenways shall not be counted towards this requirement, except where they pass through a Civic Space meeting the requirements of Table 5: Civic Space.
  - 2.2.6 The Thoroughfare network for the Special Area Plan shall be designed to define Blocks not exceeding the size prescribed in Table 11: Code Summary, item b Block Size. The perimeter shall be measured as the sum of lot Frontage Lines of the Block. When one side of the Block perimeter is at the edge of a development parcel the maximum Block perimeter shall be subject to approval by Variance.
  - 2.2.7 All Thoroughfares shall terminate at other Thoroughfares, forming an interconnected network. Internal Thoroughfares shall connect wherever possible to those on adjacent sites. Where adjacent sites are non-conforming with regards to the Thoroughfare network requirements of this code, stub-out streets shall be provided to provide future connectivity at such time as the adjacent sites are developed or redeveloped. All other dead-end streets and cul-de-sacs are allowed only by variance to accommodate specific site conditions including and limited to where said street would otherwise cross a state water, wetland, or existing slope exceeding 25%.
- 2.3 REQUIRED BUFFERS**
- 2.3.1 The requirements of Section 23-1102 Required Buffers shall not apply between different uses when both uses are located within an area subject to this code.
  - 2.3.2 The requirements of Section 23-1102 Required Buffers shall apply between different uses where an area subject to this code abuts an area not subject to this code, if such buffer is applicable.

**ARTICLE 3. PUBLIC STANDARDS**

**3.1 ARTICLE APPLICABILITY**

- 3.1.1 All sites, including those in Special Districts, shall incorporate Thoroughfares and Civic Spaces as established in an approved Regulating Plan or Special Area Plan.
- 3.1.2 Where no approved Special Area Plan exists, excluding Special Districts in an approved Regulating Plan:
  - a. Additional Thoroughfares are only permitted when in accordance with Section 2.2.6;
  - b. Additional Civic Spaces are permitted; and
  - c. Sites of more than 4 acres shall be designed to define Blocks not exceeding the size prescribed in Table 11: Code Summary, item b Block Size. The perimeter shall be measured as the sum of lot Frontage Lines of the Block. When one side of the Block perimeter is at the edge of a development parcel the maximum Block perimeter shall be subject to approval by variance.
- 3.1.3 Thoroughfares are intended for use by vehicular, bicycle, and pedestrian traffic and to provide access to adjacent lots and Civic Spaces. Thoroughfares shall generally consist of Vehicular Lanes and Public Frontages. Bicycle Facilities, where provided along a Thoroughfare, shall also be considered part of said Thoroughfare.
- 3.1.4 Thoroughfares and Civic Spaces shall be designed according to their Transect Zone. The Public Frontages of Thoroughfares that pass from one Transect Zone to another shall be adjusted so that the newer Thoroughfare's vehicular lane and parking assemblies and Public Frontages shall taper to meet those of the existing Thoroughfare.
- 3.1.5 Each lot shall Enfront a vehicular Thoroughfare or Civic Space, except that 20% of the lots within each Transect Zone may Enfront a Passage.
- 3.1.6 Standards for Thoroughfares within Special Districts shall be determined by the City of Doraville Public Works Director or other official as designated by the City Manager, who may, at their discretion, require alternative standards if the public health, safety, and welfare demand.
- 3.1.7 Thoroughfares along a designated B-Grid may be exempted by Variance from one or more of the specified Public Frontage or Private Frontage requirements. See Table 8: Private Frontages.
- 3.1.8 Rear Alleys and Rear Lanes shall be provided where required by Table 11: Code Summary, item c Thoroughfares.
- 3.1.9 Rear Alleys shall be paved for their width.
- 3.1.10 Rear Lanes may be paved to driveway standards. Rear Lanes shall consist of bounded gravel or landscaped edges, and have no raised Curb.

**3.2 THOROUGHFARES - VEHICULAR LANES**

- 3.2.1 Thoroughfares may include vehicular lanes in a variety of widths for parked and moving vehicles, and Bicycle Lanes. The standards for vehicular lanes shall be as shown in Table 3A: Vehicular Lane Dimensions, subject to approval of the City of Doraville Public Works Director or other official as designated by the City Manager, who may, at their discretion, require alternative standards if the public health, safety, and welfare demand.

**3.3 THOROUGHFARES - BICYCLE FACILITIES**

3.3.1 A bicycle network consisting of Greenways, Bicycle Lanes, and other bicycle facilities shall be provided as specified in the approved Regulating Plan or Special Area Plan. The bicycle network shall be connected to existing or proposed city and regional networks wherever possible.

3.3.2 Greenways shall include:

- a. A minimum 30 foot wide open space corridor that is available for pedestrian access;
- b. A Multi-Use Trail, which shall be located within the minimum 30 foot wide open space corridor;
- c. Trees spaced a minimum of 30 and a maximum of 60 feet on-center along one of both sides of the Multi-Use Trail; and
- d. Public lighting as established in Section 4.13.

### **3.4 THOROUGHFARES - PUBLIC FRONTAGES**

3.4.1 The standards for Public Frontages shall be as follows, subject to approval of the City of Doraville Public Works Director or other official as designated by the City Manager, who may, at their discretion, require alternative standards if the public health, safety, and welfare demand.

3.4.2 General to zones T3, T4, T5, T6

- a. The Public Frontage contributes to the character of the Transect Zone and includes Sidewalk, Curb, Planter, and trees. If a Greenway is located in what would otherwise be part of the Public Frontage then it shall also be considered part of the Public Frontage.
- b. Public Frontages shall be designed as shown in Table 4A: Public Frontages - General and Table 4B: Public Frontages - Specific and allocated within Transect Zones, where applicable, as specified in Table 11: Code Summary, item c Thoroughfares.
- c. Retrofit of existing Thoroughfares
  - i. Retrofit of existing Thoroughfares shall be accomplished in the Public Frontage by widening Sidewalks, adding trees, adding public lighting, and adding any required Greenways.
  - ii. Retrofit of existing Thoroughfares may also be accomplished in the Public Frontage by adding on-street parking, or by adding one Slip Road along one or both sides of the Thoroughfare utilizing one of the Thoroughfares identified as suitable for a Slip Road in Table 3B: Vehicular Lane/Parking Assemblies.
  - iii. Where retrofit occurs and there is insufficient right-of-way for the required improvements, the right-of-way needed for such improvements may be expanded by mutual agreement between the property owner and the entity holding the right-of-way, or a public access easement may be provided to the City of Doraville to meet the required improvements. Where the latter occurs, the Frontage Line will not be congruent with the right-of-way line.
- d. Public lighting shall be provided as established in Section 4.13 Lighting Standards
- e. Street trees shall be provided in the Public Frontage Planter and required Landscape Zone, subject to the following:
  - i. Along State Routes street trees shall be placed and sized in accordance with the standards established by the Georgia Department of Transportation.
  - ii. Along other Thoroughfares street trees shall be placed and sized in accordance with the current standards established by the American Association of State Highway and Transportation Officials.
  - iii. Permitted tree species and caliper within the Public Frontage shall be as established in Table 12A: Landscaping – Trees. No more than 33 percent of the trees shall be the same species. The City of Doraville may establish additional requirements along specific Thoroughfares.

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#### **3.4.3 Specific to zone T3**

- a. The Public Frontage shall include trees of various species, naturalistically clustered.

#### **3.4.4 Specific to zones T3, T4, T5, T6**

- a. Street trees shall be spaced a minimum of 30 and a maximum of 60 feet on-center.
- b. The introduced landscape shall consist of durable species tolerant of soil compaction.

#### **3.4.5 Specific to zone T4**

- a. Street trees shall be planted in a regularly-spaced Allee pattern of single or alternated species with shade canopies of a height that, at maturity, clears at least one Story.

#### **3.4.6 Specific to zone T5, T6**

- a. Street trees shall be planted in a regularly-spaced Allee pattern of single species with shade canopies of a height that, at maturity, clears at least one Story. At Retail Frontages, the spacing of the trees may be irregular, to avoid visually obscuring the Shopfronts.

#### **3.4.7 Specific to State Routes**

- a. The requirements of the Specific Transect Zones or Special Districts notwithstanding, along State Routes Sidewalk with a minimum width of 10 feet and a Planter having a width of 10 feet shall be provided. Street trees shall be located in the Planter and spaced a minimum of 30 and a maximum of 60 feet on-center. The spacing may be adjusted to accommodate specific site conditions.

### **3.5 CIVIC ZONES**

#### **3.5.1 General**

- a. Civic Zones shall be designated on a Regulating Plan or Special Area Plan as Civic Building Sites or Civic Spaces.

#### **3.5.2 Civic Spaces**

- a. Civic Spaces shall be designed as described in Table 5: Civic Space and shall be accessible to the public during normal City of Doraville park hours or longer each day.
- b. Each Civic Space, except for Playgrounds and Parks, shall have a minimum of 50% of its perimeter Enfronting one or more Thoroughfares. There shall be no minimum requirement for Playgrounds and Parks.

**ARTICLE 4. BUILDING SCALE PLANS**

**4.1 ARTICLE APPLICABILITY**

- 4.1.1 Lot and building plan approval for areas subject to a Regulating Plan shall be subject to the following requirements of this Article.
- 4.1.2 Building and site plans submitted under this code shall show compliance with the following standards described in this code:
  - a. For preliminary site and building approval:
    - i. Building Placement
    - ii. Building Form
    - iii. Building Function
    - iv. Public Frontages
  - b. For final approval, in addition to the above:
    - i. Landscaping
    - ii. Signage
    - iii. Special Requirements, if any
    - iv. Architecture
- 4.1.3 Special Districts that do not have provisions within this code as set forth in Table 13: Special Districts shall be governed by the applicable base zoning, including any zoning conditions, or by any other City of Doraville zoning district as indicated on an approved Regulating Plan or Special Area Plan.
- 4.1.4 Civic Building Sites shall not be subject to the requirements of this code. Buildings housing Civic Functions that do not meet the definition of a Civic Building shall be subject to the requirements of this code.

**4.2 NON-CONFORMING PROPERTIES**

- 4.2.1 Non-conforming properties shall comply with Article V Nonconforming Uses of the zoning ordinance except as indicated to the contrary below.
- 4.2.2 A property existing at the date of adoption of this code or any amendments thereto that does not conform to the provisions of this code or any subsequent amendment may continue in use as they are until a Substantial Modification is requested, at which time the Director of Community Development shall determine the provisions of this code that shall apply.
- 4.2.3 Lots existing at the time of adoption of this code shall not be considered non-conforming with regard to width.
- 4.2.4 The modification of existing buildings is permitted By Right if such changes result in greater conformance with the specifications of this code (as illustrated in Table 2: Modifications to Non-Conforming Properties).

**4.3 SPECIAL REQUIREMENTS**

- 4.3.1 To the extent that an approved Regulating Plan or Special Area Plan designates any of the following Special Requirements, these standards shall apply to said requirements:
  - a. A mandatory Retail Frontage designation requires that a building provide a Shopfront at Sidewalk level along the entire length of its Private Frontage. The Shopfront shall be no less than 70% glazed in clear glass and shaded by an awning overlapping the Sidewalk as illustrated in Table 8: Private Frontages. The first story shall be confined to Retail or Office use through the depth of the Second Layer.

- b. A mandatory Gallery Frontage designation requires that a building provide a permanent cover over the Sidewalk, either cantilevered or supported by columns (as generally illustrated in Table 8: Private Frontages). A Gallery Frontage may be combined with a Retail Frontage.
- c. A mandatory Arcade Frontage designation requires that a building overlap the Sidewalk such that the first floor Facade is a colonnade (as illustrated in Table 8: Private Frontages). The Arcade Frontage may be combined with a Retail Frontage.
- d. A coordinated Frontage designation requires that the Public Frontage (Table 4A: Public Frontages – General) and Private Frontage (Table 8: Private Frontages) be coordinated as a single, coherent landscape and paving design.
- e. A cross Block Passage designation requires that a minimum 8 foot wide pedestrian access be reserved between buildings.

#### **4.4 BUILDING PLACEMENT**

##### **4.4.1 Specific to zones T3, T4, T5, T6**

- a. Newly platted Lots shall be dimensioned according to Table 11: Code Summary, item e Lot Occupation.
- b. Building Placement types shall be as shown in Table 7: Building Placement and Table 11: Code Summary, item h Building Placement.
- c. Buildings shall be placed in relation to the boundaries of their lots according to Table 11: Code Summary and Table 14: Definitions Illustrated subject to the following:
  - i. Front Setbacks shall be measured from the Frontage Line.
  - ii. Side and Rear Setbacks shall be measured from the Lot Line.
- d. At least One Principal Building at the Frontage, and one Outbuilding to the rear of the Principal Building, may be built on each Lot as shown in Table 14: Definitions Illustrated.
- e. Lot coverage by building shall not exceed that recorded in Table 11: Code Summary, item e Lot Occupation.
- f. Facades shall be built parallel to a straight Principal Frontage Line or to the tangent of a curved Principal Frontage Line, and along the A-Grid to a minimum percentage of the Frontage width at the Setback, as specified as Frontage buildout on Table 11: Code Summary, item f Setbacks – Principal Building, provided that where a master planned site in Zone T5 or T6 is planned for subdivision into lots, compliance with this requirement may be calculated prior to subdivision.
- g. Rear Setbacks for Outbuildings shall be a minimum of 12 feet measured from the centerline of a Rear Alley or Rear Lane easement. In the absence of Rear Alley or Rear Lane, the rear Setback shall be as shown in Table 11: Code Summary.

##### **4.4.2 Specific to zones T5 and T6**

- a. The Principal Entrance to all Enfronting buildings shall be on a Frontage Line.

#### **4.5 BUILDING FORM**

##### **4.5.1 General to zones T3, T4, T5, T6**

- a. The Private Frontage of buildings shall conform to Table 8: Private Frontages and Table 11: Code Summary.
- b. Buildings on corner Lots shall have two Private Frontages as shown in Table 14: Definitions Illustrated. Prescriptions for the Second and Third Layers pertain only to the Principal Frontage. Prescriptions for the First Layer pertain to both Frontages.



- c. Building heights and Stepbacks shall conform to Table 6: Building Form - Height except that:
  - i. Lesser building heights shall be as required by Article X: Airport Zoning Provisions of the zoning ordinance, and
  - ii. Where the district adjoins an R-1 or R-2 district, height within the district shall be further limited as follows: No portion of any structure shall protrude through a height limiting plane beginning 35 feet above the buildable area boundary nearest to the common R-1 or R-2 district boundary and extending inward over the Form-Based Code district at an angle of 45 degrees.
- d. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial or Civic Function, which shall be a minimum of 11 feet with a maximum of 25 feet. A single floor level exceeding 14 feet, or 25 feet at ground level, shall be counted as two stories. Mezzanines extending beyond 33% of the floor area shall be counted as an additional Story.
- e. A first level Residential Function may be raised a maximum of 6 feet from average Sidewalk grade unless a greater height is approved by Variance.
- f. In a Parking Structure or garage, each above-ground level counts as a single Story regardless of its relationship to habitable Stories.
- g. Building height limits do not apply to Attics or raised basements, masts, belfries, clock towers, chimney flues, water tanks, or elevator bulkheads. Attics shall not exceed 14 feet in height.
- h. The habitable area of an Accessory Unit within a Principal Building or an Outbuilding shall not exceed 440 square feet, excluding the parking area.

**4.5.2 Specific to zone T3**

- a. No portion of the Private Frontage may Encroach the Sidewalk.
- b. Open porches may Encroach the First Layer for 50% of the layer's depth.
- c. Balconies and bay windows may Encroach the First Layer for 25% of the layer's depth except that balconies on porch roofs may Encroach as does the porch.

**4.5.3 Specific to zone T4**

- a. Balconies, open porches and bay windows may Encroach the First Layer for 50% of the layer's depth.

**4.5.4 Specific to zones T5, T6**

- a. Except where prohibited, Awnings, Arcades, and Galleries may Encroach the Sidewalk to within 2 feet of the Curb but must clear the Sidewalk vertically by at least 8 feet.
- b. Stoops, Lightwells, balconies, bay windows, and terraces may Encroach the First Layer for 100% of the layer's depth.
- c. A walkway with a minimum width of 4 feet shall connect rear buildings to the public Sidewalk.
- d. A first level Residential or Lodging Function shall be raised a minimum of 2 feet from average Sidewalk grade unless a lesser height is necessary to allow wheelchair access.

**4.6 BUILDING FUNCTION**

- 4.6.1 Nothing in this code shall be construed to provide relief from the provision of Chapter 6 Businesses and Business Regulations of the Doraville Code or Ordinances, which shall remain in full effect.

- 4.6.2 Table 10: Specific Function and Use lists the uses that are permitted by Transect Zone. If a particular use is not listed but the Director of Community Development can equate the proposed use to a similar use that is listed, then the use that is not listed may be allowed to locate in the Transect Zone where the equated use is permitted. The uses allowed are those that will benefit from close proximity of uses and foster a pedestrian-oriented environment.

**4.6.3 General to zones T3, T4, T5, T6**

- a. Buildings in each Transect Zone shall conform to the Functions on Table 9: Building Function, Table 10: Specific Function & Use and Table 11: Code Summary.

**4.6.4 Specific to zone T3**

- a. Accessory Functions of Restricted Lodging or Restricted Office shall be permitted within an Accessory Building. See Table 9: Building Function.

**4.6.5 Specific to zones T4, T5**

- a. Accessory Functions of Limited Lodging or Limited Office shall be permitted within an Accessory Building. See Table 9: Building Function.

**4.7 SCREENING AND FENCING****4.7.1 Fences, walls and hedges shall be subject to the following:**

- a. General to zones T3, T4, T5, T6
  - i. Electrical and barbed wire fencing are prohibited.
  - ii. Chainlink fencing is prohibited from view from a public Thoroughfare and shall be black or hunter green vinyl clad.
  - iii. Retaining walls shall be faced with or constructed of stone, brick, or decorative concrete modular block. Retaining walls above three feet high shall have a continuous planting of evergreens in front of them.
- b. Specific to zones T3, T4
  - i. Where permitted within the First Layer, fences, walls and hedges shall not exceed 48 inches in height. Retaining walls are excluded from this requirement.
  - ii. Fences shall be a maximum of 50% opaque in the First Layer.
  - iii. In all other locations fences and walls shall not exceed 6 feet in height and shall be at maximum of 50% opaque above 48 inches in height. This requirement shall not apply to fences and walls screening refuse areas or loading docks.
- c. Specific to zones T5, T6
  - i. Within the first Layer, fences, walls and hedges shall not exceed 54 inches in height. Retaining walls are excluded from this requirement.
  - ii. Fences shall be a maximum of 50% opaque in the First Layer.
  - iii. In all other locations fences and walls shall not exceed 6 feet in height and may be 100% opaque.

**4.7.2 The following elements shall be screened from view of any A-Grid or Civic Space as set forth below. To comply with the maximum height requirements above, any screening that exceeds the maximum requirements for the First Layer shall not be located within it.**

- a. Loading docks and service areas shall be screened by either:
  - i. A minimum 6 foot high 100% opaque fence matching the material of the building; or
  - ii. A 15 foot wide landscape strip planted with a continuous hedge of evergreen shrubs. *Shrubs* shall be moderately growing, be a minimum height of 42 inches at time of planting, reach a minimum height of 6 feet within two years of planting, and all plant materials shall be equal to or surpass specifications as defined in the current issue of "American Standards for Nursery Stock," published by the American Association of Nurserymen, Inc.
- b. Open Parking or gas fueling bays shall be screened by a continuous screen of evergreen plantings. Said screen shall be 3 feet in height at planting and 4 feet minimum height at maturity and 3 to 8 feet in

width at maturity.

- 4.7.3 Refuse areas (dumpsters) shall be placed in the least visible location from Thoroughfares, and shall be enclosed in accordance with Article VI of Chapter 15 of the City of Doraville Code of Ordinances. Where fence or wall enclosures are provided they shall be faced in a material compatible with the exterior wall material of the Principal Building.
- 4.7.4 Customer shopping cart storage areas adjacent to a building shall be screened by a wall a minimum of 4 feet in height. Enclosures shall be faced in a material compatible with the exterior wall material of the Principal Building.
- 4.7.5 Mechanical features such as HVAC condensers, electrical transformers, heat pumps, and similar features shall not be placed in the First Layer and shall be screened from view of any Thoroughfare, Civic Space, or any property zoned, used, or developed for Residential Functions, by one of the following means:
  - a. Placement behind the building;
  - b. 100% opaque fencing which shall be constructed of the same type of exterior material used for the Principal Building; or
  - c. By a berm or vegetative screening. The screening shall consist of evergreen shrubs, be a minimum of 42 inches in height at time of planting, and reach a minimum height of 6 feet within two years or planting.

#### **4.8 OFF-STREET PARKING AND LOADING**

- 4.8.1 Off-street parking and loading shall be provided in accordance with Article XII: Parking and Loading of this zoning ordinance except where alternate standards have been approved by the Mayor and City Council within a Regulating Plan or Special Area Plan, or as set forth below for shared parking.
- 4.8.2 The parking requirements of Article XII may be satisfied off-site subject to the following:
  - a. Said off-site parking shall be located within 600 feet of the Principal Entrance of the use it serves, as measured along the pedestrian walkway;
  - b. Said off site parking shall be located within this zoning district;
  - c. Applicants shall submit an executed parking agreement from the off-site parking property owner granting the applicant the right of sole use of the specific number of parking spaces to be utilized; and
  - d. All off-site parking spaces shall be clearly marked and signed.
- 4.8.3 A reduction of the parking requirements of Article XII may be permitted subject to the following:
  - a. Applicants for shared parking shall submit the following to the Director of Community Development:
    - i. A shared parking analysis using the Urban Land Institute (ULI) Shared Parking Model (latest edition);
    - ii. A to-scale map indicating location of proposed shared parking spaces; and
    - iii. Written consent of property owners and businesses agreeing to the shared parking arrangement, including copies executed parking agreements.
  - b. Uses providing shared parking must have either mutually exclusive or compatibly overlapping normal hours of operations.
  - c. Reductions in the total number of required spaces for shared parking are not permitted unless the Director of Community Development determines a reduction is appropriate on a case-by-case basis through use of the ULI Shared Parking Model.
  - d. Renewed parking agreements shall be filed with the Director of Community Development. Lapse of a required lease agreement shall terminate the shared parking reduction.

- e. All shared parking spaces shall be clearly marked and signed as reserved during specified hours.
- f. Off-site shared parking shall also comply with the requirements of Section 4.8.2.

4.8.4 On-street parking along the parking lane corresponding to the Lot Frontage shall be used to satisfy parking requirements.

4.8.5 All Office, Lodging, Retail, Civic, and education Functions, and multiple family dwellings shall provide a minimum of one bicycle or scooter rack to accommodate a minimum of one bicycle or scooter space for every ten off-street vehicular parking spaces. Said rack(s) shall be located either:

- a. Within the Public or Private Frontage, or
- b. Closer than the closet off-street vehicular parking space provided.

#### **4.9 PARKING LOCATION STANDARDS**

4.9.1 General to zones T3, T4, T5, T6

- a. Parking shall be accessed by Rear Alleys or Rear Lanes, when such are available or required.
- b. Rear Alleys, Rear Lanes, and Driveways on adjacent sites shall connect to provide inter-parcel access to minimize curb cuts and improve street traffic flow.

4.9.2 Specific to zones T3

- a. Open Parking areas shall be located at the Second and Third Layers, except that Driveways, drop-offs and unpaved parking areas may be located at the First Layer.
- b. Garages shall be located at the Third Layer.

