

**Planning & Economic
Development**

Saco City Hall
300 Main Street
Saco, Maine 04072-1538



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City Planner**

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City of Saco, ME
Planning Board Agenda
Tuesday, March 30, 2021 – 5:30PM
Regular Meeting & Public Hearings
Location: Remote via [Zoom.us](https://zoom.us)
All votes to be taken by roll call.

Regular Meeting – 5:30PM:

1. Call to Order
2. Minutes of Previous Meetings: March 2, 2021, March 9, 2021 & March 16, 2021
3. **Public Hearing:** Saco Island East (Map 37 Lot 6): Site Plan & Preliminary Subdivision Reviews of a proposed development consisting of twelve duplexes (24 units total). Applicant is Saco Island Ventures, LLC. Zoned B-4 and Saco River Overlay. *Goal: to make a finding on application completeness, hold a public hearing, and review the plan based on the subdivision regulations and Article XI: Site Plan Review.*
4. **Public Hearing:** 66 Old Orchard Road (Map 27 Lot 83): Site Plan & Conditional Use Review for a proposed 3-unit townhouse with associated site improvements. Applicants are Steven Trask & Wendy Fernandez. Zoned R-2. *Goal: to make a finding on application completeness, hold a public hearing, and review the proposed site plan based on the standards of Article XI: Site Plan Review and Article IX: Conditional Uses.*
5. **Public Hearing:** Request to rezone 372 Main Street (Map 39 Lot 232) currently in the MDR zone on the January 11, 2021 Council-adopted zoning map, to be rezoned to HDR. *Goal: to review the submitted materials, hold a public hearing, and forward a recommendation to the City Council on the request for rezone.*
6. **Public Hearing:** proposed amendments to the Park North & The Cascades Subdivision. Applicant is Park North Development, LLC. Zoned: Contract Zone. *Goal: to make a finding on application completeness, hold a public hearing, and review the preliminary plan based on the subdivision regulations.*
7. Adjournment

No new business will be taken up after 9:00PM. No business shall be conducted by the Board after 10:00PM.

How to Access this Remote Meeting via Zoom:

1. Access zoom.us from your browser.
2. Select “Join A Meeting”
3. Enter the meeting ID: 848 0249 7356
4. If prompted, enter passcode: 758030
5. Select “Join”

How to Access Remotely via Phone:

1. Dial: 1-646-558-8656
2. Enter the meeting ID: 848 0249 7356
3. If prompted, enter passcode: 758030
4. Follow the prompts to join/participate in the meeting.

Questions? Contact Planning & Economic Development Department at #207-282-3487.

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City of Saco, ME
Planning Board Meeting Minutes
Tuesday, March 2, 2021 – 6:00PM
Regular Meeting & Public Hearings
Location: Remote via Zoom.us
All votes taken by roll call.

Members Present: Chair Don Girouard, Alyssa Bouthot, Peter Scontras, Matt Provencal, Jeff Brochu, Shawn Nicholas, Joyce Leary Clark

Also Present: Bob Hamblen, City Planner; Isabelle Oechsle, Planning & Economic Development Associate; Denise Clavette, Planning & Economic Development Director; Jodi MacPhail, City Council Liaison

Note: Meeting Minutes serve as a summary of what occurred during the meeting. Video recordings are available on the City's website [here](#).

1. Call to Order: Chair Don Girouard called the meeting to order at 6:08PM and stated those present for the record.
2. Minutes of Previous Meetings – February 9, 2021 & February 16, 2021: **Joyce Leary Clark moved to accept the meeting minutes of February 9 and February 16 as presented. Jeff Brochu seconded, and the motion carried unanimously, by roll call vote.**
3. Bradley Street (Map 52 Lot 19): Site Inventory & Analysis and Master Planned Development Review of a proposed 336-unit multi-family dwelling project. Applicant is John Flatley Company. Zoned MU-4.

Kevin Walker, John Flatley Company; Bruce Read, Sheperd & Read; Giles Ham, Vanesse & Associates; Chad Branon, Fieldstone Land Consultants, were present for the applicants.

Net Residential Density / Area: Chair Don Girouard asked for clarification on the net residential density and net residential area calculations noted on the applicant's submitted plans and asked the applicants to clear up what he interprets as a discrepancy for the Board. Chad Branon stated that their calculations of the roads and parking areas are correct according to their interpretation and provided additional detail and context of the size of the buildings in comparison to the parking lots and roadways.

Infrastructure: Jeff Brochu pointed out that he was looking for capacity to serve letters from both Maine Water and the Saco Water Resource Recovery Department in order to assist the Board with their findings, noting that both entities had requested flow studies prior to answering the capacity to serve requests. Jeff Brochu and Shawn Nicholas asked that the school superintendent or another schools representative be asked specifically to provide a peer review about their ability to serve any children that may be present in this development.

Traffic: Jeff Brochu pointed out that the traffic study submitted by the applicants projects an approximately 29% increase in traffic in the area and wants to better understand the impact of traffic and how it will be mitigated. Shawn Nicholas echoed similar concerns and requested specifics on what traffic mitigation measures and off-site improvements would be requested of the applicants.

Wet ponds / run-off: Jeff Brochu noted that he wants to better understand the impact of run-off on abutting properties.

Visual impacts: Shawn Nicholas wanted additional information about the visual impacts of this project, due to the size and scale of the buildings in comparison to the surrounding neighborhood.

The Board asked the applicants to respond to the concerns that they raised. Giles Ham responded to the traffic concerns, stating that the number of trips that Jeff Brochu brought up are correct, but it is incorrect in his assessment to assume that all of those trips would be concentrated on one roadway, stating that vehicles may take a variety of roadways after leaving Bradley Street depending on their trips. Further, Mr. Ham pointed out that the MDOT will need to review this application for a traffic movement permit and additional mitigation measures and off-site improvements will likely be suggested at that time by both the MDOT and the City's traffic peer reviewer, which would be presented during any subsequent site plan / subdivision reviews.

Chad Branon stated that the infrastructure concerns will be addressed fully during site plan review and will likely include off-site improvements, which are fairly routine for projects of this scale. Mr. Branon stated that they are attempting to locate the buildings centrally on the property in an effort to have the most buffering possible between properties. Kevin Walker added that the majority of the Board's concerns will be addressed during site plan review, as there will be continued and additional conversations with the City staff team, the City's consultants, and the Planning Board on the items that the Board noted concerns with.

The Board decided standards of approval as outlined in 230-416(F)5 one at a time and make findings on each.

Joyce Leary Clark moved that the Board find that the requirements of 230-416(F)5(a) have been met, based on the City Planner's draft findings on page 19 of the Planning Board's meeting materials. Alyssa Bouthot seconded, and the motion carried unanimously, by roll call vote.

Joyce Leary Clark moved that the Board find that the requirements of 230-416(F)5(b) have been satisfied. Shawn Nicholas seconded. Don Girouard noted that the motion should be conditioned based on the net residential density calculations be resolved, and that the applicant find that the net residential area for 336 units has been met or will be revised accordingly. **Joyce Leary Clark amended her motion to include additional condition that the net residential density calculations be resolved, and that the applicant find that the net residential area for 336 units has been met or will be revised accordingly. Shawn Nicholas seconded, and the motion carried 5-2 by roll call vote, with Jeff Brochu and Peter Scontras voting in the negative.**

Joyce Leary Clark moved that the Board reconsider the motion above regarding 230-416(F)5(b) so that the Board can discuss findings of fact. Shawn Nicholas seconded, and the motion carried 6-1 by roll call vote, with Jeff Brochu voting in the negative.

Joyce Leary Clark moved that the Board find that the requirements of 230-416(F)5(b) have been met regarding the Master Plan being consistent with the space and bulk standards, the development standards, and other requirements for master planned developments in the zoning district in which it is located, based on presented draft findings of fact dated March 2, 2021 and with additional condition that the net residential density calculations be resolved, and that the applicant find that the net residential area for 336 units has been met or will be revised accordingly. Shawn Nicholas seconded. Discussion occurred on the motion. **The motion carried unanimously, by roll call vote.**

Joyce Leary Clark moved that the Board find that the requirements of 230-416(F)5(c) have been met, per the draft findings of fact provided by the City Planner on page 20 of the meeting packet. Alyssa Bouthot seconded. Discussion occurred on the motion and lack of concrete evidence that the development

will not create an undue burden on existing infrastructure. The motion carried 4-3 by roll call vote, with Peter Scontras, Jeff Brochu, and Shawn Nicholas voting in the negative.

Joyce Leary Clark moved that the Board find that the requirements of 230-416(F)5(d) have been met, per the draft findings of fact on page 20 of the meeting packet. Shawn Nicholas seconded. Discussion occurred on the motion. The motion failed unanimously, by roll call vote.

Peter Scontras moved to find that the information was not available to satisfy the requirements of 230-416(F)5(d), as the master plan does not demonstrate that the street system can accommodate the traffic generated by the development or improvements can be reasonably made to address the traffic because there would be an increase of traffic from the development onto Bradley Street, the proposed two speed signs were not adequate to address the traffic increase, the traffic analysis does not address Garfield Street, and because there are intersections noted on the traffic study which would drop below a level of service D. Joyce Leary Clark seconded. The motion carried unanimously, by roll call vote.

Joyce Leary Clark moved that the Board find that the requirements of 230-416(F)5(e) have been met, and that the Master Plan demonstrates that runoff from the development will be managed to maximize on-site infiltration and minimize discharge from the site and that any runoff from the site can be accommodated by the City's stormwater system or that improvements can be reasonably made to accommodate the runoff, per the draft findings of fact on page 21 of the meeting packet. Matt Provencal seconded. Discussion occurred. The motion carried 6-1 by roll call vote, with Peter Scontras voting in the negative.

Joyce Leary Clark moved that the Board finds that the master plan assures that areas that are identified in the site inventory and analysis as being unsuitable or having significant limitations for development or use are preserved as open space to the extent practical, that areas that are identified as having potential conservation or open space value have been considered for inclusion in any open space, and that development in these areas is minimized to the extent practical, per the draft findings of fact on page 21 of the meeting packet. Alyssa Bouthot seconded, and the motion carried 6-1 by roll call vote, with Jeff Brochu voting in the negative.

Joyce Leary Clark moved that the Board find that the criteria in H(2) have been met, per the draft findings of fact in the Board's meeting packet, to include the fact that the applicant has provided buffers and increased setbacks. Alyssa Bouthot seconded. Discussion occurred on the motion. The motion carried 4-3 by roll call vote, with Peter Scontras, Jeff Brochu, and Shawn Nicholas voting in the negative.

Joyce Leary Clark moved that the Board finds that the requirements of H(3) have been met, and that the Board further adopts the findings of fact on page 22 of the Board's meeting packet. Alyssa Bouthot seconded. Discussion occurred on the motion. The motion failed 2-5 by roll call vote, with Shawn Nicholas, Jeff Brochu, Peter Scontras, Alyssa Bouthot, and Don Girouard voting in the negative.

Peter Scontras moved that the Board find that the requirements of H(3) have not been met, as it does not take into consideration the size and scale of the surrounding neighborhood (Skyline, Forest, and Lincoln Streets), which is one- and two-story single-family homes. Jeff Brochu seconded. Discussion occurred on the findings of fact. Jeff Brochu retracted his second. Peter Scontras retracted his motion.

Peter Scontras moved that the Master Plan does not ensure that the treatment of areas adjacent to neighboring public streets create an attractive urban streetscape that is compatible with the adjacent neighborhood, and results in a transition of the development into the existing neighborhood because the proposed buildings are not compatible with the patterns of the neighborhood , since the bulk and scale of the four-story multi-family buildings are not consistent with the adjacent neighborhood's one and two-story single-family homes, and the streetscape from Skyline, Lincoln , and Forest Streets does not meet this standard – the transition is inadequate and the bulk of the buildings is too great as viewed from the public streets and the existing neighborhood, and so the requirements of H(3) have not been met. Shawn Nicholas seconded. The motion carried 6-1 by roll call vote, with Joyce Leary Clark voting in the negative.

Jeff Brochu find the approval criteria found in 230-416(F)5(d) and the additional standards of approval found in subsection H(3) have not been adequately satisfied, and therefore moves to deny the site inventory & analysis and Master Planned Development application and to make findings of fact to that effect. Shawn Nicholas seconded. Discussion occurred on the motion. The motion carried unanimously, by roll call vote.

4. Adjournment: Adjourned without objection at 10:23PM.

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City of Saco, ME
Planning Board Meeting Minutes
Tuesday, March 9, 2021 – 6:00PM
Regular Meeting & Public Hearings
Location: Remote via Zoom.us
All votes taken by roll call.

Present: Chair Don Girouard, Joyce Leary Clark, Peter Scontras, Matt Provencal, Jeff Brochu, Shawn Nicholas (*joined at 8:37PM*)

Excused: Alyssa Bouthot

Also Present: Jodi MacPhail, City Council Liaison; Bob Hamblen, City Planner; Isabelle Oechsle, Planning & Economic Development Associate; Joseph Laverriere, City Engineer

Note: Meeting Minutes serve as a summary of what occurred during the meeting. Video recordings are available on the City's website [here](#).

1. Call to Order: Chair Don Girouard called the meeting to order at 6:04PM.
2. Minutes of Previous Meetings: *Will be available for review at the Board's next meeting.*
3. 923 Portland Road Sketch (Conceptual) Plan Review:

Sandra Guay, Archipelago Law; Heather Monticup, GPI; and Chris Tymula, GPI were present for this item.

Chris Tymula presented the conceptual plan and gave a brief description of the project for the Board's comments. Heather Monticup summarized the work that the development team have done on traffic thus far. The team has had a scoping meeting with City staff, the City's traffic peer reviewer, and the MDOT in preparation for their traffic study. Heather summarized changes that were made to the original plan based on comments from those reviewing parties.

The Board noted that following concerns with the current concept plan: traffic concerns, is 100' from the corner enough? The Board requested that the architectural drawings be revised to include higher quality materials for the façade and noted that the rear elevation has too much blank space without any architectural features. Joyce Leary Clark asked if the pumps are intended to be used for tractor trailer trucks? Jeff Brochu posted questions regarding a recent Route 1 PACTS study and asked about a traffic light in this area, which the applicants and city staff responded to.

4. 401 Main Street Appeal:

Jim Katsiaficas, legal counsel for the Planning Board; Natalie Burns, legal counsel for the City Planner; Craig Gardner, legal counsel for the Appellant; and Mike Devine, legal counsel for the property owner, were present for this matter.

Overview: Jim Katsiaficas provided overview of this item. Discussion occurred on whether or not the appellant had standing to file this appeal, as it was filed past the typical 30-day appeal period. However, the parties agreed during the meeting that, as notice was not sent on the original decision and the appellant filed soon after finding out the decision had taken place, that the appellant filed their appeal in a timely manner. After discussion, **Joyce Leary Clark moved that the Board find that the appeal was timely filed. Matt Provencal seconded, and the motion carried unanimously, by roll call vote.**

Bob Hamblen provided summary of events in regard to this parcel. On January 17, 2006 a contract zone was approved by the City Council allowing a “Personal Services” use to be established in the residential property at 401 Main Street in the R-1b zone, predominantly a residential zoning district. In June, 2006 approval of a site plan for the proposed Acapello personal services use occurred by the Planning Board. In 2019, Acapello closes its doors at 401 Main Street and re-opens at 510 Main Street. In summer of 2020, Acapello inquires as to what may be necessary in order to divide the parcel into two lots, each intended for residential use. On July 2, 2020 a memo is issued by Planning Department providing options for Ms. Juliano to consider based on her proposal that the existing structure would revert back to residential use, and that the existing parcel would be divided, thereby creating a new building lot. On September 4, 2020, a “Survey Plan” prepared by Paul Gadbois, P.E. and a site plan application are submitted to Planning Department. Plan shows the proposed division of the 32,910 s.f. parcel into two lots. In the R-1b zone, 10,000 s.f. is the minimum lot area, and 100’ is the minimum required frontage. Each lot would conform to these requirements. After soliciting staff comments on what was being considered a minor staff-level review, an approval of the site plan amendment was granted by on September 14, 2020. It was later discovered that abutters were not notified that this application was under review, as required by the ordinance. As of March 9, 2021, a building permit has not yet been applied for any construction on the split-off parcel but a street-opening permit has been issued through the Department of Public Works.

Attorney Gardner, representing the appellant, presented his opinion in relation to the issue of major or minor changes to the site plan and requested that the Board vacate the decision of the City Planner and ask the applicant to resubmit their application. Attorney Natalie Burns weighed in on this proposed course of action, stating that the application is going to look the same whether it is for either a major or a minor review. Attorney Jim Katsiaficas advised the Board that the de novo nature of the appeal puts the decision on the site plan in the Board’s purview.

