

**Planning & Economic  
Development**

Saco City Hall  
300 Main Street  
Saco, Maine 04072-1538



**Jason Garnham AICP  
City Planner**

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**TO:** Planning Board  
**FROM:** Jason Garnham, City Planner  
**DATE:** Meeting of April 5, 2022  
**RE:** 507 Main St -- Site Plan Review  
Tax Map 37, Lot 6

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## Memorandum

### I. Overview:

Saco Retail Management LLC, represented by Alrig USA and Stonefield Engineering & Design, proposes to construct an approximately 5,350 square foot multi-tenant commercial building at 507 Main Street, the site of a former Pizza Hut. The existing building will be razed and the new building will be constructed in a similar location and the site will be accessed from Smith Lane via a new driveway located east of the existing driveway on Smith Lane. A Contract Zone Agreement to allow fast-food use of the property and to authorize exceptions from dimensional requirements of Saco's Zoning Ordinance was approved by City Council on July 12, 2021. The Planning Board reviewed this application during the May 18 and July 27, 2021, and March 15, 2022 meetings.

### II. Application Completeness:

The Planning Board found this application to be complete during the March 15, 2022 meeting.

### III. Public Hearing:

A public hearing was held on March 15, 2022 and the Planning Board voted to continue the hearing to the April 5, 2022 meeting to provide time for the applicant to re-install a sign on the property as required by the Site Plan Review Ordinance. Photos documenting re-installation of the required signage were provided to Planning staff on March 28, 2022. Testimony should be limited to items which were not previously heard by the Board.

After public comment is received and discussion, a suggested motion is: ***"I move to close (or continue) the public hearing."***

### Discussion:

Signage: The March 15, 2022 hearing was continued so the applicant could re-install the sign at the property that is required by Section 3.01(a.iii.2) of Saco's Site Plan Ordinance. Signage was reinstalled by March 28, 2022 fulfill this requirement.

Traffic: Traffic impacts from the proposed use were discussed at length during the March 15 meeting. The applicant had obtained a Draft Traffic Movement Permit from the Maine Department of Transportation (MDOT) at that time. MDOT subsequently issued the final TMP for this project on March 18, 2022.

### Exhibits:

The updated TMP, color plans provided by the applicant during the March 15 meeting, and written correspondence received by staff after the March 15 meeting packet was published are included in the packet for this meeting. The application and other plan details were included in the previous meeting packet and can be reviewed at:

[507 Main St Complete 2022 0315.pdf \(revize.com\)](#)

#### IV. Conclusion and Draft Motion:

Based on review of the application, the findings of fact, and of any testimony provided during the public hearing, the Planning Board may approve the project as currently designed, propose additional conditions of approval, or request plan revisions for review at a future meeting. City staff find that, as revised, this proposal substantially complies with the design requirements of Saco's ordinances as detailed in the findings of fact and as conditioned and therefore recommend approval of this application by the board.

If the Planning Board agrees, then a suggested motion is: ***"I move to approve the Site Plan Review Application for the proposed multi-tenant commercial development at Lot 6 of Map 37 property on Portland Rd with the conditions proposed by staff in this report."***

Saco Planning Board  
DRAFT Findings of Fact  
507 Main St Map 37 Lot 6  
Site Plan Review  
April 5, 2022

1. Applicant: Saco Retail Management LLC, represented by Alrig USA, [heather@alrigusa.com](mailto:heather@alrigusa.com), and Stonefield Engineering & Design, [jkline@stonefieldeng.com](mailto:jkline@stonefieldeng.com)
2. Property Owner: 507 Main Street, LLC.
3. Development Proposed: construct an approximately 5,350 square foot multi-tenant commercial building at 507 Main Street, the site of a former Pizza Hut at Lot 6 of Map 37.
4. Property is identified as Tax Map 37, Lot 6, located on Main St and is referenced in the York County Registry of Deeds as Book 15819, Page 490.
5. The subject property is approximately 1.67 acres in area and was previously developed with a restaurant.
6. City Permits Required: The project is subject to Site Plan Review per Article III of the City's Site Plan Review ordinance and will be subject to a building permit issued through the Code Enforcement Department.
7. A Contract Zone Agreement to allow fast-food use of the property and to authorize exceptions from dimensional requirements of Saco's Zoning Ordinance was approved by City Council on July 12, 2021.
8. The subject property is in HB – Highway Business zoning district.
9. The Site Plan Review Application and supporting plans and studies were initially submitted to the City on February 11, 2021. City review is based on plans prepared by Stonefield and submitted to the Planning Department on February 18, 2022, and on plans submitted to Maine DOT on March 7, 2022. Planning Department staff review the application for completeness and solicited comments from the following reviewing Departments: Code Enforcement, Public Works, Parks & Recreation, Police Department, Water Resources Recovery District, Assessor, and Fire.
10. Certain aspects of this application were also reviewed on the City's behalf by qualified independent consultants. Lighting plans were reviewed by Michael Tadema-Wielandt of Terradyn Consultants, LLC. Site plans and traffic impact information was reviewed by Diane Morabito of Sewall. Wetland data was reviewed by Benjamin Griffiths of Normandeau Associates.

11. A Traffic Movement Permit (TMP) from Maine DoT is required for this project. A TMP for this project was issued by MDOT on March 18, 2022.
12. A connector street between Stockman Ave and Smith Lane is envisioned for improving street network connectivity to ease congestion and facilitate access to properties. Dedication of the eastern portion of the subject property was discussed with the property owner and memorialized in the Contract Zone Agreement. A draft deed for achieving this land dedication has been signed by the property owner and reviewed by the City Attorney. Final execution and recording of the deed is pending project approval.
13. City staff makes the following **findings**, per Article VI of the Site Plan Review ordinance:

**Section 6.01 Criteria for Site Plan Approval**

To be approved, the applicant shall demonstrate the following requirements and criteria for site plan approval are met:

a. *Compliance with all Applicable Standards. The proposed development shall comply with all Good Neighbor standards, Performance standards, the Zoning Ordinance and, if applicable, standards of the natural resource districts.*

1. **Zoning Uses:** Table 3-3 of Saco’s Zoning Ordinance establishes a variety of retail and commercial uses as Permitted in HB zoning districts. However, fast food use is not permitted in HB zoning districts. A Contract Zone Agreement to allow fast-food use of the property and to authorize exceptions from dimensional requirements of Saco’s Zoning Ordinance was approved by City Council on July 12, 2021.

Article IV Dimensional Standards (See Site Plan Sheet C100 and Elevations)

Standard	Dimension	Complies?
Minimum street frontage	100 feet	Yes: 116 feet
Minimum building setback - front	15 feet	Yes: 30 feet
Minimum building setback – side and rear	10 feet	Yes: approximately 15 feet
Maximum site coverage (by buildings)	50 percent	Yes: 7.4% net acreage coverage
Maximum building height	50 feet	Yes: 23-foot proposed height

Article IV: Good Neighbor Performance Standards

Standard	Impact/ Standard	Comment
VI2	Dust, Fumes, Vapors, and Gasses	Generally complies/ no significant impacts anticipated
VI3	Explosive Materials	Generally complies
VI4	Exterior Lighting	Complies with standards per lighting plan and peer review memo. No light spillage will impact nearby property or public areas.
VI5	Noise	No significant noise impacts anticipated
VI6	Odors	No significant odors anticipated
VI7	Screening	See Sections d and g, below
VI8	Sanitary Waste Disposal	Solid waste and WRRD service available.
VI9	Storage and Handling of Chemicals, etc	Explosive or hazardous chemicals not anticipated. State & federal laws apply.
VI10	Water Quality	No discharges to ground or surface water anticipated except via approved stormwater systems.

Article VII: Performance Standards

### VIII16. Outdoor Storage:

Outdoor storage is prohibited within 100 feet of public areas. Outdoor storage is also prohibited in side, rear, and front setbacks. No outdoor storage is proposed.

### VIII20. Suitability of Soils for Development:

The site is already developed. Onsite soils support development.

### VIII23. Traffic and Street access.

This development is proposed to be accessed from Smith Lane via a driveway to be constructed east of the existing driveway, which will be closed. A future primary access is intended to be provided from the rear of the property via a roadway that is to be constructed at an undetermined future time. The driveway connecting to Smith Lane will be closed when this future driveway is constructed. Secondary access is provided from neighboring properties and parking areas.

According to the draft Traffic Movement Permit provided by Maine DOT staff, the proposal is estimated to generate 125 to 147 peak hour trips more than the previous use of the property. To mitigate for these incremental impacts to the local street system, Maine DoT is requiring the applicant to: modify the traffic signal to change the exclusive pedestrian phase to concurrent phases with each movement, add a Lead Pedestrian Interval (LPI) to the phase crossing Main Street, and add a "Yield to Pedestrians" LED blank out signs for the Smith Lane and Hutchins Drive approaches. The applicant is also required to pay impact fees totaling \$49,155 to Maine DoT to contribute to projects which improve traffic safety or capacity in nearby roadways.

### IX: Signs

Signage for the proposed development will be reviewed separately via submittal of a sign permit application to the Saco Code Enforcement Office. An on-site sign plan was provided with this application.

### X: Parking

Zoning	Standard	Complies?	Source
Table 10-1	60 spaces required (see site plan)	Yes: 65 spaces provided	Site Plan
X2.A	9 X 18 stall sizes & 24-foot drive aisle width	22 parking stalls, 24' drive aisles	1: site plan
X2.C	Visual obstructions and walkways	Driveway is free of obstructions. Pedestrian facilities provided to Main Street and to Smith Lane.	1: site plan
X2.D	Avoid light spillage on neighboring areas	Complies per lighting plans and peer review memo.	Lighting
X2.E	Buffers: parking areas and driveways at least 5 feet from property lines	Yes; except for existing drive aisle along north property line. CZA authorizes exceptions to dimensional standards.	Site Plan
X2.F	Landscaping	Yes: trees and shrubs in perimeter and planter areas.	Landscaping Plan

### XII: Stormwater and Erosion Control Standards

Stormwater runoff from impervious surfaces will be collected and conveyed to an on-site stormwater system designed to City standards. Inspections by a Professional Engineer during construction will ensure implementation of erosion control measures required for this project.

### XIII6: Traffic Mitigation and Bicycle & Pedestrian Infrastructure Fee

Saco's Zoning Ordinance authorizes the Planning Board to determine fees for mitigating traffic congestion and to enhance the safety of motorists, bicyclists, and pedestrians in the City's public ways.