4.9.3 Specific to zones T3, T4

- a. Driveways at Frontages shall be no wider than 10 feet in the First Layer. (Table 3B: Vehicular Lane/Parking Assemblies, item f Parking Access)

4.9.4 Specific to zone T4

- a. All parking areas and garages shall be located at the Second or Third Layer.

4.9.5 Specific to zones T5, T6

- a. All Open Parking and Parking Structures shall be located at the Second or Third Layer.
- b. Vehicular entrances to Open Parking, drive-throughs, and Parking Structures shall be no wider than 12 feet for one-way access and 24 feet for two-way access at the Frontage.
- c. Pedestrian exits from all Open Parking and Parking Structures shall be directly to a Frontage Line (i.e., not directly into a building) except underground levels which may exit directly into a building.
- d. Parking Structures on the A-Grid shall have Liner Buildings lining the first and second Stories.

#### **4.10 LANDSCAPE STANDARDS**

4.10.1 General to zones T3, T4, T5, T6

- a. Impervious surface shall be confined to the ratio of Lot coverage specified in Table 11: Code Summary, item e Lot Occupation.

4.10.2 Specific to zones T3, T4

- a. The First Layer shall be landscaped with live grass, trees, shrubs, hedges and other landscaping materials approved by Director of Community Development and shall not be paved, with the exception of Driveways as specified in Section 4.9.2 and Section 4.9.3.

4.10.3 Specific to zone T3

- a. A minimum of two trees shall be planted within the First Layer for each 30 feet of Frontage Line or portion thereof.

- b. Trees shall be naturalistically clustered.
- 4.10.4 Specific to zone T4
  - a. A minimum of one tree shall be planted within the first Layer for each 30 feet of Frontage Line or portion thereof.
  - b. Trees shall be a single species to match the species of Street Trees on the Public Frontage.
- 4.10.5 Specific to zone T5, T6
  - a. Adjacent to Open Parking
    - i. The First Layer shall be landscaped with live grass, shrubs, hedges, and other landscaping materials approved by Director of Community Development.
    - ii. The First Layer shall be planted with trees spaced a minimum of 30 and a maximum of 60 feet on-center. The spacing may be adjusted to accommodate specific site conditions.
    - iii. The First Layer shall not be paved, with the exception of walkways and Driveways as specified in Section 4.9.2 and Section 4.9.3, the sum of which shall not occupy more than 50% of the area of the First Layer.
  - b. Not adjacent to Open Parking:
    - i. Trees and landscaping shall not be required in the First Layer.
    - ii. The First Layer may be paved to match the pavement of the Public Frontage.
- 4.10.6 Permitted tree species and caliper within the Private Frontage shall be as established in Table 12A: Landscaping – Trees. Trees in the Private Frontage shall also comply with the following:
  - a. No more than 33 percent of the trees shall be the same species, and
  - b. At least 70 percent of the trees shall be overstory trees.
- 4.10.7 The non-native invasive species identified in Table 12B: Landscaping – Invasive Species are prohibited from outdoor planting, but not sale or indoor planting.

**4.11 DRIVE THROUGH STANDARDS**

- 4.11.1 General to Zones T5, T6, and Special Districts
  - a. Drive-through service canopies shall be pitched at an angle and use materials matching the roof of the Principal Building.
- 4.11.2. Specific to Zones T5, T6
  - a. Drive-through facilities and all associated vehicular queuing shall be located at the rear of the Principal Building if feasible, but shall be located at the side if not feasible.
  - b. Vehicular access to a drive-through should be from mid-block or from a Rear Alley to avoid disrupting pedestrian traffic. If a Driveway is necessary it shall be no more than 24 feet wide.
  - c. Drive-through facilities shall be considered accessory structures to a building.

**4.12 AUTOMOBILE FUEL STATION STANDARDS**

- 4.12.1 General to Zones T5, T6, and Special Districts
  - a. Lighting shall be shielded to direct light and glare onto the lot where the gas/fueling station is located.
- 4.12.1. Specific to Zones T5, T6
  - a. Gasoline station canopies and pumps:
    - i. Shall be located to the side, or rear of the Principal Building.
    - ii. Pump canopies shall be located at least 50 feet from any interior side or rear property line that adjoins a Residential Function.

- iii. Shall be buffered from adjoining Residential Functions with an opaque wall between 3.5 and 8 feet in height. Said wall shall be faced in a material compatible with the same exterior wall material of the Principal Building .
- b. A conforming Principal Building is required and shall be a minimum floor area of 1,600 square feet.

**4.13 LIGHTING STANDARDS**

- 4.13.1 The following lighting standards shall apply in areas regulated by this code except where alternate standards have been approved by the Mayor and City Council within a Special Area Plan.
- 4.13.2 Lighting levels measured at the building Frontage Line shall not exceed the following amounts:
  - a. Zones T3, T4: 1.0 foot candle.
  - b. Zones T5, T6: 5.0 foot candles.
  - c. Special Districts: No requirement
- 4.13.3 Any lighting fixture shall be a cutoff luminary whose source is completely concealed with an opaque housing. Fixtures shall be recessed in the opaque housing. Drop dish refractors are prohibited. The wattage shall not exceed 420 watts/480 V per light fixture or equivalent. This provision includes lights on mounted poles as well as architectural display and decorative lighting visible from a Thoroughfare or Civic Space. Wall pack lighting shall be cut-off down directional a maximum of 250 watts or equivalent. Canopy lighting shall be cut-off down directional a maximum of 250 watts or equivalent. Canopy lighting shall be cut-off luminaries with a maximum lamp wattage of 400 watts or equivalent.
- 4.13.4 Mounting fixtures must be modified in such a manner that the cone of the light is not directed at any property line. The minimum mounting height for a pole is 12 feet. The maximum mounting for a pole is 28 feet. Any fixture and pole located within 20 feet of an R-1 or R-2 district, T3 Zone, or a T4 Zone shall be a Type Four (enclosures that are intended for outdoor use primarily to provide a degree of protection against windblown dust and rain., splashing water, and hose directed water; undamaged by the formation of ice on the enclosure) and forward throw distribution.

**4.14 SIGN STANDARDS**

- 4.14.1 The provisions of Chapter 14 Signs shall apply in areas regulated by this code except where alternate standards have been approved by the Mayor and City Council within a Special Area Plan.

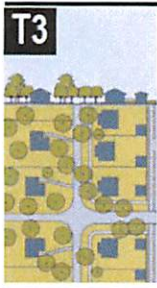
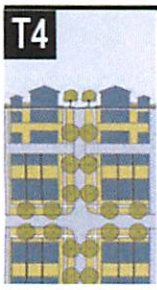
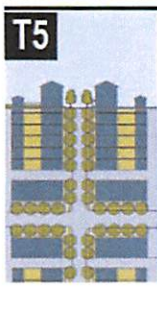
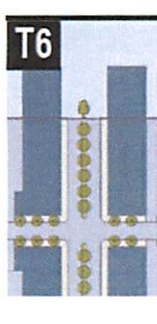
**4.15 ARCHITECTURAL STANDARDS**

- 4.15.1 The following architectural standards shall apply to all buildings in areas regulated by this code except where alternate standards have been approved by the Mayor and City Council within a Special Area Plan.
- 4.15.2 General to Zones T3, T4, T5, T6, and Special Districts
  - a. The design of Commercial and Mixed-Use buildings shall conform to the requirements of the Section 23-1705 Building Design.
  - b. The design of Residential buildings shall conform to
    - i. The requirements of the Section 23-1705 Building Design, or
    - ii. The requirements of Section 4.15.3.
  - c. Exterior materials for all buildings may be combined only horizontally, with the heavier below the lighter.
- 4.15.3 Residential buildings
  - a. Materials
    - i. The exterior finish material on all Facades shall be limited to brick, manufactured stone, natural

stone, wood siding, cementitious siding and/or hard coat stucco.

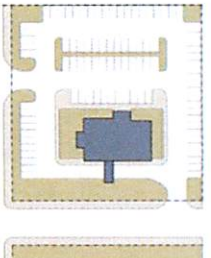
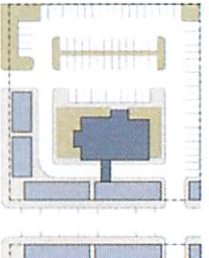
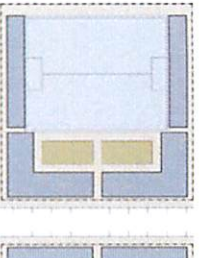
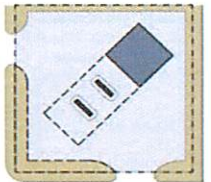
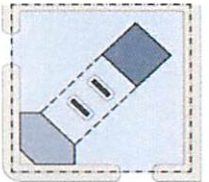
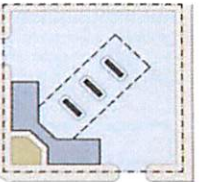
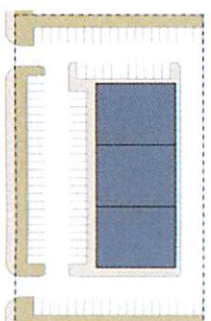
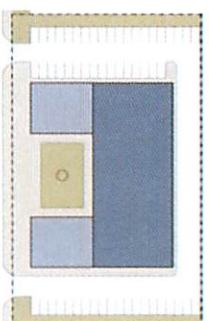
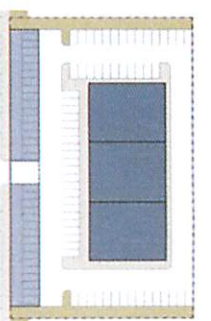
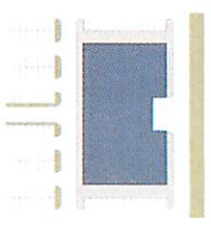
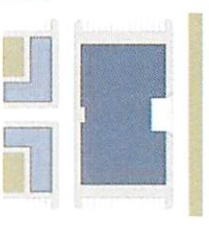
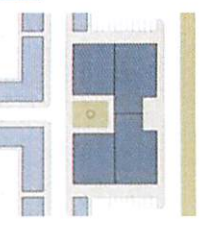

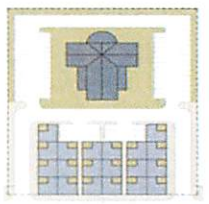
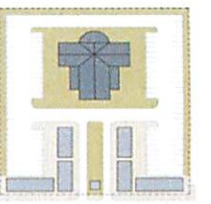
- ii. Foundations shall be constructed as a distinct building element that contrasts with Facade materials. Exposed above-ground foundations shall be coated or faced in cement, hard coat stucco, brick, manufactured stone, or natural stone to contrast with façade materials.
- b. Windows and Doors along Frontages
  - i. The combined area of windows above the first Story shall not be less than 15% nor greater than 50% of the total building wall area, with each Facade being calculated independently by story.
  - ii. Where used, shutters shall match one half the width of the window opening to which they are adjacent.
  - iii. Windows shall provide glass that is clear, unpainted, and not tinted so as to obstruct views into the building.
  - iv. Doors and windows that operate as sliders are prohibited
  - v. Windows shall be vertically shaped with a height greater than width. The top of said windows shall generally be in alignment with the top of the adjacent door frame.
  - vi. Windows shall have True or Simulated Divided Lights or be one-over-one lights.
  - vii. Windows shall include sills of wood, masonry, stone, cast stone, or terra cotta.
  - viii. Window frames shall be recessed a minimum of 1.5 inches from the exterior façade.
- c. Roofs
  - i. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that roofs for porches and attached sheds may be no less than 2:12.
  - ii. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment.
  - iii. All roofs shall have a minimum 25-year roof life and no visible roll roofing.
  - iv. Chimneys, where provided, shall extend to the ground and shall be faced in brick or stacked stone. Chimneys shall extend between 3 and 6 feet above the roof line.
- d. No more than three adjacent townhouse units shall have the same façade design. Differentiation between adjacent façades may be accomplished by a change in materials, building height, color, roof form or setbacks, provided that the appearance of a separate building is achieved.
- e. Stoops and porches:
  - i. Porches and stoops along a Frontage shall not be enclosed with screen wire or glass.
  - ii. Entry steps leading to porches and stoops along a Frontage shall have enclosed risers.
  - iii. Porch columns shall be a minimum width of 8 inches.

Table 1: Transect Zone Descriptions. This tables provides descriptions of the character of each Transect Zone.

	<p><b>T-3 SUB-URBAN</b></p> <p>T-3 Sub-Urban Zone consists of low density residential areas, adjacent to higher zones that have some mixed use. Home occupations and outbuildings are allowed. Planting is naturalistic and setbacks are relatively deep. Blocks may be large and the roads irregular to accommodate natural conditions.</p>	<p><b>General Character:</b> Lawns and landscaped yards surrounding detached single-family houses; pedestrians occasionally</p> <p><b>Building Placement:</b> Large and variable front and side yard Setbacks</p> <p><b>Frontage Types:</b> Porches, fences, naturalistic tree planting</p> <p><b>Typical Building Height:</b> 1- to 2-Story with some 3-Story</p> <p><b>Type of Civic Space:</b> Parks, Greenways</p>
	<p><b>T-4 GENERAL URBAN</b></p> <p>T-4 General Urban Zone consists of a mixed use but primarily residential urban fabric. It may have a wide range of building types: single, Sideyard, and Rowhouses. Setbacks and landscaping are variable. Streets with curbs and side-walks define medium-sized Blocks.</p>	<p><b>General Character:</b> Mix of Houses and Townhouses with scattered Commercial activity; balance between landscape and buildings; presence of pedestrians</p> <p><b>Building Placement:</b> Shallow to medium front and side yard Setbacks</p> <p><b>Frontage Types:</b> Porches, fences, Dooryards</p> <p><b>Typical Building Height:</b> 1- to 4-Story</p> <p><b>Type of Civic Space:</b> Squares, Greens</p>
	<p><b>T-5 URBAN CENTER</b></p> <p>T-5 Urban Center Zone consists of higher density mixed use building that accommodate Retail, Offices, Row- houses and Apartments. It has a tight network of streets, with wide sidewalks, steady street tree planting and buildings set close to the sidewalks.</p>	<p><b>General Character:</b> Shops mixed with Townhouses, larger Apartment houses, Offices, work place and Civic buildings; predominantly attached buildings; trees within the public right-of-way; substantial pedestrian activity</p> <p><b>Building Placement:</b> Shallow Setbacks or none; buildings oriented to street defining a street wall</p> <p><b>Frontage Types:</b> Stoops, Dooryards, Forecourts, Shopfronts, Galleries and Arcades</p> <p><b>Typical Building Height:</b> 1- to 6-Story</p> <p><b>Type of Civic Space:</b> Parks, Plazas, and Squares, median landscaping</p>
	<p><b>T-6 URBAN CORE</b></p> <p>T-6 Urban Core Zone consists of the highest density and height, with the greatest variety of uses. It may have larger Blocks; streets have steady street tree planting and buildings are set close to wide sidewalks.</p>	<p><b>General Character:</b> Medium to high-Density Mixed Use buildings, entertainment, Civic and cultural uses. Attached buildings forming a continuous street wall; trees within the public right-of-way; highest pedestrian and transit activity</p> <p><b>Building Placement:</b> Shallow Setbacks or none; buildings oriented toward the street, defining a street wall</p> <p><b>Frontage Types:</b> Stoops, Dooryards, Forecourts, Shopfronts, Galleries and Arcades</p> <p><b>Typical Building Height:</b> 4-plus Story with a few shorter buildings</p> <p><b>Type of Civic Space:</b> Parks, Plazas and Squares; median landscaping</p>



**TABLE 2: Modification to Non-Conforming Properties.** This table provides descriptions of changes to non-conforming properties that result in conformance with the specifications of this code. Other changes to decrease the degree of non-conformity are also possible.

NON-CONFORMING PROPERTY		POSSIBLE TECHNIQUES	CONFORMING MODIFICATION	
DRIVE-THRU		<ul style="list-style-type: none"><li>Keep existing building and drive-thru and add Liner Buildings in front of building to engage the Thoroughfare, or</li><li>Replace building</li></ul>	T5   T6 	T5   T6 
FUEL STATION		<ul style="list-style-type: none"><li>Keep fuel station building and pumps and build a new building at the intersection, or</li><li>Eliminate the fuel station building, but keep the pumps and increase them, while building a new building at the intersection</li></ul>	T5   T6 	T5   T6 
STRIP CENTER		<ul style="list-style-type: none"><li>Keep existing building and add Liner Buildings in front of it to engage the Thoroughfare</li><li>Convert frontal parking into Forecourt and add on-street parking to existing the Thoroughfare</li></ul>	T5   T6 	T5   T6 
BIG BOX OR OFFICE BUILDING		<ul style="list-style-type: none"><li>Infill the frontal parking with new Liner Buildings and streets terminating on the existing building; retain current building use or convert to new use</li><li>Infill the frontal parking with new Liner Buildings and streets terminating on the existing building; reconfigure existing buildings for new use</li></ul>	T5   T6 	T5   T6 
RELIGIOUS BUILDING		<ul style="list-style-type: none"><li>Infill the frontal parking lot with senior housing; add on-street parking to existing Thoroughfare</li><li>Create a street and Civic Space with Liner Buildings terminating on the existing religious building; add on-street parking to the existing Thoroughfare</li></ul>	T4   T5   T6 	T4   T5   T6 

# LIVABLE COMMUNITY CODE - V3

City of Doraville

**TABLE 3A: Vehicular Lane Dimensions.** This table assigns lane widths to Transect Zones. The Design ADT (Average Daily Traffic) is the determinant for each of these sections. The most typical assemblies are shown in Table 3B: Vehicular Lane/Parking Assemblies. Specific requirements for truck and transit bus routes and truck loading shall be decided by the City of Doraville Public Works Director or other official as designated by the City Manager.

DESIGN SPEED	TRAVEL LANE WIDTH	T3	T4	T5	T6
25-35 mph	10 feet	■	■	■	■
25-35 mph	11 feet			■	■
Above 35 mph	11 feet			■	■

■ BY RIGHT


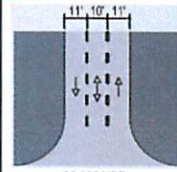
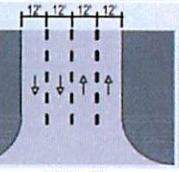

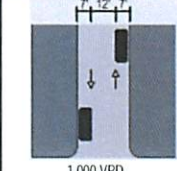
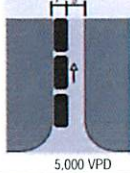
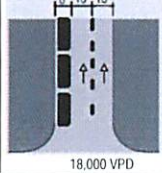
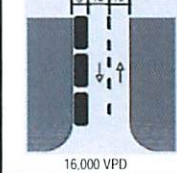
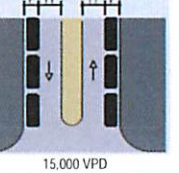
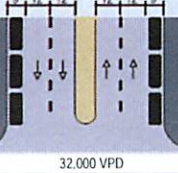

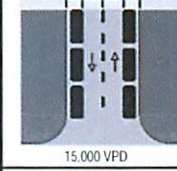
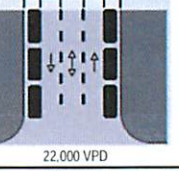
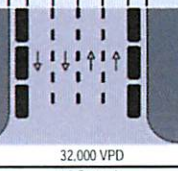

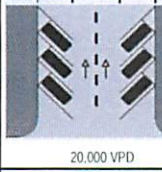
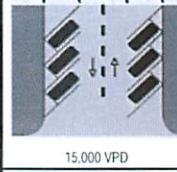
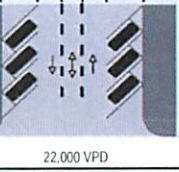
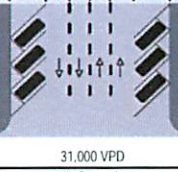
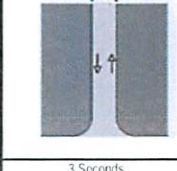
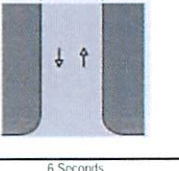
DESIGN SPEED	PARKING LANE WIDTH				
25 mph	(Angle 18 feet)			■	■
25 mph	(Parallel) 7 feet		■		
25-35 mph	(Parallel) 8 feet	■	■	■	■
Above 35 mph	(Parallel) 9 feet			■	■

DESIGN SPEED	EFFECTIVE TURNING RADIUS				
20-25 mph	10-15 feet	■	■	■	■
25-35 mph	15-20 feet	■	■	■	■
Above 35 mph	20-30 feet			■	■

(See Table 12)



**TABLE 3B: Vehicular Lane/Parking Assemblies.** The projected design speeds determine the dimensions of the vehicular lanes and Turning Radii assembled for Thoroughfares. Use of standards in this table are subject to approval by the City of Doraville Public Works Director or other official as designated by the City Manager. Where on-street Bicycle Lanes or similar bicycle facilities are provided, the paved width shall be increased a corresponding amount

ONE WAY MOVEMENT		TWO WAY MOVEMENT			
a. NO PARKING	T3	T3 T4 T5 T6	T3 T4 T5 T6		
					
Design ADT	300 VPD	22,000 VPD	36,000 VPD		
Pedestrian Crossing	3 Seconds	3 Seconds	13 Seconds		
Design Speed	25 - 30 MPH	25 MPH	35 MPH or above		
b. YIELD PARKING	T3 T4	T3 T4			
					
Design ADT	1,000 VPD	1,000 VPD			
Pedestrian Crossing	5 Seconds	7 Seconds			
Design Speed					
c. PARKING ONE SIDE PARALLEL	T3 T4 *	T3 T4 T5 T6 *	T4 T5 T6 * T4 T5 T6 T5 T6		
					
Design ADT	5,000 VPD	18,000 VPD	16,000 VPD	15,000 VPD	32,000 VPD
Pedestrian Crossing	5 Seconds	8 Seconds	8 Seconds	11 Seconds	13 Seconds
Design Speed	25 - 30 MPH	25 - 30 MPH	25 - 30 MPH	25 - 30 MPH	35 MPH or above
d. PARKING BOTH SIDES PARALLEL	T4 T5 T6 *		T4 T5 T6 * T5 T6 T5 T6		
					
Design ADT	20,000 VPD		15,000 VPD	22,000 VPD	32,000 VPD
Pedestrian Crossing	10 Seconds		10 Seconds	13 Seconds	15 Seconds
Design Speed	25 - 30 MPH		25 - 30 MPH	25 - 30 MPH	35 MPH and above
e. PARKING BOTH SIDES DIAGONAL	T5 T6 *	T5 T6 *	T5 T6 * T5 T6 T5 T6 T5 T6		
(Drive-in or back-in parking permitted. Parking may be limited to one side in assemblies suitable for a Slip Road)					
Design ADT	18,000 VPD	20,000 VPD	15,000 VPD	22,000 VPD	31,000 VPD
Pedestrian Crossing	15 Seconds	17 Second	17 Seconds	20 Seconds	23 Seconds
Design Speed	Below 20 MPH	25 MPH	25 MPH	25 - 30 MPH	25 - 30 MPH
f. PARKING ACCESS			T3 T4 T5 T6		
					
Design ADT					
Pedestrian Crossing			3 Seconds	6 Seconds	
Design Speed					

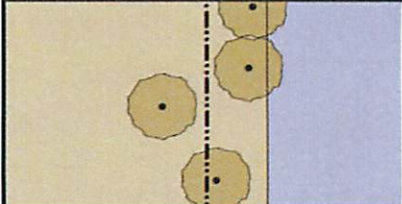
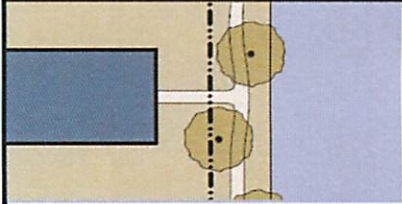
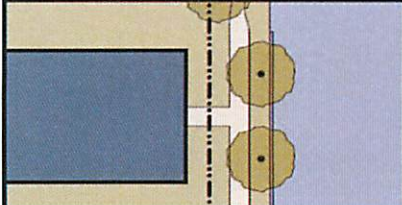
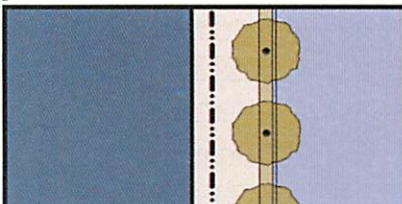
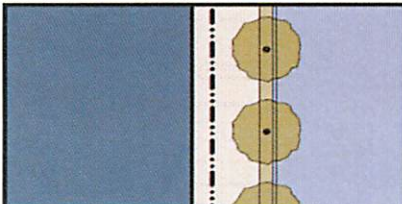
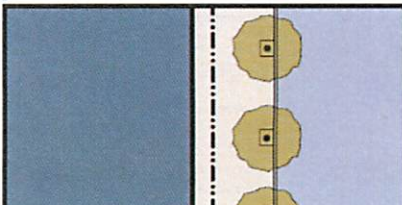
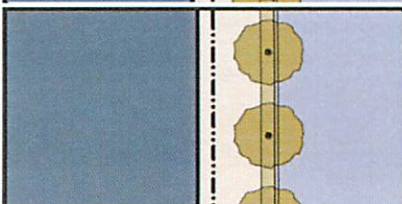
\*Indicates assembly suitable for a Slip Road in any Transect Zone

\*Indicates assembly suitable for a Slip Road in any Transect Zone

# LIVABLE COMMUNITY CODE - V3

City of Doraville

**TABLE 4A: Public Frontages - General:** The Public Frontage is the area between the private Lot Line and the edge of the vehicular lanes. Dimensions are given in Table 4B: Public Frontages - Specific.