Public Hearing: Peter Scontras moved to open a public hearing on this item. Matt Provencal seconded, and the motion carried unanimously, by roll call vote. *The following members of the public chose to speak on this matter:*

- *Bette Brunswick, 11 Old Orchard Road*

Peter Scontras moved to close the public hearing on this matter. Matt Provencal seconded.

Discussion occurred on the motion. Joyce Leary Clark questioned whether the Board should close the public hearing prior to the appellant and property owner making their arguments. **Peter Scontras withdrew his motion. Matt Provencal withdrew his second.**

Jeff Brochu moved to close the public hearing. Joyce Leary Clark seconded, and the motion carried unanimously, by roll call vote.

Shawn Nicholas joined the meeting at 8:37PM but recused himself from reviewing this item.

Discussion & Action: Legal counsel for each party weighed in on this matter. Discussion occurred by the Board surrounding an existing drainage easement over the Trinity Church property. The Board asked City staff to weigh in on the issue of drainage onto the abutting property. During minor staff-level review, there were not concerns from staff on the drainage issue. The Board also asked questions regarding the placement of the proposed driveway on Summer Street.

Joyce Leary Clark moved that the Board approve the site plan amendment as proposed, finding that the proposed change meets the criteria of Section 230-1106. Matt Provencal seconded. Discussion occurred on the motion. The Board decided to tackle each standard of approval one at a time and make findings related to each. **Joyce Leary Clark withdrew her motion. Matt Provencal withdrew his second.**

In discussion with legal counsel, the Board determined that the application for site plan amendment required review under three particular Site Plan approval criteria that were affected by the application -- Section 230-1106, subsections F (Landscaping), H (Vehicle circulation and pedestrian access), and M (Drainage).

Joyce Leary Clark moved that the Board find that the provisions of Section 230-1106(F) regarding landscaping have been met, based on submitted materials. Jeff Brochu seconded, for the purposes of discussion. Discussion occurred on the motion. The motion carried by roll call vote 3-2, with Peter Scontras and Jeff Brochu voting in the negative.

Joyce Leary Clark moved that the Board find that the provisions of Section 230-1106(H) regarding vehicle circulation and access have been satisfied. Matt Provencal seconded. Discussion occurred on the submitted site plan. The motion carried by roll call vote 3-2, with Jeff Brochu and Peter Scontras voting in the negative.

Joyce Leary Clark moved that the Board find that the provisions of Section 230-1106(M) regarding run-off and drainage have been satisfied. Matt Provencal seconded. Discussion occurred on the motion. The motion failed by roll call vote 1-4, with Peter Scontras, Matt Provencal, Joyce Leary Clark, and Jeff Brochu voting in the negative.

Joyce Leary Clark moved to reconsider the Board's findings on of Section 230-1106(M) regarding run-off and drainage, and table this item to a later meeting, and reopening a public hearing to allow for additional public input, pending receipt of additional information. Matt Provencal seconded. Discussion occurred on the motion. The motion carried by roll call vote 4-1, with Peter Scontras voting in the negative.

5. Adjournment: **Jeff Brochu moved to adjourn without further consideration of any items on the agenda at 9:40PM. Joyce Leary Clark seconded, and the motion carried unanimously, by roll call vote.**

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Planning Board
Meeting Minutes
Tuesday, March 16, 2021
Workshop, Regular Meeting & Public Hearings
Location: Remote via Zoom.us
All votes taken by roll call.

Present: Chair Don Girouard, Alyssa Bouthot, Jeff Brochu

Also Present: Bob Hamblen, City Planner; Isabelle Oechsle, Planning & Economic Development Associate; David Pendleton, Deputy Fire Chief; Jodi MacPhail, Council Liaison; David Twomey, Director of Code Enforcement

Workshop – 5:30PM:

1. Residential Sprinklers:

David Pendleton provided summary of the residential sprinklers memo that was included in the meeting packet for the Board. D. Pendleton pointed out that the previous zoning ordinance listed accessory dwelling units (ADUs) as accessory “apartments” rather than accessory dwellings. The term dwelling may pose a problem in relation to the building, electrical, and fire safety codes, which may serve to make the accessory apartments more expensive than originally anticipated, thus negating much of the purpose of allowing ADUs in Saco in the first place.

Alyssa Bouthot asked for the Board’s input on sprinkling accessory apartments / ADUs. Jeff Brochu stated that it may make the most sense to adopt the NFPA code that requires sprinkling of all new residential units, especially since the Board and ZORS Committee had previously stated that they were supportive of this and it would eliminate many of the problems associated with adoption of many differing definitions and codes. Jeff Brochu also stated that, more broadly, the City should also look into providing some sort of incentive (such as tax break or break from fire/EMS impact fees).

Bob Hamblen suggested keeping the language in the accessory apartments section fairly broad and putting the burden of requiring sprinkling in certain situations on the “experts” in the City, such as Code Enforcement and the Fire Department. The Planning Board agreed that the general purposes and goals of ADUs / accessory apartments are still something that they support, but the Board was split on the specific language as proposed by Deputy Chief David Pendleton and Code Enforcement Director David Twomey.

2. § VII17. Master Planned Development Draft Amendments

Bob Hamblen presented an overview of the proposed Master Planned Development language as drafted in consultation with ZORS Committee member Mike Eon. A final vote on allowing Master Planned Developments as an allowed use within the Portland Road district will be taken by the Council on Monday evening. The Board was made aware that, at the bequest of the City Administrator, the Council will be able to see revised language on Master Planned Developments in the Portland Road corridor, which may be remitted back to the Planning Board, if the Council goes that direction. Much of the language is based on the current Master Planned Development language.

Regular Meeting – 6:30PM (or at conclusion of workshop):

1. Call to Order: Acting Chair Alyssa Bouthot called the meeting to order at 6:37PM and stated those present for the record.
2. Minutes of Previous Meetings: March 2, 2021 & March 9, 2021: Alyssa Bouthot suggested that the Board table taking action on this item until both Peter Scontras and Joyce Leary Clark are present to comment

on them. **Don Girouard moved that the Board table this item until such time that Peter and Joyce are present. Jeff Brochu seconded.** Jeff Brochu offered additional comment related to the last motion in the packet, in hopes that it can be corrected before this comes back to the Board. Edit was to change the last motion, which Jeff Brochu made, which said "...and to make findings of fact to that effect" should instead say "and to make reference to the findings voted on previously to that effect." **The motion on the floor carried unanimously, by roll call vote.**

- 3. Public Hearing:** 121 Louden Road (Map 106 Lot 10): Contract Zone Amendment Recommendation for River Winds Farm & Estate.

Gina Martinez, Events Manager for Riverwinds Farm & Events, was present for this discussion.

Overview: Bob Hamblen provided overview of this item, which is for an amendment to an existing contract zone for Riverwinds Farm. As some members of the Board may be aware, there have been some discussions at the Council level regarding code enforcement and compliance issues. David Twomey, Director of Code Enforcement, was noted as present and is available to answer any questions that may arise.

Application Completeness: **Jeff Brochu moved to find the application for contract zone amendment recommendation to be complete. Don Girouard seconded, and the motion carried unanimously, by roll call vote.**

Board Discussion: Don Girouard stated that he had some concerns with the nature of the use of this property not being consistent with the surrounding area. Matt Provencal stated that, in reviewing the standards for the Board's recommendation, his major concern was that this is not a parcel of land that is necessarily unique in nature or location. Jeff Brochu echoed Matt's noted concerns and stated that he has concerns that this may not be compatible with the 2018 Comprehensive Plan. Jeff noted the article that he was referencing and asked a question about how this will be minimal impact.

Applicant's Presentation: Gina Martinez provided responses to the Board's comments. She stated that she requested the language for self-sponsored events after the onset of the COVID-19 pandemic when their typical events (such as weddings) were being cancelled. The language was taken from state guidance for alcohol and catering licenses. Gina noted that there is a limited season in Maine for events, and with COVID, the self-sponsored (public) events began to be necessary to keep their revenue coming in. Gina also stated that the events are not happening 7 days per week, only a few nights per week and on weeks when weddings are not happening. Gina also noted that the property is unique in nature because it is over 100 acres and is surrounded by other properties which are also owned by the owner. Further, the original conditions of the contract zone including time limits on events were followed whether the events are 50 people attending a wedding or 50 people attending a public comedy show. Gina emphasized that the self-sponsored events were a stopgap measure during COVID.

Public Hearing: **Don Girouard moved to open the public hearing. Jeff Brochu seconded, and the motion carried unanimously, by roll call vote.** *The following members of the public chose to speak on this item: Inga Browne, 161 Simpson Road; Margaret Mills, 168 Simpson Road; Susan Littlefield, 171 Simpson Road.* **Don Girouard moved to close the public hearing on this item. Jeff Brochu seconded, and the motion carried unanimously.**

Action: **Jeff Brochu moved that the Board find that the proposed amendment is for land with an unusual nature or location. Don Girouard seconded. The motion failed unanimously, by roll call vote, with all members voting in the negative.**

Jeff Brochu moved that the Board find that the proposed amendment is consistent with the Comprehensive Plan. Don Girouard seconded. Discussion occurred on the motion. Don Girouard

noted that this use is not consistent with a “rural pattern of [land] uses.” **The motion failed unanimously, by roll call vote, with all members voting in the negative.**

Jeff Brochu moved that the Board find that the proposed amendment is consistent with, but not limited to, the existing and permitted uses within the underlying zone. Don Girouard seconded. The motion failed unanimously, by roll call vote, with all members voting in the negative.

Jeff Brochu moved that the Board find that the conditions proposed are sufficient to meet the intent of this section. Don Girouard seconded. The motion failed unanimously, by roll call vote, with all members voting in the negative.

Jeff Brochu moved that the Board forward a negative recommendation to the City Council for the contract zone amendment submitted on behalf of applicant River Winds Farm and Estate that would allow a Place of Public Assembly use to be amended so as to include “Self-Sponsored Events.” Don Girouard seconded, and the motion carried unanimously, by roll call vote.

- 4. Public Hearing:** Request to rezone three parcels in the West Residential zone on the January 11, 2021 Council-adopted zoning map, to be rezoned to Rural Conservation.

Overview: Bob Hamblen provided overview on this item, in which the Board’s authority is to provide a recommendation to the City Council on the request from primary requestors, Fendersons, to rezone three properties which were zoned West Residential on the January 11, 2021 Council-adopted zoning map, to be rezoned to Rural Conservation.

Discussion: Discussion was had regarding the existing uses of the property. The Board asked that the requestors speak on their reasons for this request.

Public Hearing: **Don Girouard moved to open the public hearing on this item. Jeff Brochu seconded, and the motion carried unanimously.** *The following members of the public chose to speak on this item: Tate Patterson, 106 New County Road; Katherine, 105 New County Road; Inga Browne, 161 Simpson Road.* **Don Girouard moved to close the public hearing. Jeff Brochu seconded, and the motion carried unanimously, by roll call vote.**

Action: **Jeff Brochu moved that the Board forward a positive recommendation to the City Council for zoning map amendment requested by John and Linda Fenderson and the Patterson family, so as to rezone their parcels identified as Tax Map 87, Lots 1, 9, 9-1 and 17 are rezoned from R1-d (soon-to-be WR) to C-1 (soon-to-be RC), with City staff to reach out to Cote (9?) and 87-17-1, to inquire if those owners would be agreeable to rezoning their parcels to create a more unified zoning boundary, with possible boundary of Deep Brook. Don Girouard seconded.** Jeff Brochu clarified that the direction that his motion is attempting to give is to create the most uniform zoning map possible. It was further clarified that the Board is overall supportive of the request for rezone, but owners should be contacted to create the most uniform zoning area possible. **The motion on the table carried unanimously, by roll call vote.**

- 5. Public Hearing:** John Lane’s Way (Map 101 Lot 37-8): Subdivision amendment to add one additional lot. Applicant is John Lane. Zoned C-1.

Vickie Lane Duggan, agent for the applicant, and Paul Gadbois, engineer for the applicant, were present for this discussion.

Overview: Bob Hamblen provided overview of this item, which is for a subdivision amendment to an existing subdivision to create one additional lot. There is unique history to this item summarized by City Attorney Tim Murphy in the packet.

Application Completeness: **Don Girouard moved to find the application for preliminary subdivision review to be complete. Matt Provencal seconded, and the motion carried 3-1, with Jeff Brochu voting in the negative.**

Board Discussion: Discussion occurred regarding whether a road maintenance agreement exists. The Board also requested additional information about how this came to be.

Applicant's Presentation: Paul Gadbois responded that a private road maintenance agreement has not been filed because there is currently only one lot that utilizes the public road. If this lot is approved, it will be dependent on John Lane Way for access and a road maintenance agreement will be required, per the conditions of approval for the original private road.

Public Hearing: **Don Girouard moved to open the public hearing. Jeff Brochu seconded, and the motion carried unanimously, by roll call vote. No members of the public chose to speak on this item. Don Girouard moved to close the public hearing. Jeff Brochu seconded, and the motion carried unanimously, by roll call vote.**

Action: **Don Girouard moved that the Board grant preliminary plan approval based on the findings of fact and conditions of approval dated March 16, 2021. Matt Provencal seconded. Don Girouard stated that his motion assumes that staff will reach out to Tim Murphy for an updated memo on this item. The motion carried 3-0-1, with Jeff Brochu abstaining.**

6. Public Hearing: 66 Old Orchard Road (Map 27 Lot 83): Site Plan & Conditional Use Review for a proposed 3-unit townhouse with associated site improvements. Applicants are Steven Trask & Wendy Fernandez. Zoned R-2. Goal: to make a finding on application completeness, hold a public hearing, and review the proposed site plan based on the standards of Article XI: Site Plan Review and Article IX: Conditional Uses. ***Tabled until a subsequent meeting.***
7. Adjournment: **Without objection, the Board adjourned at 9:46PM.**

Saco Island East

Site Plan / Preliminary Subdivision Review

Item	Location
Planner's Review Memo	Link
Application & Supporting Materials	Link
Staff Reviews	Link

**Planning & Economic
Development**

Saco City Hall
300 Main Street
Saco, Maine 04072-1538



**Robert Hamblen
City Planner**

BHamblen@sacomaine.org
Phone: (207) 282-3487 ext.357

Memorandum

To: Planning Board
From: Bob Hamblen, City Planner
Re: Site Plan and Preliminary Subdivision Review, Saco Harborside
Tax Map 37, Lot 6
Date: Meeting of March 30, 2021

A. Overview

Saco Island Ventures, LLC proposes a 24-unit multi-family dwelling (12 two-family dwellings) that will be subject to both site plan and subdivision review, on the easterly side of Saco Island. Access would be via a private access drive departing Main Street from an existing curb cut that is opposite the entrance to Buildings 3 and 7 on the east side of Main Street; both entrances are or would be aligned with the traffic signal that was installed some 12 years ago.

The DEP initially confirmed that a new Site Location of Development permit will be required, as the 2007 approval has expired. However, the current project proposed just under 2 acres of impervious surface, whereas the need for a Site Law permit is triggered at 3 acres. This is a stand-alone project, separate from the west side of the Island. The applicant is clarifying what the DEP's intent is.

The 2007 project was also subject to a Traffic Movement Permit from the MDOT. They have indicated a summary of pre-2015 and post-2015 development will be required, as well as an update on required mitigation that has, or has not, occurred since the 2007 approval.

Other permitting required for this project will include the Saco River Corridor Commission; the applicant states that the SRCC permit will be submitted for in coming months. Work along the seawall of the southerly shore of the island was proposed in 2007 with the goal of stabilizing the river bank, and was reviewed and approved by the U.S. Army Corps of Engineers. No such work is proposed at this time, so we are not aware that Corps review would be required. Note on the existing conditions plan that the developer "reserves the right" to seek future permitting for such work.

In terms of local (Planning Board) review, staff anticipates at least two meetings, in that both a preliminary and a final subdivision plan will need to be acted on.

B. Determination of Completeness

The project is subject to both site plan and subdivision review. The applicant has requested a waiver of the site plan requirement for § 230-1104.A(16), Hydrogeologic Assessment, "...since the project will be served by public water and sewer and the development area will be positioned within areas where the groundwater is expected to be greater than 48" below grade." A series of borings has been performed on the site as part of a geotechnical exploration, performed by Summit Geoengineering Services.