This project is anticipated to generate approximately 125 to 147 peak hour trips more than the previous use of the property, which will have incremental impacts on the local street system. Mitigation measures including signal improvements and payment of impact fees are required by Maine DoT. Sidewalks will be constructed on Smith Lane to improve conditions for pedestrians traveling to or near the site.

b	Landscaping/ buffering	Mix of shrubs and trees proposed to be planted in front and side yard areas and in planter islands throughout the site. An existing parking lot in the eastern portion of the site is dedicated to the City for future road construction and will function as a buffer area from neighboring properties in the interim.	Landscaping Plan
c	Building materials & glare	Brick veneer, textured masonry, awnings, and transparent glass fenestration minimizes glare and is consistent with commercial retail and restaurant development.	Elevations
d.i	Continuity, Connectivity, Compatibility	The proposed building is similar in size the existing building on the site and is similar in size, proportions, and character to other commercial buildings in the vicinity. A mix of trees and shrubs are proposed to be planted in perimeter and planter areas to screen the development from nearby areas. Setbacks and site layout match existing.	Site plan, Elevations
d.ii	Height	Maximum building height is 23 feet. This is similar to other commercial buildings in the vicinity and is not anticipated to adversely impact neighboring properties.	Elevations
d.iii	Length of Walls	The “front” façade faces Main Street and is approximately 67 feet long. This façade includes three storefronts which are defined by separate entries and variations in finish materials. The rear façade includes service entries and roof access equipment. Side facades include unfenestrated sections. Visual interest in these areas is provided via finish material variation. Drive aisles abut these facades so additional entries may not be appropriate. The Planning Board may wish to discuss this design criterion.	Elevations
d.iv	Exterior materials	Brick veneer and textured stucco finish is easily maintained and typical of small-scale commercial buildings.	Elevations
d.v	Roof	A flat roof is proposed. Flat roofs are typical of modest “box” retail architecture. Visual interest and unit definition is provided via variation in rooflines and finish materials.	Elevations
d.vi	Fenestration	Transparent storefront windows and doors define entries and identify the commercial character of the building.	Elevations
d.vii	Circulation	Parking, driveway, loading, and emergency vehicle maneuvering areas are designed in accordance with City standards. Drive-through facilities located between the building and the street are authorized by the Contract Zone Agreement that was approved by Saco City Council for this project. Walkways connect building entries to sidewalks along abutting streets.	Site Plan
d.viii	Parking	Parking and driveway areas will remain substantially as currently configured. Access for emergency vehicles is provided per City standards.	Site Plan
d.ix	Private-Public Realm Interface	Canopies, storefront glass fenestration, decorative lighting, and brick veneer finish materials define entries and enhance the human scale of the building. Walkways and landscaping encourage pedestrian access.	Elevations
d.x	Pedestrian Access	Walkways connect building entries to sidewalks along abutting streets. Improvements to signals and crossing facilities at the Main St/ Smith Lane intersection are proposed to improve safety and utility for pedestrians in the vicinity. The developer is also	Site Plan, Draft TMP

		required to construct sidewalks along Smith Lane as shown on site plans. Design details remain outstanding as evidenced by the March 2, 2022 memo from City Engineer Joe Laverriere. However, remaining items are minor in nature and should be completed following planning board approval but prior to start of construction.	
d.xi	Street Trees	A robust mix of trees and shrubs is proposed to be planted along the Main Street property edge. Plantings are proposed in limited portions of the property boundary with Smith Lane. The Board may wish to discuss additional plantings along Smith Lane. Underground stormwater facilities or vehicle maneuvering areas occupy remaining portions of the subject property along Smith Lane, preventing planting of trees in those areas.	Landscaping

- b. *Other Laws.* The proposed development satisfies the requirements set forth in this chapter, other local ordinances, and applicable state and federal laws. The proposed use meets the specific requirements set forth in Saco's Site Plan and Zoning Ordinances. The applicant is responsible for complying with any applicable state or federal laws or permitting requirements. A draft Traffic Movement Permit has been obtained for this project from Maine DoT.
- c. *Compatibility with Neighboring Buildings.* The bulk, location, and height of proposed structures are compatible with neighboring properties. The proposed building design complies with the dimensional standards of HB Zoning districts and is similar to nearby commercial developments.
- d. *Natural Features.* The structures and other improvements are harmonious with the site's natural features, preserve the natural landscape, and minimize grade changes. The site was previously developed with a restaurant. The proposed project utilizes a similar building, driveway, and parking configuration. Changes to grading or natural features are minimal.
- e. *Public Safety.* Access to the site and structures is adequate for emergency responders and will not create fire hazards or other safety hazards. The assigned street number shall be prominently displayed on the front of the building or on a sign post. Access to the site is not anticipated to create fire safety hazards. Building and site signage will adequately display the property address.
- f. *Lighting.* The proposed exterior lighting does not create glare or hazards to motorists, is adequate for safety, and does not damage the value or diminish the usability of adjacent properties. Per a photometric plan submitted by the applicant, proposed exterior lighting and buffer areas will not create glare or hazards to motorists or diminish the value or utility of adjacent properties.
- g. *Landscaping.* Buffers, screens, and on-site landscaping is provided to minimize the impact of parking areas and other features on neighboring property. Mix of shrubs and trees proposed to be planted in front and side yard areas and in planter islands throughout the site per Landscape Plans provided by the applicant. An existing parking lot in the eastern portion of the site is dedicated to the City for future road construction and will function as a buffer area from neighboring properties in the interim.
- h. *Off-site Impacts.* The proposed development does not have a significant detrimental effect on the use and peaceful enjoyment of abutting property as a result of noise, vibrations, fumes, odors, dust, or other cause. The proposed development is not anticipated to have significant impacts on neighboring properties due to noise, odors or fumes, dust, or other causes.
- i. *Vehicle Circulation and Pedestrian Access.* The provisions for vehicular loading, unloading, parking, and vehicular and pedestrian circulation on the site and onto adjacent public streets do not create hazardous and unsafe conditions. Proposed driveway,

parking, walkway, and loading/unloading areas provide for safe pedestrian and vehicular movement on site. Walkways will provide pedestrian access from Main Street and Smith Lane.

- j. Flood Hazards. The design conforms with flood hazard protection requirements. The site is not within a flood hazard zone.*
- k. Wastewater. Adequate provisions are made for disposal of wastewater. The plans for this development were reviewed by Saco Water Resource Recovery District staff. Sewer service is available to serve the proposed development.*
- l. Solid Waste. Adequate provisions are made for disposal of solid waste, including provisions for recycling. Proposed dumpsters on site provide adequate capacity for new solid waste generation associated with the site plan amendment.*
- m. Stormwater and Erosion Controls. Adequate provisions are made to control erosion, sedimentation, and stormwater runoff and shall comply with stormwater and erosion control requirements of the City of Saco Zoning Ordinance. Stormwater runoff from impervious surfaces is proposed to be collected and conveyed to an on-site stormwater system that is designed in accordance with City standards.*
- n. Water Supply. The proposed water supply is sufficient for the proposed use, and for fire protection purposes. No degradation of service in the area shall occur as a result of the proposed development. The regular maintenance of private fire hydrants shall be documented. Public water facilities are available to serve this development.*
- o. Hazardous Materials. Adequate provisions are made for the transportation, storage and disposal of hazardous substances and materials. No hazardous materials are associated with this application.*
- p. Wildlife, Scenery, and Unique & Critical Areas. The proposed development will not have an adverse impact on significant scenic vistas, significant wildlife habitats, or unique natural areas that could be avoided by reasonable modification of the plan. The proposal is not anticipated to have adverse affects on significant visas, wildlife habitats, or unique natural areas based on application materials submitted.*
- q. Traffic. The proposed development will not cause safety hazards and will be consistent with generally accepted complete street standards. The project complies with City standards for sight distance, driveway and parking lot design, and emergency vehicle access and is generally not anticipated to cause significant traffic safety hazards. Impacts to the local traffic system will be mitigated via implementation of signal improvements and payment of impact fees per the draft Traffic Movement Permit from Maine DoT.*
- r. Water Quality. Surface water impacts of the proposed development shall be no greater than allowed and permitted under State Law. Surface water runoff from the proposed improvements will be collected and conveyed to an on-site stormwater system for detention and water quality treatment. This system is designed in compliance with City standards as evidenced by the City Engineer's review and recommendations for this application.*
- s. Utilities. The proposed development does not impose an unreasonable burden on sewers, storm drains, water lines, or other public utilities. No unreasonable burdens on public utilities are anticipated from this project as currently proposed.*
- t. Audio-Visual Buffer. Setbacks and screening provide a robust audio/visual buffer so as to minimize adverse impacts on nearby properties. The proposed application shall meet all setback as required by the HB Zone. Site plans include landscaping that will provide adequate screening of the proposed development.*

Saco Planning Department  
Conditions of Approval  
507 Main St Map 37 Lot 6  
Site Plan Review  
April 5, 2022

1. All work shall be in conformance with the approved plans prepared by BH2M, submitted to City staff on January 31, 2022 and included in the packet for the March 1, 2022 Planning Board meeting;
2. No deviations from the approved plans are permitted without prior approval from the City Planner.
3. A financial guarantee, acceptable to the City of Saco, shall be established for the construction cost of all required improvements, including but not limited to the following: utility installation; landscaping; paving; work within ROW; road construction, drainage, loam & seed; and sediment & erosion control. To establish the amount of the financial guarantee, the applicant shall provide the City with itemized, per unit cost estimates, and a construction schedule, at least one week before any anticipated site work. This financial guarantee shall be maintained for a period not less than three months beyond the anticipated completion of the project. As-built plans shall be provided for review and approval by City staff prior to release of the financial guarantee funds by the City.
4. Prior to work commencing, the applicant shall establish a construction inspection account equal to 3% of the base cost of the financial guarantee described in Condition 5.
5. No work shall commence until a PDF of the final plans has been received by the Planning & Development Department and signed by the Planning Board.
6. Prior to any construction activities, the applicant and contractor shall meet with the City Engineer and City Planner to review plans, inspection schedules and erosion control practices.
7. All plans and specifications shall be provided on disk in an AutoCAD format. The final plan shall be submitted in digital format as a single composite electronic file. The plan may be submitted on a disc, via e-mail, or other format acceptable to the City Planner, and shall be compatible with commonly used CAD and/or GIS software. See Section 6.2.6 of the Subdivision Regulations for further detail.
8. Prior to the start of construction, the applicant shall be required to execute Form 1 contained in Section 805 of the zoning ordinance and provide a recorded copy to the City.
9. The applicant shall be required to perform routine inspection and maintenance of the stormwater facilities as outlined in the operations and maintenance manual development specifically for the site. A copy of the annual inspection and maintenance report including inspection log(s) shall be submitted annually (by July 15th of each year) to the City Public Works Department.
10. Proprietary StormTech Subsurface Sand Filter:
  - Prior to the start of construction, provide a copy of an executed, renewable 5-year contract between the owner and a MDEP approved maintenance operator for the inspection and maintenance of the subsurface sand filter system.
  - During construction, a manufacturer representative shall be onsite to ensure the installation is performed in accordance with the approval requirements outlined in the MDEP authorization for use under Chapter 500.
11. Any installation of underground electrical services, telephone, and cable shall provide Saco's Code Enforcement Office with a complete set of "As Built" drawings showing their location, length, size, and depth.
12. All underground electrical services, telephone, and cable must be installed under the supervision of a licensed Master Electrician or Journeyman (who works for a Master Electrician). The electrician will certify that any installation was done in compliance with the National Electrical Code (NFPA 70) and Local

Ordinances. The electrician is responsible for obtaining applicable permits, scheduling any and all needed inspections, and supplying Saco's Code Enforcement Office with "As Built" drawings.