PLAN	
LOT	R.O.W.
PRIVATE FRONTAGE	PUBLIC FRONTAGE
<p>a. (HW) For Highway: This Frontage has open Swales drained by percolation, Bicycle Trails and no parking. The landscaping consists of the natural condition or multiple species arrayed in naturalistic clusters. Buildings are buffered by distance or berms</p>	 <div>T3</div>
<p>b. (RD) For Road: This Frontage has open Swales drained by percolation and a walking Path or Bicycle Trail along one or both sides Yield parking. The landscaping consists of the multiple species arrayed in naturalistic clusters.</p>	 <div>T3</div>
<p>c. (ST) For Street: This Frontage has raised Curbs drained by inlets and Sidewalks separated from the vehicular lanes by individual or continuous Planters, with parking on one or both sides. The landscaping consists of street trees of a single or alternating species aligned in a regularly spaced Allee.</p>	 <div>T3</div> <div>T4</div> <div>T5</div> <div>T6</div>
<p>d. (DR) For Drive: This Frontage has raised Curbs drained by inlets and a wide Sidewalk or paved path along one side, related to a Greenway or waterfront. It is separated from the vehicular lanes by individual or continuous Planters. The landscaping consists of street trees of a single species or alternating species aligned in a regularly spaced Allee.</p>	 <div>T3</div> <div>T4</div> <div>T5</div> <div>T6</div>
<p>e. (AV) For Avenue: This Frontage has raised Curbs drained by inlets and wide Sidewalks separated from the vehicular lanes by a narrow continuous Planter with parking on both sides. The landscaping consists of a single tree species aligned in a regularly spaced Allee.</p>	 <div>T3</div> <div>T4</div> <div>T5</div> <div>T6</div>
<p>f. (CS) (AV) For Commercial Street or Avenue: This Frontage has raised Curbs drained by inlets and very wide Sidewalks along both sides separated from the vehicular lanes by separate tree wells with grates and parking on both sides. The landscaping consists of a single tree species aligned with regular spacing where possible but clears the storefront entrances.</p>	 <div>T5</div> <div>T6</div>
<p>g. (BV) For Boulevard: this Frontage has slip Roads on both sides. It consists of raised Curbs drained by inlets and Sidewalks along both sides, separated from the vehicular lanes by Planters. The landscaping consists of double rows of a single tree species aligned in a regularly spaced Allee.</p>	 <div>T3</div> <div>T4</div> <div>T5</div> <div>T6</div>



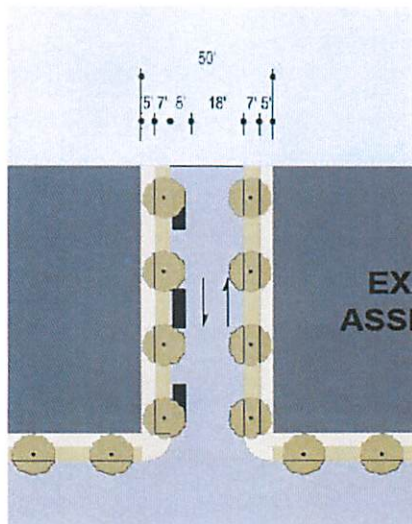
		TRANSECT						URBAN
TRANSECT ZONE Public Frontage Type		T3 HW & RD	T3 RD & ST	T3   T4   T5   T6 ST-DR-AV	T4   T5   T6 ST-DR-AV-BV	T5   T6 CS-DR-AV-BV	T5   T6 CS-DR-AV-BV	
a. Assembly: The principal variables are the type and dimension of Curbs, walkways, Planters and landscape.	Total Width	16-24 feet	12-24 feet	12-18 feet	12-18 feet	18-24 feet	18-30 feet	
b. Curb. The detailing of the edge of the vehicular pavement incorporating drainage.	Type	Open Swale	Open Swale	Raised Curb	Raised Curb	Raised Curb	Raised Curb	
	Radius	10-30 feet	10-30 feet	5-20 feet	5-20 feet	5-20 feet	5-20 feet	
c. Walkway. The hard surface dedicated exclusively to pedestrian activity.	Type	Path Optional	Path	Sidewalk	Sidewalk	Sidewalk	Sidewalk	
	Width	n/a	4-8 feet	5-8 feet	5-8 feet	12-20 feet	12-30 feet	
d. Planter: The layer which accommodates street trees and other landscape materials.	Arrangement	Clustered	Clustered	Regular	Regular	Regular	Opportunistic	
	Species	Clustered	Clustered	Alternating	Single	Single	Single	
	Planter Type	Continuous Swale	Continuous Swale	Continuous Planter	Continuous Planter	Continuous Planter	Tree Well	
	Planter Width	8 feet - 16 feet	8 feet - 16 feet	6 feet - 12 feet	5 feet - 12 feet	4 feet - 6 feet	4 feet - 6 feet	

**TABLE 4C: Thoroughfare Assemblies:** These Thoroughfares are assembled from the elements that appear in Tables 3A: Vehicular Lane Dimensions and 3B: Vehicular Lane/Parking Assemblies and incorporate the Public Frontages of table 4A: Public Frontages - General. The key gives the Thoroughfare type followed by the right-of-way width, followed by the pavement width, and in some instances followed by specialized transportation capability.

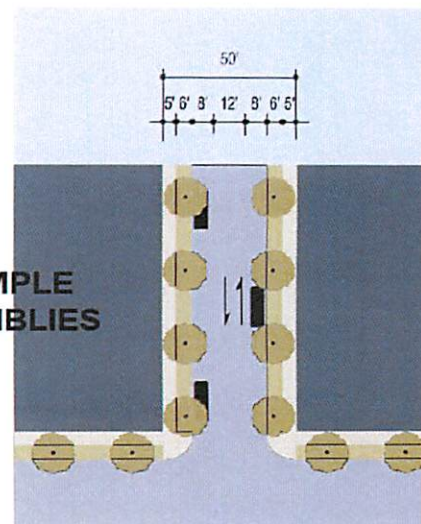
KEY	ST-57-20-BL
Thoroughfare Type	
Right-of-Way Width	
Pavement Width	
Transportation	

**THOROUGHFARE TYPES**

Highway	HW
Boulevard	BV
Avenue	AV
Commercial Street	CS
Drive	DR
Street	ST
Road	RD
Rear Alley	RA
Rear Lane	RL
Multi-Use Trail	MT
Equestrian Trail	ET
Bicycle Lane	BL
Bicycle Route	BR
Path	PT
Passage	PS

**ST-50-26**

Thoroughfare Type	Street
Transect Zone Assignment	T4, T5
Right-of-Way Width	50 feet
Pavement Width	26 feet
Movement	Slow Movement
Design Speed	25 MPH
Pedestrian Crossing Time	7.4 seconds
Traffic Lanes	2 lanes
Parking Lanes	One side @ 8 feet marked
Curb Radius	10 feet
Walkway Type	5 foot Sidewalk
Planer Type	7 foot continuous Planter
Curb type	Curb
Landscape Type	Trees @ 30' o.c. Avg.
Transportation Provision	BR

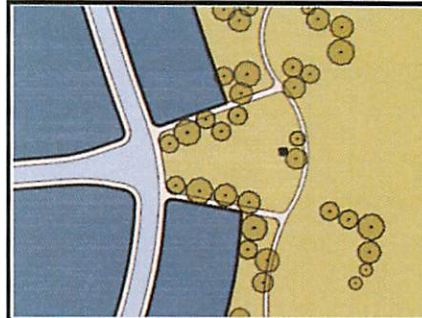
**ST-50-28**

Thoroughfare Type	Street
Transect Zone Assignment	T4, T5
Right-of-Way Width	50 feet
Pavement Width	28 feet
Movement	Yield Movement
Design Speed	25 MPH
Pedestrian Crossing Time	7.6 seconds
Traffic Lanes	2 lanes
Parking Lanes	Both sides @ 8 feet unmarked
Curb Radius	10 feet
Walkway Type	5 foot Sidewalk
Planer Type	6 foot continuous Planter
Curb type	Curb
Landscape Type	Trees @ 30' o.c. Avg.
Transportation Provision	BR



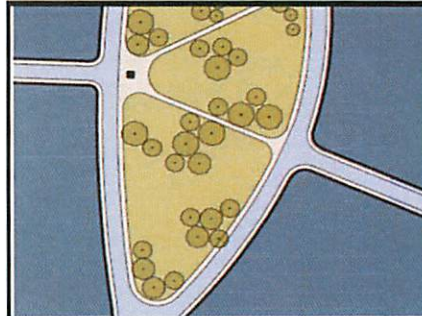
TABLE 5: Civic Space

a. **Park:** A natural preserve available for unstructured recreation. A park may be independent of surrounding building Frontages. Its landscape shall consist of Paths and trails, meadows, water bodies, woodland and open shelters, all naturalistically disposed. Parks may be lineal, following the trajectories of natural corridors. The minimum size shall be 5 acres.



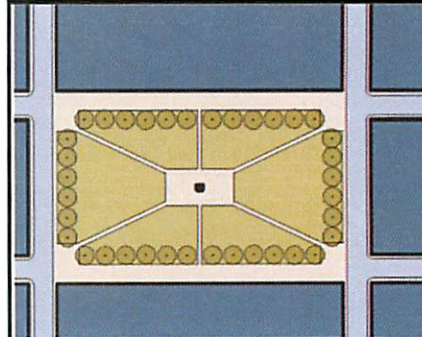
T3  
T4  
T5  
T6

b. **Green:** An Open Space, available for unstructured recreation. A Green may be spatially defined by landscaping rather than building Frontages. Its landscape shall consist of lawn and trees, naturalistically disposed. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.



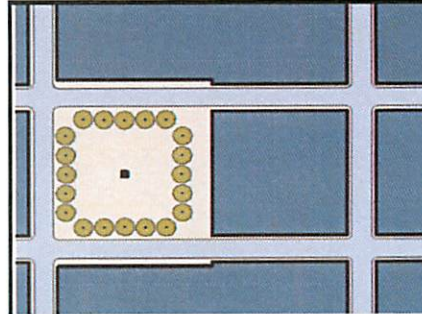
T3  
T4  
T5  
T6

c. **Square:** An Open Space available for unstructured recreation and Civic purposes. A Square is spatially defined by building Frontages. Its landscape shall consist of paths, lawns and trees, formally disposed. Squares shall be located at the intersection of important Thoroughfares. The minimum size shall be 1/2 acre and the maximum shall be 5 acres.



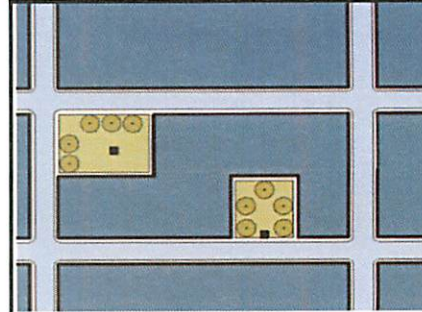
T4  
T5  
T6

d. **Plaza:** An Open Space available for Civic purposes and Commercial activities. A Plaza shall be spatially defined by building Frontages. Its landscape shall consist primarily of pavement. Trees are optional. Plazas should be located at the intersection of important streets. The minimum size shall be 1/2 acre and the maximum shall be 2 acres.



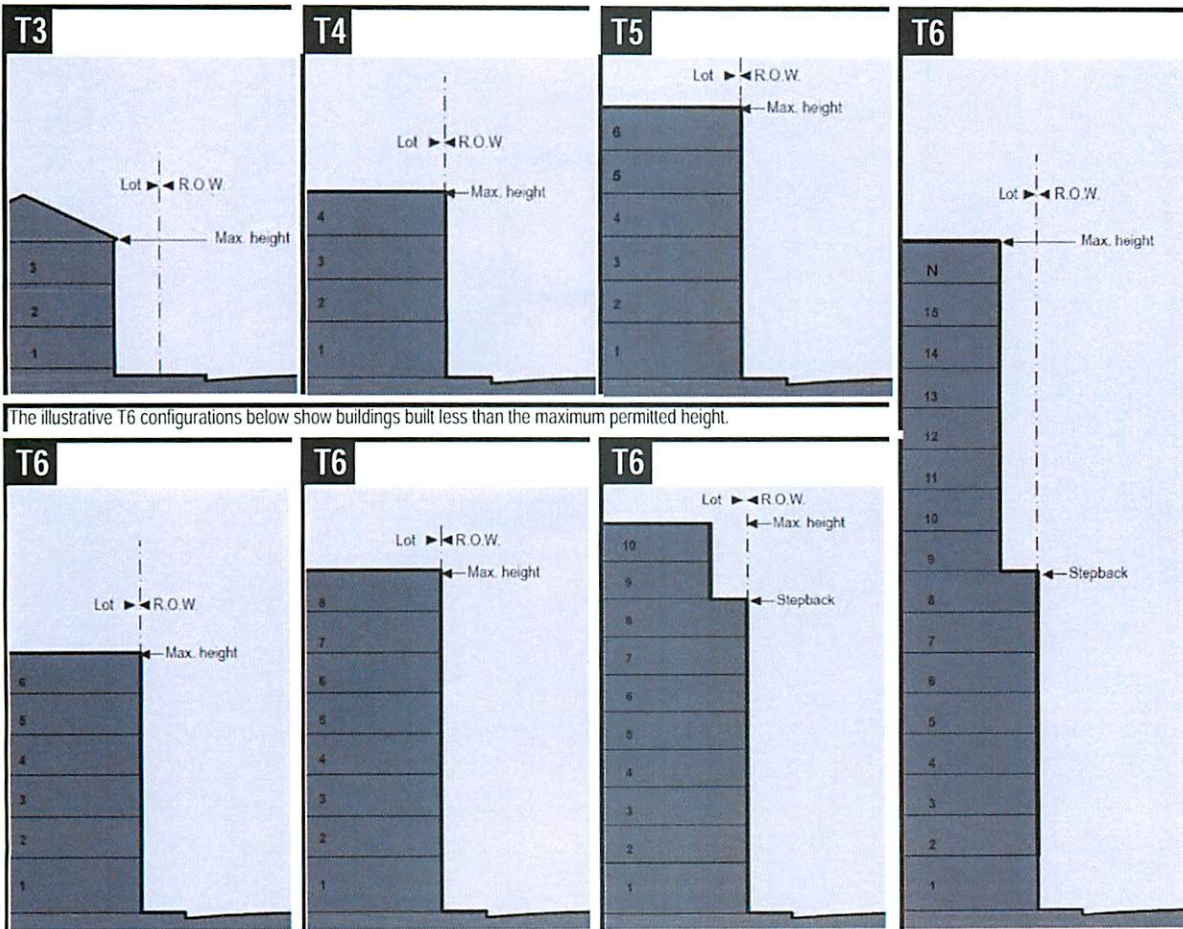
T5  
T6

e. **Playground:** An Open Space designed and equipped for the recreation of children. A Playground should be fenced and may include an open shelter. Playgrounds shall be interspersed within Residential areas and may be placed within a Block. Playgrounds may be included within parks and greens. There shall be no minimum or maximum size.



T2  
T3  
T4  
T5  
T6

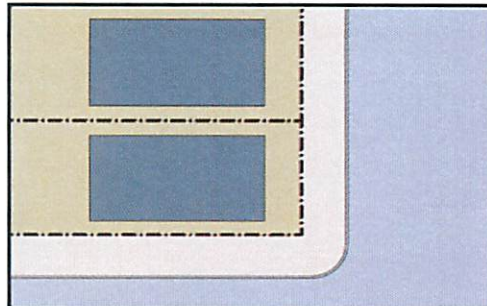
**TABLE 6: Building Form - Height.** This table shows the configurations for different building heights for each Transect Zone. Recess Lines shall occur on higher buildings in Zone T6 as shown. N = maximum height in stories as specified in Table 11: Code Summary.





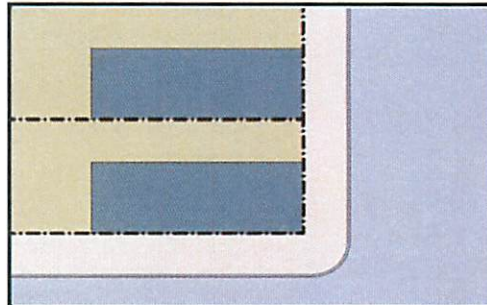
**TABLE 7: Building Placement.** This table approximates the location of the structure relative to the boundaries of each individual Lot, establishing suitable basic building types for each Transect Zone.

**a. Edgeyard:** A building that occupies the center of its lot with Setbacks on all sides. This is the least urban of types as the front yard sets it back from the Frontage, while the side yards weaken the spatial definition of the public Thoroughfare space. The front yard is intended to be visually continuous with the yards of adjacent buildings. The rear yard can be secured for privacy by fences and a Backbuilding and/or Outbuilding.



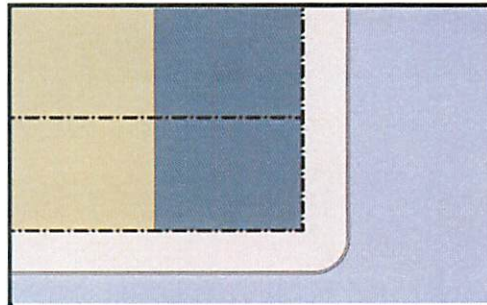
T3  
T4  
T5  
T6

**b. Sideyard:** A building that occupies one side of the lot with the Setback to the other side. A shallow Frontage Setback defines a more urban condition. If the adjacent building is similar with a blank side wall, the yard can be quite private. This type permits systematic climatic orientation in response to the sun or the breeze. If a Sideyard House abuts a neighboring Sideyard House, the type is known as a Twin or double house. Energy costs, and sometimes noise, are reduced by sharing a party wall in this disposition.



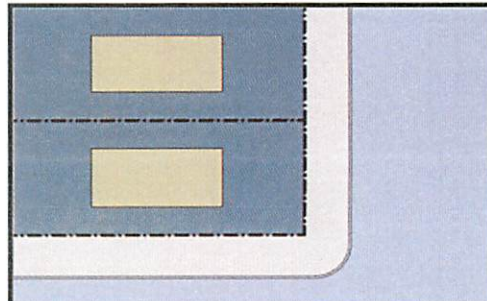
T4  
T5  
T6

**c. Rearyard:** A building that occupies the full Frontage, leaving the rear of the lot as the sole yard. This is a very urban type as the continuous Facade steadily defines the public Thoroughfare. The rear Elevations may be articulated for functional purposes. In its Residential form, this type is the Rowhouse. For its Commercial form, the rear yard can accommodate substantial parking.



T4  
T5  
T6

**d. Courtyard:** A building that occupies the boundaries of its lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.



T5  
T6



TABLE 8: Private Frontages. The Private Frontage is the areas between the building Facades and the lot lines.

	SECTION	PLAN	
	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE
<b>a. Common Yard:</b> a planted Frontage wherein the Façade is set back substantially from the Frontage Line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares.			T3
<b>b. Porch &amp; Fence:</b> a planted Frontage where the Façade is set back from the Frontage Line with an attached porch permitted to Encroach. A fence, wall, or hedge at the Frontage Line maintains street spatial definition. Porches shall be no less than 8 feet deep.			T3 T4
<b>c. Terrace or Lightwell:</b> a frontage wherein the Façade is setback back from the Frontage Line by an elevated terrace or sunken Lightwell. This type buffers Residential use from urban Sidewalks and removes the private yard from public encroachment. Terraces are suitable for conversion to outdoor cafes. Syn: Dooryard.			T4 T5 T6
<b>d. Forecourt:</b> a Frontage wherein the Façade is close to the Frontage Line and the central portion is set back. The forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other Frontage types. Large trees within the Forecourts may overhang the Sidewalks.			T4 T5 T6
<b>e. Stoop:</b> a Frontage wherein the Façade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to ensure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use. Stoops shall be no less than 30 inches deep.			T4 T5 T6
<b>f. Shopfront:</b> a Frontage wherein the Façade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has glazing on the Sidewalk level and an awning that may overlap the sidewalk. Syn: Retail Frontage.			T4 T5 T6
<b>g. Gallery:</b> a Frontage wherein the Façade is aligned with the Frontage Line with an attached cantilevered shed or lightweight colonnade overlapping the Sidewalk. This type is conventional for Retail use. The Gallery should be no less than 10 feet wide and should overlap the sidewalk to within 2 feet of the Curb.			T5 T6
<b>h. Arcade:</b> a colonnade supporting habitable space that overlaps the Sidewalk, while the Façade at Sidewalk level remains at or behind the Frontage Line. This type is conventional for Retail use. The Arcade shall be no less than 12 feet wide and should overlap the Sidewalk to within 2 feet of the Curb.			T5 T6

# LIVABLE COMMUNITY CODE - V3

City of Doraville

**TABLE 9: Building Function.** This table categorizes Building functions within Transect Zones. For Specific Function and Use permitted By Right or by Conditional Use Permit, see Table 10: Specific Function and Use.