A waiver is also requested for the stormwater management flooding standard found in Sec. 230-805. City Engineer Joe Laverriere: “The quick answer is yes. Chapter 500 does not require quantity control if the development site surface runoff discharges directly to the Saco River. Stability of the discharge will need to be addressed, but with respect to pre and post development quantity analysis, that is not required.”

If the Board agrees that the waiver requests have merit, then suggested motions it may choose to consider: **“I move that the Board grant a waiver of submission requirement § 230-1104.A(16) as the project is of such a nature as to make the information unnecessary.”**

And, “I move that the Board grant a waiver of stormwater standard § 230-805, as the project is of such a nature as to make the information unnecessary.”

The application for preliminary subdivision review has been found to be complete – see attached checklist. If the Board is in agreement with staff’s assessment, then a suggested motion: **“I move to find the application for preliminary subdivision review complete.”**

Waivers aside, the site plan application is also complete based on staff review; checklist attached. If the Board agrees, then a suggested motion: **“I move to find the application for site plan review complete.”**

C. Public Hearing

A public hearing has been advertised, and abutters have been notified of the meeting. If the Board is agreeable, than a suggested motion: **“I move that the Board open the public hearing.”**

And, when complete, **“I move that the Board close (or continue) the public hearing.”**

D. Discussion

Items that will bear on the project, and their status:

- Sewer service: Howard Carter of the WRRD has agreed that the previous analysis for the larger Saulnier project is acceptable at this time. A stamped, updated analysis will be submitted as part of the final plan submission. A private pump station will be located on the island, built to City specs, and required to maintain a service agreement for maintenance.
- Water service: Maine Water Company has stated that its capacity to serve the project is adequate, and that it will run a hydraulic study at the applicant’s expense to put a finer point on that. The study is not yet complete.
- Lighting: Terradyn Consultants has completed its look at the photometrics plan submitted by the applicant, and asked for more info.
- Overhead utilities: will be undergrounded into the site from exiting overhead along Main St.
- Stormwater: the applicant states that approximately 83,000 s.f. of proposed impervious surface, and a disturbed area of 304 acres would be involved. See Findings below for more.

- Traffic: the applicant estimates 176 daily trips, with 11 trips in the AM peak hour and 13 trips in the PM peak hour. These volumes are not enough to trigger the need for a traffic analysis. As mentioned above, as part of the larger 2007 project, the site was subject to a Traffic Movement Permit granted by the MDOT, which has asked the applicant to update the permit status.
- Off-street parking: the 24 proposed units will each include a two-bay garage for parking, and each is shown with a driveway with parking for 1-2 vehicles. Required: 60 spaces. Proposed: 72 spaces.
- Pedestrian access: as noted by City Engineer Joe Laverriere in his 2/26/21 comments, “previous discussions on the development of this site included the installation of a sidewalk along the easterly side of Main Street from the project entrance towards Pepperrell Square. We believe this should still be included as part of the development of this site.”

The Board should also be aware of Sec. 10.11.5.11 from the Subdivision Regulations -- Sidewalks are required along all subdivision streets and any street which abuts the subdivision, or gives access to it. The Board may require that the sidewalk be extended for a reasonable distance to connect with existing sidewalks or destinations such as bus stops and schools. The gap between end of sidewalk and proposed project entrance is roughly 850 feet.

The Board should also be aware that, two previous projects proposed for this site – the 2007 Mattson Development project with 30 condo units, and the 2018 Saulnier proposal for a mixed-use development – included either the applicant voluntarily extending sidewalk from where it ends in the vicinity of the RR tracks at the top of York Hill, or the Board choosing to regard it as a Condition of Approval.

Staff strongly supports the extension from the current terminus, down York Hill’s easterly side of Main Street, to the project entrance.

- Open space and recreational facilities impact fees: see Article 16 in the ZO for this requirement. Based on multi-family dwelling units (24) and three bedroom per unit, the calculation is $3.0 \times \$469 = \$1,407 \times 24 = \$33,768$ (rec facilities fee), and, $3.0 \times \$195 = \$585 \times 24 = \$14,040$. Total fees are \$47,808.

In that no open space or rec facilities are proposed, and the City has indicated its interest in seeing an extension of the RiverWalk Trail on this portion of the island, we might point to the example of Building 4, on the west side of Main St. Their real estate provided the opportunity to complete a loop trail around Saco Island west, which had been aided to that point by the Mattson Development group, and also by Brookfield Energy. Chinburg Development had participated in river walks elsewhere, and was agreeable to completing the 200+/- feet needed to complete the loop. Their costs of construction were deducted from the impact fees due, with the agreement of the Board. Staff recommends a similar approach here.

- Fire and EMS impact fee: as stated in Article 16, and the City’s Fee Schedule, the fee is \$468.75 per multi-family unit, payable at time of building permit issuance.
- Design standards, Sec. 230-729: multi-family dwellings are subject to design review by the Board. Staff has asked for written responses to the approval standards found in 230-729.E.

E. Conclusions and Recommendations

As stated above, it is anticipated that two meetings at a minimum will be necessary for the review of this project, in that preliminary and final subdivision plan are both required. As has been true in the past for this location, abutters, while numerous, do not feel themselves to be directly impacted by development on this side of Saco Island – staff has not heard from concerned parties.

The Board will need to determine how it chooses to handle permits from other agencies: include as a condition of approval, or put a hold on review until other permits have been issued? They would include the TMP from MDOT, and the SRCC permit. The draft Conditions of Approval do not address this currently; they could be amended as the Board sees fit.

If the Board has found the applications to be complete, has held a public hearing, and gotten to a point where it is ready to take action, assumedly it would be regarding the preliminary subdivision plan. If that's the case, then a draft motion the Board may consider: **“I move that the Board approve the preliminary subdivision plan for the proposed Harborside multi-family project, based on the Findings of Fact and Conditions of Approval dated March 30, 2021.”**

Saco Harborside, Multi-Family Dwelling
Findings of Fact
March 30, 2021
Preliminary Subdivision Review

1. Applicant: Saco Island Ventures, LLC; 8 Doaks Lane, Marblehead MA 01945.
2. Property Owner: Same as applicant.
3. Consultant: Stephen Bushey, P.E., Gorrill Palmer, 707 Sable Oak Drive, Suite 30, South Portland ME 04106.
4. Development Proposed: development and construction of twelve duplexes (24 units total), a Multi-Family Dwelling per the Saco Zoning Ordinance. Previous local approvals dating back to 2007 have expired. The project is subject to an existing Site Location of Development permit granted by the Maine DEP, and to an existing Traffic Movement Permit granted by the Maine DOT as part of the larger 2007 application submitted by Mattson Development. Each is being updated by the applicant.
5. Zoning: B-4 zoning district. Also, Saco River Overlay.
6. Property is identified as Tax Map 37, Lot 6, and is referenced in the York County Registry of Deeds as Book 18023, Page 284.
7. The applicant has submitted a twenty-one (21) sheet set of plans dated January 20, 20121, revised through 3/15/21, prepared by Gorrill Palmer, 707 Sable Oaks Drive, Suiter 30, South Portland ME 04106. The sheets are listed as follows:
 - C-1.0 Cover Sheet
 - C-1.1 General Notes and Legend
 - C-1.2 Boundary and Topographic Survey

- C-2.0 Existing Conditions and Removals Plan
- C-3.0 Site Layout Plan
- C-4.0 Utility Plan
- C-5.0 Grading, Drainage and Erosion Control Plan
- C-5.1 Stormwater Management Plan
- C-5.2 Stormwater Management Plan – BMP 10 Scale
- C-5.3 Stormwater Management Plan – BMP 10 Scale
- C-6.0 Landscape Plan
- C-7.0 Site Details
- C-7.1 Site Details
- C-7.2 Storm Drain and Utility Details
- C-7.3 Storm Drain and Utility Details
- C-7.4, 7.5, 7.6 Stormwater Management Details
- C-7.7 Erosion Control Details
- C-7.8 Erosion and Sediment Control Narrative
- C-8.0 Site Cross Section

8. Access to the project will be via an existing curb cut from Main Street, opposite an existing entrance to 100 Main Street (Buildings 3, 7, and 1). A private access drive would be constructed from the existing curb cut into the property's interior. An easement granted by CMP (Attachment B) that provides access to the parcel has been submitted.

9. Off-street parking: Table 708-2 states the following for Multifamily residential:

1.5 spaces per unit for 1-bedroom units

2 spaces per unit for units with 2 bedrooms

In residential zoning districts, 2.5 spaces for units with 3 or more bedrooms

In residential zoning districts, 1 additional visitor's space for every 6 units or fraction thereof

The applicant has represented that the proposed units will each include 3 bedrooms. The B-4 zone is not a residential zone. Nonetheless, if 2.5 spaces per unit is applied to each of the 24 units, a total of 60 spaces would be required.

The applicant's representative is stating that each unit will include a 2-bay garage, and that space for at least one additional vehicle will exist in the driveway. At 3 spaces per unit, a total of 72 spaces are proposed.

10. Utilities: the project would be serviced by public sewer and water, via connections to existing mains in Main Street. As stated by the applicant, a private pump station is likely to be necessary due to elevation differences, to be installed and maintained by the applicant. Electric, cable and telephone service is proposed as underground from existing utility poles along the Main Street right of way. See sheet C-4.0.

11. Stormwater: the project is expected to create approximately 1.68 acres of impervious area and

3.84 acres of developed area. The applicant proposes to install various mechanisms to address water quality requirements:

- Four Bio-Filtration basins located on south side of buildings;
- One grassed underdrained soil filter at the site's northeast corner;
- Two Filterra Bioscape vaults and below-grade storage in the center of the property.

Each of the mechanisms would discharge stormwater through underdrain pipes that outlet at the south and east sides of the property, discharging via overland flow into the Saco River. All stormwater management design is per Maine DEP Chapter 500 rules, and is subject to the Basic and General standards of Chapter 500, and subject to review by the City and by the Maine DEP as part of its Site Location of Development review.

12. Erosion and Sedimentation Control details are addressed on Sheet C-5.0 of the plan set. All work will be according to Best Management Practices endorsed by the Maine DEP.
13. Landscaping is detailed on sheet C-6.0 of the plan set. A variety of maple, spruce, birch and oak trees are proposed along the access drive and scattered throughout the site. Landscaping is subject to review by Regina Leonard, RLA, on behalf of the City.
14. Lighting is detailed on Sheet C-5.2 of the plan set, prepared by Swaney Lighting of Scarborough. Site lighting is subject to review by Michael Tadema-Wielandt, P.E., Terradyn Consulting, on behalf of the City.
15. Traffic: project is subject to City traffic standards and to a Traffic Movement Permit issued in 2008 by the Maine DOT. Applicant estimates that 176 trips per day will be generated, with 11 in the weekday a.m. peak hour, and 13 in the weekday p.m. peak hour. Applicant is updating the 2015 amendment to the TMP per request of the MDOT. The traffic signal installed after the 2007 approval continues to operate in flash mode, and it is not anticipated that MDOT warrants required for the signal to be turned to fully functional will be met.
16. Buffers: none proposed. The applicant is observing a 100 foot setback from the normal high water line, as required by the Saco River Corridor Commission.
17. Pedestrian Access: In order to provide for safe, convenient pedestrian access, the City will be requesting of the applicant approximately 850 feet of sidewalk along the east side of Main Street. A 5 foot wide bituminous sidewalk is proposed along the length of the 846 foot interior access drive. A crosswalk will be requested by the City in order to allow safe and convenient pedestrian access across the access drive at its intersection with Main Street. A crosswalk is likely to be requested by the City in order to allow for safe and convenient pedestrian access from the east to the west side of Main Street, thereby providing for pedestrian access to the westerly side of Saco Island and to the sidewalk network into downtown Biddeford.
18. Solid Waste Disposal: the applicant states that totes for solid waste and recycling will be provided to each unit, which will be removed by a contracted waste hauler on a weekly basis.
19. Noise: detailed in Section 5 of the application. Construction, maintenance and operation of the project will generate noise levels that will be in compliance with City and Maine DEP standards.

20. Signage: stop sign location is indicated on the site plan. If other signs such as a sign stating “Harborside” are proposed, sign permits are subject to review and issuance by David Twomey, CEO.
21. Hydrogeologic Assessment: the applicant has requested a waiver, “...since the project will be served by public water and sewer and the development area will be positioned within areas where the groundwater is expected to be greater than 48” below grade.” A series of borings has been performed on the site as part of a geotechnical exploration, performed by Summit Geoengineering Services.
22. Archaeological and Historic Resources: the Maine Historic Preservation Commission indicated in a 2018 letter that no historic resources will be impacted. Said letter has been re-submitted on behalf of this application, and the MHPC has indicated that given the reduced scale of this project, the 2018 letter remains applicable.
24. Unusual Natural Areas, Wildlife and Fisheries: the Maine Department of Conservation Natural Areas Program indicated in a May 11, 2018 letter that no rare botanical features would be impacted by the project.

The Planning Board, following review of the preliminary subdivision plan and application for the proposed development of a portion of the easterly side of Saco Island, makes these findings based on the approval criteria found in Article 1 of the Subdivision Regulations. The purpose of these regulations shall be to assure the comfort, convenience, safety, health and welfare of the people, to protect the environment and to promote the development of an economically sound and stable community. To this end in approving subdivisions within the City of Saco, the Planning Board shall consider the following criteria and before granting approval, must determine that:

1.1.1 Pollution. The proposed subdivision will not result in undue water or air pollution. In making this determination, it shall at least consider:

- A. The elevation of the land above sea level and its relation to the flood plains;
- B. The nature of soils and subsoils and their ability to adequately support waste disposal;
- C. The slope of the land and its effect on effluents;
- D. The availability of streams for disposal of effluents; and
- E. The applicable state and local health and water resource rules and regulations;

1.1.2 Sufficient water. The proposed subdivision has sufficient water available for the reasonably foreseeable needs of the subdivision;

1.1.3 Municipal water supply. The proposed subdivision will not cause an unreasonable burden on an existing water supply, if one is to be used;

1.1.4 Erosion. The proposed subdivision will not cause unreasonable soil erosion or a reduction in the land's capacity to hold water so that a dangerous or unhealthy condition results;

1.1.5 Traffic. The proposed subdivision will not cause unreasonable highway or public road congestion or unsafe conditions with respect to the use of the highways or public roads existing or proposed;

1.1.6 Sewage disposal. The proposed subdivision will provide for adequate sewage waste disposal and will not cause an unreasonable burden on municipal services if they are utilized;

1.1.7 Municipal solid waste disposal. The proposed subdivision will not cause an unreasonable burden on the municipality's ability to dispose of solid waste, if municipal services are to be utilized; a private hauled is to be contracted with to remove solid waste on a weekly basis, as stated in the application;

1.1.8 Aesthetic, cultural and natural values. The proposed subdivision will not have an undue adverse effect on the scenic or natural beauty of the area, aesthetics, historic sites, significant wildlife habitat identified by the Department of Inland Fisheries and Wildlife or the municipality, or rare and irreplaceable natural areas or any public rights for physical or visual access to the shoreline; a former industrial/commercial site, the project upon completion will include twelve two-family dwellings, three stories in height, and will include an approved landscaping plan, which would be reasonably consistent with and perhaps less visually impactful than nearby residential buildings;

1.1.9 Conformity with local ordinances and plans. The proposed subdivision conforms with a duly adopted subdivision regulation or ordinance, comprehensive plan, development plan or land use plan, if any. In making this determination, the municipal reviewing authority may interpret these ordinances and plans;

1.1.10 Financial and technical capacity. The subdivider has adequate financial and technical capacity to meet the standards of this section;

1.1.11 Surface waters; outstanding river segments. Whenever situated entirely or partially within the watershed of any pond or lake or within 250 feet of any wetland, great pond or river as defined in Title 38, chapter 3, subchapter I, article 2-B, the proposed subdivision will not adversely affect the quality of that body of water or unreasonably affect the shoreline of that body of water.

A. When lots in a subdivision have frontage on an outstanding river segment, the proposed subdivision plan must require principal structures to have a combined lot shore frontage and setback from the normal high-water mark of 500 feet.

(1) To avoid circumventing the intent of this provision, whenever a proposed subdivision adjoins a shoreland strip narrower than 250 feet which is not lotted, the proposed subdivision shall be reviewed as if lot lines extended to the shore.