13. Addressing for the new units must be approved by the City's addressing officer prior to City issuance of a Certificate of Occupancy. Contact Saco's Code Enforcement Office or Fire Department for more information during the building permit process.
14. This approval remains valid provided that substantial construction of this approved plan starts within twenty-four months. The applicant may apply for an extension, provided that the request is made before the site plan approval expires.

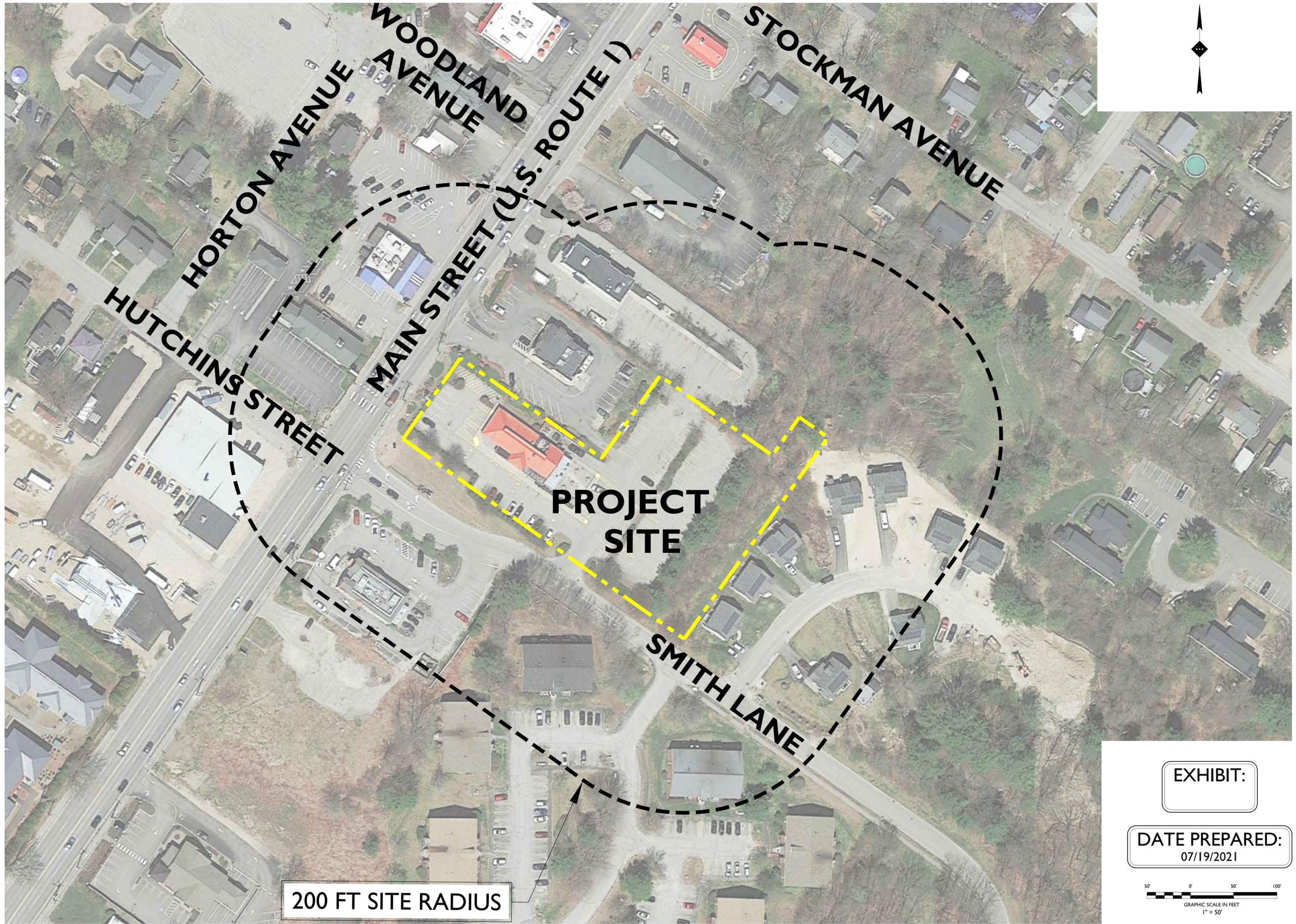
#### Saco Water Resource Recovery District Conditions:

#### COMMENTS:

1. The WRRD will look for both grease traps to be maintained on an appropriate maintenance schedule and will want to verify that sizing is appropriate for proposed restaurants.
2. Because this is a three-unit multi-tenant building, a completed Wastewater Discharge Application Form is required for each unit.
3. Each unit to have a separate water meter.
4. Impact fees will apply and will be calculated based on proposed tenant uses per Chapter 176. The WRRD is pending information from the applicant on proposed water usage for each tenant. This information should be provided and verified as soon as possible to confirm capacity.

#### STANDARD CONDITIONS:

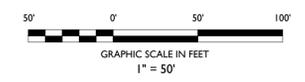
1. All connections must be made in accordance with specifications of the Technical Design Construction Standards Manual (TDCSM), Chapter 176 and Chapter 186 of the City's Ordinances, site plan details, and any other applicable City, state, or federal standards.
2. Fats, oils, and grease (FOG) control devices are required for all food-related and eating establishment uses. Grease trap specifications, including sizing, are to be approved by the WRRD before installation.
3. Impact fees are calculated per Chapter 176 of City ordinances. Impact fees are paid to the Code Enforcement Department upon building permit issuance.
4. For uses that could emit an odor beyond the property line within the sewer system, the applicant shall be required to install appropriate pretreatment devices and submit an odor control plan to the satisfaction of the WRRD and Code Enforcement Department. The applicant shall be required to enter into monitoring agreement for odor control and may be required to complete additional studies about potential impacts before sewer connection.



200 FT SITE RADIUS

EXHIBIT:

DATE PREPARED:  
07/19/2021



ISSUE	DATE	BY	DESCRIPTION
1	07/19/2021	NRK	HEARING EXHIBIT

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

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**ALRIG**  
USA

**PROPOSED MULTI-TENANT  
COMMERCIAL BUILDING**

MAP 033, LOT 2-1  
507 MAIN STREET (US ROUTE 1)(COUNTY ROUTE 5)  
CITY OF SACO  
YORK COUNTY, MAINE

JOSHUA H. KLINE, P.E.  
NEW JERSEY LICENSE No. 54347  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: 1" = 50' PROJECT ID: BOS-200040

TITLE:  
**AERIAL EXHIBIT**

DRAWING:  
**1 OF 1**

2:0070748020200040-ALRIG-507 MAIN STREET, YORK, RECORDS/DOH/HEALTH/AERIAL EXHIBIT/2021/07/19\_AERIAL EXHIBIT.DWG

LAND USE AND ZONING			
MAP 033, LOT 2-1			
HIGHWAY BUSINESS DISTRICT (HB)			
<b>PROPOSED USE</b>			
DRIVE-THROUGH WINDOW SERVICE	PERMITTED USE		
FAST FOOD RESTAURANT	NON-PERMITTED USE (*)		
FOOD AND DRINK	PERMITTED USE		
RETAIL	PERMITTED USE		
<b>ZONING REQUIREMENT</b>	<b>REQUIRED</b>	<b>EXISTING</b>	<b>PROPOSED</b>
MINIMUM LOT AREA	7,500 SF	72,359 SF (1.67 AC)	72,359 SF (1.67 AC)
MINIMUM STREET FRONTAGE	100 FT	115.9 FT	115.9 FT
MINIMUM FRONT YARD SETBACK	15 FT	51.1 FT	30.2 FT
MINIMUM SIDE YARD SETBACK	10 FT	20.2 FT	BUILDING: 15.7 FT CANOPY: 12.7 FT
MINIMUM REAR (RESIDENTIAL) YARD SETBACK	10 FT	180.5 FT	234.5 FT
MAXIMUM LOT COVERAGE	50% (36,179 SF)	5.8% (4,220 SF)	7.4% (5,363 SF)
MAXIMUM BUILDING HEIGHT	50 FT	30 FT	23 FT

(\*) RELIEF INCLUDED AS PART OF CONTRACT ZONE AGREEMENT

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 230-VII.23.A(1)	MAXIMUM CURB CUTS FOR SINGLE LOT: 1	1 CURB CUT
§ 230-VII.23.D	DRIVEWAY CORNER CLEARANCE FOR SIGNALIZED INTERSECTION: 125 FT	275.8 FT
§ 230-X2.A	MINIMUM PARKING DIMENSIONS: SPACE SIZE: 9 FT X 18 FT TWO-WAY DRIVE AISLE: 24 FT ONE-WAY DRIVE AISLE: 16 FT	9 FT X 18 FT 24 FT 16 FT
§ 230-XI.B TABLE 10-1	REQUIRED PARKING FOR EATING & DRINKING: 1 SPACE PER 75 SF OF TOTAL FLOOR AREA (3,949 SF) X (1 SPACE/75 SF) = 52.7 SPACES  REQUIRED PARKING FOR RETAIL: 1 SPACE PER 200 SF OF TOTAL FLOOR AREA (1,414 SF) X (1 SPACE/200 SF) = 7.1 SPACES  TOTAL REQUIRED PARKING: 60 SPACES	65 SPACES
§ 230-X2.E	PARKING SPACE & ACCESS DRIVE SIDE AND REAR LOT LINE SETBACK: 5 FT	1.0 FT*
§ 230-X2.F(3)	MAXIMUM PARKING BETWEEN FRONT OF BUILDING AND MAIN STREET: 0 SPACES	14 SPACES*
§ 230-X2.H	PARKING LOT INTERCONNECTIONS VIA INTERIOR CONNECTING ROADWAYS	COMPLIES
§ 230-X2.K	REQUIRED RESTAURANT DRIVE-THROUGH STACKING SPACES: 10 SPACES PER WINDOW (1 WINDOW) X (10 SPACES/1 WINDOW) = 10 SPACES  STACKING IN REQUIRED BUILDING SETBACKS: NOT PERMITTED	10 SPACES  1.0 FT*