	T3	T4	T5   T6
<b>a. RESIDENTIAL</b>	<b>Restricted Residential:</b> The number of dwellings on each Lot is restricted to one within a Principal Building and one within an Accessory Building. Both dwellings shall be under single ownership. The habitable area of the Accessory Unit shall not exceed 440 sf, excluding the parking area.	<b>Limited Residential:</b> The number of dwellings on each Lot is unlimited within One Principle Building except by form-based standards elsewhere in this Code, and limited to one unit within an Accessory Building. All dwelling units shall be under single ownership. The habitable area of the Accessory Unit shall not exceed 440 sf, excluding the parking area.	<b>Open Residential:</b> The number of dwelling units and buildings on each lot is unlimited except by standards elsewhere in this Code.
<b>b. LODGING</b>	<b>Restricted Lodging:</b> Up to two bedrooms for lodging is permitted on each lot. The lot must be owner occupied. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.	<b>Limited Lodging:</b> Up to three bedrooms for lodging is permitted on each lot, restricted to two bedrooms in an Accessory Building. The lot must be owner occupied. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.	<b>Open Lodging:</b> Unlimited bedrooms for lodging is permitted on each lot. Food service may be provided at all times.
<b>c. OFFICE</b>	<b>Restricted Office:</b> Office functions are restricted to home occupations by the owner, with no more than one employee.	<b>Limited Office:</b> The building area available for Office functions on each Lot is limited to the first Story of the Principal Building and/or the Accessory Building.	<b>Open Office:</b> The building area available for Office functions is unlimited.
<b>d. RETAIL AND SERVICES</b>	<b>Prohibited Retail and Services:</b> Retail and Service functions are not permitted.	<b>Limited Retail and Services:</b> The building area available for Retail and Service functions is limited to the first story of buildings at corner locations, not more than one per block. The specific use shall be further limited to a maximum floor area of 1,500 square feet.	<b>Open Retail and Services:</b> The building area available for Retail and Service functions is unlimited.
<b>e. CIVIC</b>	See Table 10	See Table 10	See Table 10
<b>f. OTHER</b>	See Table 10	See Table 10	See Table 10

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**TABLE 10: Specific Function and Use.** Specific Function and Use. This table expands the categories of Table 9: Building Function to delegate specific uses within Functions categories by Transect Zone. Uses that are not included or left blank are prohibited.

**R: ALLOWED BY RIGHT**

**C: ALLOWED BY CONDITIONAL USE PERMIT**

a. RESIDENTIAL		T3	T4	T5	T6
Attached Single-Family Dwelling (limited to two units per building)		R	R	R	
Detached Single-Family Dwelling		R	R	R	
Fraternity or Sorority House			C	C	C
Group or Congregate Personal Care Centers, Assisted Living, and Nursing Home			C	C	C
Live-Work		R	R	R	R
Multiple Family Dwelling			R	R	R
Mobile, Modular, and Manufactured Single-Family Detached Dwelling					
Moved-in Single Family Detached Structure					
Row House			R	R	R
Accessory Unit		R	R	R	
b. LODGING					
Hotel				C	C
Student Dormitory			C	C	C
c. OFFICE					
Offices				R	R
Live/Work Unit			R	R	R
d. RETAIL					
Retail			R	R	R
Display Gallery			R	R	R
Restaurant			R	R	R
Kiosk			R	R	R
Drive-Through Facility**				R	R
Push Cart				R	R
Liquor Selling Establishment				C	C
Adult Entertainment					
e. CIVIC					
Bus Shelter		R	R	R	R
Church and Other Places of Worship		C	C	C	C
Convention Center				R	R
Conference Center				R	R
Exhibition Center				R	R
Fountain or Public Art		R	R	R	R
Live Theater				C	C
Monastery or Convent		C	C	C	C
Movie Theater				C	C
Museum				R	R
Outdoor Auditorium, Amphitheater		C	C	C	C
Parking Structure				R	R
Passenger Terminal				R	R
Playground		R	R	R	R
Sports Stadium					
f. OTHER: AUTOMOTIVE		T3	T4	T5	T6
Automobile Fuel Station and Convenience Store				R	R
Automobile Sale				C	C
Automotive, Passenger Truck, and Sport Utility Vehicle Rental				C	C
Automobile Wrecking, Automobile Junkyard, or Salvage Yard					
Car Wash (automatic or coin operated)				C	C
Drive-Through Facility*				C	C
Emission Inspection and Testing Facility				C	C
Tax Service and Dispatch Agency				C	C
Vehicular Service				C	C
f. OTHER: CIVIL SUPPORT					
Cemetery		C	C	C	C
Correctional and Detention Facility					
Government and Public Building		C	C	C	C
Funeral Home, Mortuary				C	C
Hospital				C	C
Medical or Veterinary Clinic				C	C
f. OTHER: EDUCATION					
College				C	C
Day Care Center (licenses)		C	C	C	C
Pre-School, Kindergartens		R	R	R	R
School - Public or Private (Grades 1 through 12)		C	C	R	R
Special Training and Schooling Service				C	C
f. OTHER: INDUSTRIAL					
Courier or Messenger Service				R	R
Cremation Facility					
Electric Substation				C	C
Electronic Manufacturing and Assembly				C	C
Greenhouse and Growing Operation				C	C
Limited Manufacturing Activity				R	R
Manufacturing				C	C
Moving and Storage Company				C	C
Processing and Compounding of Nonexplosive Materials				C	C
Scientific or Research Laboratory or Testing Facility				R	R
Self-Service/Mini-Storage Warehouse Facility				C	C
Warehouse				C	C
Wholesale				C	C
Wireless Transmitter		C	C	C	C


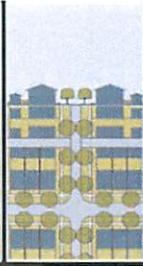
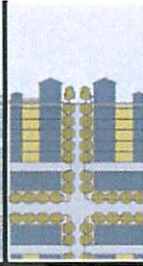
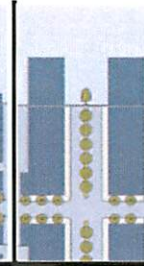
\*Drive-through facilities are considered accessory to a Retail or Automotive Function.



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City of Doraville

TABLE 11: Code Summary

	 T3 SUB-URBAN ZONE	 T4 GENERAL URBAN ZONE	 T5 URBAN CENTER ZONE	 T6 URBAN CORE	
<b>a. RESIDENTIAL DENSITY (See Section 1.6)</b>					
By Right	6 unit / ac.	12 unit / ac.	50 units / ac.	80 units / ac.	
<b>b. BLOCK SIZE</b>					
Block Perimeter	3,000 ft. max.	2,400 ft. max.	3,200 ft. max.	3,200 ft. max.	
<b>c. THOROUGHFARES (See Table 3 and Table 4)</b>					
HW	permitted	not permitted	not permitted	not permitted	
BV	permitted	permitted	permitted	permitted	
AV	permitted	permitted	permitted	permitted	
CS	not permitted	not permitted	permitted	permitted	
DR	permitted	permitted	permitted	permitted	
ST	permitted	permitted	permitted	permitted	
RD	permitted	not permitted	not permitted	not permitted	
Rear Lane	permitted	required, or Alley	not permitted	not permitted	
Rear Alley	permitted	required, or Lane	required	required	
Path	permitted	permitted	not permitted	not permitted	
Passage	permitted	permitted	permitted	permitted	
Multi-Use Trail	permitted	permitted	permitted	permitted	
Equestrian Trail	permitted	permitted	permitted	permitted	
Bicycle Lane	permitted	permitted	permitted	permitted	
Bicycle Route	permitted	permitted	permitted	permitted	
<b>d. CIVIC SPACES (See Table 5)</b>					
Park	permitted	permitted	permitted	permitted	
Green	permitted	permitted	permitted	permitted	
Square	not permitted	permitted	permitted	permitted	
Plaza	not permitted	not permitted	permitted	permitted	
Playground	permitted	permitted	permitted	permitted	
<b>e. LOT OCCUPATION</b>					
Lot Width	70 ft. min 120 ft. max.	18 ft. min 96 ft. max.	18 ft. min no max.	18 ft. min no max.	
Lot Coverage	60% max.	70% max.	100% max.	100% max.	
<b>f. SETBACKS - PRINCIPAL BUILDING (See Table 14)</b>					
(f.1) Front Setback Principal	20 ft. min.	10 ft. min. 30 ft. max.	2 ft. min. 15 ft. max.	2 ft. min. 15 ft. max.	
(f.2) Front Setback Secondary	12 ft. min.	8 ft. min. 20 ft. max.	2 ft. min. 15 ft. max.	2 ft. min. 15 ft. max.	
(f.3) Side Setback	5 or 10 ft. min. <sup>2</sup>	0 ft. min.	0 ft. min.	0 ft. min.	
(f.4) Rear Setback	12 ft. min.	3 ft. min.	3 ft. min.	3 ft. min.	
Frontage Buildout <sup>1</sup>	30% min.	50% min.	50% min.	50% min.	
<b>g. SETBACKS - OUTBUILDING (See Table 14)</b>					
Front Setback	20 ft. min. + bldg. setback	20 ft. min. + bldg. setback	40 ft. max. from rear prop	40 ft. max. from rear prop	
Side Setback	3 ft. or 6 ft. min. <sup>3</sup>	0 ft. or 3 ft. min. <sup>3</sup>	0 ft. min.	0 ft. min.	
Rear Setback	3 ft. min.	3 ft.	3 ft. max.	3 ft. max.	
<b>h. BUILDING PLACEMENT (See Table 7)</b>					
Edgeyard	permitted	permitted	permitted	permitted	
Sidyard	not permitted	permitted	permitted	permitted	
Rearyard	not permitted	permitted	permitted	permitted	
Courtyard	not permitted	not permitted	permitted	permitted	
<b>i. PRIVATE FRONTAGES (See Table 8),</b>					
Common Yard	permitted	not permitted	not permitted	not permitted	
Porch & Fence	permitted	permitted	not permitted	not permitted	
Terrace, Dooryard	not permitted	permitted	permitted	permitted	
Forecourt	not permitted	permitted	permitted	permitted	
Stoop	not permitted	permitted	permitted	permitted	
Shopfront	not permitted	permitted	permitted	permitted	
Gallery	not permitted	not permitted	permitted	permitted	
Arcade	not permitted	not permitted	permitted	permitted	
<b>j. BUILDING FORM-HEIGHT (See Table 6)</b>					
Principal Building	3 stories max.	4 stories max.	6 stories max.	20 stories max.	
Outbuilding	2 stories max.	2 stories max.	2 stories max.	2 stories max.	
<b>k. BUILDING FUNCTION (See Table 9 and Table 10)</b>					
Residential	restricted use	limited use	open use	open use	
Lodging	restricted use	limited use	open use	open use	
Office	restricted use	limited use	open use	open use	
Retail and Services	prohibited use	limited use	open use	open use	

ARTICLE 4  
ARTICLES 1, 2, 3

1. Minimum setbacks and building separations shall be subject to fire and building code
2. Transect Zone notwithstanding, along State Routes the minimum required frontage buildout shall be 50%

**TABLE 12A: Landscaping - Trees.** This table shows permitted tree and shrub species within the Public and the Private Frontages. All plant materials shall be equal to or surpass specifications as defined in the current issue of "American Standards for Nursery Stock," published by the American Association of Nurserymen, Inc. All overstory trees shall have a minimum caliper of 3 inches measured 18 inches above ground.

■ PERMITTED

OVERSTORY TREES	PUBLIC FRONTAGE	PRIVATE FRONTAGE
Scientific Name - Common Name		
Acer barbatum - Florida Maple, Southern Sugar Maple		■
Acer floridanum - Florida Maple, Southern Sugar Maple		■
Acer rubrum - Red Maple	■	■
Acer saccharum - Sugar Maple	■	■
Betula nigra - River Birch		■
Carya illinoensis - Pecan		■
Carya ovata - Shagbark Hickory	■	■
Castanea mollissima - Chinese Chestnut	■	■
Cunninghamia lanceolata - Common Chinafir		■
Fagus grandifolia - American Beech	■	■
Fraxinus pennsylvanica - Green Ash	■	■
Ginkgo biloba - Ginko	■	■
Halesia carolinia - Silverbell	■	■
Ilex opaca - American Holly	■	■
Juniperus virginiana - Eastern Red Cedar	■	■
Liquidambar styraciflua - Sweetgum <sup>1</sup>		■
Liriodendron tulipifera - Yellow-poplar	■	■
Magnolia grandiflora - Southern Magnolia		■
Magnolia virginiana - Sweetbay Magnolia		■
Metasequoia glyptostroboides - Dawn Redwood		■
Nyssa aquatica - Swamp Tupelo		■
Nyssa sylvatica - Black Gum		■
Oxydendrum aboreum - Sourwood		■
Pinus elliotii - Slash Pine		■
Pinus strobus - White Pine		■
Pinus taeda - Loblolly Pine		■
Pinus virginiana - Virginia Pine		■
Pitachia chinensis - Chinese Pistache		■
Platanus occidentalis - American Sycamore		■
Quercus accutissima - Sawtooth Oak	■	■
Quercus alba - White Oak	■	■
Quercus coccinea - Scarlet Oak	■	■
Quercus falcata - Southern Red Oak	■	■
Quercus nigra - Water Oak	■	■
Quercus phellos - Willow Oak	■	■
Quercus palustris - Pin Oak	■	■
Quercus prinus - Chestnut Oak	■	■
Quercus shumardi - Shumard Oak	■	■
Robinia pseudoacacia - Black Locust	■	■
Sassafras albidum - Sassafras		■
Sophora japonica - Japanese Pagodatree		■
Taxodium disticum - Bald Cypress		■
Ulmus americana cultivar - Princeton Elm	■	■
Ulmus parvifolia - True Chinese Elm	■	■
Zelkova serrata - Japanese Zelkova	■	■

UNDERSTORY TREES	PUBLIC FRONTAGE	PRIVATE FRONTAGE
Scientific Name - Common Name		
Acer buergerianum - Trident Maple	■	■
Acer leucoderme - Chalk Maple		■
Amelanchier arborea - Serviceberry		■
Carpinus caroliniana - American Hornbeam		■
Cercus canadensis - Eastern Redbud	■	■
Chionanthus virginicus - Fringe tree, Grancy Graybeard		■
Continus coggygia - Common Smoketree		■
Cornus alternifolia - Alternate Leaf Dogwood		■
Cornus florida - Flowering Dogwood		■
Cornus kousa - Chinese Dogwood		■
Cotinus obovatus - American Smoketree		■
Crataegus phaenopyrum - Washington Hawthorne		■
Cupressocyparis leylandii - Leyland Cypress		■
Eriobotrya japonica - Loquat		■
Hamamelis virginiana - Witch-hazel		■
Ilex x attenuata - Savannah Holly		■
Ilex decidua - Decidious Holly		■
Ilex latifolia - Lusterleaf Holly		■
Ilex x Nellie R. Stevens - Nellie R. Stevens Holly		■
Ilex opaca - American Holly		■
Ilex verticellata - Winterberry		■
Ilex vomitoria - Yaupon Holly		■
Ilicium floridanum - Florida Anise-tree		■
Koelreuteria bipinnata - Golden Rain Tree		■
Koelreuteria paniculata - Goldenraintree		■
Lagerstroemia species - Crape myrtle species	■	■
Maclura pomifera - Osage-orange		
Magnolia x soulangiana - Saucer Magnolia		■
Magnolia stellata - Star Magnolia		■
Malus species - Flowering Crab		
Myrica cerifera - Waxmyrtle		■
Ostrya virginia - Ironwood		■
Prunus serrulata - Japanese Flowering Cherry		■
Prunus x yedoensis - Yoshino Cherry		■
Pyrus calleryana - Bradford Pear		
Rhus species - Sumac		■
Vitex agnus-castus - Chastetree		■

1. Fruitless variety only.



City of Doraville

[illegible]

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**TABLE 13: Special Districts.** The metrics for each column of this table (SD1, SD2, etc.) are to be filled in for each Special district as they are permitted pursuant to a Regulating Plan or Special Area Plan. More pages can be added. Special Districts that do not have provisions noted herein shall be governed by the standards of any other City of Doraville zoning district as set fourth in Sections 1.4.4 (c) or (d), as applicable.

	SD1	SD2	SD3	SD4	SD5	SD6	SD7	
<b>a. RESIDENTIAL DENSITY</b>								
By Right	X							
<b>b. BLOCK SIZE</b>								
Block Perimeter	X							
<b>c. THOROUGHFARES</b>								
HW	X							
BV	X							
AV	X							
CS	X							
DR	X							
ST	X							
RD	X							
Rear Lane	X							
Rear Alley	X							
Path	X							
Passage	X							
Bike Trail	X							
Bike Lane	X							
Bike Route	X							
<b>d. CIVIC SPACES</b>								
Park	X							
Green	X							
Square	X							
Plaza	X							
Playground	X							
<b>e. LOT OCCUPATION</b>								
Lot Width	X							
Lot Coverage	X							
<b>f. SETBACKS - PRINCIPAL BUILDING</b>								
Front Setback	X							
Side Setback	X							
Rear Setback	X							
<b>g. BUILDING PLACEMENT</b>								
Edgeyard	X							
Sidyard	X							
Rearyard	X							
<b>h. PRIVATE FRONTAGES</b>								
Common Yard	X							
Porch & Fence	X							
Terrace, Dooryard	X							
Forecourt	X							
Stoop	X							
Shopfront	X							
Gallery	X							
Arcade	X							
Open Parking	X							
<b>i. BUILDING FORM - HEIGHT</b>								
Principal Building	X							
Outbuilding	X							
<b>j. BUILDING FUNCTION</b>								
Residential	X							
Lodging	X							
Office	X							
Retail	X							

BUILDING PLACEMENT

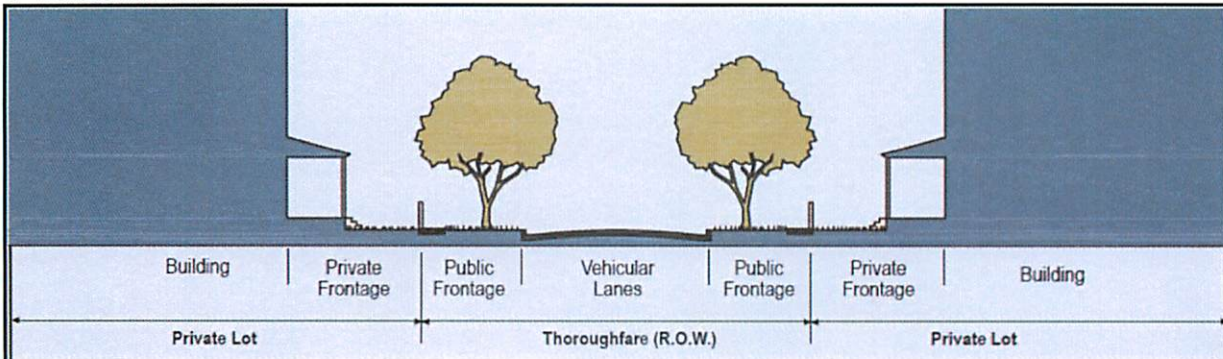
BUILDING FORM

FUNCTION

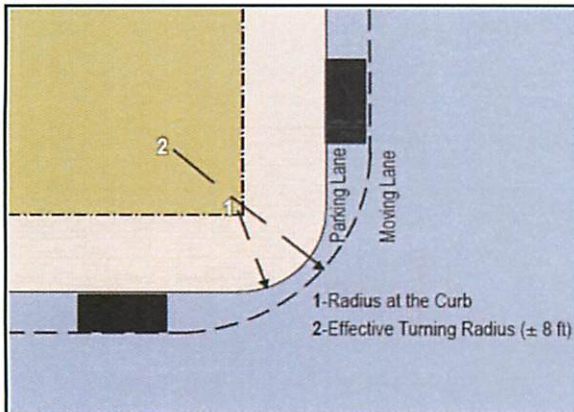


TABLE 14: Definitions Illustrated

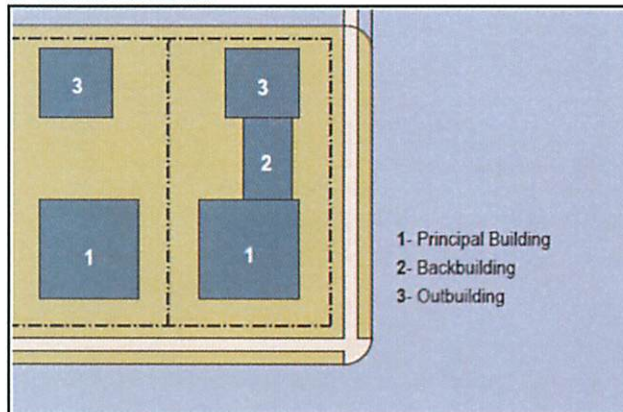
a. THOROUGHFARE & FRONTAGES



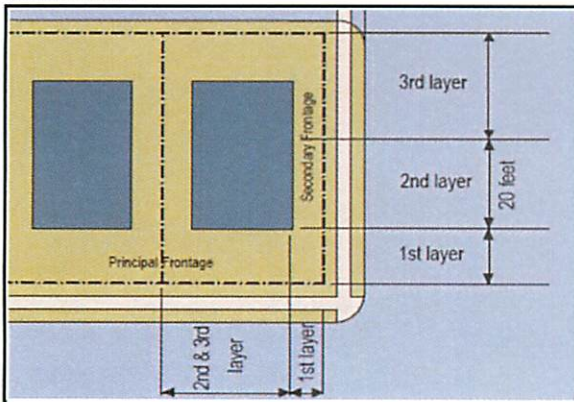
b. TURNING RADIUS



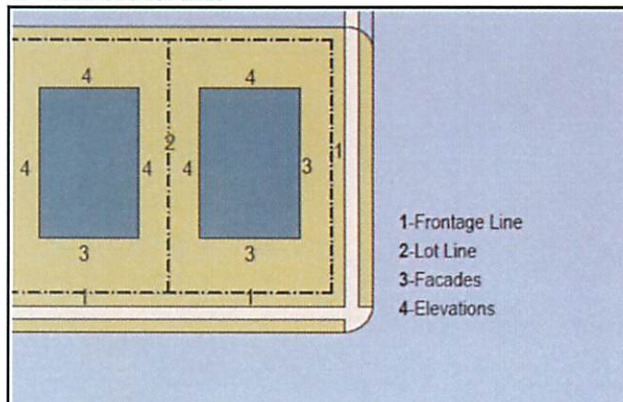
c. BUILDING DISPOSITION



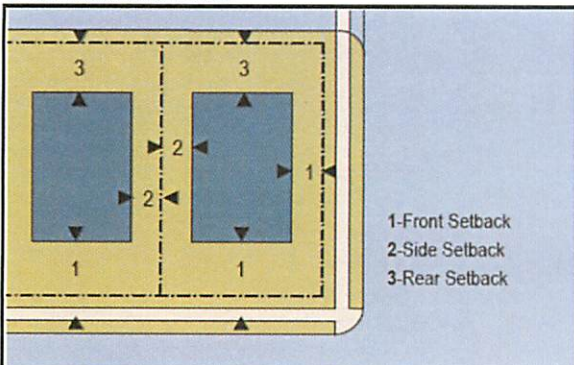
d. LOT LAYERS



e. FRONTAGE & LOT LINES



f. SETBACK DESIGNATIONS



## ARTICLE 6. DEFINITION OF TERMS

### DEFINITIONS

This Article provides definitions for terms in this code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article or in Article IV of the zoning ordinance, then the Director of Community Development shall determine the correct definition. Items in italics refer to *Articles*, *Sections*, or *Tables* in the code.

**A-Grid:** cumulatively, those Thoroughfares that by virtue of their pre-existing pedestrian-supportive qualities, or their future importance to pedestrian connectivity, are held to the highest standards prescribed by this code. See B-Grid.