(2) The frontage and set-back provisions of this paragraph do not apply either within areas zoned as general development or its equivalent under shoreland zoning, Title 38, chapter 3, subchapter I, article 2-B, or within areas designated by ordinance as densely developed. The determination of which areas are densely developed must be based on a finding that existing development met the definitional requirements of section 4401, subsection 1, on September 23, 1983;

1.1.12 Ground water. The proposed subdivision will not, alone or in conjunction with existing activities, adversely affect the quality or quantity of ground water;

1.1.13 Flood areas. Based on the Federal Emergency Management Agency's Flood Boundary and Floodway Maps and Flood Insurance Rate Maps, and information presented by the applicant whether the subdivision is in a flood-prone area. If the subdivision, or any part of it, is in such an area, the subdivider shall determine the 100-year flood elevation and flood hazard boundaries within the subdivision. The proposed subdivision plan must include a condition of plan approval requiring that principal structures in the subdivision will be constructed with their lowest floor, including the basement, at least one foot above the 100-year flood elevation;

1.1.14 Freshwater wetlands. All freshwater wetlands within the proposed subdivision have been identified on any maps submitted as part of the application, regardless of the size of these wetlands. No wetlands have been identified;

1.1.15 River, stream or brook. Any river, stream or brook within or abutting the proposed subdivision has been identified on any maps submitted as part of the application. For purposes of this section, "river, stream or brook" has the same meaning as in Title 38, section 480-B, subsection 9;

1.1.16 Storm water. The proposed subdivision will provide for adequate storm water management, per the submitted stormwater management plan that has been subject to review by the City Engineer;

1.1.17 Spaghetti-lots prohibited. If any lots in the proposed subdivision have shore frontage on a river, stream, brook, great pond or coastal wetland as these features are defined in Title 38, section 480-B, none of the lots created within the subdivision have a lot depth to shore frontage ratio greater than 5 to 1;

1.1.18 Lake phosphorus concentration. The long-term cumulative effects of the proposed subdivision will not unreasonably increase a great pond's phosphorus concentration during the construction phase and life of the proposed subdivision; and

1.1.19 Impact on adjoining municipality. For any proposed subdivision that crosses municipal boundaries, the proposed subdivision will not cause unreasonable traffic congestion or unsafe conditions with respect to the use of existing public ways in an adjoining municipality in which part of the subdivision is located.

These Findings are adequate to allow the Planning Board to determine completeness of the application, and to determine that the applicant has satisfied the requirements set forth in the Subdivision Regulations. Approval is hereby granted for the preliminary subdivision application as submitted.

Draft Conditions of Approval
Saco Harborside, Preliminary Subdivision Review
Main Street (Map 37 Lot 6)
March 30, 2021

1. All details will conform to City of Saco standards, including but not limited to the City of Saco ordinances.
2. Approval of the site plan and preliminary subdivision applications is conditioned upon compliance by the applicant with any and all oral commitments regarding the project which were specifically made by the applicant to the Board in the course of its deliberations. This approval is governed by the action taken by the Saco Planning Board for the site plan amendment.
3. All work shall be in conformance with the submitted twenty-one (21) sheet set of plans dated January 20, 2012 and revised through March 15, 2021, prepared by Gorrill Palmer, 707 Sable Oaks Drive, Suite 30, South Portland ME 04106.
4. No deviations from the approved plans are permitted without prior approval from the Planning Board for major changes, and from the City Planner for minor changes. The determination of major or minor shall be made by the City Planner.
5. Before a pre-construction meeting is scheduled:
 - a. A Letter of Credit, acceptable to the City of Saco, shall be established for 150% of the construction cost of all required improvements, including but not limited to the following: utility installation; landscaping; paving; work within ROW; road construction, drainage, loam & seed; and sediment & erosion control, and all other items as deemed required by City Staff. To establish the amount of the Letter of Credit, the applicant shall provide the City with itemized, per unit cost estimates, and a construction schedule, at least one week before any anticipated site work. This Letter of Credit shall be maintained for a period not less than three months beyond the anticipated completion of the project.
 - b. Establish a construction inspection account equal to 3% of the base cost of the Letter of Credit. To establish the letter of credit amount, the applicant shall provide the City with itemized, per unit cost estimates and a construction schedule, at least one week prior to start of site work.
 - c. Provide copy of Saco River Corridor Commission approval for installation of patios.
 - d. All plans and specifications shall be provided on disk in an AutoCAD format. The final plan shall be submitted in digital format as a single composite electronic file. The plan may be submitted on a disc, via e-mail, or other format acceptable to the City Planner, and shall be compatible with commonly used CAD and/or GIS software. See Section 6.2.6 of the Subdivision Regulations for further detail.
6. Prior to any construction activities, the applicant and contractor shall meet with the City Engineer and City Planner to review plans, inspection schedules and erosion control practices.
7. As-built plans shall be submitted before the final release of the Letter of Credit.
8. If substantial construction is not started within twelve months of this approval, the approval shall be null and void, per Section 1111 of the Zoning Ordinance.

9. Prior to the start of construction, the applicant shall be required to execute Form 1 contained in Section 805 of the zoning ordinance and provide a recorded copy to the City.
10. The applicant shall be required to perform routine inspection and maintenance of the stormwater facilities as outlined in the operations and maintenance manual development specifically for the site. A copy of the annual inspection and maintenance report including inspection log(s) shall be submitted annually (by July 15th of each year) to the City Public Works Department.
11. The design engineer shall be required to inspect the construction and stabilization of the soil filter basins and underground storage systems to be constructed on the site in accordance with the requirements contained in Chapter 7 of the MDEP's Volume III Stormwater BMP Technical Design Manual. Inspections shall be performed as detailed in the Construction Oversight requirements contained in Section 7.1. Additionally, the contractor shall identify the location of the source of each component of the filter media and perform all testing and submittals as listed in the Testing and Submittals contained in Section 7.1.
12. The design of the private pump station shall meet the requirements of the WRRD. The final design data for force main hydraulic analysis, pump system head condition, pump selection and complete pump station design details shall be submitted for review and approval by the City prior to the start of construction. Any impacts of the final pump station design on the approved site plans will need to be reflected on the final site plans prior to the start of construction and may require site plan amendment.
13. A renewable contract with a qualified, third party agency to perform semi-annual inspection, maintenance and operation of the private pump station. The language for the renewable contract should be submitted to the City WRRD for review and approval prior to the start of construction.
14. All work within the public right-of-way shall be subject to the terms and conditions of a Street Opening Permit to be issued by DPW. The developer shall be responsible for applying and obtaining a Street Opening Permit prior to the start of any work within the public right-of-way.
15. Open Space and Recreational Facilities Impact Fees: based on multi-family dwelling units (24) and three bedrooms per unit, the calculations are:

$3.0 \times \$469 = \$1,407 \times 24 \text{ units} = \$33,768$ (rec facilities fee), and,

$3.0 \times \$195 = \$585 \times 24 \text{ units} = \$14,040$.

Total fees are \$47,808. Shall be paid on a per unit basis at time of building permit issuance.

Applicant recognizes that the riverfront -- the southerly shore of the easterly portion of Saco Island -- includes a 100 foot building setback from the Normal High Water Line, and that the City has made efforts for several years to establish a River Walk trail where appropriate and when the opportunity arises, for use by the public. The City is appreciative of the opportunity to construct an extension of the River Walk trail within the setback from the Normal High Water Line, and will represent the applicant's willingness to address the location, construction and maintenance of said trail with the primary permitting agency, the Saco River Corridor Commission. If the applicant and City are able to reach agreement on design and construction costs of said trail, the costs of same shall be deducted from the above referenced impact fees.

16. Fire and EMS Impact Fees: based on multi-family dwelling units (24) and three bedrooms per unit, the calculation is:
- $\$468.75 \times 24 \text{ units} = \$11,250$. Shall be paid on a per unit basis at time of building permit issuance.
17. Per Sec. 10.11.5.11 of the Subdivision Regulations, “Sidewalks are required along all subdivision streets and any street which abuts the subdivision, or gives access to it. The Board may require that the sidewalk be extended for a reasonable distance to connect with existing sidewalks or destinations such as bus stops and schools.” The gap between end of sidewalk and proposed project entrance is roughly 850 feet. Applicant shall be responsible for the design and installation of a sidewalk on the easterly side of Main Street from its current terminus at the railroad tracks, down York Hill to the proposed entrance to the proposed project. The design of said sidewalk shall be submitted to the Department of Public Works for its review and approval prior to the start of work. Said sidewalk installation shall be completed prior to the issuance of building permits for units 11 and beyond. That is, units 1-10 may be permitted and constructed with no action on the sidewalk construction. No further building permits shall be issued by the Code Enforcement Office prior to the approved design and construction of said sidewalk.

These Findings are adequate to allow the Planning Board to determine completeness of the application, and to determine that the applicant has satisfied the requirements set forth in the Subdivision Regulations. Approval is hereby granted for the preliminary subdivision application as submitted.

On Behalf of the Planning Board,

Robert H. Hamblen
City Planner

Saco Island East – Map 37 Lot 6: Site Plan & Subdivision Review for development and construction of 24 townhouse style duplex condominium units (12 buildings)

Site Plan Review Submission Requirements:

Submission Fulfilled or Waiver Requested	For Follow Up	Requirement
Submission Fulfilled		A fully executed and signed copy of the application for site plan review.
Submission Fulfilled		Three (3) copies of a site plan on paper not larger than 24 by 36 inches nor smaller than 11 by 17 inches, drawn at a scale sufficient to allow review of the items listed under the approval criteria herein, but at not more than 50 feet to the inch for that portion of the total tract of land being proposed for development. The site plan shall show the following: (Amended 2/19/02)
Submission Fulfilled		owner's and applicant's name and address, names and addresses of consultants who aided in preparing the plan, if any, and the name and address of the person or company leasing the property, if applicable, and, in order to establish right, title and interest, a deed, an executed lease, option, or purchase and sale agreement;
Submission Fulfilled		names and addresses of all abutting property owners;
Submission Fulfilled		sketch map showing general location of the site within the city and north arrow;
Submission Fulfilled		boundaries of the property and of all contiguous property under the control of the owner or applicant regardless of whether all or part is being developed at this time;
Submission Fulfilled		zoning classification(s) of the property and the location of zoning district boundaries if the property is located in two or more zoning districts or abuts a different zone.
	Setbacks to be determined by the Planning Board as part of their review.	the location and width of all building setbacks required by the Zoning Ordinance;
Submission Fulfilled, see LOR #1		the location and delineation of site elements, including: all existing and proposed buildings (including dimensions where appropriate), driveways, sidewalks, parking spaces, loading areas, open spaces, large trees, wetlands preservation measures and protection measures, stormwater control facilities, dumpsters and recycling facilities, etc.
Submission Fulfilled		the location and widths of nearby streets.

Submission Fulfilled, see LOR #1		The location and delineation of natural resource areas, historic features and archaeological features of the site including, but not limited to floodplains, wetlands, open drainage courses, sand and gravel aquifers, scenic areas, significant wildlife habitats, habitat areas for rare and endangered plants and animals, deer wintering areas, stands of trees, stone walls, graveyards, fences, unique natural areas, historically significant structures or features, archaeologically significant features, or other important Unusual Natural Areas and site features. (Amended 2/19/02; 2/17/04-3/18/04)
Submission Fulfilled, see LOR #1		Copies of existing and proposed easements, covenants, or deed restrictions.
Submission Fulfilled – see LOR #1		Copies of applicable local and state approvals and permits, provided however, that the Planning Board or in the case of minor site plans the City Planner, may approve site plans subject to the issuance of specified state licenses and permits in cases where it determines that it is not feasible for the applicant to obtain them at the time of site plan review.
Submission Fulfilled		Names and addresses and tax map and lot numbers of all property owners within six hundred (600) feet of the applicant's property if it is located in the Conservation District, any industrial district, the Resource Protection District or the R-1, R-2, and R-4 districts, or within two hundred (200) feet when the applicant's property is located in the R-3 District or any business district.
Submission Fulfilled – will be reviewed by City Engineer		For site plans in which ten thousand (10,000) square feet of impervious surface will be created, a storm water drainage plan, prepared by a registered Maine Professional Engineer, showing:
		the existing and proposed method of handling storm water run-off;
		the direction of flow of the run-off through the use of arrows;
		the location, elevation, and size of all catch basins, dry wells, drainage ditches, swales, retention basins, and storm sewer engineering calculations used to determine drainage requirements based upon the 2, 10, 25 and 50 year 24 hour storm event that show the predevelopment and postdevelopment runoff rates. If the postdevelopment runoff rate exceeds the predevelopment runoff rate on-site mitigation measures, such as detention basins or flow restrictors, shall be required unless a drainage plan prepared by a Maine registered engineer demonstrated that the increase has no adverse impact to the downstream conditions.
Submission Fulfilled		Existing and proposed topography of the site at two (2) foot contour intervals, or such other interval as the Board may determine.
Submission Fulfilled		A utility plan showing provisions for water supply and wastewater disposal including the size and location of all piping, holding tanks, leach fields, and showing the location and nature of all electrical, telephone and any other utility services to be installed on the site.
Submission Fulfilled		A landscape plan, with a planting schedule keyed to the site plan and indicating the varieties and sizes of trees, shrubs and other plants to be planted on the site.

Submission Fulfilled		A standard boundary survey by a registered land surveyor showing the location of all property lines. The Board may waive the requirement of a boundary survey when sufficient information is available to establish, on the ground, all property boundaries.
Submission Fulfilled		The location, size and character of all signs.
Submission Fulfilled, see LOR #1		A waste disposal plan describing how all solid waste will be handled on site, how it will be removed from the site, the disposal facilities to which it will be transported, and, if the waste is of an unusual nature, information indicating that a suitable disposal facility will accept the waste. For businesses which use industrial chemicals and produce hazardous waste, the name, amount, and nature of all chemicals used, and the manner of disposal of all chemical, hazardous and industrial wastes.
Test pit logs provided		A medium intensity soils map of the site. (This may be obtained at the Planning Office.) The Board may require a high intensity soils map if issues of water quality, wetlands, or other natural constraints are noted.
Submission Fulfilled – will be reviewed by City Engineer		For projects which will create over ten thousand (10,000) square feet of impervious surface, a plan showing the methods of controlling erosion and sedimentation both during and after construction, including a written description of these methods and a schedule for implementing them in accordance with the requirements of the York County Soil and Water Conservation District.
Submission Fulfilled		An estimate of the amount and type of traffic generated daily and at peak hours. For sites that generate more than four hundred (400) vehicle trips per day, a traffic impact analysis, prepared by a registered professional engineer with experience in traffic engineering and transportation, shall be submitted. The analysis shall show, at a minimum, existing traffic volumes, proposed traffic generation, proposed access, types of vehicles expected, effect on level of service within the study area, sight lines, and accident history in the study area. The report will recommend improvements both on site and off site to meet the requirements of this ordinance.
Waiver requested - Board may require.		A hydrogeologic assessment may be required by the Board for projects in which groundwater quality is a concern. Such instances include, but are not limited to, sites: <ul style="list-style-type: none"> A. Over a sand and gravel aquifer; B. Not served by public water or sewer; C. Where the depth to groundwater is less than 48 inches; D. In soils rated by the SCS Soil Survey as poor or very poor for subsurface septic systems; E. In coarse soils categorized as having "severe" limitations for septic systems; F. Where a septic system of over 2000 gallons per day is proposed.
Waiver requested - Board may require.		When a hydrogeologic assessment is submitted, the assessment shall contain at least the following information: <ul style="list-style-type: none"> A. A map showing the basic soil types;

		<p>B. The depth to the water table at representative points throughout the lot;</p> <p>C. Drainage conditions throughout the project;</p> <p>D. Data on the existing ground water quality, from test wells in the project or from existing wells on neighboring properties;</p> <p>E. A map showing the location of any subsurface wastewater disposal systems and drinking water wells within the project and within 200 feet of the project boundaries;</p> <p>F. An analysis and evaluation of the effect of the project on ground water resources. In the case of residential developments, the evaluation shall, at a minimum, include a projection of post development nitrate - nitrogen concentrations at any wells within the project, at the project boundaries, and at a distance of one thousand (1000) feet from potential contamination sources, whichever is a shorter distance. Projections of ground water quality shall be based on the assumption of drought conditions (assuming 60% of annual average precipitation).</p>
Per City Engineer's Review.		<p>If the project is subject to the stormwater quality standards of Section 805-2, a stormwater quality management plan that includes the following:</p> <p>a. A narrative describing how the site is oriented within the watershed, identifying downstream waterbodies including wetlands, and addressing the potential effects of site runoff. The narrative shall identify and discuss the stormwater treatment methods proposed to be used on the site.</p> <p>b. A plan showing relevant existing contours, proposed contours, existing and proposed subwatersheds, proposed topographic features, and existing and proposed site features including buildings and other facilities, natural and manmade drainageways, streams, channels, culverts, catch basins, and stormwater treatment facilities. The plan shall include detail drawings of the stormwater Best Management Practices proposed to be used and the location of both structural and non-structural BMPs.</p> <p>c. Calculations demonstrating that the proposed stormwater treatment facilities will meet the standards of Section 805-2.</p> <p>d. A stormwater facilities management plan which sets forth the types and frequencies of proposed maintenance activities needed to maintain the efficiency of the stormwater treatment facilities and which identifies the party that will be responsible for carrying out each maintenance activity and for submitting the Annual Maintenance Report and the proposed institutional arrangements that will assure that all maintenance occurs as proposed. (Amended 6/18/2001)</p>
Submission Fulfilled – will be reviewed by Terradyn.		A lighting plan, prepared by a qualified lighting professional, showing at least the following at the same scale as the Site Plan:
		The location of all buildings, landscaping, parking areas, and proposed exterior lighting fixtures;