(\*) RELIEF INCLUDED AS PART OF CONTRACT ZONE AGREEMENT

SIGN REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 230-IX4.C	FREESTANDING SIGN HEIGHT ON A DOUBLE FRONTAGE CORNER LOT*: BELOW 3 FT OR ABOVE 10 FT WHEN 15 FT FROM PUBLIC ROW	COMPLIES
§ 230-IX4.F(3)	ADVERTISING SIGN LOT LINE SETBACK: 5 FT FREESTANDING SIGN MAXIMUM HEIGHT: 25 FT	5 FT 20 FT
§ 230-IX4.G	MINIMUM DISTANCE BETWEEN FREESTANDING SIGNS ON PROPERTY: 100 FT	N/A
§ 230-IX4 TABLE 9-1	OVERALL SIZE ALLOWANCE: 2 SF PER 1 FT OF STRUCTURE WIDTH UP TO 150 SF (2 SF/1 FT) X (80 FT) = 160 SF, MAXIMUM 150 SF	33 SF
§ 230-IX4 TABLE 9-1	COMPLEX DIRECTORY SIGN REQUIREMENTS: MAXIMUM QUANTITY OF FREESTANDING OR WALL SIGNS: 1	1 FREESTANDING
§ 230-IX4 TABLE 9-1	MAXIMUM SIZE: 50% OF OVERALL SIZE ALLOWANCE (50%) X (150 SF) = 75 SF	33 SF
§ 230-IX4 TABLE 9-1	EACH FIRST FLOOR OCCUPANCY REQUIREMENTS*: MAXIMUM QUANTITY OF WALL, PROJECTING OR AWNING SIGNS: 2	2
§ 230-IX4 TABLE 9-1	WALL AND AWNING SIGNS MAXIMUM SIZE*: 100 SF	33 SF
§ 230-IX4 TABLE 9-1	FREESTANDING AND PROJECTING SIGNS MAXIMUM SIZE PER SIDE*: 75 SF	33 SF

(\*) PER SEC 230-IX3.C SIGNAGE THAT DOES NOT FACE A PUBLIC RIGHT OF WAY IS EXEMPT FROM REQUIREMENTS

EXHIBIT:

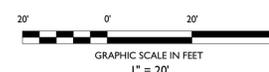
DATE PREPARED:  
03-09-2022



SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED DEPRESSED CURB
---	PROPOSED EXTENDED CURB
---	PROPOSED FLUSH CURB
---	PROPOSED SIGNS / BOLLARDS
---	PROPOSED BUILDING
---	PROPOSED CONCRETE
---	PROPOSED RETAINING WALL
---	PROPOSED AREA LIGHT
---	PROPOSED BUILDING DOORS

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW BY STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



DATE	ISSUE	BY	DESCRIPTION
03/07/2022	09	SPM	FOR MUNICIPAL RESUBMISSION
02/18/2022	08	SPM	FOR MUNICIPAL RESUBMISSION
12/20/2021	07	SPM	FOR MAINE DOT SUBMISSION
11/10/2021	06	BCC	FOR MAINE DOT SUBMISSION
10/18/2021	05	SPM	FOR MUNICIPAL RESUBMISSION
06/23/2021	04	AHM	PER CITY COMMENTS
05/14/2021	03	AHM	FOR CITY RESUBMISSION
04/16/2021	02	TRO	ISSUED FOR REVIEW
03/19/2021	01	TRO	FOR CITY SUBMISSION

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
engineering & design

Rutherford, NJ • New York, NY • Boston, MA  
Princeton, NJ • Tampa, FL • Detroit, MI  
www.stonefielddesign.com

1 Beacon Street, 15 Floor, Boston, MA 02108  
Phone: 617.203.2076

**PROPOSED MULTI-TENANT COMMERCIAL BUILDING**

ALRIG USA

MAP 033, LOT 2-1  
507 MAIN STREET (US ROUTE 1) (COUNTY ROUTE 5)  
CITY OF SACO  
YORK COUNTY, MAINE

JOSHUA H. KLINE, P.E.  
MAINE LICENSE NO. 16648  
LICENSED PROFESSIONAL ENGINEER

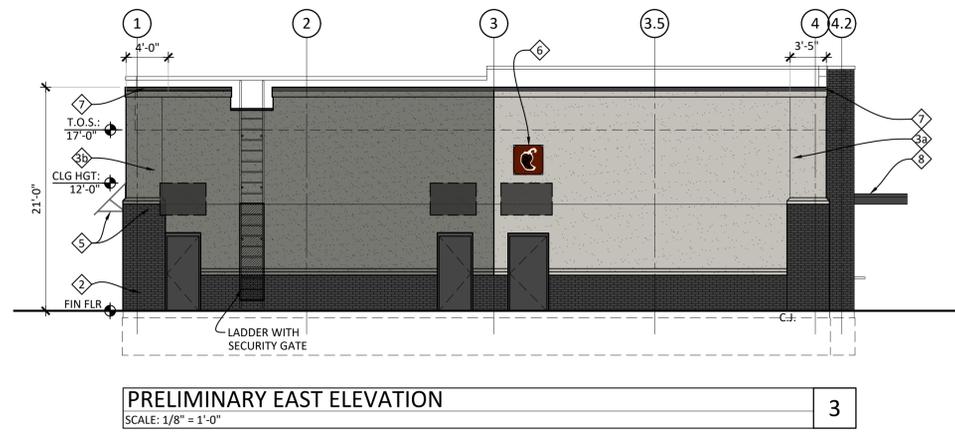
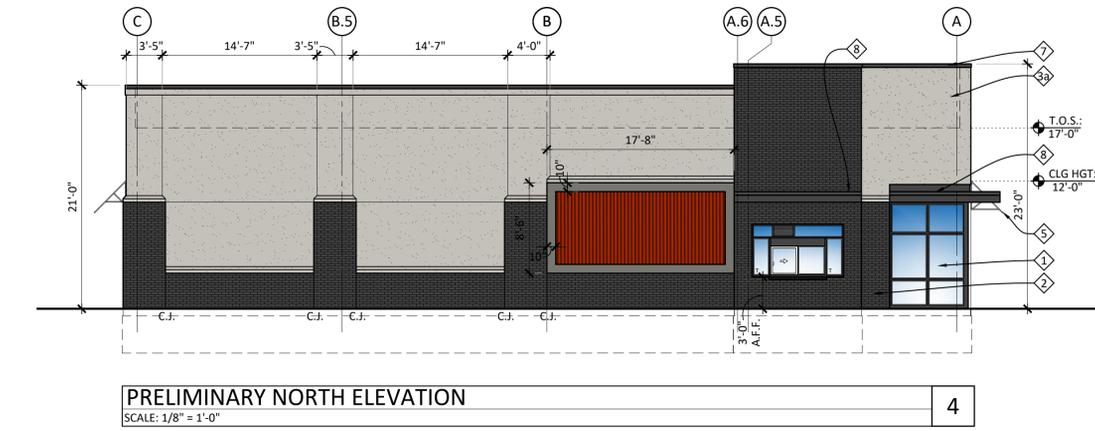
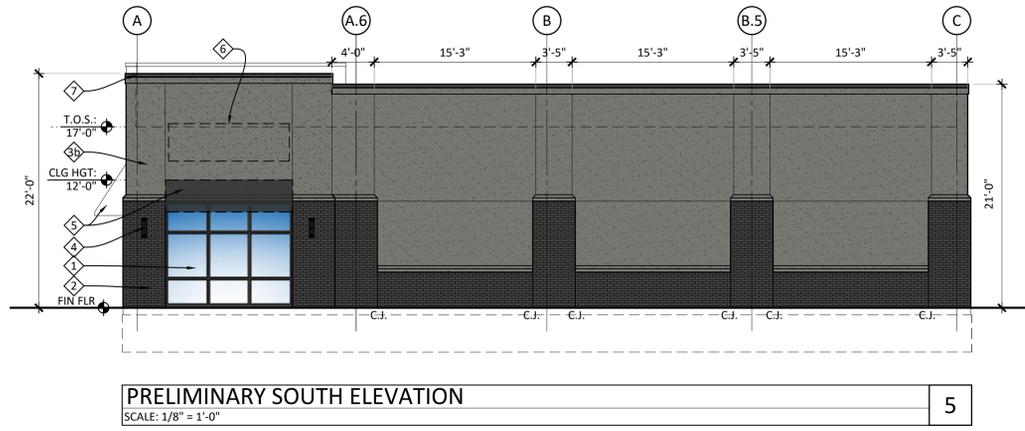
**STONEFIELD**  
engineering & design

SCALE: 1" = 20' PROJECT ID: BOS-200040

TITLE:  
**RENDERED SITE PLAN EXHIBIT**

DRAWING:

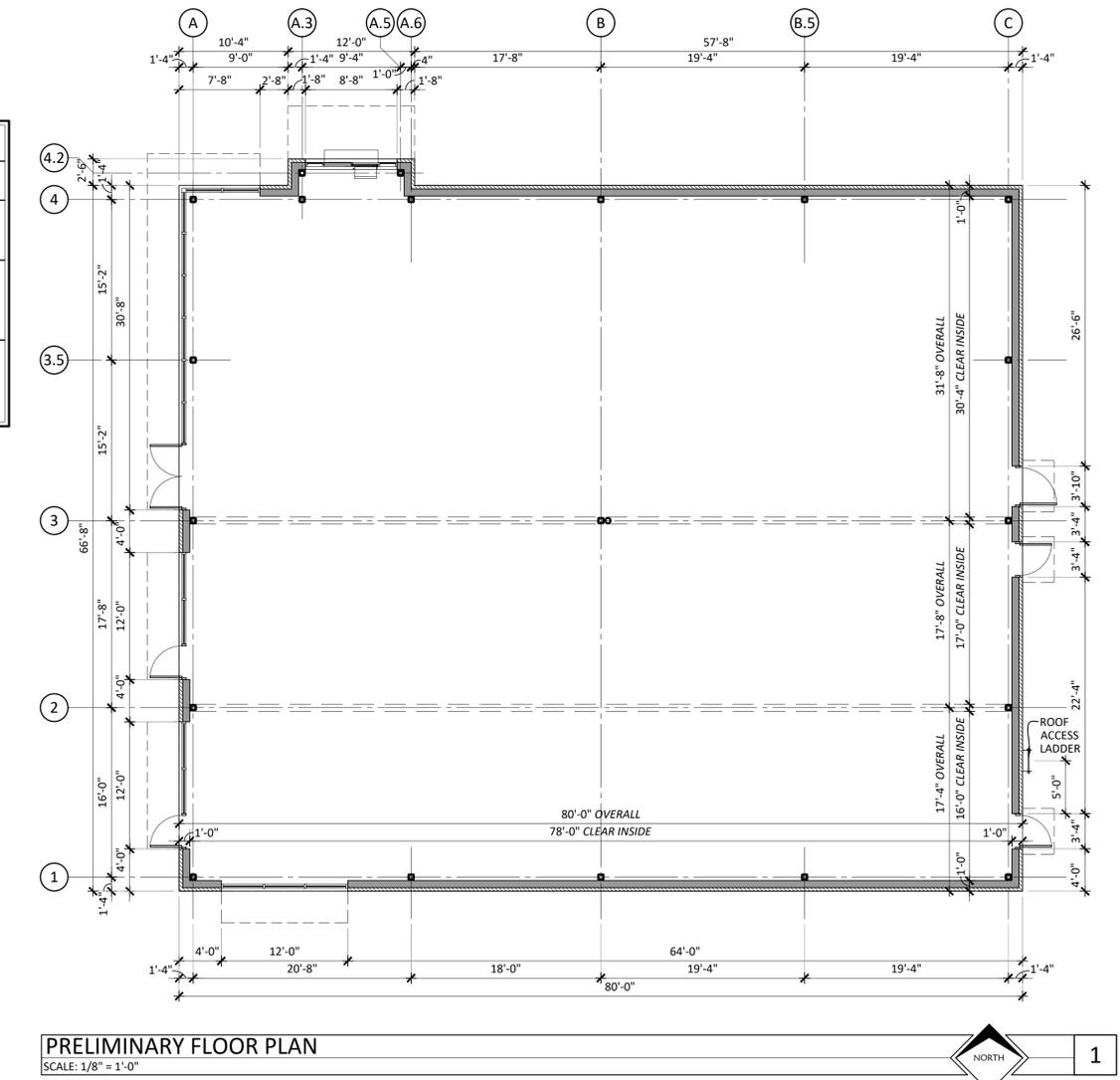
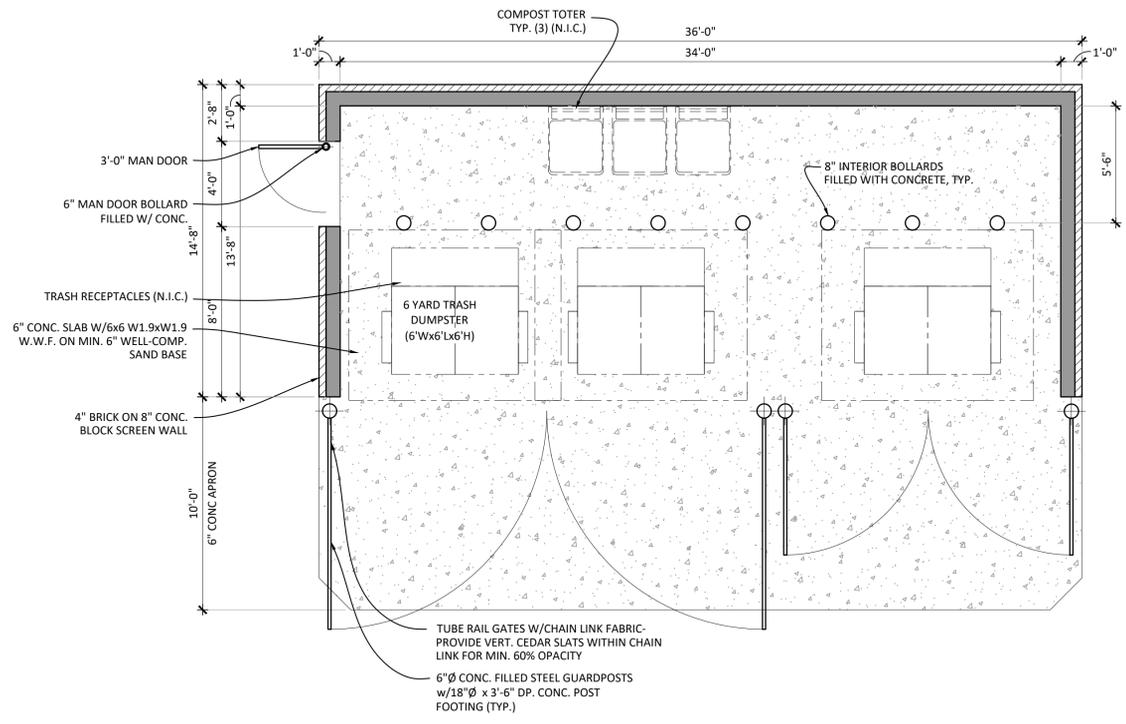
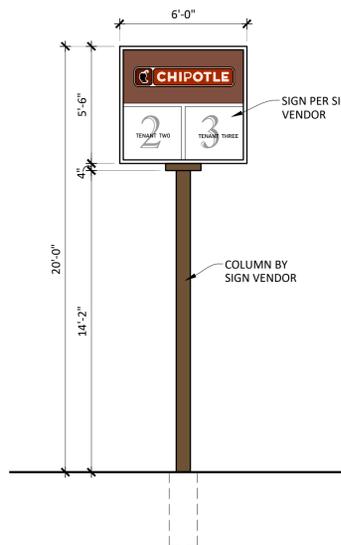
1 OF 1



**EXTERIOR FINISH KEY**

- STOREFRONT**  
THERMALLY BROKEN ALUM. FRAME  
W/INSULATED GLAZING  
MFR: TBD COLOR: CLEAR ANODIZED  
(COLOR: "TENANT 101" CHARCOAL)  
- DENOTES SPANDREL GLAZING
- BRICK VENEER**  
MFR: BRAMPTON BRICK  
COLOR: GRAPHITE
- EIFS**  
MFR: DRYVIT  
3a: 626A CLOUDY DAY  
3b: COLOR: 622B GRAY FLANNEL
- LIGHTING**  
SCENCE FIXTURE  
(SEE ELECTRICAL)
- ALUMINUM FRAME AWNING**  
FABRIC ON ALUMINUM FRAME AWNING  
BY LANDLORD  
COLOR: BLACK
- SIGNAGE**  
SIGNAGE ALLOWED: VERIFY MAX. SQ. FT.  
(SIGNAGE SHALL BE SUBMITTED PER TENANT)  
FINAL SIGNAGE LOCATIONS/AREAS SHALL BE  
BY TENANT AS ALLOWED PER ORDINANCE
- PREFINISHED METAL COPING**  
MFR: FIRESTONE  
COLOR: CHARCOAL GRAY
- STEEL CANOPY**  
COLOR: MATCH RAL7021 MATTE  
(MT0028 - FLAT BLACK)

SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
\$ 230-TABLE 707	<b>WALL SIGN:</b> TOTAL NUMBER :OVERALL SIZE ALLOWANCE PER PREMISES PER FOOT OF WIDTH OF PRINCIPAL STRUCTURE	
\$ 230-TABLE 707	<b>MAXIMUM WALL SIGN SIZE:</b> 2 TO MAXIMUM OF 100	
\$ 230-TABLE 707	<b>FREESTANDING SIGN : ONE SIGN</b> AREA - MAX 75 FT <sup>2</sup> (FOR ROAD FRONTAGE LESS THAN 50 FT)	PROVIDED 33 FT <sup>2</sup>
\$ 230-D-#5	<b>HEIGHT :</b> THE MAXIMUM HEIGHT FOR FREESTANDING SIGNS SHALL BE 25 FEET	20 FT
\$ 230-D-#5	<b>SETBACK :</b> MIN. 5 FEET FROM ANY PROPERTY LINE	



DATE: 04/14/21

JOB NO: 21-15

DRAWN: STAFF

CHECKED: CM



711 N. FIELDER RD.  
ARLINGTON, TX 76012  
PH: (817) 635-5696  
FAX: (817) 635-5699



MULTI-TENANT  
SHELL BUILDING  
507 MAIN STREET  
SACO, ME 04072

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST ALIQUO USA. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED WITH THIS PROJECT.

REVISIONS

07-22-21  
ISSUED FOR REVIEW

PRELIMINARY PLAN  
AND ELEVATIONS

SHEET NUMBER

PP-3

**LEGEND:**

DESCRIPTION	EXISTING
BENCHMARK	
SURVEY STATION	
PIPE FOUND	
SEWER MANHOLE	
UTILITY POLE	
HYDRANT	
PROPERTY LINE	
OVERHEAD UTILITY LINE	
EDGE OF PAVEMENT	
EDGE OF GRAVEL	
CENTERLINE	
STONEWALL	
MINOR FOOT CONTOUR	
MAJOR FOOT CONTOUR	
TREELINE	

GRID NORTH

**PLAN REFERENCES:**

1. "FINAL PLAN SETTLERS LANDING II, SMITH LANE, SACO, MAINE" PREPARED BY PAUL P. GADBOIS ENGINEERING AND SURVEYING, DATED JUNE 6, 2018 AND RECORDED IN PLAN BOOK 306, PAGE 13 OF THE YORK COUNTY REGISTRY OF DEEDS.
2. "CONDOMINIUM PLAT, SETTLERS LANDING, SMITH LANE, SACO MAINE" PREPARED BY PAUL P. GADBOIS ENGINEERING AND SURVEYING, DATED JUNE 6, 2019 AND RECORDED IN PLAN BOOK 856, PAGE 3 OF THE YORK COUNTY REGISTRY OF DEEDS.
3. "OXFORD PLACE, SACO, MAINE, FINAL SITE PLAN" BY H. ALAN MOONEY & ASSOCIATES DATED JULY 28, 1987, LAST REVISED MARCH 2, 1988 AND RECORDED IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 167, PAGE 9.

**NOTES CORRESPONDING TO SCHEDULE B:**

- PER FIRST AMERICAN TITLE COMMITMENT FOR TITLE INSURANCE COMMITMENT FILE NUMBER 2020-3393 BEARING AN EFFECTIVE DATE OF NOVEMBER 11, 2020 AT 4:30 PM:
7. Reciprocal Easement and Maintenance Agreement by and among D & L Realty Associates et al dated November 20, 1989 and recorded in the York County Registry of Deeds in Book 5263, Page 316. PLOTTED HEREON, DOES AFFECT.
  8. Such state of facts as shown on a plan entitled "Oxford Place, Saco, Maine, Final Site Plan" by H. Alan Mooney & Associates dated July 28, 1987, last revised March 2, 1988 and recorded in the York County Registry of Deeds in Plan Book 167, Page 9. PLAN REFERENCE, 5' EASEMENT PLOTTED DOES AFFECT.
  9. Easement Deed from D & L Associates to Central Maine Power Company and New England Telephone and Telegraph Company dated June 5, 1990 and recorded in the York County Registry of Deeds in Book 5463, Page 123. PLOTTED HEREON, DOES AFFECT.
  10. Easement Deed from D & L Associates to Central Maine Power Company and New England Telephone and Telegraph Company dated June 5, 1990 and recorded in the York County Registry of Deeds in Book 5463, Page 124. NON-LOCUS, DOES NOT AFFECT.
  11. Terms and conditions of a Lease dated February 22, 1991 by and between CREI Real Estate Corporation and Capital Pizza Huts, Inc. a Memorandum of which is dated February 22, 1991 and recorded in the York County Registry of Deeds in Book 5635, Page 292, as affected by Assignment and Assumption Agreements by and between CREI Real Estate Corporation and Carol P. Drake dated February 22, 1991 and recorded in said registry in Book 5635, Page 285 and dated June 18, 1991 and recorded in Book 5737, Page 24. LEASE, LOCUS PROPERTY, DOES NOT AFFECT.
  12. Subject to and with the benefit of a non-exclusive easement for pedestrian and vehicular passage over a portion of Shannon Lane as described in deeds from CREI Real Estate Corporation to Carol P. Drake dated February 22, 1991 and recorded in the York County Registry of Deeds in Book 5635, Page 285 and dated June 18, 1991 and recorded in Book 5737, Page 24. PLOTTED HEREON, DOES NOT AFFECT.
  13. Reciprocal Easement and Maintenance Agreement by and among Carol P. Drake et al dated March 21, 1997 and recorded in the York County Registry of Deeds in Book 8204, Page 211. PLOTTED HEREON, DOES AFFECT.
  14. Such state of facts as shown on a plan entitled "Off-Site Right-of-Way and Easement Acquisition Plan" prepared for Charterhouse Development Corp by Northeast Civil Solutions dated March 2, 2011, revised October 24, 2011 and recorded in the York County Registry of Deeds in Plan Book 354, Page 48. PLOTTED HEREON, DOES AFFECT.
  15. Sidewalk and Utility Easement from 507 Main Street, LLC to the City of Saco dated March 27, 2012 and recorded in the York County Registry of Deeds in Book 16306, Page 215. PLOTTED HEREON, DOES AFFECT.