**Accessory Building:** an Outbuilding with an Accessory Unit.

**Accessory Unit:** a small apartment sharing ownership and utility connections with a Principal Building; it may or may not be within an Outbuilding. (Syn: ancillary unit)

**Allee:** a regularly spaced and aligned row of trees usually planted along both sides of a Thoroughfare or Path.

**Arcade:** a Private Frontage conventional for Retail use wherein the Facade is a colonnade supporting habitable space that overlaps the Sidewalk, while the Facade at Sidewalk level remains at the Frontage Line.

**Avenue (AV):** a Thoroughfare of high vehicular capacity and low to moderate speed, acting as a short distance connector between urban centers, and usually equipped with a landscaped median.

**B-Grid:** cumulatively, those Thoroughfares that by virtue of their use, location, or absence of pre-existing pedestrian-supportive qualities, may meet a standard lower than that of the A-Grid. B-Grid Thoroughfares are often privately-owned. See A-Grid.

**Backbuilding:** a single-Story structure connecting a Principal Building to an Outbuilding. See *Table 14: Definitions Illustrated*.

**Bicycle Lane (BL):** a dedicated lane for cycling within a moderate-speed vehicular Thoroughfare, demarcated by striping and having a minimum width of 5 feet.

**Bicycle Route (BR):** a Thoroughfare suitable for the shared use of bicycles and automobiles moving at low speeds.

**Block:** the aggregate of private Lots, Passages, Rear Alleys and Rear Lanes, circumscribed by Thoroughfares.

**Block Face:** the aggregate of all the building Facades on one side of a Block.

**Boulevard (BV):** a Thoroughfare designed for high vehicular capacity and moderate speed, traversing an Urbanized area. Boulevards are usually equipped with Slip Roads buffering Sidewalks and buildings.

**Building Form:** the shape of a building, based on its massing, Private Frontage, and height.

**Building Placement:** the arrangement of a building on its lot.

**By Right:** characterizing a proposal or component of a proposal for a Building Scale Plan (*Article 4*) that complies with the code and is permitted and processed administratively, without public hearing. See **Variance**.

**Civic:** the term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking.

**Civic Building:** a building operated by a city, county, state, or federal government.

**Civic Building Sites:** a parcel containing a Civic Building.

**Civic Space:** an outdoor area dedicated for public use, but which may be under public or private ownership. Civic Space types are defined by the combination of certain physical constants including the relationships among their intended use, their size, their landscaping and their Enfronting buildings. See *Table 5: Civic Space*.

**Civic Zone:** designation for sites dedicated for Civic Building Sites and Civic Spaces.

**Commercial:** the term collectively defining workplace, Office, Retail, and Lodging Functions.

**Common Yard:** a planted Private Frontage wherein the Facade is set back from the Frontage line. It is visually continuous with adjacent yards. *See Table 8: Private Frontages.*

**Cottage:** an Edgeyard building type. A single-family dwelling, on a regular Lot, often shared with an Accessory Building in the back yard.

**Courtyard Building:** a building that occupies the boundaries of its Lot while internally defining one or more private patios. *See Table 8: Private Frontages.*

**Curb:** the edge of the vehicular pavement that may be raised or flush to a swale. It usually incorporates the drainage system. *See Table 4A: Public Frontages - General and Table 4B: Public Frontages - Specific.*

**Design Speed:** is the velocity at which a Thoroughfare tends to be driven without the constraints of signage or enforcement. There are three ranges of speed: Low: (25 MPH); Moderate: (25-35 MPH); High: (above 35 MPH). Lane width is determined by desired Design Speed. *See Table 3A: Vehicular Lane Dimensions.*

**Dooryard:** a Private Frontage type with a shallow Setback and front garden or patio, usually with a low wall at the Frontage Line. *See Table 8: Private Frontages. (Variant: Lightwell)*

**Drive:** a Thoroughfare along the boundary between an Urbanized and a natural condition, usually along a waterfront, Park, or promontory. One side has the urban character of a Thoroughfare, with Sidewalk and building, while the other has the qualities of a Road or parkway, with naturalistic planting and rural details.

**Edgeyard Building:** a building that occupies the center of its Lot with Setbacks on all sides. *See Table 7: Building Placement.*

**Effective Turning Radius:** the measurement of the inside Turning Radius taking parked cars into account. *See Table 14: Definitions Illustrated.*

**Elevation:** an exterior wall of a building not along a Frontage Line. *See Table 14: Definitions Illustrated. See: Facade.*

**First Layer:** the privately held Layer between the Frontage Line and the Principal Building front Setback shown in Table 11: Code Summary. Where both a minimum and maximum Setback exists, the First Layer shall extend to the maximum. *See Table 14: Definitions Illustrated.*

**Encroach:** to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.

**Encroachment:** any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public Frontage, or above a height limit.

**Enfront:** to place an element along a Frontage, as in "porches Enfront the street."

**Facade:** the exterior wall of a building that is set along a Frontage Line. *See Elevation.*

**Forecourt:** a Private Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. *See Table 8: Private Frontages.*

**Frontage:** the area between a building Facade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into **Private Frontage** and **Public Frontage**. *See Table 4A: Public Frontages - General and Table 8: Private Frontages.*

**Frontage Line:** a line bordering a Public Frontage that may or not be congruent with the Lot Line. Facades facing Frontage Lines define the public realm and are therefore more regulated than the Elevations facing other Lot Lines. *See Table 14: Definitions Illustrated.*

**Function:** the use or uses accommodated by a building and its Lot, categorized as *Restricted, Limited, or Open*, according to the intensity of the use. *See Table 9: Building Function and Table 10: Specific Function and Use.*

**Gallery:** a Private Frontage conventional for Retail use wherein the Facade is aligned close to the Frontage Line with an attached cantilevered shed or lightweight colonnade overlapping the Sidewalk. *See Table 8: Private Frontages.*

**Green:** a Civic Space type for unstructured recreation, spatially defined by landscaping rather than building Frontages. *See Table 5.*

**Greenway:** an open space corridor which includes a continuous Multi-Use Trail.

**Gross Site Area:** all land within a site's boundaries.

**Highway:** a rural and suburban Thoroughfare of high vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T-2, and T-3).

**Home Occupation:** non-Retail Commercial enterprises. The work quarters should be invisible from the Frontage, located either within the house or in an Outbuilding. Permitted activities are defined by the Restricted Office category. *See Table 9: Building Function.*

**House:** an Edgeyard building type, usually a single-family dwelling on a large Lot, often shared with an Accessory Building in the back yard. (Syn: single.)

**Layer:** a range of depth of a Lot within which certain elements are permitted. *See Table 14: Definitions Illustrated.*

**Lightwell:** A Private Frontage type that is a below-grade entrance or recess designed to allow light into basements. *See Table 8: Private Frontages.* **Liner Building:** a building specifically designed to mask a parking lot or a Parking Structure from a Frontage.

**Live-Work:** a Mixed Use unit consisting of a Commercial and Residential Function. The Commercial Function may be anywhere in the unit. It is intended to be occupied by a business operator who lives in the same structure that contains the Commercial activity. . **Lodging:** premises available for daily renting of guest rooms. *See Table 9: Building Function and Table 10: Specific Function and Use.*

**Lot Line:** the boundary that legally and geometrically demarcates a lot.

**Lot Width:** the length of the Principal Frontage Line of a lot.

**Manufacturing:** premises available for the creation, assemblage and/or repair of objects, using table-mounted electrical machinery or artisanal equipment, and including their Retail sale.

**Mixed Use:** multiple Functions within the same building through superimposition or adjacency, or in multiple buildings by adjacency.

**Multi-Use Trail (MT):** a shared paved pedestrian and bicycle way running independent of a vehicular Thoroughfare and having a minimum width of 12 feet and a maximum width of 20 feet.

**Office:** premises available for the transaction of general business but excluding Retail, Service, and Industrial Functions.

**Open Parking:** an uncovered parking area not within a Parking Structure. (Syn: parking lot)

**Outbuilding:** an Accessory Building, usually located toward the rear of the same Lot as a Principal Building, and sometimes connected to the Principal Building by a Backbuilding. *See Table 14: Definitions Illustrated.*

**Park:** a Civic Space type that is a natural preserve available for unstructured recreation. *See Table 5.*

**Parking Structure:** a building containing one or more Stories of parking above grade.

**Passage (PS):** a pedestrian connector, open or roofed, that passes between buildings to provide shortcuts through long Blocks and connect rear parking areas to Frontages.

**Path (PT):** a pedestrian way traversing a Park or rural area, with landscape matching the contiguous open space, ideally connecting directly with the urban Sidewalk network.

**Planter:** the element of the Public Frontage which usually accommodates street trees, whether continuous or individual. The Planter shall be located between the Sidewalk and the Curb.

**Plaza:** a Civic Space type designed for Civic purposes and Commercial activities in the more urban Transect Zones, generally paved and spatially defined by building Frontages.

**Principal Building:** the main building on a Lot, usually located toward the Frontage. A Lot may contain more than one Principal Building. *See Table 14: Definitions Illustrated.*

**Principal Entrance:** the main point of access for pedestrians into a building.

**Principal Frontage:** On corner Lots, the Private Frontage designated to bear the address and Principal Entrance to the building, and the measure of minimum Lot width. Prescriptions for the parking Layers pertain only to the Principal Frontage. Prescriptions for the First Layer pertain to both Frontages of a corner Lot. *See Frontage.*

**Private Frontage:** the privately held Layer between the Frontage Line and the Principal Building Facade that bears the Principal Entrance to the building. *See Table 8: Private Frontages and Table 14: Definitions Illustrated.*

**Public Frontage:** the area between the Curb of the vehicular lanes and the Frontage Line. *See Table 4A: Public Frontages - General and Table 4B: Public Frontages - Specific.*

**Rear Alley (RA):** a privately owned and maintained vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Alleys should be paved from building face to building face, with drainage by inverted crown at the center or with roll Curbs at the edges.

**Rear Lane (RL):** a privately owned and maintained vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Lanes may be paved lightly to Driveway standards. The streetscape consists of gravel or landscaped edges, has no raised Curb, and is drained by percolation.

**Rearyard Building:** a building that occupies the full Frontage Line, leaving the rear of the Lot as the sole yard. *See Table 7: Building Placement.* (Var: Rowhouse, Townhouse line prescribed for the full width of a Facade, above which there is a Stepback of a minimum distance, such that the height to this line (not the overall building height) effectively defines the enclosure of the Enfronting public space. *See Table 6: Building Form - Height.*

**Regulating Plan:** a Zoning Map or set of maps that shows the Transect Zones, Civic Zones, Special Districts if any, Thoroughfares, and Special Requirements if any, of areas subject to regulation by this code.

**Residential:** characterizing premises available for long-term human dwelling.

**Retail:** characterizing premises available for the sale of merchandise and food service. *See Table 10: Specific Function & Use and Table 11: Code Summary.*

**Retail Frontage:** Frontage designated on a Regulating Plan that requires or recommends the provision of a Shopfront, encouraging the ground level to be available for Retail use. *See Special Requirements.*

**Road (RD):** a local, rural and suburban Thoroughfare of low-to-moderate vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T2-T3).

**Rowhouse:** a single-family dwelling that shares a party wall with another of the same type and occupies the full Frontage Line. *See Rearyard Building.* (Syn: **Townhouse**)

**Secondary Frontage:** on corner Lots, the Private Frontage that is not the Principal Frontage. As it affects the public realm, its First Layer is regulated. *See Table 14: Definitions Illustrated.*

**Setback:** the area of a Lot measured from the Frontage Line or, in the absence of Frontage Line, the Lot line, to a building Facade or Elevation that is maintained clear of permanent structures, with the exception of Encroachments listed in *Section 4.5.* *See Table 11: Code Summary, item f.*

**Shopfront:** a Private Frontage conventional for Retail use, with substantial glazing and an awning, wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. *See Table 8: Private Frontages.*

**Sidewalk:** the paved section of the Public Frontage dedicated exclusively to pedestrian activity.

**Sideyard Building:** a building that occupies one side of the Lot with a Setback on the other side. This type can be a Single or Twin depending on whether it abuts the neighboring house. *See Table 7: Building Placement.*

**Simulated Divided Lights:** a method of constructing windows in which muntins are affixed to the inside and outside of a panel of insulating glass to simulate the look of true divided light.

**Slip Road:** an outer vehicular lane or lanes of a Thoroughfare, designed for slow speeds while inner lanes carry higher speed traffic, and separated from them by a planted median. (Syn: access lane, service lane)

**Special Area Plan:** an area of 30 acres or more of contiguous lots within an area subject to a Regulating Plan which, because of its size, may establish unique requirements upon approval of the Mayor and City Council.

**Special District (SD):** an area that, by its intrinsic Function, Building Placement, or Building Form, cannot or should not conform to one or more of the Transect Zones specified by this code.

**Specialized Building:** a building that is not subject to Residential, Commercial, or Lodging classification. *See Table 6: Building Form - Height.*

**Special Requirements:** provisions of Section 4.3 of this code and/or the associated designations on a Regulating Plan.

**Square:** a Civic Space type designed for unstructured recreation and Civic purposes, spatially defined by building Frontages and consisting of Paths, lawns and trees, formally disposed. *See Table 5.*

**State Route:** a Thoroughfare under the jurisdiction of the Georgia Department of Transportation.

**Stepback:** a building Setback of at least 10 feet that occurs at a prescribed number of Stories above the ground. *See Table 6: Building Form - Height.*

**Stoop:** a Private Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk for privacy, with an exterior stair and landing at the entrance. *See Table 7: Building Placement.*

**Story:** a habitable level within a building, excluding an Attic or raised basement. *See Table 6: Building Form - Height.*

**Street (ST):** a local urban Thoroughfare of low speed and capacity.

**Substantial Modification:** alteration to an existing building that is valued at more than 60% of the replacement cost of the entire building, if built new according to current standards.

**Swale:** a low or slightly depressed natural area for drainage.

**T-zone: Transect Zone.**

**Thoroughfare:** a public or private way for use by vehicular, bicycle, and pedestrian traffic and to provide access to Lots and Open Spaces, consisting of Vehicular Lanes and the Public Frontage. *See Table 3A: Vehicular Lane Dimensions, Table 3B: Vehicular Lane/Parking Assemblies, and Table 14: Definitions Illustrated, item a.*

**Townhouse:** *See Rearyard Building.* (Syn: **Rowhouse**)

**Transect:** a cross-section of the environment showing a range of different habitats. The rural-urban Transect of the human environment is divided into six Transect Zones. These zones describe the physical form and character of a place, according to the Density and intensity of its land use and Urbanism.

**Transect Zone (T-zone):** one of several geographic areas regulated by this code. Transect Zones are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, Density, height, and Setback requirements, other elements of the intended habitat are integrated, including those of the private Lot and building and Public Frontage. *See Table 1.*

**True Divided Lights:** A term that refers to windows in which multiple individual panes of glass or lights are assembled in the sash using muntins.



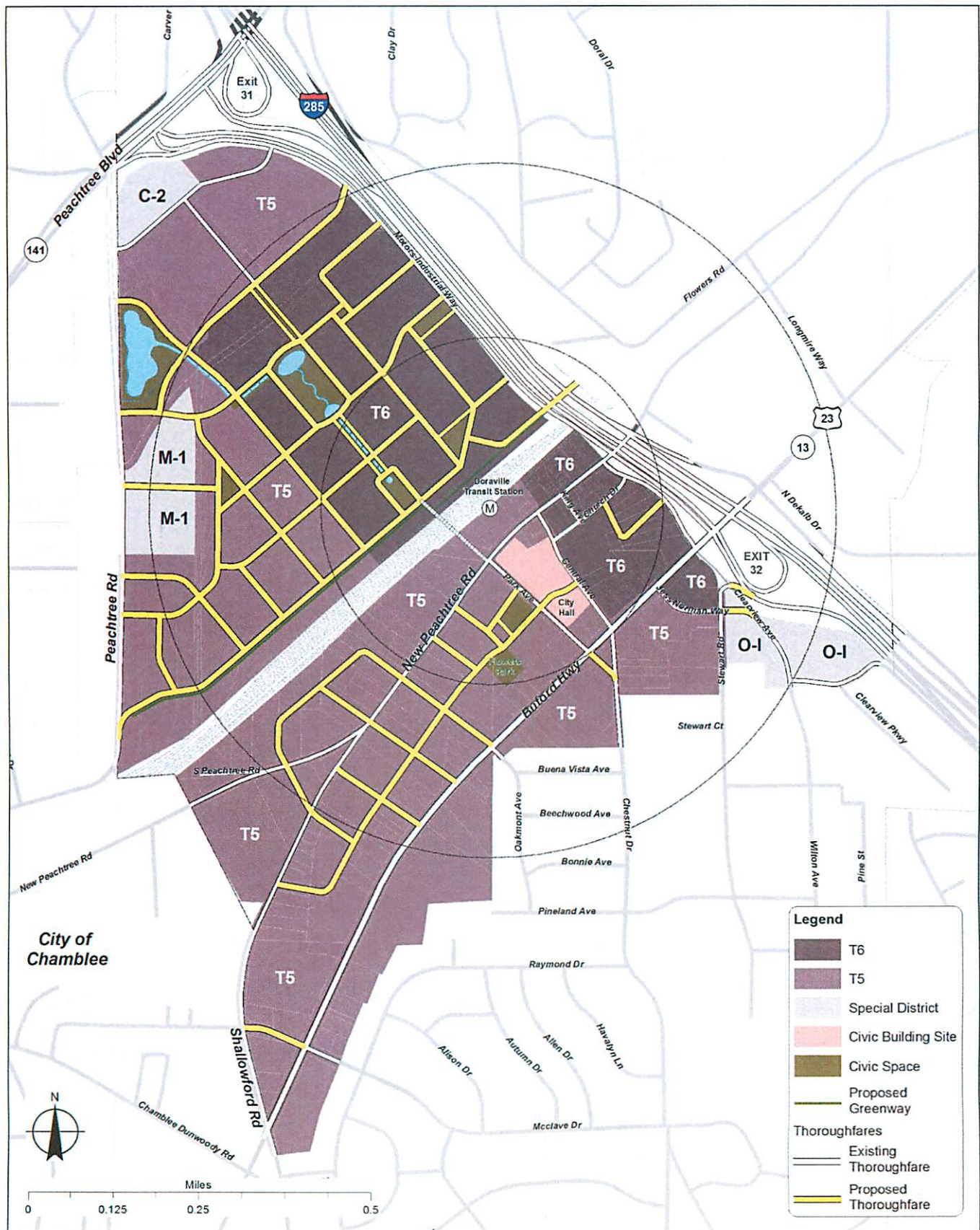
**Turning Radius:** the curved edge of a Thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance, and the more slowly the vehicle is forced to make the turn. See *Table 3B: Vehicular Lane/Parking Assemblies* and *Table 14: Definitions Illustrated*.

**Urbanism:** collective term for the condition of a compact, Mixed Use settlement, including the physical form of its development and its environmental, functional, economic, and sociocultural aspects.

**Urbanized:** generally, developed. Specific to this code, developed at T3 (Sub-Urban) Density or higher.

**Vehicular Service:** the repair, servicing, alteration, restoration, painting, cleaning, or finishing of automobiles, trucks, recreational vehicles, boats and other vehicles as a primary use, including the incidental wholesale and retail sale of vehicle parts as an accessory use. Specifically excluded are automobile service and repair that is part of an automotive sales dealership on the same site, automobile wrecking, automobile junkyards, or salvage yards.

**Yield:** characterizing a Thoroughfare that has two-way traffic but only one effective travel lane because of parked cars, necessitating slow movement and driver negotiation. Also, characterizing parking on such a Thoroughfare.



This map produced using data provided by the City of Doraville or accessed through the DeKalb County Property Appraisal Department Website. Data are not guaranteed. Please contact DeKalb County or the City of Doraville to confirm designations.

# Regulating Plan - V3

Prepared for:  
The City of Doraville  
and the Atlanta Regional Commission

Prepared by:  
Tunnell-Spangler-Walsh & Associates



October 1, 2013





Non-Residential Design Standards  
Guidebook

**WORKING DRAFT**

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# City of Doraville

## Commercial Design Standards Guidebook



This guidebook provides a user-friendly interpretation of Chapter 23 Article XVII which establishes minimum architectural design standards for new non-residential development. The graphics and corresponding text within this manual are interpretations of the standards and are intended to be used only as examples of those standards. This guidebook is not intended to be a substitute for the provisions within Sections 23-1701 through 23-1709 of the City of Doraville Code. The reader is encouraged to review the complete contents of 'Architectural Standards and Guidelines for Commercial Buildings and Projects' within Chapter 23 Article XVII of the City of Doraville Code of Ordinances. Most importantly, this Guidebook is not intended to stifle alternative design solutions which are found to be consistent with the intent and purpose of the Ordinance. The Building Official or his/her designee shall determine such consistency.

For more information contact:

City of Doraville, Georgia

Community Development Department: 770-451-8745



## Intent and Purpose

The stated **Intent and Purpose** of these design standards is:



- To promote architectural and site design treatments which enhance the visual appearance of non-residential development within the City.
- To ensure compatibility and appropriate visual and physical screening in association with commercial, office and industrial uses.
- To maintain and enhance the attractiveness of the streetscape within the community.
- To create and maintain a strong community image and identity by providing for architectural and landscaping treatments that enhance the visual impact and contribution of commercial, office and industrial development in City of Doraville.
- To require articulation that reduces the mass, scale and/or potentially uniform monolithic appearance of large commercial, office and industrial buildings, and insure that such projects incorporate architectural and landscaping features that provide visual interest while allowing design flexibility.

# General Provisions

**Architectural Consistency with Adjacent Structures** - Primary Facades will be architecturally compatible and consistent in character with the facades in the surrounding area (especially in rural settlements, historic areas, historic structures, etc.)

**Architectural Consistency Among Adjacent Facades (same building)** - Secondary Facades on the same building shall be designed with an architectural style, detail, trim features, and roof treatments which are consistent with that of the other Primary/Secondary Facades on the same structure.

**Consistent Level of Detail Among Facades (same building)** - All Primary/Secondary Facades on the same building shall be designed with a similar level of treatment, detail and visual interest as other Primary/Secondary Facades on said structure.

**Alternatives to Windows and Entrances** - In lieu of actual windows or entrances, the design may incorporate niches and alcoves with significant architectural delineation and definition in order to suggest windows, entry features and to meet the spirit of the Ordinance.

**Corporate Colors** – The use of corporate colors is permitted provided that such colors are not patterned so as to compete for visual attention (e.g. polka-dots, stripes). The use of corporate colors shall not create an advertisement of the building itself. Corporate colors shall not violate any other color limitations within the Ordinance.

**Visibility from Adjacent Residential Area** - Any side of an Office, Commercial or Industrial use structure not otherwise meeting the definition of a Primary or Secondary Façade, but which is visible from and adjacent to residential areas, shall be deemed a Secondary Façade and shall meet the architectural requirements for same.

**Exceptions to Secondary Façade Applicability** - Secondary Façade standards may be deemed not applicable or only partially applicable by the Building Official if it is determined that the narrowness and/or lack of visibility of the subject space or façade renders a strict enforcement of the architectural standards to be unfeasible or unnecessary. Any such determination may only be made where the subject space between structures is less than 10 feet wide. Regardless of any such determinations of inapplicability, when the space between buildings is over 10 feet wide, all tree and landscape provisions shall apply.

## Applicability

Which zoning categories and which projects are subject to these regulations?