		<p>b. Specifications for all proposed lighting fixtures including photometric data, designation as “cut-off” fixtures, Color Rendering Index (CRI) of all lamps (bulbs), and other descriptive information on the fixtures;</p> <p>c. The proposed mounting height of all exterior lighting fixtures;</p> <p>d. Analyses and illuminance level diagrams or photometric point by point diagrams on a twenty foot grid showing that the proposed installation conforms to the lighting level standards of this ordinance together with statistical summaries documenting the average illuminance, maximum illuminance, minimum illuminance, average to minimum uniformity ratio, and maximum to minimum uniformity ratio for each parking area, drive, canopy, and vehicle sales or storage area; and</p> <p>e. Drawings of all relevant building elevations showing the fixtures, the portions of the walls to be illuminated, the illuminance levels of the walls, and the aiming points for any remote light fixtures.</p>
Submission Fulfilled		<p>Any proposed land use activity involving structural development or soil disturbance on or adjacent to sites listed on, or known by the City to be eligible to be listed on the National Register of Historic Places shall be submitted by the applicant to the Maine Historic Preservation Commission and the Saco Historical Preservation Commission (as appropriate) for review and comment prior to action being taken by the permitting authority. The permitting authority shall consider comments received from the Commissions prior to rendering a decision on the application. (Amended 2/19/02)</p>

Subdivision Review Submission Requirements:		
Submission Fulfilled or Waiver Requested	Comments for follow up	Requirement
Submission Fulfilled		Location Plan: Two location plans of the subdivision and neighboring areas within at least a 2000 foot radius at scales of 800 feet to the inch and 200 feet to the inch, showing right of way lines of all proposed streets in the subdivision and their location in relation to existing streets and readily identifiable as to locus on the Zoning Map of Saco, Maine, as most recently amended.
Submission Fulfilled		Preliminary Plan The preliminary plan must be a contact print of an original drawing in permanent black ink on mylar, or other reproducible, stable based transparent originals. It must be clearly designated as "preliminary plan," drawn at the scale not less than one inch equals 100 feet. Sheets shall be 24" by 36" and plans shall be prepared by an engineer, architect, landscape architect, or land surveyor registered in Maine. Surveyed plans shall be stamped and signed. If multiple sheets are used, they must be accompanied by an index sheet as a cover showing the entire subdivision.
Submission Fulfilled		The preliminary plan shall be prepared using the following standards: a. Projection shall be Maine State Plane West. b. Vertical Datum shall be NAD 83. c. Units shall be measured in feet. d. Coordinates shall be shown on at least four corners of the plan. Coordinates shall be referenced to the Maine State Coordinate System.
Submission Fulfilled		The preliminary plan shall contain the following information: Subdivision name, boundaries, acreage, tax map and lot numbers, date and graphic scale, and a magnetic and true north arrow.
Submission Fulfilled		Name and address of record owner, subdivider, and engineer, surveyor, firm, and/or individual who prepared the plan.
Submission Fulfilled – existing conditions plan prepared by Dow & Coulombe		An actual field survey of the boundary lines of the tract, giving complete descriptive data by bearings and distances, made and certified by a registered land surveyor.
Submission Fulfilled		Boundary lines of adjacent land and names of owners as determined from most recent tax list.
Submission Fulfilled		Location, name, and present width of each street and public or private way bounding, approaching or within 500 feet of the subdivision, and any easements within or adjacent to the subdivision.
Submission Fulfilled -		Locations and outlines of all existing buildings and significant site features such as stone walls, fences, large trees (24 inch diameter breast height) or wooded areas,

existing conditions plan prepared by Dow & Coulombe		rock ridges and outcroppings, cemeteries, water courses, wetlands and water bodies on the site. Wooded areas, watercourses, wetlands and water bodies within 200 feet of the site shall also be identified, when possible.
Submission Fulfilled		Topography with two-foot contours of existing and proposed grades to include the demarcation of wetlands, 100-year flood elevations, and flood hazard areas.
Submission Fulfilled		The location, direction, and length of every proposed street line, lot line and boundary line established on the ground, the location of temporary markers adequate to enable the Board to locate the layout in the field, and the names of proposed streets.
Lot-lines, N/A.	Please coordinate unit numbering with E-911 Addressing Officer.	Lot lines with dimensions, zoning setback lines, and the area of each lot in square feet and acres, and lot numbers.
	Submission Fulfilled	Locations of existing and proposed monuments, hydrants and the location and size of public utility facilities, sewers, culverts, drains, and water pipes.
	Are you proposing any publicly-accessible open space? If not, each unit will be subject to open space impact fee.	Park, open, recreation, or common areas within a subdivision and a plan of any formal recreation area. (Amended 1/30/90)
Submission Fulfilled – will be reviewed by City Engineer.		A plan for the management of surface drainage waters, including existing waterways and the proposed disposition of water from proposed subdivision to new or existing subsurface drainage systems with sufficient capacity to dispose of the storm flows.
Submission Fulfilled		Locations and species of proposed street trees and/or wooded areas to be retained within the sidelines of each street, and other no-cut areas.
Submission Fulfilled		Street plans and profiles showing the percent slope of each grade, and the radius, length, point of curvature and point of tangency of each curve. Street plans and profiles showing proposed centerline grades and existing ground grades at fifty (50) foot stations. All existing and proposed elevations shall be based on the U.S.C. & G.S. Datum.
Submission Fulfilled		Location of all of the following proposed improvements unless specifically waived in writing by the Board: proposed monuments, parking areas, street lights,

		sidewalks, street signs, all utilities above and below ground, curbs, gutters, street trees, storm drainage, and all easements, service buildings and structures, and dumpsters. (Amended 1/30/90)
Submission Fulfilled – will be reviewed by City Engineer.		Erosion control plan showing the placement of all berms, silt fences, hay bales, sedimentation ponds and other erosion control devices, detention ponds, to the standards of the "Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices," by the Cumberland County Soil and Water Conservation District and the Maine Department of Environmental Protection, latest revision. (Amended 10/26/93)
Submission Fulfilled		Areas within or adjacent to the proposed subdivision which have been identified as high or moderate value wildlife habitat by the Maine Department of Inland Fisheries and Wildlife or within the Comprehensive Plan. If any portion of the subdivision is located within an area designated as a critical natural area by the Comprehensive Plan or the Maine Natural Areas Program, the plan shall indicate appropriate measures for the preservation of the values which qualify the site for such designation.
Submission Fulfilled		The location of any identified historic and/or archaeological resources together with a description of such features. (Amended 10/30/01)
Submission Fulfilled		Verification of subdivider's legal right, title, or interest in the property (deed or purchase and sale agreement.)
Submission Fulfilled		A copy of the deed upon which the survey was based. A copy of all easements, covenants, and restrictions applying to the area proposed to be subdivided.
Submission Fulfilled		Proposed arrangements for water supply as required by the Maine Water Company, and a letter from the water company stating that the water supply is adequate to serve the subdivision.
Submission Fulfilled – will be reviewed by City Engineer.		Proposed arrangements for storm drainage, with supporting data and design analysis, including plans and profiles showing location and size of drain lines and culverts, catch basins and manholes, and such other information as may be required to define the drainage provisions, stamped by an engineer registered in Maine, and an operating and maintenance plan for any detention basins.
Test pits submitted in lieu		A copy of that portion of the county Soil Survey covering the subdivision superimposed on a copy of the plan. When the medium intensity soil survey shows soils which are questionable for the uses proposed, the Planning Board may require the submittal of a high intensity soil survey.
Submission Fulfilled		An estimate of the amount and type of traffic to be generated daily and at peak hours. For developments involving 40 or more parking spaces or projected to generate more than 200 vehicle trips per day, a traffic impact analysis, prepared by a traffic engineer, shall be submitted. The analysis shall show, at a minimum, the expected average number of vehicle trips per day, peak-hour volumes, access conditions at the site, distribution of traffic, types of vehicles expected, effect upon the level of service of the street giving access to the site, neighboring streets which may be affected, the intersection(s) nearest to the site and other intersections which may be affected, and recommended improvement to maintain the level of service on the road.

Submission Fulfilled		The names, addresses and tax map and lot numbers of owners of record of adjacent property, including any property directly across an existing street from the subdivision, and (B) the names, addresses and tax map and lot numbers of owners of record of all property within 600 feet of the subdivision.
	Are you proposing any publicly accessible open space, or will you be paying impact fees in lieu of providing open space?	Description of how proposed open space will be owned and managed.
N/A – Proposed for sewer connection		When sewage disposal is to be accomplished by subsurface disposal systems, test pit analyses prepared by a Licensed Site Evaluator shall be provided. A map showing the location of all test pits dug on the site shall be submitted. (The plumbing inspector must be notified before test pits are dug.)
Submission Fulfilled		Proof of financial and technical capacity as described in Article 8.7 and 8.8. (Amended 5/30/89)
Submission Fulfilled		The anticipated amount of land to be covered by buildings and structures expressed in square feet and as a percentage of the site and lots.
Submission Fulfilled		The anticipated amount of land to be covered by buildings, pavement, and other impervious coverage expressed in square feet, percentage of site, and percentage of lot.
Submission Fulfilled – will be reviewed by City Engineer		<p>If the project is subject to the stormwater quality standards of section 10.12.4, a stormwater quality management plan that includes the following:</p> <ol style="list-style-type: none"> a. A narrative describing how the site is oriented within the watershed, identifying downstream waterbodies including wetlands, and addressing the potential effects of site runoff. The narrative shall identify and discuss the stormwater treatment methods proposed to be used on the site. b. A plan showing relevant existing contours, proposed contours, existing and proposed subwatersheds, proposed topographic features, and existing and proposed site features including buildings and other facilities, natural and manmade drainageways, streams, channels, culverts, catch basins, and stormwater treatment facilities. The plan shall include detail drawings of the stormwater Best Management Practices proposed to be used and the location of both structural and non-structural BMP's. c. Calculations demonstrating that the proposed stormwater treatment facilities will meet the standards of Section 10.12.4. <p>A stormwater facilities management plan which sets forth the types and frequencies of proposed maintenance activities needed to maintain the efficiency of the stormwater treatment facilities and which identifies the party that will be responsible for carrying out each maintenance activity and for submitting the</p>

		Annual Maintenance Report and the proposed institutional arrangements that will assure that all maintenance occurs as proposed. (Amended 10/30/01)
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Design Review: Will be completed by the Planning Board. We will require architectural (elevations) drawings of proposed buildings, with proposed building materials noted.

City Staff Reviews to be initiated upon receipt of a complete application:

- City Engineer
- Code Enforcement Director
- Deputy Fire Chief
- Deputy Police Chief
- WRRD Department

Weinstein
Lovell &
Ordway, P.A.

November 17, 2020

Mr. Bob Hamblen, Planner
City of Saco
300 Main Street
Saco, ME 04072

Subject: Proposed Site Development
Saco Harborside at Factory Island East, Saco, Maine
Submission for Major Site Plan and Subdivision Review/Approval
Applicant: Saco Island Ventures, LLC

Dear Mr. Hamblen:

On behalf of Saco Island Ventures, LLC, I am making this submission for a Major Site Plan and Subdivision Review/Approval for the proposed residential development at "Saco Harborside" at Factory Island East.

The 5.55-acre property is identified on Tax Map 037/Lot 006. This firm has been retained and authorized by the Applicant to submit this application. In these efforts the development team has been supported by Stephen Bushey of Gorrill Palmer, civil engineers.

The applicant is proposing improvements to the site that includes the construction of 24 townhouse style duplex units (12 buildings in total). The proposed site improvements include a new access drive off Main Street opposite the existing driveway into the Run of the Mill site at 100 Main Street. The project traffic consultant will prepare a Traffic Movement Permit Application with the MaineDOT that may consider the signalization of this intersection. The site improvements will include traditional water, sewer, drainage, and underground utilities for power and communications.

Saco Island Ventures, LLC purchased the property at foreclosure auction in August of 2019, as evidenced by the deed enclosed herewith.

The development site was previously considered for a larger scale 30-unit residential development during the 2006-2007-time period and various City and State approvals were granted at that time. Those permits ultimately lapsed due to inactivity on the development proposal, thus new permits are now being pursued.

The applicant will deliver a check to the Planning Department for Major Site Plan and Site Location of Development Permit Review Application Fee made payable to the City of Saco. We fully expect that more robust submission materials will be supplied to the City as the review

process evolves, however we are hopeful that this preliminary submission allows an initial review by City staff and the Planning Board.

PROJECT

The subject property is located within the B-4 Planned Development District. The proposed project will be located on a 5.55-acre lot 1. Within the B-4 District the following dimensional requirements apply per Table 412-1 of the zoning code:

Requirement	Measurement
Minimum Lot Area (sewered)	*
Minimum Lot Area (per dwelling unit)	*
Minimum New Residential Acreage (per dwelling unit in subdivisions)	*
Minimum Street Frontage	*
Minimum Depth of Front Yard	*
Maximum Front Setback	N/A *
Minimum Width of side Yard and Rear Yard	*
Maximum Lot Coverage	*
Maximum Height	*
Minimum Setback from Normal High-Water Mark of Freshwater Bodies, Spring High Tide Level of Tidal Waters, and Upland Edge of Wetlands	25 feet

- To be determined as part of subdivision and site plan review procedures.

The lot does not contain frontage on Main Street; however, the Applicant does have an easement from Central Maine Power to cross their property from Main Street into the Site. The easement is included within the deed attached hereto as Attachment B.

According to the City’s Zoning Code, the following uses are allowed within the B-4 Zone:

- **Permitted Uses in B-4 District Include:** Planned Developments pursuant to the procedures and standards contained in §230-706; any use permitted in the Resource Protection District and Marinas among others. Code Section 230-706 A (2) states as follows regarding uses within Planned Developments:

“During the course of review, the Planning Board may allow those uses which are consistent with the City's Comprehensive Plan and with the intent of this chapter, including a mix of residential, office, retail, recreational, and light industrial uses. The following shall serve as guidance to the developer and the Planning Board in determining the appropriate uses:

- (a) *Multifamily dwellings.*

1 As indicated on the Boundary Survey. Ownership may extend to the thread of the river, thus the actual ownership is larger.

- (b) Professional offices.*
- (c) Business offices and services.*
- (d) Eating places, eating-and-drinking places.*
- (e) Personal services.*
- (f) Pedestrian-oriented retail businesses.*
- (g) Financial institutions.*
- (h) Research and development facilities.*
- (i) Light manufacturing and light assembly uses which do not create heavy truck traffic or large volumes of truck traffic and which are not offensive due to noise, vibration, smoke, dust, odors, heat or glare.*
- (j) Hotels and motels.*
- (k) Marinas and similar waterfront uses.*
- (l) Accessory recreational uses.”*

The proposed uses will include multifamily dwellings and will therefore be in conformance to the permitted uses for the Zoning District. Based on our review of the Space and Bulk Regulations, we believe the proposed project will meet the zoning requirements.

EXISTING CONDITIONS

The site has a long history of activity going back to at least the early 1800's to the best of our understanding. Although it has laid in a relative state of non-use over more recent years, historic evidence shows that the site was highly industrialized over various periods of the past two centuries.

The site's current conditions consist of mostly overgrown grounds that have infilled with invasive vegetation, that covers various remnants of an industrial use past. The site is characterized by basically two topographic levels. The lower level, closest to the waterfront, includes a decayed wood and granite block revetment structure, extending over 1,000 LF along the south shore of the island. Much of this revetment borders the Federal Channel within the river. Within the lower level, some of the ground lies with the mapped floodplain limits. Recent geotechnical investigations uncovered various remnants of past land use including significant wood cribworks and manmade land at depths of 1' to 7', indicative of the site's past waterfront activity and possible vessel berthing. Within the lower level there is a significant concrete pad area underlying much of the site and remnant above grade concrete walls, related to past structures. The site's higher plateau rises nearly 20' to 30' higher as the site trends northerly overlooking the water. The higher ground is

characterized by several large mounds of placed fill material, the background and purpose of which is unknown. Based on photographic evidence much of this fill was likely placed over the past 20 years.