**PROPERTY DESCRIPTION PER TITLE REPORT**

**EXHIBIT A**  
**Legal Description**

That certain lot or parcel of land, with the improvements thereon, situated in the City of Saco, County of York and State of Maine, bounded and described as follows to wit:

Beginning at an iron pipe in the northeasterly sideline of Shannon Lane, so-called, at the southerly corner thereof of land conveyed by CREI Real Estate Corporation to Carol P. Drake by deed dated February 22, 1991 recorded in the York County Registry of Deeds in Book 5635, Page 285;

Thence North 51 degrees 26 minutes 57 seconds East by land of said Drake a distance of 239.84 feet, more or less, to an iron pipe in land now or formerly of Donald T. Achorn, et al;

Thence South 38 degrees 49 minutes 29 seconds East by said Achorn land a distance of 65 feet, more or less, to a corner of said Achorn land;

Thence North 51 degrees 26 minutes 57 seconds East a distance of 85 feet, more or less, to other land of Achorn or owners unknown;

Thence South 38 degrees 55 minutes 23 seconds East a distance of 47 feet, more or less, to a point which lies in the line shown as the demarcation line under the City of Saco Zoning Ordinance separating the B-2 business zone from the R-4 residential zone on the Final Site Plan for the project known as Oxford Place by H. Alan Mooney & Associates dated July 28, 1987 revised through March 2, 1988 and approved by the City of Saco Planning Board as of 1 March 1988 (which demarcation line lies parallel with and 400 feet southeasterly of the southeasterly sideline of U. S. Route 1);

Thence southwesterly parallel with and 400 feet southeasterly of the southeasterly sideline of U. S. Route 1 by said line of demarcation to the northeasterly sideline of Shannon Lane;

Thence northwesterly by the northeasterly sideline of Shannon Lane a distance of 112 feet, more or less, to the point of beginning.

ALSO, another certain lot or parcel of land with any improvements thereon in said Saco, and adjoining the parcel above described, bounded and described as follows:

Beginning at an iron pipe on the easterly side of U. S. Route 1 at the southwesterly corner of land formerly of Donald T. Achorn as described in a deed recorded in the York County Registry of Deeds in Book 2275, Page 252, now or formerly owned by 505 Main Street Saco Corporation and used as a Dunkin' Donuts restaurant;

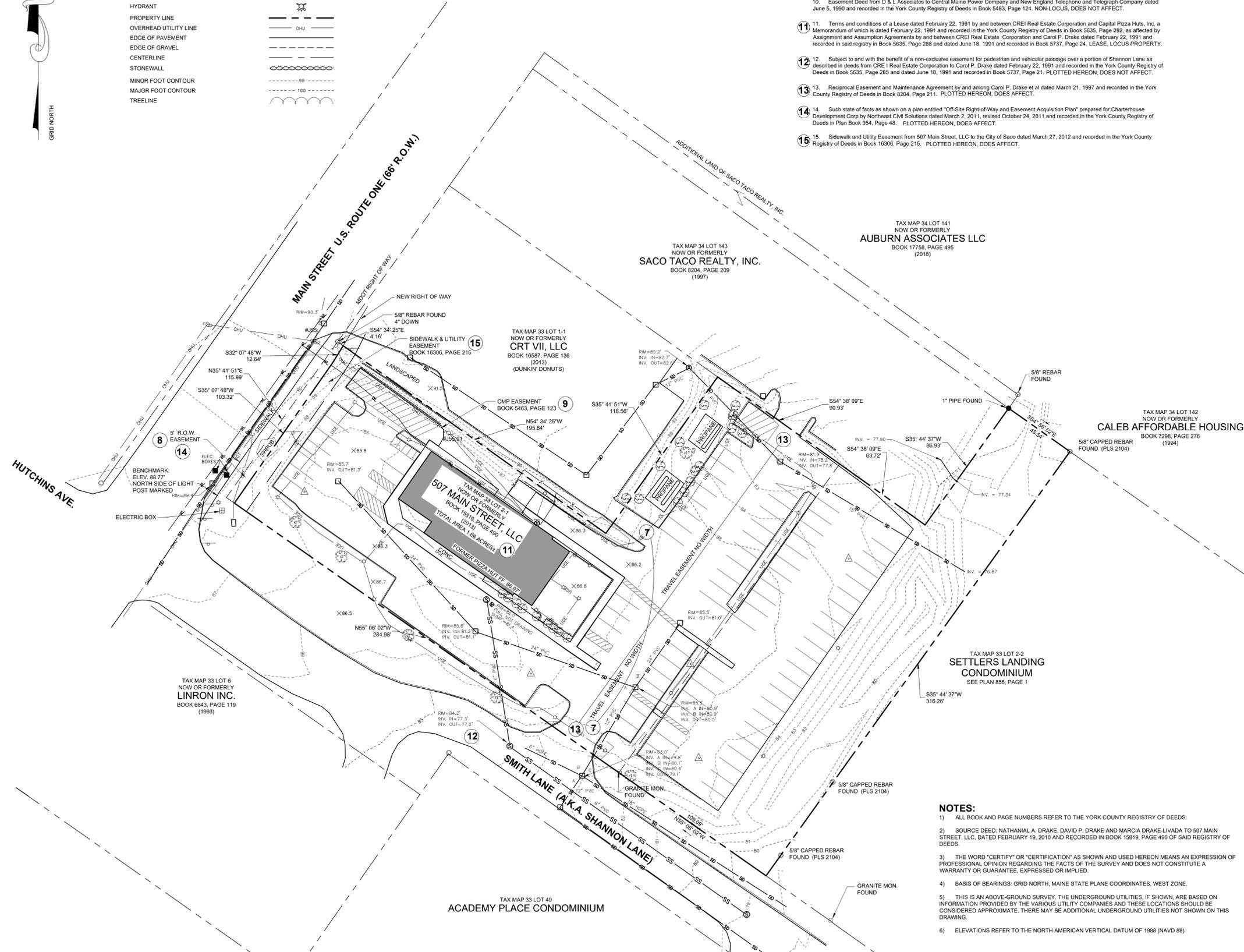
Thence South 38 degrees 49 minutes 19 seconds East 200 feet to an iron pipe; Thence North 51 degrees 26 minutes 57 seconds East 116.34 feet to an iron pipe; Thence South 36 degrees 49 minutes 19 seconds East 90.93 feet to an iron pipe; Thence South 51 degrees 26 minutes 57 seconds West 240.21 feet to an iron pipe;

Thence North 38 degrees 44 minutes 32 seconds West a distance of 290.93 feet to an iron pipe at the intersection of the easterly sideline of U. S. Route 1 and the northerly sideline of Shannon Lane, so-called;

Thence North 51 degrees 26 minutes 57 seconds East by the easterly line of U. S. Route 1 a distance of 123.50 feet to the iron pipe at the point of beginning.

TOGETHER with a non-exclusive easement for pedestrian and vehicular passage over a portion of Shannon Lane as described in deeds from CREI Real Estate Corporation to Carol P. Drake dated February 22, 1991 and recorded in the York County Registry of Deeds in Book 5635, Page 285 and dated June 18, 1991 and recorded in Book 5737, Page 21.

EXCEPTING from the above described premises, such portion thereof as was conveyed to the City of Saco by deed of 507 Main Street, LLC dated March 27, 2012 and recorded in the York County Registry of Deeds in Book 16306, Page 218.



TAX MAP 34 LOT 141  
NOW OR FORMERLY  
**AUBURN ASSOCIATES LLC**  
BOOK 17758, PAGE 495  
(2018)

TAX MAP 34 LOT 143  
NOW OR FORMERLY  
**SACO TACO REALTY, INC.**  
BOOK 8204, PAGE 209  
(1997)

TAX MAP 33 LOT 1-1  
NOW OR FORMERLY  
**CRT VII, LLC**  
BOOK 16587, PAGE 136  
(2013)  
(DUNKIN' DONUTS)

TAX MAP 34 LOT 142  
NOW OR FORMERLY  
**CALEB AFFORDABLE HOUSING**  
BOOK 7298, PAGE 276  
(1994)

TAX MAP 33 LOT 2-2  
**SETTLERS LANDING CONDOMINIUM**  
SEE PLAN 856, PAGE 1

TAX MAP 33 LOT 6  
NOW OR FORMERLY  
**LINON INC.**  
BOOK 8643, PAGE 119  
(1993)

TAX MAP 33 LOT 40  
**ACADEMY PLACE CONDOMINIUM**

**FLOOD NOTE:**  
BY GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY HEREON IS SITUATED IN ZONE X AS DEPICTED ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 23027C0442E WITH AN EFFECTIVE DATE OF JULY 6, 2015.

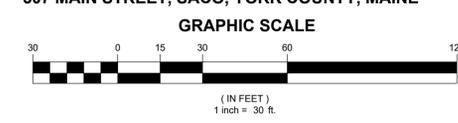
**CERTIFICATION:**  
TO: FIRST AMERICAN TITLE, AND ITS SUCCESSORS AND/OR ASSIGNS AS THOSE INTERESTS MAY APPEAR:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1,2,3,4, 8,11,13,16 & 19; THE FIELD WORK WAS COMPLETED ON OCTOBER 14, 2019.