- Neighborhood Commercial (C-1); General Commercial (C-2); Commercial Transition (C-T); Office/Institutional (O-I); and Office/Warehouse (OW).
- The landscaping provisions for both Primary and Secondary Facades apply to temporary sales offices and model centers.
- The standards are applicable to redevelopment or renovation of existing buildings when more than 50 percent of a Primary or Secondary façade are involved. This 50 percent standard only applies to that façade undergoing renovation or redevelopment. New development or building expansions involving more than a 50 percent increase in gross floor area require full compliance.
- Principle uses, whether they occur on parent parcels or on out-parcels;
- Free-standing ancillary or secondary uses including kiosks, ticket booths, carwashes and gas station canopies.



### What type of drawings shall I submit for review?

In addition to any drawings and exhibits required elsewhere within the Code of Ordinances, complete architectural elevations of each side of all proposed buildings, ancillary structures and/or free-standing structures (e.g. canopies, screen walls, kiosks, carwashes,) shall be submitted. A site plan, at a scale of approximately 1 inch = 20 feet, shall also be submitted which clearly identifies and distinguishes all foundation planting areas and paving material surfaces.

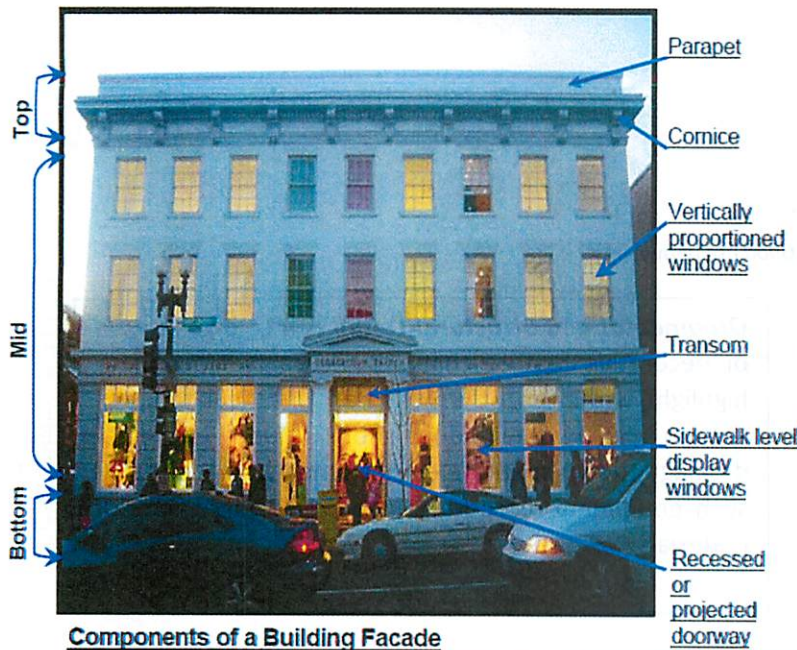
### How are colors restricted?

Buildings' exterior surfaces may not incorporate electric, fluorescent or neon color schemes. A display board of acceptable color tints and ranges is available for viewing at the Planning & Development Department at City Hall. Unpainted natural stone or roofing material is exempt from these restrictions.

# Architectural Definitions *(Ref. Sec. 23-1703)*

**Primary Façade(s)** shall mean any and all sides of a building which: 1) face an adjacent public right-of-way; or 2) has a primary customer entrance. NOTE: Many buildings have multiple Primary Facades.

**Secondary Façade(s)** shall mean any and all sides of a building that, while not fulfilling the definition of a Primary Façade, is either visible from a public right-of-way or roadway or has a secondary or tertiary customer entrance. NOTE: Many buildings have multiple Secondary Facades.



**Roof line variations and facades which are compatible with the surrounding area**



**Projected balcony**

**Shaded pedestrian colonnade**

## **Primary Façade**

Facade which features a customer entrance, or which faces a street.

## **Secondary (Side) Façade**

Facade which can largely be seen from a street (side elevation).





*Good use of awnings*

**Awning or canopy** is any cloth, plastic or metallic covering or shelter that is suspended or projected over a window, door, walkway, gasp pump island or outdoor space.



*Typical cornice detail*

**Ornamental and Structural Detail** is a colored, raised or decorative feature that provides a focal point or highlight within an otherwise flat, unarticulated wall section. Such detail does not include incidental drainage (down spout), electrical, mechanical or other such equipment, corporate logos, textures, colors or materials.

**Cornice** is an ornamental band of molding at the top edge of a building or free-standing wall that flares outward to provide a continuous crown. Free-standing walls that provide visual screening of trash enclosures, loading docks, service areas, mechanical equipment or grocery cart enclosures would all benefit from cornice detailing.



*Example of cornice and ornamental detail*



## Required Landscaping

Landscaping helps tie together buildings, define space and create a human-scaled pedestrian realm. Quality landscaping is an essential component of the built urban form of the city. It fosters unity of design and helps development blend with the natural landscaping. Existing landscaping should be retained where possible. Do not assume mass clearing is preferable simply because it may be easiest.

Builders in City of Doraville are encouraged to consider using drought-tolerant plants and other xeriscape techniques. These include amending the soil, mulching, grouping plants by water need and using water-efficient irrigation equipment and schedules.



*Example of good landscape scheme*

Softens the public realm with landscaping at key pedestrian nodes.

The following describes the landscaping required along all Primary and Secondary Facades on Commercial uses.

Commercial parcels of 1/2 acre or larger, will establish an eight-foot-wide building perimeter foundation landscape. The landscape is measured perpendicular to the façade and will be planted immediately adjacent to and along 100 percent of the Primary Façade (along at least 50 percent of Secondary Facades). If a sidewalk is designed immediately adjacent to the Primary or Secondary Façade, the landscaping will instead be placed between the walk and the adjacent curb or walk lining any parking or rights-of-way.

The landscaped area must be a minimum of eight feet wide and should include shrubs and groundcover with one understory tree for each 25 feet or fraction thereof of the linear length of the Primary Façade (along 50 percent of the linear length of the Secondary Façade). Understory trees may be planted no closer than 10 feet on center and such understory may be clustered.

NOTE: For parcels LESS than 1/2 acre, the provision of landscaping materials along the Primary and Secondary Facades becomes one of the Optional Design Features, not a requirement, that are described within this guidebook.

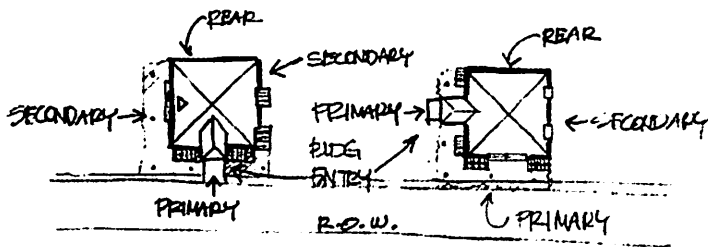
# BUILDING ORIENTATION: Primary Facades

**THE INTENT** of this section is to orient non-residential buildings toward the public right-of-way, the roadway or toward private internal collector-type roadways. The orientation helps physically define the streets and public spaces as places of shared use. Street lined by building facades are more interesting to move along, especially for pedestrians, and provide a safer environment.

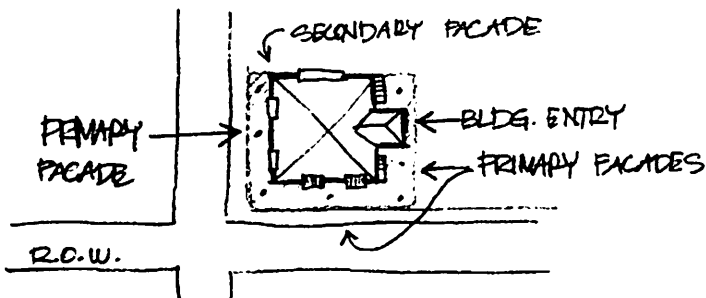
**PRIMARY FAÇADE: CONSISTENT ARCHITECTURAL TREATMENT** All Primary Facades of a building shall be designed with consistent architectural style, detail, trim features and roof treatments. In addition, all the Primary Facades of a structure shall be designed with a similar level of treatment, detail and visual interest. This includes the design of windows, primary entrances, roof forms (e.g. parapet, gable, hip, mansard, or combination) and architectural elements (e.g. columns, pilasters, overhangs, balustrades, towers, dormers, cupolas and/or other projections of façade and fenestration). In lieu of actual windows or entrances, the design may incorporate niches and alcoves with significant architectural delineation and definition in order to suggest window and entrance features.

**MID-BLOCK STRUCTURES** Non-residential (see Applicability section) buildings located at mid-block section should be oriented to face the right-of-way/roadway unless it can be shown that compelling site conditions necessitate a different orientation. If compelling site conditions necessitate that the building not face the right-of-way/roadway, then the building is considered to have two Primary Facades; the façade that faces the right-of-way/roadway and the façade that incorporates the primary customer service entrance.

**CORNER LOT STRUCTURES** Non-residential buildings located on corner lots shall be oriented to face a right-of-way/roadway, unless it can be shown that there are compelling site conditions that necessitate a different orientation. If compelling site conditions necessitate that the building not face such right-of-way/roadway, then the building is considered to have three Primary Facades: the two façades that face both adjacent right-of-ways/roadways, and the third façade that incorporates the primary customer service entrance.



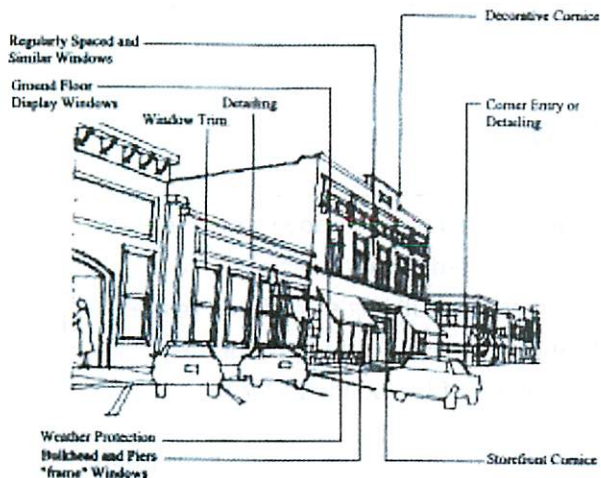
Mid-block structure



Corner lot structure

# PRIMARY/SECONDARY FACADE DESIGN STANDARDS: Design Features

## General Provisions



### Building facades

Building facades should be varied and articulated to provide visual interest to pedestrians. Street level windows and numerous building entries also contribute to a welcoming sense of place. Streets with monotonous and unarticulated facades are hostile to pedestrian activity.

**Exceptions to Secondary Façade Applicability** – The Building Official may determine that Secondary Façade standards are not applicable or only partially applicable. A façade's narrowness or lack of visibility can make a strict enforcement of the architectural standards unfeasible or unnecessary. Any such determination will only be made where the subject space between structures is less than 10 feet wide. When the space between buildings is more than 10 feet wide, regardless of any such determinations of inapplicability, all tree and landscape provisions shall apply.

**Architectural Consistency with Adjacent Structures** - Primary Facades will be architecturally compatible and consistent in character with the facades in the surrounding area (especially in rural settlements, historic areas, historic structures, etc.)

**Architectural Consistency Among Adjacent Facades** (same building) - Secondary Facades on the same building shall be designed with an architectural style, detail, trim features and roof treatments which are consistent with that of the other Primary/Secondary Facades on the same structure.

**Consistent Level of Detail Among Facades** (same building) - All Primary/Secondary Facades on the same building shall be designed with a similar level of treatment, detail and visual interest as other Primary/Secondary Facades on said structure.

**Alternatives to Windows and Entrances** - In lieu of actual windows or entrances, the design may incorporate niches and alcoves with significant architectural delineation and definition in order to suggest windows, entry features and to meet the spirit of the Ordinance.

**Corporate Colors** – The use of corporate colors is permitted as long as the colors are not patterned so as to compete for visual attention (e.g. polka-dots, stripes). The use of corporate colors shall not create an advertisement of the building itself. Corporate colors shall not violate any other color limitations within the Ordinance.

**Visibility from Adjacent Residential Area** – If any side of a regulated structure does not otherwise meet the definition of a Primary or Secondary Façade, but is visible from an adjacent residential area, it will be considered a Secondary Façade and will meet the architectural requirements for a Secondary Façade.

# **PRIMARY AND SECONDARY FACADES: Determining the Required Number of Optional Design Features (Ref. Sec. 23-1704)**

**Primary Facades on Commercial use parcels**, which do not incorporate a customer entrance, shall incorporate at least two other ODF from the list below.

**Secondary Facades on Commercial, Industrial or Office use parcels** larger than ½ acre shall incorporate at least one of the ODF from the following list.\*

## **Optional Design Features (ODF):**

**A primary customer entrance** including associated architectural entry treatments and pedestrian-scaled landscaping.

**Arcades or colonnades** a minimum of six feet wide on primary facades and eight feet wide on secondary facades or other roof/wall treatments that provide shade and a break in at least 50 percent of the vertical plane of the building.

**Display windows** with associated architectural trim features are strongly encouraged along the façade of buildings. Display windows attract window-shopping pedestrians and add vitality to the streetscape. Display windows shall not become a surface for advertising. Generally, display windows should extend, for example, from approximately 36 inches above finished grade to approximately six feet above finished grade. The windows shall cover at least 50 percent of the length of the wall. (Note: Windows located too high for pedestrian use or too high to add visual interest to a building façade are discouraged and shall not be accepted.)

**Awnings** associated with windows and doors and which are fabricated of materials and colors which enhance the building's architecture are strongly encouraged along an appropriate horizontal length of the buildings façade.

**Windows** covering an architecturally-appropriate portion (at least 40 percent) of the façade.

**Landscaping** is an option only on parcels LESS than ½ acre.

**Any other treatment** that, in the opinion of the building official, meets the spirit and intent of this Section is acceptable.

### **\* Notes:**

1) Customer service entrances (which include associated formalized architectural entry treatments) shall satisfy only one of the two required ODF on Commercial parcels. That is, the Primary Façade(s) of Commercial uses shall incorporate at least one ODF in addition to any customer service entrances.

2) Landscaping is required along the Primary and Secondary Facades of all Commercial use parcels which are larger than ½ acre. Under Required Landscaping above, see the provision involving 50 percent landscape coverage along Secondary Facades.

3) Landscaping along Primary and Secondary Façades becomes one of the Optional Design Features only on Commercial parcels which are less than ½ acre

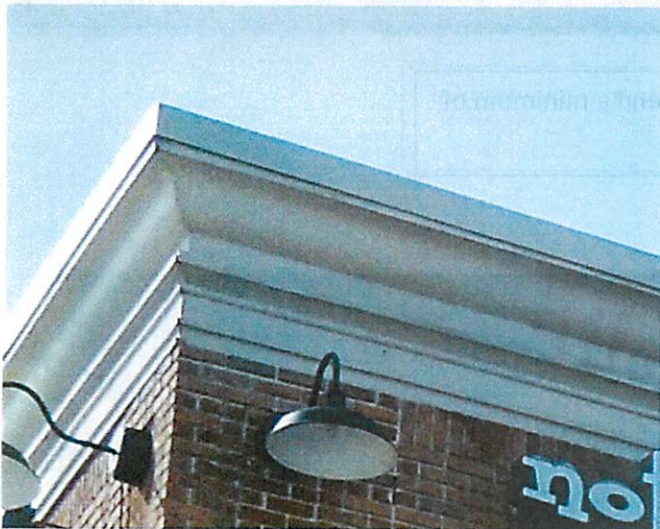


## BUILDING ORNAMENTATION: Optional Design Features (*Ref. Sec. 23-1704*)

**THE INTENT** of requiring a minimum level of architectural ornamentation is to add visual appeal to new construction and to maintain and enhance the attractiveness of the streetscapes within the City.

Both single and multiple-tenant buildings are required to provide a minimum of **three of the following features**:

- **Parapets with arched, gabled, stepped or decorative features and cornice treatments** over the primary customer entrance area that is integrated with the building's style and massing
- **Canopies or porticos** integrated with the building's mass, style, details and materials.
- **Overhanging eaves** that extend a minimum of three feet
- **Peaked roof forms** that offer a variety of peak heights.
- **Arcades** a minimum of six feet in depth.
- **Arches** or arched forms.
- **Display windows** extending from 36 inches above finished grade upward and extending proportionately along the first floor façade and at the customer entry area.
- **Ornamental details** that are integrated into the building structure.
- **Clock or bell tower** or other approved vertical feature.
- **Sculptured artwork** but not corporate logos or advertising.
- **Any other treatment** that meets the intent of the design standards is acceptable.



Parapets with arched, gabled, stepped or decorative features and cornice treatments over the primary customer entrance area that is integrated with the building's style and massing.





**Canopies or porticos integrated with the building's mass, style, details and materials.**

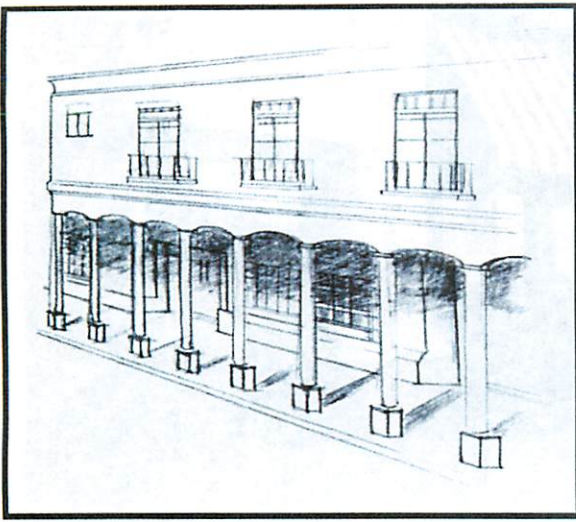


**Overhanging eaves that extend a minimum of three feet**

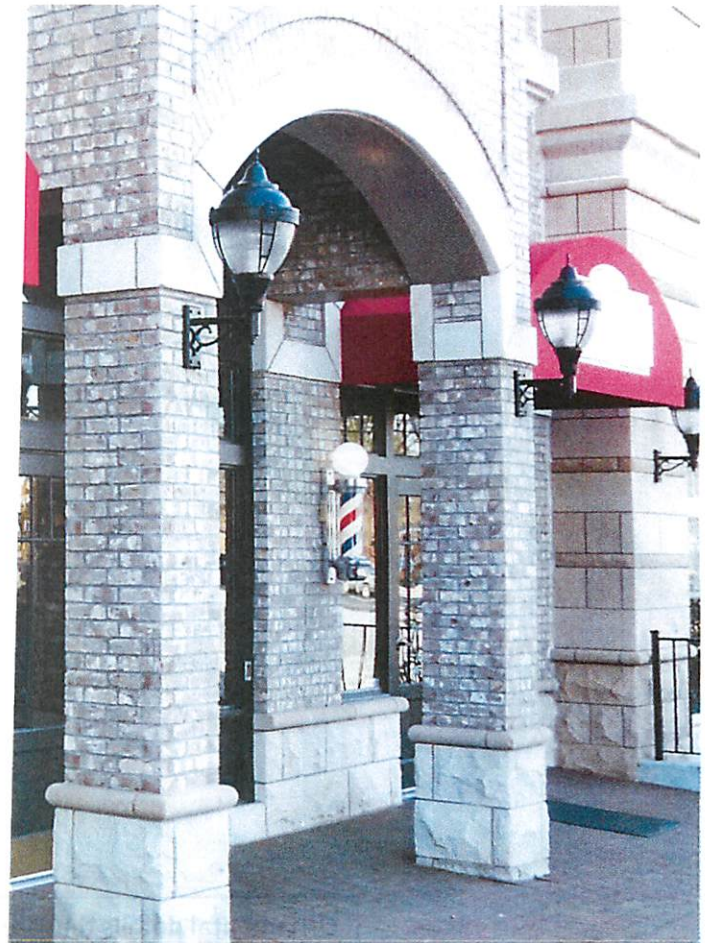
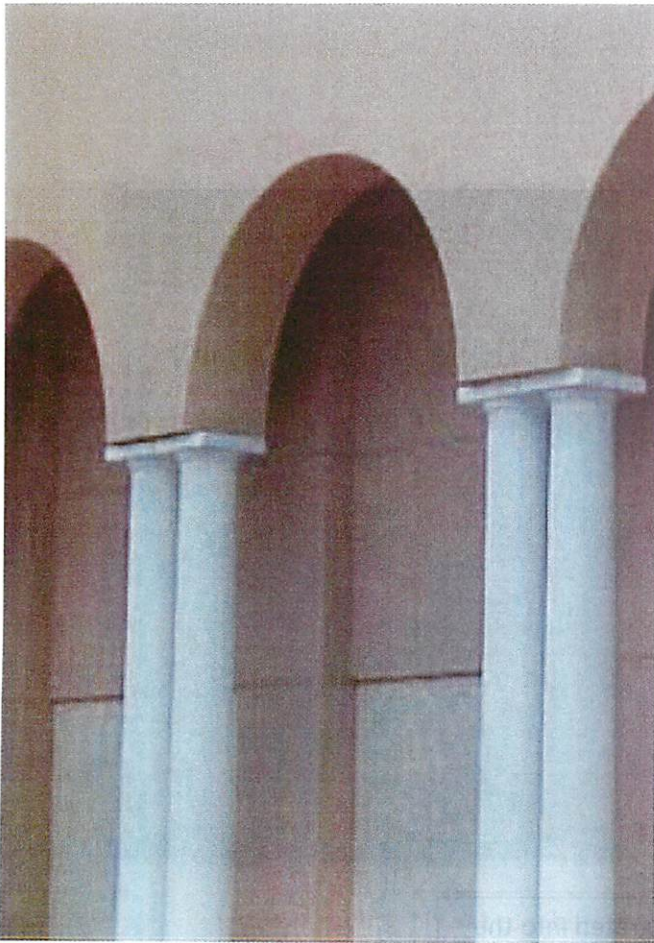


**Peaked roof forms that offer a variety of peak heights.**





Arcades a minimum of six feet in depth.

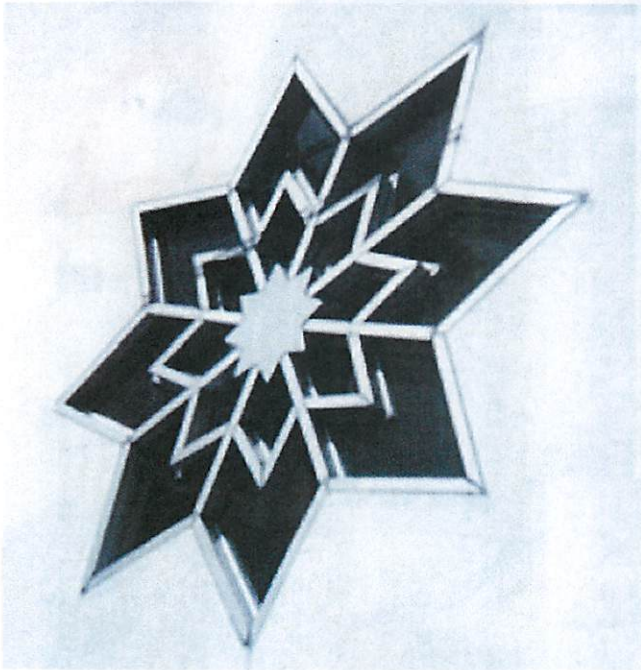


Arches or arched forms.