Dow & Coulombe Inc. surveyors, have completed topographic and boundary line data collection. A copy of the most recent survey plan accompanies this submission. The site's topography ranges from an elevation of approximately 5.0' (NAD88) to as high as 50.0'. Further north, the island rises to elevation 60.0' or higher across the CMP substation site. The property ownership is identified on the Survey Plan and as well as on the Deed recorded in the York County Registry of Deeds Book 18023 page 284, a copy of which is contained in this submission.

The Site's geotechnical conditions include a description of filled land over much of the property, shallow ledge in the upper regions of the site and deeper ledge underlying layers of old fill, glacial till and marine clays within the lower areas of the site. Initial foundation design conditions are currently believed to require pile supported structures over much if not all of the proposed structures.

The applicant has also retained Summit Geoengineering Services to conduct a Phase 1 Environmental Site Assessment (ESA). The assessment has revealed evidence of recognized environmental conditions in connection with the property. This includes coal ash and limited petroleum contamination. The MaineDEP issued a No Action Assurance letter to the previous landowner and the current applicant/owner will be seeking to transfer this coverage under the State's VRAP program. Ultimately, the Phase 1 recommendations are as follows:

- Ensure that the conditions of the MaineDEP VRAP No Action Assurance Letter have been met and the applicant shall submit documentation to the MaineDEP to obtain a certificate of completion for the site.
- In the course of Site Work activities, if unknown soil contamination is encountered, MaineDEP shall be notified and a satisfactory course of action shall be taken to remediate the soil to the satisfaction of the MaineDEP.
- The MaineDEP VRAP should be notified that the ownership of the Site has changed since the prior application by J & B Partners.
- Remove and properly dispose of all solid waste and refuse present at the vagrant tent sites on the subject property.

BUILDINGS AND ACCESS

The conceptual development plan includes the placement of twelve buildings as outlined previously. Initial elevations and floor plans of the units will be provided upon completion. The applicant will accept as a condition of approval the need to revisit these buildings with at least

Planning Staff if not the Planning Board, prior to the submission of building permit applications. The footprints for each duplex building is anticipated to be 3,704 s.f. and the height of the buildings is anticipated to be under 35 feet.

The site's access will be from a new driveway positioned to align with the existing signaled intersection opposite the Mill entrance at 100 Main Street. The traffic signals have been in place for a number of years; however, they have not been fully activated due to insufficient traffic volumes from the side approaches. The proposed driveway will consist of separate lanes (possibly left-thru and a right turn lanes configuration) and a single wide entry lane into the site. The traffic design is expected to consider pedestrian facilities also, including pedestrian crossing signals and related measures for cross walks and sidewalk connectivity. The development will include a robust sidewalk and pedestrian connection layout. The applicant is committed to working with the City on their efforts for a riverwalk or related recreational opportunities on the east side of the island. The onsite drives will remain privately owned and maintained.

UTILITIES

The site is undeveloped and utility connections will need to be constructed. There are existing sanitary sewer and water mains within Main Street and the west side of the site. The applicant will coordinate with both Maine Water Company and the City of Saco Water Resources Recovery Department regarding their ability to service the development with both water and sewer. Based on the site's topographic conditions, the applicant believes that an onsite wastewater pump station will be required to collect and discharge wastewater from the development to the municipal system on the street. There is an existing Force Main sewer line extending from an existing municipal pump station on the west side of the island and the applicant expects to tie into that line with similar pressure sewer infrastructure from the development site. The applicant also expects that a primary service water main (8" or greater size) will be extended into the site off which services to the buildings for fire supply and domestic water service will be provided. One or more fire hydrants are also expected to be installed on the property, in accordance with the Saco Fire Department requirements. Sprinkler systems will be installed if required by code. The exact location of hydrants remains to be determined with the Fire Department.

Overhead power and telephone facilities exist on the island. The applicant plans to coordinate service availability with the power and communications providers. The applicant contemplates that all power and communications services will be underground and will be extended from the overhead facilities along Main Street.

TRAFFIC

The Applicant plans to engage a traffic consultant to perform a traffic analysis for the project. It is unlikely that the project will require an updated Traffic Movement Permit (TMP) from the MaineDOT. The development site was previously part of an approved TMP in 2007 (REG.01-00090-A-N), that included the development of 30 residential townhouses and a 69-slip marina.

SOLID WASTE

The specifics for solid waste collection and removal have yet to be determined, however it is contemplated that there may be one or more waste collection areas, that will be enclosed with appropriate screening and landscaping. The applicant will coordinate removal by a contracted waste services vendor. A standard detail for an exterior waste enclosure will be contained in the plan set. These will include a metal framing with solid wood paneling style to provide both aesthetic form and solid, durable construction.

SNOW REMOVAL

Snow will be stockpiled onsite in areas around the perimeter of the pavement and/or removed from the site. Snow removal will likely be required given the site's limited space and availability to stockpile snow. Dumping of snow into the river is prohibited.

LIGHTING

A full lighting plan for the site is currently under development. The Applicant anticipates there will be some lighting along the main access drive. There will also be building mounted light fixtures providing safety and security lighting coverage. Based on the building locations and site conditions, the Applicant foresees little to no lighting spillover to adjacent properties.

FIRE PROTECTION

The proposed site will contain access routes that allow for the vehicular movements of emergency vehicles including fire trucks and ambulances. If required by applicable code, each of the proposed buildings will contain a full fire suppression/sprinkler system. Multiple fire hydrants will be provided within the development, with exact location to be finalized through coordination with the fire department.

EROSION AND SEDIMENT CONTROL

The natural gradation of the site slopes towards the Saco River. Sediment barriers will be placed on the perimeter of the site throughout the course of construction. A temporary stabilized stone construction entrance will be used to minimize tracking of mud onto the site's paved surfaces and nearby Main street. Guidelines set forth in the Maine Erosion and Sediment Control BMPs must be followed. The site improvements will include soils stabilization throughout during and following construction.

LANDSCAPING/STORMWATER MANAGEMENT

A full landscaping plan is currently under development. The site is expected to include a robust landscape treatment around the proposed structures. The applicant remains committed to working with City officials and the Saco River Corridor Commission to arrive at a site improvement program that meets several key objectives. Namely, this includes site surface stabilization to remedy erosion issues, landscaping in the form of significant vegetation restoration to enhance the grounds, improve aesthetics and transform this historically industrial waterfront, to a more visually enhanced appearance. We believe these actions will only serve to improve the overall impact of the property on the river's water quality and experience to river users.

The site is currently characterized by significant invasive vegetation including alder, black locust trees, birch and various other species. Given the historical industrial use nature of the site, there is no apparent landscape design to the site, but only what has naturally occurred over more recent years. The design objective will be to remove much if not all, of the invasive species within the site and to replace with substantial new native species.

Further to the landscape design will be the interchange of landscaping with stormwater management measures. The site is directly tributary to tidal water, thus the requirement for stormwater management flood control is not necessary, and the applicant will be requesting a waiver for any flooding control measures, as might be required under the MaineDEP Chapter 500 Stormwater Management regulations or local City of Saco regulations. The site development may require compliance with the MaineDEP Chapter 500 Water quality treatment General Standards and local City and Saco River Corridor Commission requirements. A more complete stormwater management analysis and report shall be provided to supplement this submission.

PERMITS

The development will require the following permits:

- Local Site Plan, Subdivision plan & Shoreland Permit from the Planning Board
- Delegated Review under the State Site Location of Development Act
- MaineDEP Natural Resources Protection Act (NRPA) Individual Permit
- US Army Corps of Engineers Section 10 and Section 404 Water Quality certification
- Saco River Corridor Commission Approval
- Local Building Permits

PLANS

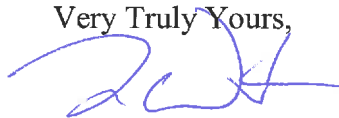
The following plans accompany this submission:

- Conceptual site plan
- Topographic and Boundary Survey by Dow & Coulombe

CLOSURE

We have included a PDF of all the application materials as well as three (3) full size copies and three (3) 11x17 size copies of the plan set. We look forward to your review as well as City Staff. Please advise if additional copies of these materials are required.

Very Truly Yours,



Paul D. Weinstein, Esq.
Attorney for Applicant

Cc: Saco Island Ventures, LLC
Stephen Bushey



Subdivision Review Application
Planning & Development Department
Planning Board

Application # _____

Street Address of Proposed Project: Main Street Tax Map & Lot: 037 - 006

York County Registry of Deeds Book & Page Number: 18023 / 284 Zoning District: B-4

Applicant: Saco Island Ventures, LLC

Applicant's Address: 8 Doaks Lane, Marblehead, MA 01945

Applicant's Email & Phone #: tedmoore@gloverproperty.com; 781-631-4133 x 102

Architect/Engineer's Name: Gorrill Palmer c/o Stephen Bushey

Architect/Engineer's Email & Phone #: sbushey@gorrillpalmer.com; 207-772-2515 x 286

Architect/Engineer's Address: 707 Sable Oaks Drive, Suite 30, South Portland, ME 04106

Property Owner: Saco Island Ventures, LLC

Property Owner's Email & Phone #: tedmoore@gloverproperty.com; 781-631-4133 x 102

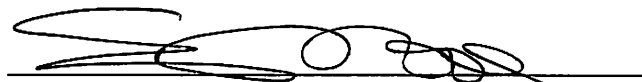
Property Owner's Address: 8 Doaks Lane, Marblehead, MA 01945

Area of Parcel: 5.55 Acres Proposed Developed Area: _____ Proposed Height: 35

Description of Proposal: Development and construction of 24 townhouse style duplex

condominium units (12 buildings in total)

Signature & Application Requirements: Applications are due at least three weeks in advance of Planning Board meetings, but the Department encourages applicants to plan for five weeks before a Planning Board meeting. Staff will schedule your application for a Planning Board meeting once all reviews are complete and comments have been sufficiently addressed.


Signature of Owner/Applicant

11/12/20
Date

Map-Lot	Grantee	Co-Grantee	Mailing	City	State	Zip
37005001000	CENTRAL ME POWER CO	C/O AVANGRID MANAGEMENT COMPANY	LOCAL TAXES 5TH FLOOR	PORTLAND	ME	4101
37001000000	THE ROTM LOFTS LLC		2 MAIN ST	TOPSHAM	ME	4086
37006000000	J&B PARTNERS LLC		110 MAIN ST STE 1214	SACO	ME	4072
37005001000	CENTRAL ME POWER CO	C/O AVANGRID MANAGEMENT COMPANY	LOCAL TAXES 5TH FLOOR	PORTLAND	ME	4101
31174000000	HOME RENTALS ME LLC		41 RIVER RIDGE DR	DAYTON	ME	4005
31183000000	CENTRAL ME POWER CO	C/O AVANGRID MANAGEMENT COMPANY	LOCAL TAXES 5TH FLOOR	PORTLAND	ME	4101
31175001000	ULTIMATE VALUE PROPERTIES LLC		PO BOX 636	WEST KENNEBUNK	ME	4094
31197000000	PELLETIER JOSHUA B	PELLETIER ALISON O	26 FRONT ST APT 1	SACO	ME	4072
37005000000	BROOKFIELD WHITE PINE HYDRO LLC		BROOKFIELD RENEWABLE 200 DONALD LYNCH BLVD #300	MARLBOROUGH	MA	1752
31199000000	PELLETIER JOSHUA B	PELLETIER ALISON P	26 FRONT ST APT 1	SACO	ME	4072
37005000000	BROOKFIELD WHITE PINE HYDRO LLC		200 DONALD LYNCH BLVD SUITE 300	MARLBOROUGH	MA	1752
31198000000	MCGRATH SR JEFFREY J		2 WHARF ST	SACO	ME	4072
37005000000	BROOKFIELD WHITE PINE HYDRO LLC		BROOKFIELD RENEWABLE 200 DONALD LYNCH BLVD #300	MARLBOROUGH	MA	1752
37005000000	BROOKFIELD WHITE PINE HYDRO LLC		200 DONALD LYNCH BLVD SUITE 300	MARLBOROUGH	MA	1752
31195000000	BOSTON & MAINE RAILROAD	C/O GUILFORD TRANSP. INDUSTRIES	IRON HORSE PK	NORTH BILLERICA	MA	1862
31181000000	CITY OF SACO		300 MAIN ST	SACO	ME	4072
37005000000	CENTRAL ME POWER CO	C/O AVANGRID MANAGEMENT COMPANY	LOCAL TAXES 5TH FLOOR	PORTLAND	ME	4101
31176000000	CITY OF SACO		300 MAIN ST	SACO	ME	4072
31145000000	CENTRAL ME POWER CO	C/O AVANGRID MANAGEMENT COMPANY	LOCAL TAXES 5TH FLOOR	PORTLAND	ME	4101
31184000000	BROOKFIELD WHITE PINE HYDRO LLC		BROOKFIELD RENEWABLE 200 DONALD LYNCH BLVD	MARLBOROUGH	MA	1752
31196000000	PELLETIER GEORGE E SR	PELLETIER PATRICIA A	PO BOX 672	SACO	ME	4072
31182000000	MACKENZIE WILLIAM P	MACKENZIE JANICE R	P O BOX 74	BAR MILLS	ME	4004
37001001000	SAVAGE ROBIN		110 MAIN ST UNIT #331	SACO	ME	4072
37001001000	RENNER CYNTHIA S		110 MAIN ST UNIT #308	SACO	ME	4072
37001001000	QUINLAN ADAM THOMAS		PO BOX 676	KENNEBUNKPORT	ME	4046
37001001000	CAMPBELL MAURICE D	CAMPBELL CLAUDETTE A	760 CLARKS WOODS RD	LYMAN	ME	4002
37001003000	BAXTER & CUTTS LLC		22 MONUMENT SQ #602	PORTLAND	ME	4101
37001001000	BETTERS DIANE		52 WESTMORE AVE	BIDDEFORD	ME	04005-2117
37001001000	MALENFANT CALEB		110 MAIN ST	SACO	ME	4072
37001001000	MICHEL JILL	HELLSTRAND KARL	64 WEST ST	CROMWELL	CT	6416
37001001000	QUARTUCCIO SCOTT L		309 DUBLIN SQ	PURCELLVILLE	VA	20132
37001001000	REASER RICHARD C		110 MAIN ST	SACO	ME	4072
37001001000	HACK J TILTON JR		2415 CEDAR ST	BERKELEY	CA	94708-1822
37001001000	SUSMAN DAVID E		110 MAIN ST UNIT #124	SACO	ME	4072
37001001000	CASARIN JOSEPH J		110 MAIN ST UNIT #322	SACO	ME	4072
37001001000	LEEAPHON TOM	LEEAPHON ETSUKO	8 DEAN WAY	CAPE ELIZABETH	ME	4107
37001001000	WATSON LYNN I		110 MAIN ST UNIT #104	SACO	ME	4072
37001001000	CAMPBELL RUTH E		110 MAIN ST APT 127	SACO	ME	4072
37001001000	MILLER RUTH S		110 MAIN ST UNIT 305	SACO	ME	4072
37001001000	HARTMAN HUGH A JR		110 MAIN ST UNIT334	SACO	ME	4072
37001001000	LANDRUM CHARLES R	ALISA BEAROV	630 SHIRLEY AVE	NORFOLK	VA	23517
37001001000	TILLEY JUDY		1663 NOTRE DAME	BONNE TERRE	MO	63628
37001001000	NADEAU STEVE	NADEAU BETH	21 ZEPHYR RD	RAYMOND	ME	4071
37001001000	LEONE, JOYCE M POLAKOFF		1535 LEISURE DR F5	BRADENTON	FL	34207
37001001000	TATE DAVID F	TATE LAUREN E	10 RYEFIELD DR	SCARBOROUGH	ME	4074
37001001000	ZHOU LIN	BOTTALICO MAURO	18 PARK STREET #405	SACO	ME	4072