DATE OF PLAT OR MAP: DECEMBER 21, 2020

JEFF A. TEUNISEN, PLS #2365

**ALTA/NSPS LAND TITLE SURVEY**  
LAND OF  
**507 MAIN STREET, LLC**  
FOR  
**ALRG, USA**  
**507 MAIN STREET, SACO, YORK COUNTY, MAINE**



- NOTES:**
- 1) ALL BOOK AND PAGE NUMBERS REFER TO THE YORK COUNTY REGISTRY OF DEEDS.
  - 2) SOURCE DEED: NATHANIAL A. DRAKE, DAVID P. DRAKE AND MARCIA DRAKE-LIVADA TO 507 MAIN STREET, LLC, DATED FEBRUARY 19, 2010 AND RECORDED IN BOOK 15819, PAGE 490 OF SAID REGISTRY OF DEEDS.
  - 3) THE WORD "CERTIFY" OR "CERTIFICATION" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
  - 4) BASIS OF BEARINGS: GRID NORTH, MAINE STATE PLANE COORDINATES, WEST ZONE.
  - 5) THIS IS AN ABOVE-GROUND SURVEY. THE UNDERGROUND UTILITIES, IF SHOWN, ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING.
  - 6) ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

www.cesincusa.com  
Bangor  
One Merchants Plaza  
Suite 701  
Bangor, ME  
T. 207-989-4824  
F. 207-989-4881



PROJECT TITLE  
**507 MAIN STREET LLC**  
CITY OF SACO, YORK COUNTY, MAINE

SHEET TITLE  
**ALTA/NSPS LAND TITLE SURVEY**  
**ALRG, USA**

DATE	BY	DESCRIPTION

**NOT FOR CONSTRUCTION**

SCALE	1" = 30'
DATE	2021.01.20
DRAWN BY	JAT
CHECKED BY	
DESIGNED BY	
APPROVED BY	
JOB NUMBER	12696.005
SHEET NUMBER	<b>1 OF 1</b>

P:\12086\ALRG\_USA00507 MAIN ST SACO ALTA\_TDRP\JAT2021\CAD DRAWINGS\SURVEY\12086.DWG ALTA.DWG



STATE OF MAINE  
DEPARTMENT OF TRANSPORTATION  
16 STATE HOUSE STATION  
AUGUSTA, MAINE 04333-0016

Janet T. Mills  
GOVERNOR

Bruce A. Van Note  
COMMISSIONER

Applicant: Alrig USA Development, LLC  
30200 Telegraphs Road, Suite 205  
Birmingham Farms, MI 48025

Project Location: 507 Main St, Saco  
Saco Tax Map #033, Lot #2-1

Project: Multi-Tenant Commercial Building

Identification #: Reg. 01-000357 -A-N

Permit Category: 100-200 PCE's

Traffic Engineer: Stonefield Engineering & Design  
Attn: Amanda LaRosa  
584 Broadway, Suite 310  
New York, NY 10012  
(718) 606-8305

Pursuant to the provision of 23 M.R.S.A. § 704-A and Chapter 305 of the MaineDOT's Regulations, the Maine Department of Transportation has considered the application of Alrig USA Development, LLC with supportive data, agency review and other related materials on file.

### **PROJECT DESCRIPTION**

The subject property is designated as Map 33, Lot 2-1 on the City of Saco Tax Map, located at the northeast corner of Main St (US Route 1) and Smith Lane. The existing site is occupied by a Pizza Hut restaurant. Access is presently provided via one (1) full-movement driveway along Smith Lane and cross access with the two (2) neighboring lots to the north.

Under the proposed development program, the existing structure would be razed, and a new building would be constructed. The proposed ~5,400 square foot (sf) building would accommodate three (3) commercial uses: a 2,600 sf Chipotle Mexican Grill with drive-through pick-up window; a 1,400 sf Jersey Mike's restaurant (walk-in only); and a 1,400 sf retail establishment. Access is proposed to be maintained via one (1) full-movement driveway along Smith Lane and cross access with the two (2) neighboring lots to the north.

The project is estimated to generate 125 and 147 trips more than the prior development during the weekday PM and Saturday midday generator peak hours, respectively.

## **Findings**

Based on a review of the files and related information, MaineDOT approves the Traffic Movement Permit Application of Alrig USA Development, LLC subject to the following conditions:

### **MITIGATION**

The mitigation is intended to describe that conceptually shown on the following plan provided by Stonefield Engineering & Design.

1. "Site Plan" Sheet C4, Rev 9 dated 03/07/2022
2. "Future Access Plan" Sheet C-22, Rev 7 dated 12/20/2021
3. "Proposed Roadway Improvements" Sheet 1 of 1, dated 03/01/2022
4. "Proposed Traffic Signal Modifications" Sheet 1 of 1, dated 03/01/2022

If the descriptions contained herein conflict with the plan, these descriptions shall take precedence over the plan. Not all the mitigation discussed herein may be shown on that or any plan. The following mitigation shall be constructed or implemented to MaineDOT's satisfaction prior to the opening of the facility, unless otherwise approved by MaineDOT.

### **On-Site Mitigation**

#### **Site Entrance**

Access to the site is proposed via one (1) full-movement single ingress and single egress driveway along Smith Lane, an ingress only connection from the adjacent lot to the north (Dunkin), and a full movement single ingress and single egress cross access with a neighboring lot to the north (Starbucks).

A future full movement access is proposed as shown on Sheet C-20 at the rear of the parking lot, contingent on the City of Saco's plans to construct a roadway east of Main Street on the backside of the lots which would connect Smith Lane to Stockman Avenue to the north. This future plan includes discontinuing the full movement driveway along Smith Lane. Reference "Future Access Plan".

Provide pedestrian access to the facility from the existing sidewalk along the east side of Main Street, and from the proposed sidewalk on Smith Lane. Reference "Site Plan".

During peak hours, deliver vehicles shall be restricted to a maximum size of WB-50. Any deliveries utilizing vehicles larger than a WB-50 shall occur outside of normal business hours.

### General Requirements for All Entrances

The entrances shall provide overhead illumination, if not existing, to illuminate the intersections per MaineDOT standards at a minimum. Overhead lighting shall have an average of 0.6 to 1.0 foot candles, with the maximum to minimum lighting ratio of not more than 10:1 and an average to minimum light level of not more than 4:1.

### Off-Site Mitigation

#### Smith Lane, Hutchins Drive and Main Street (US Route 1) intersection (signalized).

To address traffic delay concerns given the additional vehicular traffic volumes through this intersection from the project, modify the traffic signal to change the exclusive pedestrian phase to concurrent phases with each movement. Add a Lead Pedestrian Interval (LPI) to the phase crossing Main Street. Add “Yield to Pedestrians” LED blank out signs for the Smith Lane and Hutchins Drive approaches. Reference “Proposed Traffic Signal Modifications”.

#### Smith Lane

Reference the “Site Plan” Sheet C4, and the “Proposed Roadway Improvements” plan.

For the Smith Lane, westbound, approach to the Main Street intersection, construct 150-foot dedicated right turn lane.

Construct a sidewalk on the north side of Smith Lane along the full property frontage. This sidewalk shall connect to the development and to the Route 1 sidewalk, at the intersection of Smith Lane and Route 1. Pedestrian facilities, signs and markings shall meet ADA criteria.

#### Safety Impact Fees

The Applicant shall pay the MaineDOT an Impact Fee for the following high crash location intersections and road segments to address safety concerns given the additional vehicular traffic volumes through this corridor from the project. Fee to be paid prior to initial occupancy of the development.

- a. Main Street / Hutchins Street/ Smith Lane (north) Intersection = \$28,964
- b. Main Street / Smith Lane (south) Intersection = \$1,925
- c. Segment – Main Street (Academy Avenue to Hutchins Street) = \$6,124
- d. Segment – Main Street (Smith Lane to Stockman Avenue) = \$12,142

## **Overall Requirements**

- A. Provide all necessary auxiliary signs, striping and pavement markings to implement the improvements described herein according to MaineDOT and/or National standards.
- B. All plantings and signs (existing and/or proposed; permanent and/or temporary) shall be placed and maintained such that they do not block available sight distances and do not violate the State’s “Installations and Obstructions” law. No signage, plantings or structures shall be allowed within the “clear zone” if they constitute a deadly fixed object as determined by MaineDOT. All signs shall meet MRSA Title 23, Chapter 21, Section 1914: “On-Premise Signs”.
- C. If any of the supporting data or representations for which this permit is based changes in any way or is found to be incorrect / inaccurate, the applicant shall request in writing from MaineDOT a decision of what impacts those changes will have on the permit. The applicant will then be required to submit those changes for review and approval and additional mitigation as a result of those changes may be required at the expense of the applicant.
- D. Because the proposed project affects the State Highway and drainage systems and requires improvement to these systems, the applicant must obtain approval of the design plans impacting these systems and coordinate work through MaineDOT’s Region Engineer in Scarborough, who can be reached by phone at (207) 885-7000.
- E. This permit will lapse 5 years from the date signed if a town building permit has not been issued. This permit will lapse 7 years from the date signed if a town occupancy permit has not been issued.

By:



Stephen Landry, P.E.  
State Traffic Engineer

Date: 3/18/2022

**From:** [Jason Garnham](#)  
**To:** [PlanningBoard](#)  
**Cc:** [Nick Cliche](#)  
**Subject:** FW: Tomorrow nights agenda  
**Date:** Tuesday, March 15, 2022 12:02:06 PM

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Planning Board members,

Please find below a comment letter from a neighbor of the proposed commercial project at 507 Main St for your review in advance of or during tonight's public hearing. I will summarize it during my introduction to the project.

Thanks,

-Jason

JASON GARNHAM, AICP  
City Planner  
300 Main Street | Saco, ME 04072  
t 207.282.3487 | [sacomaine.org](#)  
Follow us: [Facebook](#) | [Twitter](#) | [Instagram](#)

-----Original Message-----

From: Nick Cliche <[clichen44@gmail.com](mailto:clichen44@gmail.com)>  
Sent: Tuesday, March 15, 2022 8:13 AM  
To: Jason Garnham <[jgarnham@sacomaine.org](mailto:jgarnham@sacomaine.org)>  
Cc: Bill Doyle <[bdoyle@sacomaine.org](mailto:bdoyle@sacomaine.org)>; Council <[Council@sacomaine.org](mailto:Council@sacomaine.org)>; Rachele Cliche <[clicherachelle@gmail.com](mailto:clicherachelle@gmail.com)>  
Subject: Re: Tomorrow nights agenda

[CAUTION: THIS EMAIL ORIGINATED FROM OUTSIDE THE CITY OF SACO DOMAIN]

Jason,

Thank you for the time and insight and sharing this with the board. While I understand fencing may not be a typical requirement, this project is not typical as the amount of traffic and nuisance it will provide to local homeowners is much greater than normal. A reasonable accommodation/mandate from the city to provide fencing is not an abnormal request and it should be carefully thought out before approving this project. If the meeting is rescheduled we will do our best to make it and voice the concerns.

Thanks

Sent from my iPhone

> On Mar 15, 2022, at 7:00 AM, Jason Garnham <[jgarnham@sacomaine.org](mailto:jgarnham@sacomaine.org)> wrote:

>

> Hi Nick,

> Thanks for taking the time to write your email about the project. I will share it with the Planning Board during tonight's meeting for their consideration. Fencing is not specifically required for most projects but the board and the developer may find your request to be reasonable. Ultimately, I hope that redevelopment and daily use of the site solves some of the problems you describe regardless of their decision(s).