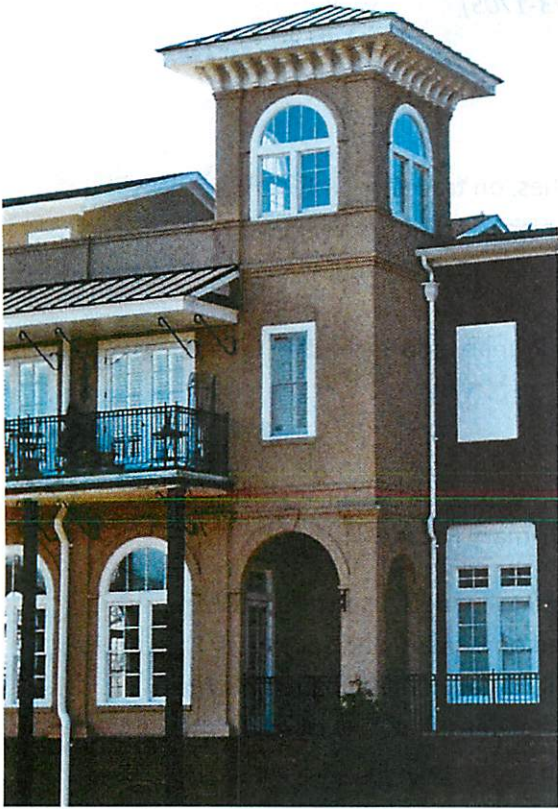


**Display windows** extending from 36 inches above finished grade upward and extending proportionately along the first floor façade and at the customer entry area.

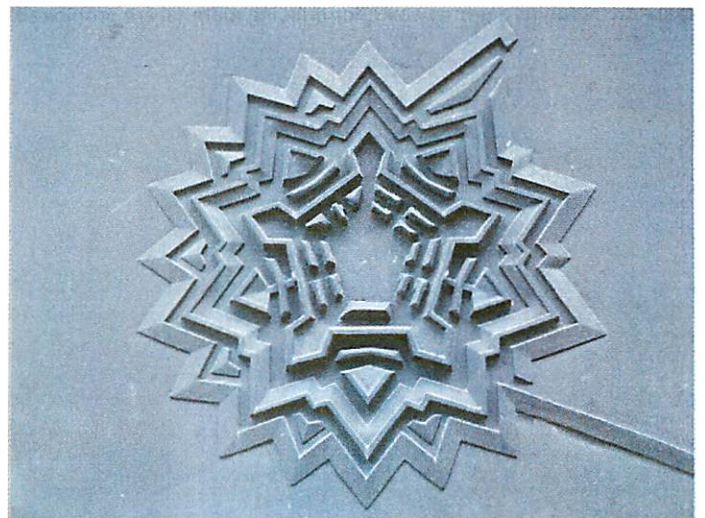


**Ornamental details** that are integrated into the building structure.





**Clock or bell tower or other approved vertical feature.**



**Sculptured artwork but not corporate logos or advertising.**



## EXTERIOR BUILDING: MATERIALS, AWNINGS, ANCILLARY STRUCTURES, SCREENING OF APURTENANCES, COLORS (Ref. Sec. 23-1705)

Many issues contribute to the visual impact of buildings on adjacent properties, on travelers within the adjacent rights-of-way, and on the character of neighborhood. Building materials, awnings, location/screening of equipment and color are each important in shaping a project's visual impact.

The use of certain materials, colors and lighting techniques are restricted on Primary and Secondary Facades. The following are specific, non-optional design limitations:



*Example of prohibited material*

Corrugated metals as a primary exterior building material are prohibited.

### Materials - Primary Facades

**Corrugated metal panels**, used as a finish material, are prohibited on Primary and Secondary Façades. Architecturally detailed metal panels may be acceptable after consultation with and consideration by the Building Official.

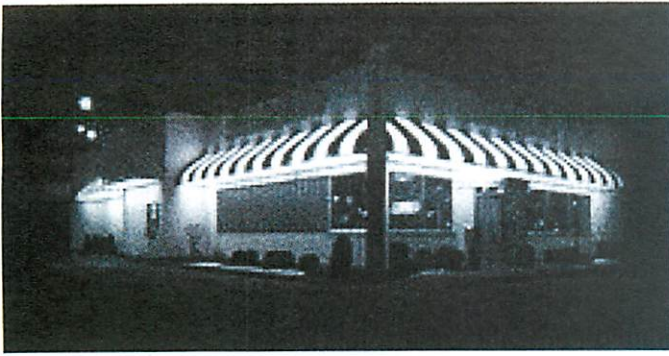
**Smooth-faced concrete** or concrete masonry units (CMU) on Primary Facades shall incorporate a stucco or other decorative finish and be painted in accordance with Section XXXXX. Split-faced CMU are encouraged.

### Materials - Secondary Facades

**The same approved** and architecturally-detailed metal panels used on Primary Façades will be encouraged for use on Secondary Facades.

**Smooth-faced concrete** or concrete masonry units (CMU) on Secondary Facades shall be painted and incorporate a stucco or other decorative finish and shall not cover more than 30 percent of a Secondary Façade.





#### **Backlit awnings**

Backlit awnings are specifically prohibited.



#### **Cart storage**

Outdoor storage of shopping carts should be appropriately screened; security is also increased.



#### **Mechanical equipment**

Landscaping can be used to camouflage ground-level equipment. It is difficult to discern where the equipment is in this photo due to effective screening.

**Awnings:** Except for those portions of awnings or canopies that may have received County approval for backlit sign copy area, backlit awnings or canopies are specifically prohibited. This includes backlit awnings or canopies on, for instance, service stations, convenience stores or other retail establishments. Furthermore, pre-wiring of awnings or canopies for back-lighting is prohibited.

**Ancillary Structures:** Ancillary structures, like car washes, cashier booths and canopies over gas pumps will incorporate the same architectural detailing, design elements, materials, colors and roof design as the principal structure, including a comparable peaked-roof pitch and parapet or cornice treatments.

**Screening of Shopping Carts:** Screening needs to be provided for all outdoor storage of customer shopping carts adjacent to the building. Shopping cart areas shall be screened by a four-foot-high (minimum) wall. The exterior face of the screen wall should be architecturally treated, for instance, by using colors, materials, finish or trim, in a manner consistent with that of the adjacent Primary or Secondary Façade.

**Screening of Ground Level Equipment:** A wall of sufficient height should surround any exterior ground-level mechanical equipment. The wall should completely screen the equipment from view. This includes any equipment like food freezers, air handling units and the like which may be located between any structure and an adjacent residential area or right-of-way. The screening wall should appear as an architectural extension of the principle building and will incorporate cap and architectural trim and features consistent with the adjacent facade. When such equipment is visible only from adjacent commercial or industrial uses and not a right-of-way, the screen wall may instead be painted to match the color of the building.

[illegible]

**Colors and color schemes possessing electric, fluorescent or neon qualities are not permitted on the exterior of any buildings or structures.**

**Graphics, color schemes and/or murals are not permitted on building exteriors except as may be permitted within an approved signage proposal and otherwise consistent with the City of Doraville Code of Ordinances.**



## REQUIRED ROOF TREATMENTS: Optional Design Features

**THE INTENT** of requiring a minimum of roof treatment is to promote visual interest, to avoid large, monolithic roof planes and to screen rooftop equipment. The roof design standards below apply to all principle structures as well as free-standing ancillary or secondary structures like kiosks, cashier booths and car wash enclosures.

Single and multiple-tenant buildings are required to incorporate variations in the roofline peaks and features which are architecturally consistent with the building's mass and scale. Roofs shall incorporate at least two of the following features:

- Decorative parapets which extend a minimum of three feet above the finished roof surface and which are high enough to block the view of any mechanical equipment or fixtures which may be located on the roof.
- A three-dimensional cornice treatment which measures a minimum of 12 inches in height and which includes three vertical (not horizontal) changes in plane and a variety of thicknesses in relief ranging from greatest at the top to the least at the bottom thereby giving visual weight to the upper most plane.
- Overhanging eaves that extend at least three feet beyond the supporting walls with a minimum fascia depth of six inches.
- Three or more roof/peak planes per façade.
- A sloping roof height (measured from the top of the supporting wall vertically to the peak of the sloping roof) shall not exceed the average height of the supporting walls. The sloping roof height shall not be less than a pitch of 4:12. However, a pitch of 3:12 may be acceptable depending on the mass and scale and elevations and renderings showing the appropriateness and compatibility of the design.
- Any other treatment that meets the spirit and intent of the Ordinance.

**Backlit awnings** used as a mansard or canopy roof shall be prohibited in both single and multiple-tenant buildings.

**Exterior rooftop equipment** including any HVAC roof refrigeration or other mechanical fixtures shall be concealed from eye-level view from any public right-of-way and from any adjacent properties by incorporating a parapet wall extension and capped cornice treatments.

## REQUIRED CUSTOMER SERVICE TREATMENTS

In addition to providing protection from the sun and shelter from adverse weather conditions, customer service treatments also provide a visually-inviting space for visitors and enhance the streetscape perspective. The following requirements are not applicable to single-tenant buildings with a gross floor area of 10,000 square feet or less, or to multiple-tenant buildings and projects with a gross floor area of less than 20,000 square feet.



**Example** of highly-visible customer entrance with accompanying landscape.



**Example** of a highly-visible customer entrance with accompanying landscape.

Single-tenant buildings with a gross floor area of more than 10,000 square feet, but less than 20,000 square feet, shall have a highly visible primary customer entrance.

Single-tenant buildings with more than 20,000 square feet of gross floor area shall incorporate the same, highly visible primary customer entrance and incorporate decorative landscape planters or wing walls with integrated landscaping.

Multiple-tenant buildings and projects that have more than 20,000 square feet of gross floor area shall incorporate the following:

- Highly-visible primary customer service entrances on the anchor tenant structure(s).
- Decorative landscape planters or wing walls and intermittent, shaded outdoor gathering spaces located in association with the customer entrance or integrated with the pedestrian circulation path of the complex.



## ALL FACADE TREATMENTS: Optional Design Features

The intent of this section is to avoid the construction of building facades that lack visual interest by requiring at least a minimum of architectural detailing facades.



### *Example of appropriate commercial façade*

This commercial façade has visual interest achieved through the use of natural materials, variation in horizontal and vertical articulations, thoughtful use of windows and color change.

All facades of buildings with a gross floor area of 20,000 square feet or more shall be required to incorporate at least three of the treatments listed below. At least one of these treatments shall repeat horizontally and all such design elements shall repeat at intervals of no more than 30 feet, either horizontally or vertically.

All facades of buildings with a gross floor area of less than 20,000 square feet shall be required to incorporate at least two of the treatments listed below and again, at least one of these treatments shall repeat horizontally.

All such design elements shall repeat at intervals of no more than 25 feet, either horizontally or vertically.

### Optional Façade Treatments

- Expression of a vertical architectural treatment with a minimum width of 12 inches.
- Building step-backs, offsets or projections involving a minimum of three feet in depth.
- Color change.
- Texture and/or material change.
- Architectural banding.
- Pattern change.
- Any other treatment that meets the spirit and intent of the Ordinance.



## DRIVE-THROUGH WINDOWS AND LANES: Specific Design Requirements

Drive-through lanes and windows shall satisfy all of the following standards:



**Example** of acceptable drive-through The above photo is an example of an acceptable porte-cochere over a drive-through.



**Example** of acceptable drive-through



**Example** of unacceptable drive-through The photo shows an Unacceptable example; the structure needs to extend over the entire width of the second drive-through lane.

Drive-through windows/lanes located between the right-of-way and the associated building shall incorporate an eight-foot-wide landscape buffer extending the entire length of the drive-through cueing or stacking area. (see landscaping of drive-through lanes Code Section XXXX)

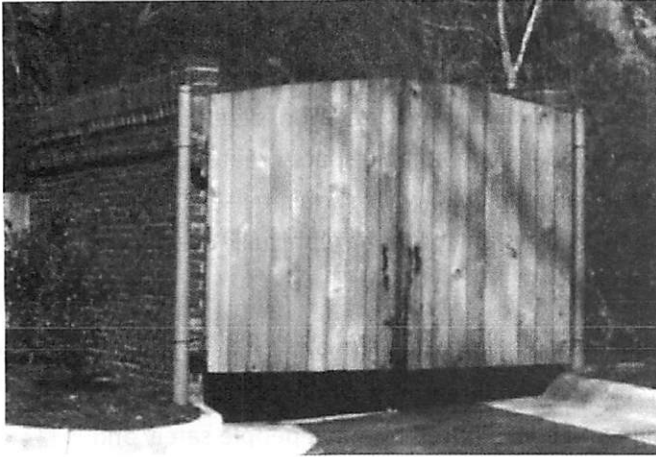
Drive-through windows or lanes that are visible from a right-of-way or roadway will be screened by a five-foot-wide landscape buffer that extends the entire length of the drive-through cueing or stacking area.

A permanent porte-cochere structure shall be constructed over the drive-through, service and any other associated customer service windows. The porte-cochere(s) shall extend the width of the drive and be a minimum of 20 feet in length. The porte-cochere(s) shall be structurally and architecturally-integrated into the building and provide architectural detailing and roof treatments that are consistent with the facade and roof design of the building. The porte-cochere may encroach into the side yard setback.



# SERVICE AREAS, LOADING DOCKS AND DUMPSTER SCREENING:

## Specific Design Requirements



Service areas and loading docks are prohibited from locations adjacent to any roadway unless they are enclosed on all sides. All sides of the enclosure must replicate the architectural detailing, materials, finish material and landscaping of the principal structure's Primary Façade.

Service areas and dumpsters shall be visually screened from public view by a masonry wall constructed to a minimum height of 6 feet above finished grade.

Service area and dumpster areas shall be directed away from any adjacent residential developments.

Screened service area dumpster

This garbage dumpster is screened using compatible materials and consistent design with its principle building.

No part of a dumpster or the materials stored within a service area are to extend above the required masonry wall.

The masonry wall shall be constructed of decoratively-finished concrete block, brick, stucco or other decorative material. The wall shall be detailed so as to replicate the architectural style of the principal structure.

No chain link, unfinished concrete block (painted or otherwise), barbed wire or wood will be permitted materials as part of a wall.

Each enclosure shall include a decorative, opaque gate equal in height to the masonry wall.

Each service area, loading dock and dumpster requiring fencing shall further comply with the landscape requirements in Code section XXXX.

## CURBSTOPS, BUILDING PERIMETER CROSSWALKS: Specific Design Requirements



**Example** of pedestrian walkway and crosswalk  
The concrete and colored brick pavers effectively identify this pedestrian crossing, increasing pedestrian safety and visibility.

Curb stops are required wherever a parking stall abuts a pedestrian walkway.

Pedestrian walkways shall be a minimum of five feet wide and curbed wherever possible. If, however, a lack of available space creates a parking design challenge, walkways should be seven feet wide to address any potential vehicular overhang encroachment.

Shaded project sidewalk and pedestrian crosswalk systems shall be integrated within the project's design and coordinated to move people safely and comfortably to and from buildings, parking areas and adjacent rights-of-ways. Safe and pleasant pedestrian circulation is accomplished by creating well-defined, shaded pedestrian corridors which are, to greatest extent possible, separated from vehicular use areas.

Pedestrian crossings are to be identified and highlighted with signage and constructed of special paving materials (not simply with paint) in order to identify them as such. Concrete/ colored brick pavers, stamped concrete or other paving materials are all acceptable.

**STATE OF GEORGIA  
CITY OF DORAVILLE**

**ORDINANCE NO. 2013 - \_**

AN ORDINANCE OF THE CITY OF DORAVILLE, GEORGIA, TO AMEND CHAPTER 23, (ZONING), BY ADDITION OF NEW ARTICLE XVII (DESIGN STANDARDS) TO CREATE DESIGN STANDARDS AND OTHER REGULATIONS FOR NEW DEVELOPMENT; TO ADD DEFINITIONS FOR SAME; TO DELETE CURRENT DESIGN STANDARDS IN CHAPTER 5 OF THE CITY CODE; TO PROVIDE SEVERABILITY; TO PROVIDE FOR REPEAL OF CONFLICTING ORDINANCES; TO PROVIDE FOR AN ADOPTION AND EFFECTIVE DATE; TO PROVIDE FOR CODIFICATION; AND TO PROVIDE FOR OTHER LAWFUL PURPOSES

**WHEREAS**, the City Council of the City of Doraville, Georgia is tasked with the protection of the City's public health, safety and general welfare; and

**WHEREAS**, the Mayor and City Council previously adopted temporary design standards in Chapter 5 of the City Code that provides minimal design regulations for certain development within the City; and

**WHEREAS**, the Mayor and City Council wish to create comprehensive design standards for development in the City to enhance existing streetscape and architecture and maintain a strong identity of the City; and

**WHEREAS**, the Mayor and City Council desire to amend the Zoning regulations of the City to place said design standards within it to regulate design requirements of various zoning districts; and

**WHEREAS**, a duly advertised public hearing, in accordance with the Georgia Zoning Procedures Act, has been held by the City of Doraville to consider these revisions.

THEREFORE, THE MAYOR AND COUNCIL OF THE CITY OF DORAVILLE, GEORGIA HEREBY ORDAIN, as follows:



## **Section 1**

That Chapter 23 (Zoning) of the City of Doraville, Georgia Code is hereby amended by adding a new Article XVII (Design Standards) to read as follows:

### ***ARTICLE XVII. DESIGN STANDARDS***

#### ***Sec. 23-1701. - Intent and purpose.***

*The intent and purpose of this article are as follows:*

- (1) To maintain and enhance the attractiveness of the streetscape and the existing architecture in the community.*
- (2) To create and maintain a strong community image and identity by providing for architectural treatments that enhances the visual experience of commercial development in the City of Doraville.*
- (3) To require articulation that reduces the mass/scale and uniform monolithic appearance of large commercial and institutional buildings, and ensures that commercial and institutional buildings and projects incorporate architectural features that provide visual interest, while allowing design flexibility.*

#### ***Sec. 23-1702. - Applicability; scope.***

- (a) Applicability.*
  - (1) The provisions of this article shall apply to buildings and projects in C-1 (Neighborhood Commercial), CT (Commercial Transitional), C-2 (General Business), O-I (Office Institutional), and O-W (Office Warehouse) zoning districts.*
  - (2) The landscape provisions (both primary and secondary) of section 23-1704 shall also apply to temporary sales offices and model centers.*

- (3) *The provisions of this article shall apply to new development, and redevelopment or renovation of an existing building that changes more than forty (40) percent of a primary or secondary facade. The forty (40) percent facade remodeling or renovation standard only applies to that building facade undergoing renovation or redevelopment. New development or building expansion greater than twenty(20) percent in gross floor area shall require full structure compliance. Redevelopment or renovation that changes more than twenty (20) percent of the exterior of an existing building will require compliance with Sec. 23-1705(c)(2) Building color.*
- (4) *The provisions of this article shall also apply to all principal uses, whether on parent parcels or out-parcels, and to free standing ancillary or secondary uses, such as kiosks, ticket booths, car washes, etcetera.*
- (5) *The provisions of this article are not intended to prevent the use of alternative design solutions that meet the intent and purpose established in section 23-1701, as determined by the reasonable discretion of the city's Director of Planning and Development after consultation and written approval.*
- (6) *Compliance with the standards set forth in this article shall be demonstrated by submittal of architectural drawings and elevations (of all sides), and a site development plan or site improvement plan in accordance with this and other sections of this code.*

- (7) *Any decision by the city's Director of Planning and Development in regards to this article may be appealed to the City Council pursuant to Section 23-1401 of this Code.*

***Sec. 23-1703. - Definitions.***

*The following words and terms, when used in this division, shall have the meanings ascribed to them in this section:*

*Awning or canopy.* *A covering, hood or shelter (of cloth, plastic, metallic or similar material) suspended or projected over a window or door.*

*Cornice.* *An ornamental molding that finishes or crowns the top of a building, wall, arch, and etcetera.*

*Ornamental and structural detail.* *A raised or decorative feature, other than a corporate logo, and not including textures, color or materials. Examples are decorative tile, molding, niches, pilasters and columns.*

*Primary facade.* *A side of a building that faces a public or private right-of-way or roadway or has the primary customer entrance. (A building may have more than one primary facade.)*

*Secondary facade.* *A side of a building that is not a primary facade and either is visible from a public or private right-of-way or roadway or has a secondary or tertiary customer entrance. (A building may have more than one secondary facade.)*

***Sec. 23-1704. - Building orientation; primary and secondary facades.***

- (a) *The intent of this section is to orient commercial buildings toward the public right-of-way or roadway or to private internal collector type/roadways and to establish architectural standards for primary and secondary facades in the City of Doraville.*



(b) *Primary and secondary facades shall satisfy the applicable facade standards set forth in this section.*

(c) **Building Orientation**

(1) **Mid-block commercial buildings** shall be oriented to face the right-of-way/roadway, unless it can be shown that compelling site conditions necessitate a different orientation. If compelling site conditions necessitate that the building not face the right-of-way/roadway, then the building is considered to have two (2) primary facades: the facade that faces the right-of-way/roadway and the facade that incorporates the primary customer entrance.

(2) **Corner lot commercial buildings** shall be oriented to face a right-of-way/roadway, unless it can be shown that there are compelling site conditions that necessitate a different orientation. If compelling site conditions necessitate that the building not face such right-of-way/roadway, then the building is considered to have three (3) primary facades: the two facades that face the right-of-way/roadway and the facade that incorporates the primary customer entrance.