37001001000	FRAZIER ROBERT L	FRAZIER CHERYL L	1765 MAIN ST	STRATFORD	CT	6615
37001001000	PRICE MAURA		110 MAIN ST UNIT 128	SACO	ME	4072
37001001000	BRYANT-GAFFNEY PRISCILLA	GAFFNEY JAMES N	110 MAIN ST UNIT 306	SACO	ME	4072
37001001000	BEDARD DEREK		PO BOX 366	ELIOT	ME	03903-0366
37001001000	CONDO MAIN		110 MAIN ST	SACO	ME	4072
37001001000	KIRBY ROBERT C		PO BOX 1003	SACO	ME	04072-1003
37001001000	SANTOSUOSSO, JOSEPH A.		14 WELLS RD	LINCOLN	MA	1773
37001001000	ROBINSON ANDREW I		110 MAIN ST #320	SACO	ME	4072
37001001000	RINGSTAD JOHN G		1779 WOODSTOCK RD	WOODSTOCK	MD	21163
37001001000	MAYO COLLEEN K		537 RIVER RD	STANDISH	ME	4084
37001001000	NASH CLINTON	NASH LISA	110 MAIN ST	SACO	ME	4072
37001001000	TAHMOOSH LAUREL B TRUSTEE	LAUREL TAHMOOSH 2014 REVOCABLE TRUST	50 NYE ST	SACO	ME	4072
37001001000	ATWOOD PAMELA A		110 MAIN ST #108	SACO	ME	4072
37001001000	TILTON SUMNER B TRUSTEE	KARL KENYON F FAMILY TRUST	370 MAIN ST 12TH FLOOR	WORCESTER	MA	1608
37001001000	DIRIGO GLOBAL HOLDINGS LLC		6 E CHESTNUT ST STE 206	AUGUSTA	ME	4330
37001002000	CITY OF SACO		300 MAIN ST	SACO	ME	4072
37001001000	AMN PROPERTIES LLC		58 LISBON RD	SABATTUS	ME	4280
37001001000	ST PETER KAITLIN		110 MAIN ST	SACO	ME	4072
37001001000	BOUCHARD JASON M		110 MAIN ST UNIT 404	SACO	ME	4072
37001001000	HORTON DONALD L	HORTON KATHRYN A	110 MAIN ST APT 139	SACO	ME	4072
37001001000	DYER WILLIAM	DYER LINDA	39 CORDIS ST	WAKEFIELD	MA	1880
37001001000	NAVARRO DIANNE F		110 MAIN ST	SACO	ME	4072
37001001000	CHIANESE TAMMY		110 MAIN ST #125	SACO	ME	4072
37001001000	MUIR MELISSA H	MUIR JR JAMES D	124 KENDALL PARKWAY	BOERNE	TX	78015
37001001000	TATE KRISTEN S	GLUECKERT SAMUEL R	PO BOX 7031	OCEAN PARK	ME	4063
37001001000	KNOWLTON PHILIP		110 MAIN ST #126	SACO	ME	4072
37001001000	GORDON CHRISTIAN J	REED DONNA L	493 SOUTH ST	BIDDEFORD	ME	04005-9393
37001001000	BAILEY-WORTH GUNNAR E		110 MAIN ST	SACO	ME	4072
37001001000	SNOW DONNA E		148 SIMPSON RD	SACO	ME	4072
37001001000	LANDRUM CHARLES R	ALISA BEAROV	630 SHIRLEY AVE	NORFOLK	VA	23517
37001001000	CAMPBELL MAURICE D	CAMPBELL CLAUDETTE A	760 CLARKS WOODS RD	LYMAN	ME	4002
37001001000	GIAROLO JOHN B		2 PAVIA AVE	OLD ORCHARD BEACH	ME	4064
37001001000	CAMPBELL MAURICE D	CAMPBELL CLAUDETTE	760 CLARKS WOODS RD	LYMAN	ME	4002
37001001000	MARTIN J MICHAEL		110 MAIN ST UNIT #318	SACO	ME	4072
37001001000	MORRIS ANNE M		110 MAIN ST UNIT #114	SACO	ME	4072
37001001000	DACONG ANGELES		110 MAIN ST UNIT #120	SACO	ME	4072
37001001000	WITKOWSKI ROBERT T		216 SPRING ST	PORTLAND	ME	4102
37001001000	BIXBY PETER	CARAPETYAN FRANCELLE	110 MAIN ST #332	SACO	ME	4072
37001001000	MCWATTERS KEVIN	MCWATTERS KAREN	110 MAIN ST 106	SACO	ME	4072
37001001000	CAMPBELL MAURICE D	CAMPBELL CLAUDETTE A	760 CLARKS WOODS RD	LYMAN	ME	4002
37001001000	MARRA GEORGE A	MARRA LINDA F	29 MYRICKS ST	LAKEVILLE	MA	2347
37001001000	110 MAIN STREET HOLDINGS LLC		24 NORTH AVE	SACO	ME	4072
37001001000	BEDARD DEREK G		PO BOX 366	ELIOT	ME	03903-0366
37001001000	CRIMMIN BRANDON	KELLY MEGAN	110 MAIN ST UNIT 117	SACO	ME	4072
37001001000	MORNEAU KATHERINE JR TR	MAROWITZ FRANK P TR	21 PENNY LN	MANCHESTER	NH	3104
37001001000	FOLEY KELLY P	FOLEY ROBERT J	110 MAIN ST # 123	SACO	ME	4072
37001001000	ARCHAMBAULT CARRIER DANETTE J		110 MAIN ST UNIT #315	SACO	ME	4072
37001001000	JONES BRENT	GAULIN-JONES BARBARA	1925 ORCHARDVIEW AVE	ORLEANS	ON	K4A-3H1
37001000001	91 CORPORATION MAIN		8 DOAKS LANE	MARBLEHEAD	MA	1945
37001001000	HEADACHE INC		760 CLARKS WOOD RD	LYMAN	ME	4002

37001001000	SHELTON HILDA		110 MAIN ST UNIT 109	SACO	ME	4072
37001001000	CAMPBELL MAURICE D	CAMPBELL CLAUDETTE A	760 CLARKS WOODS RD	LYMAN	ME	4002
37001001000	WOODHOUSE PATRICIA S	WOODHOUSE DAVID K	3 AUSTRIAN WAY	FALMOUTH	ME	4105
37001001000	STULTZ BRANDON L	STULTZ HEATHER L	23 TROLLEY FARM WAY	FALMOUTH	ME	4105
37001001000	DALTON BRUCE		367 ROLAND DAY RD	CORNISH	ME	4020
37001001000	ROSE CASSAUNDR A	ROSE THATCHER	110 MAIN ST UNIT 304	SACO	ME	4072
37001001000	DONALDSON JUDITH M		351 POOL ST	BIDDEFORD	ME	4005
37001001000	WHITE VINCENT F	WHITE MARGARET A	110 MAIN ST UNIT #112	SACO	ME	4072
37001001000	SHANTAM ANURAG		110 MAIN ST UNIT #316	SACO	ME	4072
37001001000	CAMPBELL MAURICE D	CAMPBELL CLAUDETTE A	760 CLARKS WOODS RD	LYMAN	ME	4002
37001001000	NOBLE BARRY C	NOBLE CAROL A	110 MAIN ST #129	SACO	ME	4072
37001001000	WITTIG JEFFREY M	WITTIG ELAINE M VALLIERE	110 MAIN ST #307	SACO	ME	4072
37001001000	MASON GARY A		72 SHAFTER AVE	ALBERTSON	NY	11507
37001001000	LOPES LARRY J		110 MAIN ST UNIT 336	SACO	ME	4072
37001001000	LANTAGNE DAVID		110 MAIN ST UNIT #135	SACO	ME	4072
37008001000	SACO MILL NO 4 LLC	C/O ENCHANCED CAPITAL HTC FUND I, LLC	3 PENSTOCK WAY	NEW MARKET	NH	3857
37001001000	CAMPBELL CLAUDETTE A	CAMPBELL MAURICE D	760 CLARKS WOODS RD	LYMAN	ME	4002
37001001000	GAGNON KENNETH T	GAGNON DEBORAH J	110 MAIN ST UNIT#319	SACO	ME	4072
37001001000	EHRING GUY K		P O BOX 21743	FORT LAUDERDALE	FL	33335
37001001000	LANDRUM CHARLES R	LANDRUM-BEAROV ALISA	630 SHIRLEY AVE	NORFOLK	VA	23517
37001001000	JOHNSTON DALE	HILT ROSE C	10 STONE ST	SACO	ME	4072
37001001000	VAN DE GRAFF COLLEEN		110 MAIN ST UNIT 121	SACO	ME	4072

FORECLOSURE DEED UNDER POWER OF SALE

Joan M. Kurker, an individual having a mailing address of 2500 Mystic Valley Parkway, Unit 902, Medford, County of Middlesex, and Commonwealth of Massachusetts, holder of a mortgage from J&B Partners, LLC dated November 16, 2017 to Joan M. Kurker and recorded in the York County Registry of Deeds on November 17, 2017 at Book 17606, Page 936, by the power conferred by such mortgage and every other power, for Eleven Thousand AND 00/100 (\$11,000.00) DOLLARS paid, grants to Saco Island Ventures, LLC, of 8 Doaks Lane, Marblehead, MA 01945, the premises and all personal property conveyed by said mortgage.

IN WITNESS WHEREOF, Joan M. Kurker has caused this instrument to be executed this 6th day of August, 2019.

Joan M. Kurker
By: [Signature]
Joan M. Kurker

STATE OF MASSACHUSETTS
COUNTY OF MIDDLESEX

8/6/, 2019

Then personally appeared the above-named Joan M. Kurker, as aforesaid, and acknowledged the foregoing instrument to be her free act and deed in her said capacity.

Before me, [Signature]
Notary Public



Maine R.E. Transfer Tax Paid

①
E 2p → 51099 Law 93 Middle → Benc 154 03801

EXHIBIT A

A certain lot or parcel of land together with the buildings and improvements thereon, situated on Factory Island in Saco, York County, Maine, and more particularly bounded and described as follows, and more particularly depicted on the plan entitled PARTIAL ALTA/ACSM LAND TITLE SURVEY, sheet S2, dated January 25, 2007, revised August 20, 2007, prepared by Oak Engineers (the "ALTA East Plan"):

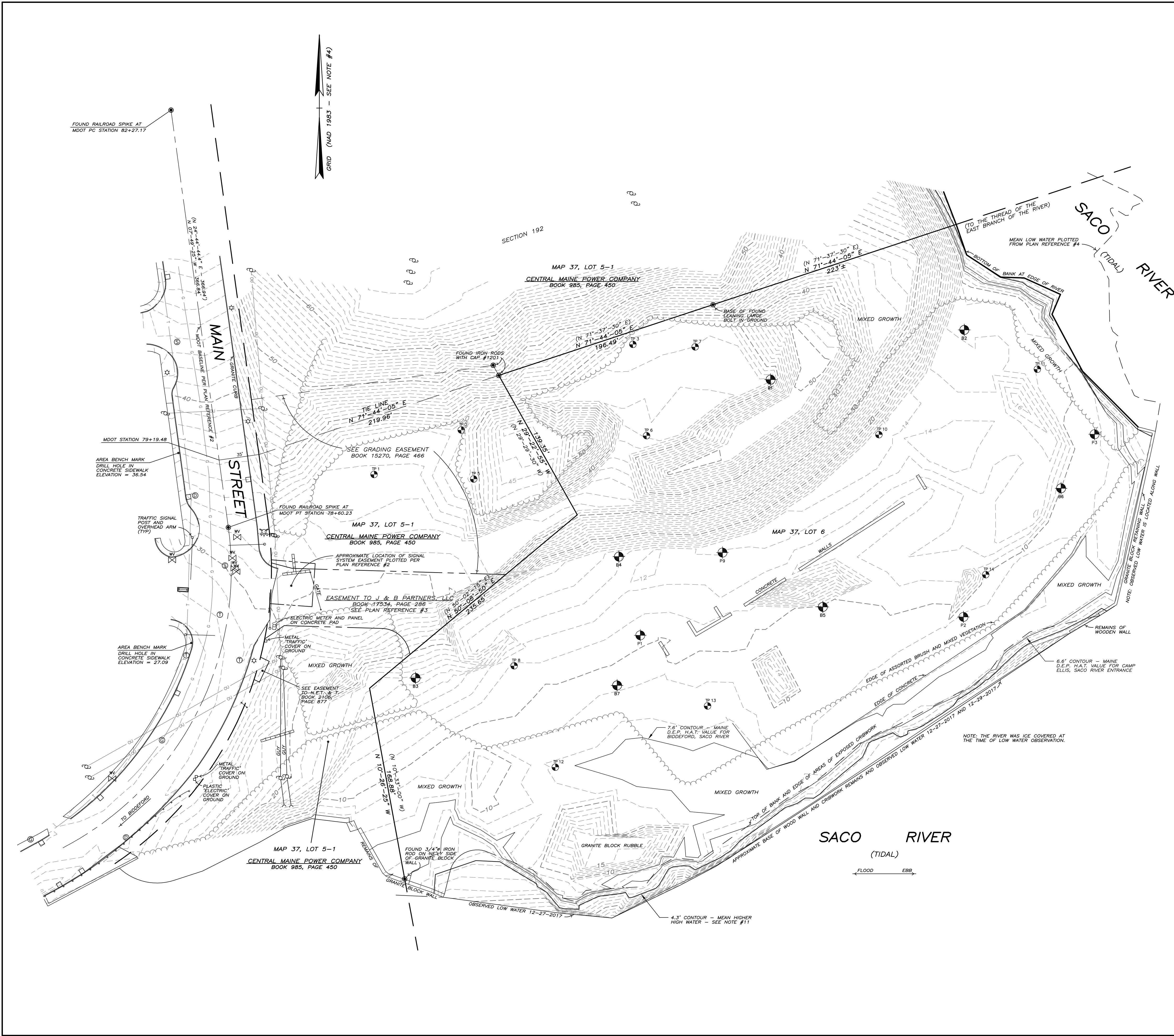
Beginning at an iron rod that is located on the northeasterly side of the granite seawall along the easterly side of the west branch of the Saco River at the southerly corner of land now or formerly of Central Maine Power;

Thence North $10^{\circ} 33' 00''$ West a distance of 168.88' to a point;
Thence North $50^{\circ} 02' 15''$ East a distance of 235.65' to a point near an iron rod;
Thence North $29^{\circ} 29' 30''$ West a distance of 139.35' to an iron rod with cap #1201;
Thence North $71^{\circ} 37' 30''$ East a distance of 196.49' to the base of a bent iron bolt;
Thence continuing N $71^{\circ} 37' 30''$ East to the thread of the east branch of the Saco River;
Thence southerly along the thread of the east branch of the Saco River;
Thence westerly by the thread of the west branch of the Saco River to a point located S $10^{\circ} 33' 00''$ East of the point of beginning;
Thence N $10^{\circ} 33' 00''$ West to the point of beginning.

Containing approximately 5.84 acres of land to the bank of the Saco River.

Together with a non-exclusive easement over that portion of land now of Central Maine Power Company more particularly bounded and described as the "Proposed Easement, Central Maine Power Co. to Island Associates" on the plan entitled PLAN SHOWING PROPOSED LEASES AND EASEMENT ON FACTORY ISLAND, SACO, MAINE, recorded in the York County Registry of Deeds in Plan Book 194, Page 2, and as set forth in Instrument of Conveyance and Release Agreement made by and among Central Maine Power Company and Island Associates, et al. effective August 7, 1986 and recorded in said registry in Book 5481, Page 15.

For source of title, reference is made to a quit claim deed from Saco Island East, LLC to J&B Partners, LLC dated August 8, 2017, and recorded in said registry in Book 17534, Page 286.