>

> The property is planned to be redeveloped in its current configuration. The site will be accessed via the existing driveway; secondary access will be from adjacent properties. A connector street may eventually be built behind/ east

of the property (where it is currently a back parking lot); the primary access will be relocated to that connector street if/ when this street is developed. Traffic signal improvements @ the Portland Rd intersection and sidewalk construction @ Smith Lane are required for this project to improve traffic and walking conditions in the vicinity. The developer is also required to pay mitigation fees to contribute to other traffic improvement projects being undertaken by MDoT along the Portland Road corridor.

> Please know that this may not be your last opportunity to comment on this project. While the project is generally ready for approval from the standpoint of compliance with applicable design standards, I learned from a neighbor that the developer neglected to post a sign advertising tonight's hearing on the property as required by Saco's site plan review ordinance. This is of course a technicality but if this assertion is true then the hearing may need to be continued to the next board meeting, which will be held on April 5.

> Regards,

> -Jason

>

> JASON GARNHAM, AICP

> City Planner

> 300 Main Street | Saco, ME 04072

> t 207.282.3487 | [sacomaine.org](http://sacomaine.org)

> Follow us: [Facebook](#) | [Twitter](#) | [Instagram](#)

>

>

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>

>

> -----Original Message-----

> From: Nick Cliche <[clichen44@gmail.com](mailto:clichen44@gmail.com)>

> Sent: Monday, March 14, 2022 9:07 PM

> To: Jason Garnham <[jgarnham@sacomaine.org](mailto:jgarnham@sacomaine.org)>; Bill Doyle <[bdoyle@sacomaine.org](mailto:bdoyle@sacomaine.org)>; Council <[Council@sacomaine.org](mailto:Council@sacomaine.org)>

> Cc: Rachele Cliche <[clicherachelle@gmail.com](mailto:clicherachelle@gmail.com)>

> Subject: Tomorrow nights agenda

>

> [CAUTION: THIS EMAIL ORIGINATED FROM OUTSIDE THE CITY OF SACO DOMAIN]

>

> All,

> My wife and I live at 6 Settlers Way directly behind the vacant Pizza Hut lot. We are unable to make tomorrow nights meeting to voice our concern over the 507 Main Street project. We do not oppose the project as a whole, but the recent plans do not include a fence to protect against trash, noise and trespassing. The city has received numerous complaints from our neighborhood over the last two years, and it's only getting worse. It's a trash pit In the wooded area, drugs are being exchanged, homeless encampments last winter, people are urinating literally in our back yard, and we have had at least 1 arrest and numerous issues of trespassing in the last year. We have a 3 year old daughter and 2 dogs that should not be exposed to the types of things happening and that will happen back there. To have the developer not include fencing is not even a reasonable proposal, and is simply a cost savings measure on their end. I seriously hope the city does not allow this project without the fence. It's a simple ask in return for the ridiculous amount of traffic that will be added to this street with this building. Along with these concerns, I seriously hope there is some sort of plan in place for the traffic reallocation that this project will bring as well. Please take this into consideration and vocalize these issues as a part of the process.

>

> Thanks for your time

> Nick Cliche

> 6 Settlers Way

> Saco, Maine 04072

>

> Sent from my iPhone

**From:** [Kline, Josh](#)  
**To:** [Savitz, Afton](#); [Jason Garnham](#); [Lisa Harmon](#)  
**Cc:** [Howe, Jason G.](#); [Heather Henika](#)  
**Subject:** RE: Planning Board packet for 03/15/2022 w/links  
**Date:** Monday, March 28, 2022 9:33:00 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)

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**[CAUTION: THIS EMAIL ORIGINATED  
FROM OUTSIDE THE CITY OF SACO  
DOMAIN]**

Jason – Sign was installed over the weekend, please confirm receipt. We also wanted to see if an agenda is ready for next week and if our application will be heard first as it was carried.

Thanks,  
Josh

Joshua H. Kline, PE

**STONEFIELD**

M 607.624.0415



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**From:** Savitz, Afton <[asavitz@stonefieldeng.com](mailto:asavitz@stonefieldeng.com)>  
**Sent:** Friday, March 25, 2022 12:35 PM  
**To:** Jason Garnham <[jgarnham@sacomaine.org](mailto:jgarnham@sacomaine.org)>; Lisa Harmon <[lharmon@sacomaine.org](mailto:lharmon@sacomaine.org)>  
**Cc:** Kline, Josh <[jkline@stonefieldeng.com](mailto:jkline@stonefieldeng.com)>; Mead, Samuel <[smead@stonefieldeng.com](mailto:smead@stonefieldeng.com)>  
**Subject:** RE: Planning Board packet for 03/15/2022 w/links

Jason – Sign will be installed on Monday and will provide same day photo documentation.

Thanks!  
Afton

Afton Savitz, PE, LEED AP BD+C

**STONEFIELD**

92 Park Avenue, Rutherford, NJ 07070  
T 201.340.4468 | M 203.819.0266 | F 201.340.4472  
[asavitz@stonefieldeng.com](mailto:asavitz@stonefieldeng.com) | [stonefieldeng.com](http://stonefieldeng.com)



---

**From:** Jason Garnham <[jgarnham@sacomaine.org](mailto:jgarnham@sacomaine.org)>  
**Sent:** Friday, March 25, 2022 12:29 PM  
**To:** Savitz, Afton <[asavitz@stonefieldeng.com](mailto:asavitz@stonefieldeng.com)>; Lisa Harmon <[lharmon@sacomaine.org](mailto:lharmon@sacomaine.org)>  
**Cc:** Kline, Josh <[jkline@stonefieldeng.com](mailto:jkline@stonefieldeng.com)>; Mead, Samuel <[smead@stonefieldeng.com](mailto:smead@stonefieldeng.com)>  
**Subject:** RE: Planning Board packet for 03/15/2022 w/links

**CAUTION:** External Email

Afton, Josh:

I'm checking in on the signage for this. I'm sure you recall that the hearing was continued to the next meeting so the required signage could be re-installed. To meet the 7-day requirement it should be installed no later than next Tuesday, March 29. Please followup with a photo etc when it is installed.

Thanks,

-Jason



**JASON GARNHAM, AICP**

*City Planner*

300 Main Street | Saco, ME 04072

t 207.282.3487 | [sacomaine.org](http://sacomaine.org)

Follow us: [Facebook](#) | [Twitter](#) | [Instagram](#)

---

**From:** Savitz, Afton <[asavitz@stonefieldeng.com](mailto:asavitz@stonefieldeng.com)>

**Sent:** Tuesday, March 15, 2022 5:29 PM

**To:** Lisa Harmon <[lharmon@sacomaine.org](mailto:lharmon@sacomaine.org)>

**Cc:** Kline, Josh <[jkline@stonefieldeng.com](mailto:jkline@stonefieldeng.com)>; Jason Garnham <[jgarnham@sacomaine.org](mailto:jgarnham@sacomaine.org)>; Mead, Samuel <[smead@stonefieldeng.com](mailto:smead@stonefieldeng.com)>

**Subject:** FW: Planning Board packet for 03/15/2022 w/links

**[CAUTION: THIS EMAIL ORIGINATED FROM OUTSIDE THE CITY OF SACO DOMAIN]**

Lisa – Please see link below for exhibits to be used during tonight's hearing. Let us know if you have any trouble accessing.

Thanks,  
Afton

**Afton Savitz, PE, LEED AP BD+C**

**STONEFIELD**

92 Park Avenue, Rutherford, NJ 07070  
T 201.340.4468 | M 203.819.0266 | F 201.340.4472  
[asavitz@stonefieldeng.com](mailto:asavitz@stonefieldeng.com) | [stonefieldeng.com](http://stonefieldeng.com)



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**From:** Lisa Harmon <[lharmon@sacomaine.org](mailto:lharmon@sacomaine.org)>

**Sent:** Friday, March 11, 2022 3:13 PM

**To:** [classactspropertymanagement@yahoo.com](mailto:classactspropertymanagement@yahoo.com); Kline, Josh <[jkline@stonefieldeng.com](mailto:jkline@stonefieldeng.com)>; Dana Libby <[dana@mainesurveyors.com](mailto:dana@mainesurveyors.com)>

**Subject:** FW: Planning Board packet for 03/15/2022 w/links

**CAUTION:** External Email

Good afternoon all, please find below the link to the packet/minutes for the next meeting. Please note the packet agenda contains links to each agenda item by clicking on the name of each. Additionally, there is no memo for MacKenzie Preserve; Jason said he would provide that on either Monday or Tuesday. I did include the Site Walk Legal Notice in the packet, however, for anyone who looks at the packet and may not be on the abutter's list. Those notices went out today for that.

[https://cms1.revize.com/revize/sacome/PB%20Agenda%20w%20links%202022\\_0315%20and%20%20PB%20minutes%20\\_2022\\_0301.pdf](https://cms1.revize.com/revize/sacome/PB%20Agenda%20w%20links%202022_0315%20and%20%20PB%20minutes%20_2022_0301.pdf)

I will be out of the office on Monday, but will probably check emails; if there's anything you need, please reach out. Thank you, Lisa



**Lisa Harmon, Planning Coordinator**

*City of Saco, Planning & Economic Development*

300 Main Street | Saco, ME 04072

t 207.282-3487 (ext. 352) | [sacomaine.org](http://sacomaine.org)

[lharmon@sacomaine.org](mailto:lharmon@sacomaine.org)

**From:** [Adam Luke](#)  
**To:** [Jason Garnham](#); [Molly Kirchoff](#); [Lisa Harmon](#)  
**Subject:** Development - 507 Main Street - Smith Lane Traffic  
**Date:** Monday, March 28, 2022 7:26:39 PM

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**[CAUTION: THIS EMAIL  
ORIGINATED FROM OUTSIDE  
THE CITY OF SACO DOMAIN]**

Planning Staff,

I wanted to pass these along again. I've also added another from just last week. All of these pictures have been taken during non-peak times of the year. Summer is much worse. Having reviewed the developer's plan and the traffic study, neither lengthening the right turn lane onto Route 1 nor changing the timing of the light will have any impact on this traffic issue. Please acknowledge receipt and ensure the planning board members receive copies before the April 5, 2022 meeting. Thank you.

V/R,  
Adam Luke  
1 Settlers Way





**From:** [Adam Luke](#)  
**To:** [Jason Garnham](#); [Molly Kirchoff](#); [Lisa Harmon](#)  
**Subject:** Development - 507 Main Street - Smith Lane Traffic  
**Date:** Monday, March 28, 2022 7:26:39 PM

---

**[CAUTION: THIS EMAIL  
ORIGINATED FROM OUTSIDE  
THE CITY OF SACO DOMAIN]**

Planning Staff,

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V/R,  
Adam Luke  
1 Settlers Way