(d) **Primary facades**

(1) **All primary facades** of a building shall have architectural style, detail, trim features, and roof treatments that are consistent with each other. Further, all primary facades shall have a similar level of treatment, detail and visual interest. This is inclusive of window, primary entrance, roof form (parapet, gable, hip, mansard or combination) and architectural elements (columns,

*pilasters, pediments, overhangs, balustrades, towers, dormers, cupolas and/or other projections of facade and fenestration). In lieu of actual windows and entrances, niches and alcoves with significant architectural delineation and definition to suggest window and entrance elements shall be used.*

- (2) *For parcels one half (½) acre or larger*, building base perimeter landscaping shall be planted immediately adjacent to and along the full linear length of the primary facade, or between the walk immediately adjacent to the primary facade and the curb along the entire linear length of the primary facade. However, such perimeter landscaping shall allow for reasonable breaks for pedestrian access. The landscaped area shall be a minimum of five (5) feet in depth and shall include shrubs and groundcover with one understory tree planted for each twenty-five (25) feet or fraction thereof of the lineal length of the primary facade. (Understory trees are to be planted no closer than ten (10) feet on center.)
- (3) *Office and institutional use primary facades* shall have at least one (1) of the following components exclusive of (g)(1) below; and a primary facade subject to subsection (f) of this section shall have at least one (1) of the following components exclusive of (g)(2) below.
- (4) *Commercial use primary facades* shall have at least two (2) of the following components, except that a primary facade with the primary customer entrance shall have at least one (1) of the following components exclusive of the component described in subsection (g)(1) and a primary facade

*subject to subsection (f) of this section shall have at least two (2) of the following components exclusive of the component described in subsection (g)(2).*

- (1) The primary customer entrance.*
- (2) For parcels less than one-half ( $\frac{1}{2}$ ) acre, building base perimeter landscaping shall be planted adjacent to and along the full linear length of the primary facade. The landscaped area shall be a minimum of five (5) feet in depth and shall include shrubs and groundcover with one understory tree planted for each twenty-five (25) feet or fraction thereof of the lineal primary facade, planted for each fifteen (15) feet or fraction thereof of the lineal primary facade. (Understory trees are to be planted no closer than ten (10) feet on center.)*
- (3) Arcades or colonnades a minimum of six (6) feet in width, or other roof treatments that provide shade and break the vertical plane, shall be incorporated along at least fifty (50) percent of the linear length of the primary facade.*
- (4) Display windows a minimum of six (6) feet in height shall exist, along at least fifty (50) percent of the linear length of the primary facade.*
- (5) Awnings associated with windows and/or doors, installed in increments of ten (10) feet or less in length, along at least fifty (50) percent of the linear length of the primary facade.*
- (6) Windows that cover at least forty (40) percent of the area of the primary facade.*



- (7) *Any other treatment that, in the reasonable opinion of the City's Planning and Development Director or Design Review Board if one is constituted, and after consultation, meets the intent of this section.*
- (e) *A primary facade shall incorporate the screening of outdoor storage of customer shopping carts adjacent to the building. Shopping cart storage areas shall be screened by a wall a minimum of four (4) feet in height. The exterior facade of the screen wall shall be consistent with that of the primary facade.*
- (f) *Exterior building materials contribute significantly to the visual impact of a building on the community. Exterior building materials shall be restricted on primary facades as follows:*
- (1) *Corrugated metal panels, used as a finish material, shall be prohibited. Architectural metal panels are acceptable, subject to consultation and a determination by the city's Planning and Development Director or Design Review Board if one is constituted that the treatment meets the intent of this section.*
  - (2) *Highly reflective or mirror-like materials shall be prohibited.*
  - (3) *Blacked out or darkened windows and window treatments or uses that obscure clear visibility into and out-of the building shall be prohibited.*
  - (4) *Smooth-faced concrete shall have stucco or other decorative finish.*
  - (5) *Backlit awnings and backlit canopies including service station and convenience store backlit awnings and canopies, shall be prohibited, except for those portions of awnings or canopies which may have approved backlit sign copy area.*

- (6) *The use of full-depth brick, natural stone, cast stone, terra cotta, pre-cast concrete resembling brick or stone or hard coat stucco as major component of the primary façade with accents of ceramic tile, galvanized steel, glass block, wood, stone or stucco are strongly encouraged*
- (g) *Secondary facade standards may be deemed wholly or partially inapplicable by the city's Planning and Development Director or Design Review Board if one is constituted due to the narrowness and low visibility of the area between the side of the building and the side of the adjacent building, provided this determination may be made only where the side yard is less than ten (10) feet in width, and such determination does not modify applicable landscape and related requirements.*
- (1) *All secondary facades of a building shall have architectural style, detail, trim features, and roof treatments that are consistent with those for the primary facade.*
- (2) *Any side of an office, commercial or industrial building visible from and adjacent to residential areas shall be treated in the same manner as a secondary facade.*
- (h) *For parcels one-half (½) acre or larger, perimeter landscaping planted adjacent to and along fifty (50) percent of the linear length of the secondary facade shall be required. The landscaped area shall be a minimum of five (5) feet in depth and shall include shrubs and groundcover with one understory tree planted for each twenty-five (25) feet or fraction thereof of the fifty (50) percent lineal secondary facade. (Understory trees are to be planted no closer than ten (10) feet on center.)*
- (i) *A secondary facade shall have at least one (1) of the following components:*

- (1) *For parcels less than one-half ( $\frac{1}{2}$ ) acre, perimeter landscaping planted adjacent to and along fifty (50) percent of the linear length of the secondary facade shall be required. The landscaped area shall be a minimum of five (5) feet in depth and shall include shrubs and groundcover with one understory tree planted for each twenty-five (25) feet or fraction thereof of the fifty (50) percent lineal secondary facade. (Understory trees are to be planted no closer than ten (10) feet on center.)*
- (2) *Arcades or colonnades a minimum of eight (8) feet in width, or other roof treatments that provide shade and a break in the vertical plane shall be incorporated along at least fifty (50) percent of the horizontal length of the secondary facade.*
- (3) *Display windows a minimum of six (6) feet in height shall exist along at least fifty (50) percent of the horizontal length of the secondary facade.*
- (4) *Awnings associated with windows and/or doors, installed in increments of ten (10) feet or less in length, along at least fifty (50) percent of the horizontal length of the secondary facade.*
- (5) *Windows that cover at least forty (40) percent of the secondary facade.*
- (6) *Any other treatment that, in the opinion of the city's Planning and Development Director or Design Review Board if one is constituted, and after consultation, meets the intent of this section.*
- (j) *A secondary facade shall incorporate the screening of outdoor storage for customer shopping carts adjacent to the building. Shopping cart storage areas shall*



*be screened by a wall a minimum of four (4) feet in height. The exterior facade of the screen wall shall be consistent with that of the secondary facade.*

*(k) Exterior building materials contribute significantly to the visual impact of a building on the community. Exterior building materials shall be restricted on secondary facades as follows:*

*(1) Corrugated metal panels, used as a finish material, shall not cover more than thirty (30) percent of a secondary facade. The same type of architectural metal panels applied to the primary facade are acceptable for a secondary facade, subject to consultation and a determination by the city's Planning and Development Director or Design Review Board if one is constituted that the treatment meets the intent of this section.*

*(2) Smooth-faced concrete shall not cover more than thirty (30) percent of a secondary facade.*

*(3) Backlit awnings and backlit canopies including service station and convenience store backlit awnings and canopies shall be prohibited except for those portions of awnings or canopies which may have approved backlit sign copy area.*

*(l) Exterior ground level mechanical equipment, mechanical equipment package units, or related attachments (food freezers, air handling units, and etcetera) adjacent to a residential area or visible from a public right-of-way shall be concealed, hidden by a wall with caps as an extension of the building. When such units about commercial or industrial uses and are not visible from a public right-of-way (i.e.,*

*they are not a primary or secondary facade), they shall be painted to match the color of the building.*

***Sec. 23-1705. - Building design.***

- (a) The intent of this section is to promote better architectural design and to create visual interest by requiring minimum design treatments for commercial buildings and projects.*
- (b) Both single and multiple-tenant buildings are required to provide a minimum of three (3) of the following building design treatments:*
  - (1) An arched, gabled, stepped or decorative parapet with cornice over the primary customer entrance that is integrated with the building's mass and style.*
  - (2) Canopies or porticos integrated with the building's massing and style.*
  - (3) Peaked roof forms.*
  - (4) Overhangs a minimum of three (3) feet in depth.*
  - (5) Arcades a minimum of six (6) feet in depth wide.*
  - (6) Arches or arched forms.*
  - (7) Display windows, a minimum of six (6) feet in height.*
  - (8) Ornamental and structural details that are integrated into the building structure.*
  - (9) Clock tower or bell tower.*
  - (10) Sculptured artwork (excluding corporate logos or advertising).*

- (11) *Any other treatment that, in the opinion of the city's Planning and Development Director or Design Review Board if one is constituted, meets the intent of this section.*
- (c) *Exterior building colors have a significant visual impact. Accordingly, colors are restricted as follows:*
- (1) *Building color schemes that use colors that are electric, fluorescent or neon shall not be permitted on the exterior of any building.*
  - (2) *Building color schemes shall be consistent with the "Commercial/Institutional Color Chart" maintained by the City Planning and Development Department.*
  - (3) *A maximum of three (3) colors may be used on the exterior of any building, plus one additional color for trim or cornice work. Where a clear break exists giving the appearance of a separate building, such color scheme may be repeated. These limitations exclude unpainted natural stone or roof material.*
  - (4) *Graphics, color schemes, or murals shall not be permitted on a building except as may be permitted as a part of allowable signage consistent with Chapter 14 of the City of Doraville's code of ordinances.*
- (d) *Separate ancillary structures (carwash, cashier booths, canopies over gas pumps, etc.) shall have comparable pitch or parapets for roofs and shall otherwise have the same architectural detail, design elements and roof design as the primary structure, including the same cornice treatment, the same materials and colors, etcetera.*



***Sec. 23-1706. - Roof treatments.***

- (a) The intent of this section is to add visual interest, and to reduce massing and screen rooftop equipment, by requiring minimum roof treatments. This section shall apply to all principal uses and to free standing ancillary or secondary uses, such as kiosks, ticket booths, car washes, and etcetera.*
- (b) Both single and multiple-tenant buildings are required to have variations in the rooflines, and roof features that are consistent with the building's mass and scale. In addition, roofs shall meet at least two (2) of the following requirements:*

  - (1) Decorative parapets that are a minimum of three (3) feet in height above the finished roof or that are high enough to block the view of any mechanical equipment or fixtures that are situated on the roof.*
  - (2) A three-dimensional cornice treatment, a minimum of twelve (12) inches in height, having a minimum of three (3) vertical (not diagonal) changes in plane (no two (2) on the same plane), and a variety of thickness in relief ranging from the greatest at the top to the least at the bottom.*
  - (3) Overhanging eaves that extend at least three (3) feet beyond the supporting walls, with a minimum fascia depth of six (6) inches.*
  - (4) Three (3) or more roof planes per primary facade.*
  - (5) A sloping roof height (measured from the top of the supporting wall vertically to the peak of the sloping roof) shall not exceed the average height of the supporting walls. The sloping roof height shall not be less than a pitch of 4:12. However, a pitch of 3:12 may be acceptable depending on the mass*

*and scale and elevations and renderings showing the appropriateness and compatibility of the design.*

- (6) Any other treatment that, in the opinion of the city's Planning and Development Director or Design Review Board if one is constituted meets the intent of this section.*
- (c) Backlit awnings used as a mansard or canopy roof shall be prohibited in both single and multiple-tenant buildings.*
- (d) Exterior rooftop equipment including any HVAC roof refrigeration equipment or other mechanical rooftop equipment, fixtures or structure (such as hill house, penthouse, or trailer type) shall be concealed from eye-level view from any public right-of-way and from any adjacent properties by a roof or parapet wall extension with caps as an extension of the building.*

***Sec. 23-1707. - Customer convenience treatments.***

- (a) The intent of this section is to provide protection from the sun and adverse weather conditions for customers and employees of commercial businesses. These requirements are not applicable to single-tenant buildings with a gross floor area of ten thousand (10,000) square feet or less, or multiple-tenant buildings and projects with a gross floor area of less than twenty thousand (20,000) square feet.*
- (b) Except as provided under subsection (a) of this section, the following customer convenience treatments shall be required:*
  - (1) Single-tenant buildings, with a gross floor area of over ten thousand (10,000) square feet and less than twenty thousand (20,000) square feet, shall have a highly visible primary customer entrance.*

- (2) *Single-tenant buildings with a gross floor area of twenty thousand (20,000) square feet or more shall have a highly visible primary customer entrance incorporating decorative landscape planters or wing walls that incorporate landscaped areas.*
- (3) *Multiple-tenant buildings and projects with a gross floor area of twenty thousand (20,000) square feet or more shall have the following:*
  - a. *Anchor tenants shall provide highly visible primary customer entrances.*
  - b. *Decorative landscape planters or wing walls and intermittent shaded outdoor community space shall be provided. Such area shall be located adjacent to the primary customer entrance, or circulation path of the complex.*

***Sec. 23-1708. - Facade treatments.***

- (a) *The intent of this section is to provide visual interest to all facades by requiring a minimum level of detail features on facades. These detail features shall not consist solely of applied graphics or paint.*
- (b) *All facades of buildings with a gross floor area of twenty thousand (20,000) square feet or more shall be required to incorporate at least three (3) of the following facade treatments. At least one of these treatments shall repeat horizontally. All such design elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically. All facades of buildings with a gross floor area of less than twenty thousand (20,000) square feet shall be required to incorporate at least two (2) of the following facade treatments. At least one (1) of these treatments shall*



*repeat horizontally. All such design elements shall repeat at intervals of no more than twenty-five (25) feet, either horizontally or vertically.*

- (1) Expression of a vertical architectural treatment with a minimum width of twelve (12) inches.*
  - (2) Building stepbacks, offsets or projections, a minimum of three (3) feet in depth.*
  - (3) Color change.*
  - (4) Texture and/or material change.*
  - (5) Architectural banding.*
  - (6) Pattern change.*
  - (7) Any other treatment that, in the opinion of the city's Planning and Development Director or Design Review Board if one is constituted, meets the intent of this section.*
- (c) Blank wall areas on any facade shall not exceed ten (10) feet in vertical direction or twenty (20) feet in horizontal direction. Control and expansion joints constitute a detail feature only if incorporated as a decorative pattern and spaced apart at intervals of six (6) feet or less. Relief and reveal work depth must be a minimum of one-half (1/2) inch.*
- (d) Big Box Development: By encouraging the visual appearance of numerous smaller storefronts, in lieu of one (1) large big box storefront, this subsection is intended to reduce the large visual mass and monotonous exterior appearance typically associated with big box development (defined in section 38-1 of this Code). The standards in this subsection call for individually-peaked, forward-projecting, and*

*vertically-oriented exterior architectural forms and features on street-facing facades and rooflines. Such forms will assist owners in architecturally expressing, on the exterior of their stores, the individual components (e.g., garden, grocery, pharmacy) within their stores. As such, the vertically-oriented, forward-projecting, and peaked components shall incorporate vertical components which serve to interrupt the pronounced horizontal roofline of big box structures and to reinforce the appearance of smaller, individual storefronts.*

*(1) Building entry finish materials. Owners shall maximize the amount of pedestrian-scaled windows (avoiding extensive opaque surfaces) along the street-facing facade which contains the primary customer entrance. Furthermore, owners shall utilize smaller-scaled, and darker colored, exterior finish materials (e.g., individual bricks or stone veneer in lieu of light-colored stucco on masonry or pre-cast concrete panels) on the lower portions (the "water table") of big box exterior walls which are adjacent to customer entrance(s), and which flank the exterior pedestrian sidewalk system on street-facing facades. Such darker, smaller-scaled finish materials shall be featured from the sidewalk grade, to no less than four (4) feet above sidewalk grade.*

*(2) Required transparent windows. Such primary customer entrance facades shall incorporate a minimum of twenty-five (25) percent transparency (windows). The transparency calculation may include the glass surfaces of the customer entrance window system itself. The area of required transparency shall be calculated by multiplying the structure's linear*

*frontage by a height (above adjacent finished pavement grade) of twelve (12) feet. In addition, street-facing primary customer entrance facades shall incorporate an overhead projecting portico, arcade, or colonnade, as described below. Such customer entrance overhead forms shall, at a minimum, extend over the same twenty-five (25) percent transparency area.*

- (3) Transparency alternative; architectural projections. As an alternative to meeting the twenty-five (25) percent transparency and entranceway overhead form requirements, street-facing facades containing the primary customer entrance shall include covered porticos, arcades, colonnades, or a combination thereof, along a minimum of sixty (60) percent of the horizontal length of the subject facade.*
- (4) The roof plane of such porticos, arcades, or colonnades shall not extend horizontally for more than fifty (50) linear feet without the substantially and proportionately-sized, interrupting vertical architectural forms referenced above. The face (fascia) of such vertical forms shall project upward a minimum of fifteen (15) feet above the horizontal fascia of the portico, arcade, or colonnade lying below. The highest point of the fascia, or gable, of such vertical projections shall extend upward to a point at least as high as the horizontal roof line (parapet edge) of the big box development's principal structure. Furthermore, such vertical forms shall be no less than twenty (20) feet wide, as measured at the face (fascia) or base of the gable.*
- (5) The covered porticos, arcades, or colonnades shall incorporate the customer sidewalk below with a minimum pedestrian clearance (clear*

*width), between the structure and the supporting columns, of twelve (12) feet. Such porticos, arcades, or colonnades, and twelve-foot wide sidewalks, shall not replace any required building foundation area landscape planter requirements for primary and secondary facades.*

*(6) Facades which face an adjacent street, but which do not possess the primary customer entrance (i.e., a side street facade), shall provide the above-referenced porticos, arcades, or colonnades, and associated individual roofline vertical projections, along at least forty (40) percent of the street-facing (side) facade. Such forty (40) percent requirement shall only apply to any segment of a side facade which does not incorporate a garden center decorative perimeter wall system as described in this subsection.*

*(7) Garden center walls. When a garden center is placed along a street-facing facade, a garden center decorative perimeter wall system may be substituted for the porticos, colonnades, arcades, and vertical form required above. Such garden center decorative wall systems shall be constructed of columns (posts) at least thirty-six (36) inches wide (or thirty-six (36) inches in diameter), and spaced no more than twenty-five (25) feet on-center along the perimeter of the garden center.*

*a. The columns shall be horizontally interconnected across each of their top portions with a substantial cross member. The columns or column cap component may extend above the horizontal cross members up to twenty-four (24) inches. Such upper horizontal cross member shall feature colors, finish, dimensions, proportions, and*



*trim details which are architecturally consistent with the adjacent supporting columns and with the big box principal structure. The upper cross members shall be the highest visual component of the wall system, and no other fencing materials, or store merchandise, may protrude above the horizontal cross members. Disproportionate, undersized, or otherwise architecturally incompatible columns or horizontal cross member designs are prohibited. Alternative designs for garden center decorative perimeter wall systems may be approved by City Planning and Development Director or Design Review Board if one is constituted on a case by case basis.*

- b. Chain link fencing material, including vinyl-clad or other coated fencing, is prohibited on such garden center walls. Instead, garden center decorative walls systems may infill the gaps between the columns and the upper horizontal connecting cross members, with decorative metal fencing materials (e.g., wrought iron-styled aluminum fencing).*
- c. In addition, black fabric mesh, or similarly opaque and approved materials, shall be installed on the interior side of the decorative metal fencing in order to visually screen any materials which may be stacked or stored on the inside of the garden center decorative wall system.*

- d. Garden center wall exterior foundations shall adhere to primary and secondary building facade landscaping requirements.*

***Sec. 23-1709. - Curb stops; building perimeter crosswalks.***

- (a) Curb stops shall be required whenever parking facilities directly abut pedestrian walkways.*
- (b) Building perimeter crosswalks shall be designed and coordinated to move people safely to and from buildings and parking areas by identifying pedestrian crossings with signage and variations in pavement materials or markings.*
- (c) Pedestrian walkways shall be a minimum of five (5) feet wide. Materials may include concrete, brick, or other material as approved by the city's Building and Development Director. Pedestrian walkways through a parking lot or drive area shall be designated or identified by not only painted stripes but also other material or treatment sufficiently to clearly designate or identify them as such. Pedestrian walkways shall be curbed wherever possible. Textured pedestrian walkways surfaces shall be sufficiently smooth not to hinder walking or the movement of shopping carts or strollers.*

***Sec. 23-1710. Design Review Board***

- (a) The Mayor and City Council may constitute a Design Review Board. If such Board is constituted, it shall consist of five (5) individual volunteers that have qualifications in either engineering, architecture planning or design. The term of the members shall be two (2) years. The committee shall make recommendations to the Planning Director pursuant to the requirements of this Article and shall make*

*decisions in regards to variations requested by the applicant pursuant to this Article.*

- (b) Prior to the issuance of any land disturbance permit, building permit, or sign permit for properties under the scope of this Article, and after submission of applications for same to the Planning Director, full plans, including a site plan, landscaping plan, building design including elevations and architectural details of proposed buildings, exterior materials and colors, and plans and elevations of all sides, all of which shall demonstrate that the proposed design is in compliance with all of the requirements of this Article or request specific variations pursuant to the authority of this Article, shall be submitted to the Design Review Board for approval.*
- (c) Upon submission, the Design Review Board shall review same in a public meeting no later than ten (10) business days following the date of submission, which meeting shall be public and noticed to the applicant no later than five (5) days prior to the meeting. The Planning Director shall make any other notification to adjacent property owners as he deems necessary in order to notify same of the proposed meeting, and the cost of said notifications shall be borne by the applicant.*
- (d) The Mayor and City Council may adopt a fee in addition to any other plans submission fee for those applications that must be forwarded to the Design Review Board for review.*
- (e) At the conclusion of the meeting, unless same is postponed at the request of the applicant, the Design Review Board shall issue its approval or denial of the application based on the standards in this Article. As to the provisions of this*

*Article, the decision of the Design Review Board shall be final and may be appealed as authorized in this Article.*

## **Section 2**

That Chapter 23 (Zoning) is further amended by adding a definition of “Big Box Development” to Section 23-402 to read as follows:

*“Big box development” shall mean an individual retail and/or wholesale commercial establishment (store) with more than seventy-five thousand (75,000) square feet of gross floor area, which may include a home improvement center or a membership warehouse club. The "gross floor area" of such a store includes outdoor storage areas and any outdoor area providing services, such as, but not limited to, outdoor merchandise display, garden supplies, plant display, snack bars, etc. "Gross floor area," however, does not include loading areas. For the purpose of determining the applicability of the seventy-five thousand (75,000) square foot threshold, the aggregate square footage of all adjacent stores which may share either a series of checkout stands, management areas, storage areas, common entrances, or a controlling ownership interest, shall be considered a single commercial establishment (for example, a plant nursery associated with a general merchandise store or home improvement store, or a discount department store associated with a grocery store). The term "big box development" does not include an individual commercial establishment integrated within an indoor mall regional shopping facility.*

## **Section 3**

That the City of Doraville Code of Ordinance is hereby further amended by deleting Article XII of Chapter 5 of the City Code (Design Guidelines), Sections 5-321, 5-322 and 5-323 in their entirety and leaving that Article “Reserved.”



#### **Section 4**

a. It is hereby declared to be the intention of the Mayor and Council that all sections, paragraphs, sentences, clauses and phrases of this Ordinance are or were, upon their enactment, believed by the Mayor and Council to be fully valid, enforceable and constitutional.

b. It is hereby declared to be the intention of the Mayor and Council that, to the greatest extent allowed by law, each and every section, paragraph, sentence, clause or phrase of this Ordinance is severable from every other section, paragraph, sentence, clause or phrase of this Ordinance. It is hereby further declared to be the intention of the Mayor and Council that, to the greatest extent allowed by law, no section, paragraph, sentence, clause or phrase of this Ordinance is mutually dependent upon any other section paragraph, sentence, clause or phrase of this Ordinance.

c. In the event that any phrase, clause, sentence, paragraph or section of this Ordinance shall, for any reason whatsoever, be declared invalid, unconstitutional or otherwise unenforceable by the valid judgment or decree of any court of competent jurisdiction, it is the express intent of the Mayor and Council that such invalidity, unconstitutionality or unenforceability shall, to the greatest extent allowed by law, not render invalid, unconstitutional or otherwise unenforceable any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinance and that, to the greatest extent allowed by law, all remaining phrases, clauses, sentences, paragraphs and sections of the Ordinance shall remain valid, constitutional, enforceable, and of full force and effect.

#### **Section 5**

All ordinances or parts of ordinances in conflict herewith are hereby expressly repealed.

**Section 6**

The Ordinance shall be codified in a manner consistent with the laws of the State of Georgia and the City of Doraville.

**Section 7**

It is the intention of the governing body, and it is hereby ordained that the provisions of this Ordinance shall become and be made part of the Code of Ordinances, City of Doraville, Georgia and the sections of this Ordinance may be renumbered to accomplish such intention.

**Section 8**

This Ordinance shall become effective on the date of adoption.

SO ORDAINED AND EFFECTIVE, this \_\_\_\_ day of \_\_\_\_\_, 2013.

**CITY OF DORAVILLE, GEORGIA**

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
First Reading

\_\_\_\_\_  
Second Reading

ATTEST:

\_\_\_\_\_(SEAL)  
Sandra Bryant, Acting City Clerk

APPROVED AS TO FORM:

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Cecil G. McLendon, Jr., City Attorney

	Yea	Nay
Maria Alexander	<input type="checkbox"/>	<input type="checkbox"/>
Brian Bates	<input type="checkbox"/>	<input type="checkbox"/>
Pam Fleming	<input type="checkbox"/>	<input type="checkbox"/>
Karen Pachuta	<input type="checkbox"/>	<input type="checkbox"/>
Trudy Jones Dean	<input type="checkbox"/>	<input type="checkbox"/>
Robert Patrick	<input type="checkbox"/>	<input type="checkbox"/>