LEGEND :

- SET IRON ROD WITH CAP (UNLESS OTHERWISE NOTED)
- CATCH BASIN
- ⊗ DRAIN MANHOLE
- ⊗ HYDRANT
- ⊗ WATER VALVE
- ⊗ SEWER MANHOLE
- ⊗ TELEPHONE MANHOLE
- ⊗ GAS VALVE
- ⊗ LIGHT POST
- ⊗ UTILITY POLE
- ⊗ TEST PIT
- ⊗ BORING
- ⊗ PROBE
- ⊗ DIAMETER
- N/F NOW OR FORMERLY
- W WATER MAIN
- S SANITARY SEWER MAIN
- SD STORM DRAIN
- OU OVERHEAD UTILITY LINES
- G GAS LINE
- 40 CONTOUR LINE

LOCUS DEED REFERENCE :

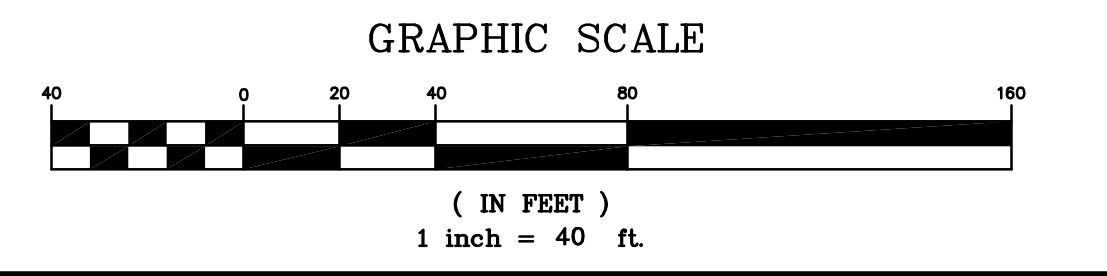
SACO ISLAND EAST, LLC TO J & B PARTNERS, LLC AUGUST 8, 2017 BOOK 17534, PAGE 286

PLAN REFERENCES :

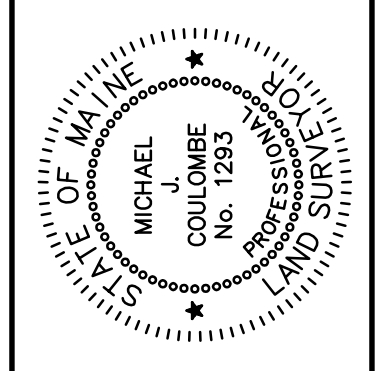
1. "PLAN SHOWING A STANDARD BOUNDARY SURVEY MADE FOR G.A.R. PROPERTIES, INC.", DATED MARCH 20, 1985, AS REVISED NOVEMBER 7, 1985, BY DOW & COULOMBE, INC., RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 144, PAGE 2.
2. "STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, STATE AID HIGHWAY NO. 8, SACO, YORK COUNTY, STATE PROJECT NO. 002958.00", DATED JANUARY, 1987, D.O.T. FILE 16-304, SHEETS 1 AND 2 OF 2 SHEETS, RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 161, PAGES 29 AND 30.
3. "PLAN SHOWING PROPOSED LEASES & EASEMENT ON FACTORY ISLAND, SACO, MAINE", DATED MAY 2, 1988, BY DOW & COULOMBE, INC., RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 194, PAGE 2.
4. "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR SACO ISLAND EAST, LLC, MAIN STREET, SACO, YORK COUNTY, MAINE", DATED NOVEMBER 15, 2007, BY OAK ENGINEERS.
5. "SACO RIVER, BIDDEFORD AND SACO, MAINE CONDITION SURVEY", ISSUE DATE DECEMBER 22, 2016, BY THE U.S. ARMY CORPS OF ENGINEERS, DRAWING CODE SAC-2782, SHEET ID G-001.

NOTES :

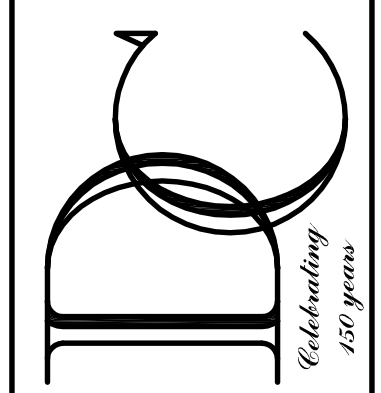
1. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS SURVEY CONFORMS TO STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS, CHAPTER 90, ADOPTED APRIL, 2001. EXCEPTIONS: A PROPOSED LEGAL DESCRIPTION WAS NOT PREPARED. A SURVEYOR'S REPORT WAS NOT PREPARED.
2. AREA EQUALS 5.55± ACRES TO THE 4.3' CONTOUR.
3. INFORMATION IN PARENTHESES COPIED FROM DEED AND PLAN REFERENCES.
4. BEARINGS AND COORDINATES ARE CALCULATED BY HOLDING PUBLISHED COORDINATE VALUES FOR MAINE DEPARTMENT OF TRANSPORTATION CONTROL POINTS 2958-11 AND 54-RR-12, AND REFER TO THE MAINE COORDINATE GRID SYSTEM, WEST ZONE NAD83 (1986).
5. ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988, AND ARE BASED ON A CLOSED LEVEL LOOP RUN FROM CONTROL POINT 2958-11.
6. THE BOUNDARY SURVEY IS BASED ON THE LOCUS DEED REFERENCE, AND THE DEEDS AND PLANS REFERENCED HEREON. THE SURVEYOR WAS NOT PROVIDED WITH A CURRENT COMMITMENT OF TITLE.
7. THE NOTICE OF MAIN STREET IS PER PLAN REFERENCE #2. REFERENCE IS MADE TO THE NOTICE OF LAYOUT AND TAKING RECORDED IN BOOK 4361, PAGE 188, AND SUPPLEMENTAL NOTICES OF LAYOUT AND TAKING RECORDED IN BOOK 4412, PAGE 134, AND BOOK 4662, PAGE 282.
8. THE UNDERGROUND GAS LINE WAS PLOTTED FROM EVIDENCE OF RECENT EXCAVATION WITHIN MAIN STREET.
9. THE UNDERGROUND TELEPHONE LINE WAS PLOTTED FROM OLD PAINT MARKS BY OTHERS FOUND ON THE GROUND.
10. THE UNDERGROUND UTILITIES PLOTTED DO NOT REPRESENT A COMPLETE INVENTORY OF UNDERGROUND UTILITIES LOCATED WITHIN MAIN STREET. THE LOCATION OF UNDERGROUND UTILITIES WAS NOT WITHIN THE AGREED SCOPE OF SERVICES WITH THE CLIENT.
11. THE VALUE FOR MEAN HIGHER-HIGH WATER (MHHW) WAS CALCULATED FROM THE CORRECTION VALUE OF 5.37 FEET FROM NAVD88 TO MEAN LOWER-LOW WATER (MLLW) STATED IN NOTE #3 ON PLAN REFERENCE #5 ESTABLISHED IN THE VICINITY OF NOAA STATION 8418606 (CAMP ELLIS), AND ELEVATIONS PUBLISHED FOR STATION 8418606 AVAILABLE ON THE NOAA WEBSITE.



No.	Revision	Date
1.	ADD ME DEP. HIGHEST ANNUAL TIDE, AND OBSERVED LOW WATER, AND APPROX. LIMITS OF WIND VEGETATION.	01-04-2018
2.	ADD ME DEP. HIGHEST ANNUAL TIDE, AND OBSERVED LOW WATER, AND APPROX. LIMITS OF WIND VEGETATION. EASTERN PORTION OF LOCUS.	01-17-2018



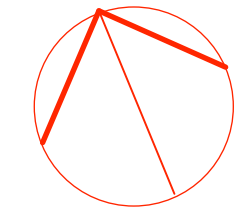
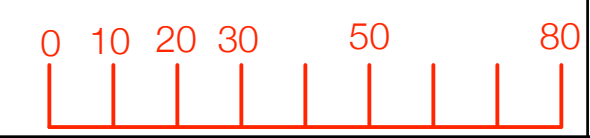
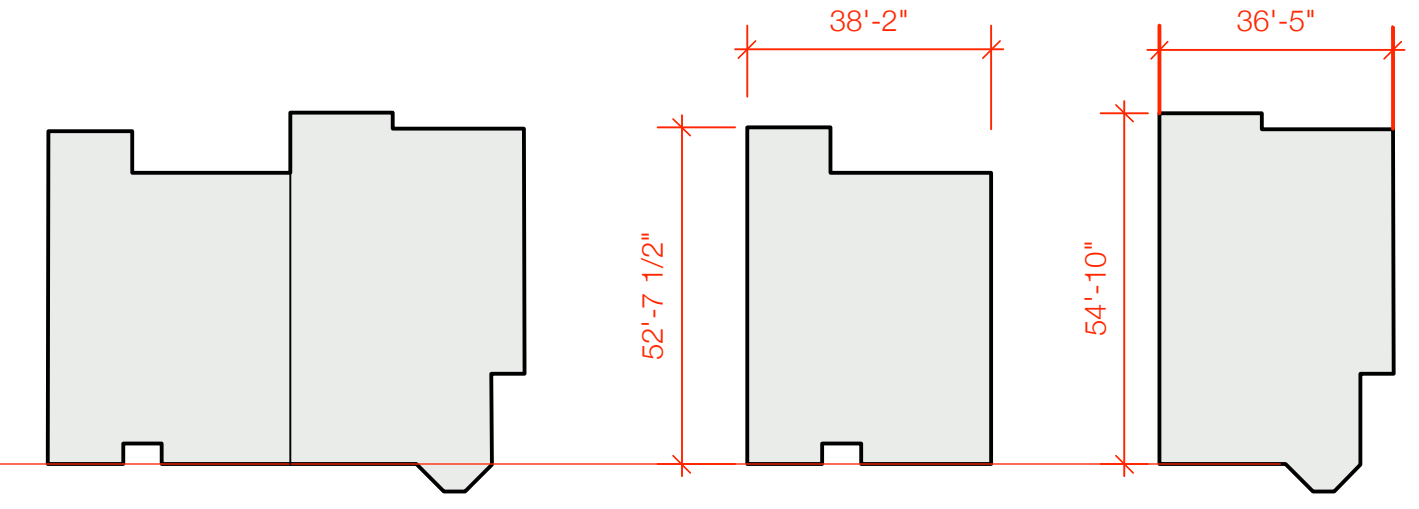
PLAN SHOWING A BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY MADE FOR
J & B PARTNERS, LLC
 (MAILING ADDRESS : 110 MAIN STREET, SUITE 1214, SACO, ME 04072)
 PARCEL LOCATED AT SACO ISLAND EAST
SACO MAINE



Dow & Coulombe, Inc.
 Land Surveyors & Land Planners Since 1864
 13 Park Street, Saco, Maine 04072
 Telephone: (207)284-4521 • Fax: (207)284-4522
 info@dowcoulombe.com • www.dowcoulombe.com

Date: DECEMBER 12, 2017
 H. Scale: Drawn by: 1" = 40' MJC
 Chk'd by: App'd by: PDD MJC
 SHEET C-1.2

ZONE-1
 Dwg#2018\SAULNIER1r2



ARCHITECT GRAZADO VELLECO ARCHITECTS 10 DOAKS LANE MARBLEHEAD, MA	
APPLICANT	
PROJECT NAME SACO HARBORSIDE Saco, Maine	
ILLUSTRATIVE SITE PLAN PROGRESS PRINT	DATE: 9/29/20 SCALE: 1"=30'-0"
A1	



ILLUSTRATIVE SITE PLAN
PROGRESS PRINT

DATE: 9/29/20
 SCALE: 1"=30'-0"

PROJECT NAME
SACO HARBORSIDE
 Saco, Maine

APPLICANT

ARCHITECT
 GRAZADO VELLECO ARCHITECTS 10 DOAKS LANE MARBLEHEAD, MA

A1

February 3, 2021

**Mr. Bob Hamblen,
City Planner
300 Main Street
City of Saco, Maine 04072**

**Subject: Saco Harborside
24 Unit Townhouse development
Factory Island East
Letter of Response #1 – Additional application materials**

Dear Bob:

Gorrill Palmer has received your email from January 29, 2021 that outlines various Site Plan Submission requirements that are considered incomplete and require additional supporting evidence. We have reviewed the list and Section 230-1104 of the code and we offer the following supporting information where you have identified incomplete status on your checklist.

Site plan review Submission requirements

Section 230-1104

(c) [6] Location and width of all building setbacks required by the Zoning Ordinance

Evidence: As identified on your checklist the PB shall determine the setbacks. We have provided a minimum setback of 100' from the shorefront and 10 feet from the property lines.

(c) [7] The location and delineation of site elements....

Evidence: The applicant is proposing that the Townhouses will have individual tote containers for solid waste and recycling. The developer will contract with a waste hauler for the weekly removal of waste and recycling. The totes will be stored in each Townhouse garage space and they will be rolled to the driveway edge on the days of pickup. There will be no solid waste enclosure.

All parking is provided for either in the driveways or garages. Each Townhouse includes a 2-car garage, and the driveways are expected to hold at least one additional car for tenants or guests. The design does not include any on street parking on the private drive.



(c) [9] The location and delineation of natural resource areas, historic features, and archaeological features of the site.....

Evidence: The accompanying replies from the various resource agencies are provided for review including Maine IF&W, Maine Natural Areas program and Maine Historic Preservation office. See the Agency replies in Attachment A.

A (3) – Copies of existing and proposed easements, covenants, or deed restrictions

Evidence: Attached is the easement agreement with Central Maine Power that runs with the land to allow access to the property. The owner is currently reviewing the need for future easements and restrictions including any cross-access agreements, drainage, and utilities. The applicant would consider, as a condition of approval, completing these pieces prior to the issuance of a building permit. If the development is to become a condominium, the condo documents will be prepared during the construction and ultimately be completed upon completion of at least the first building, since the documents will rely upon the project record drawings at that time. See the CMP easement in Attachment B.

A (4) – Copies of applicable local and state approvals and permits.

Evidence: The proposed development requires local site plan approval as well as approvals related to the MEDEP Site Location of Development, which we understand the City of Saco has delegated authority to review. We have completed the Municipal Review Form in Attachment C for the City to supply to the MEDEP securing this delegated authorization to review the development. Building permits will also be required at some point in the future. The applicant is not seeking any authorization under the Natural Resources Protection Act or USACOE for shorefront activity currently although they reserve the right to pursue these permits at some point in the future. A local site plan application for shorefront work will also be filed at that time. The applicant does require a Saco River Corridor Commission authorization and they intend to pursue that permit later this year, thus they would consider, as a condition of approval, submission of a SRCC approval as a condition tied to the issuance of a building permit.

A (12) – A waste disposal plan

Evidence: The 24 townhouses will handle solid waste and recycling by simply collecting in totes that can be picked up by a contracted waste hauler on a weekly basis. A contract has not yet been signed with a local waste hauler; however, it is anticipated that a local hauler such as Trioano Waste Services, who service the applicant's development on the west side of the island currently.

A (13) – A medium intensity soils maps of the site.

Evidence: The accompanying boring and test pit logs as provided by Summit Geoen지니어ing are provided to satisfy this submission requirements, in lieu of the



medium intensity soil survey. There will be no onsite subsurface wastewater disposal systems on the site, therefore the need for medium or even high intensity soils mapping is less applicable in our opinion. See the soils information in Attachment D.

A. (15) – An Estimate of the amount and type of traffic generated daily and at peak hours.

Evidence: Using the 10th Edition of the ITE Trip Generation Manual for Land Use Code 230 for 24 Townhouse Units the following daily and a.m. and p.m. peak hour trip generation values are estimated:

Weekday Trips: 176 (88 in, 88 out)
AM Peak Hour: 11 (3 in, 8 out)
PM Peak Hour: 13 (8 in, 5 out)

Based on these calculations we find that the proposed development will generate less than 400 vehicle trips per day, thus remaining below the threshold for a traffic impact analysis.

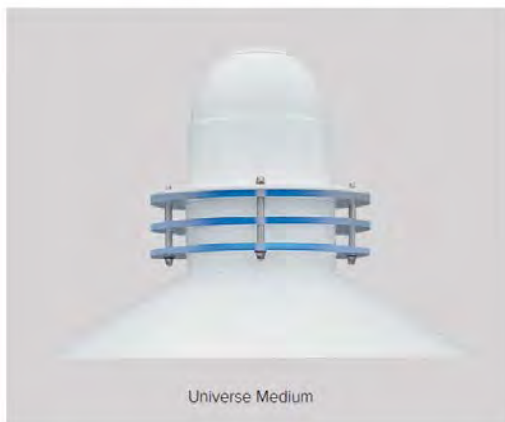
A (16) Hydrogeologic Assessment

Evidence: We are requesting a waiver of the need to provide a hydrogeologic assessment since the project will be served by public water and sewer and the development area will be positioned within areas where the groundwater is expected to be greater than 48” below grade,

A. (18) A lighting plan.

Evidence: Swaney Lighting of Scarborough, Maine has prepared the site lighting plan contained in Attachment E. The plan includes the use of the AAL Universe (UCM2) fixture on a 14 ft mounting height. The UCM2 is similar in style to other fixtures used around parking areas on Factory island.

UNIVERSE®





A (19) Archaeological or Historical Sites

Evidence: See the accompanying response letter from the Maine Historic Preservation Office contained in Attachment A.

Subdivision Plan Review Submission Requirements

In accordance with the City's Article 5 Preliminary Plan of the Subdivision Regulations we offer the following information in support of satisfying the application submission requirements:

5.2.1 Location Plan – See the accompanying figures contained in Attachment A to this letter.

5.2.2 Preliminary Plan – A preliminary recording Plat is currently being completed and will be forwarded to you under separate cover.

5.2.2 (8) – the applicant will have installed various reference stakes in the field within the next two weeks to adequately identify the proposed private drive alignment and approximate building corners of at least 25% of the proposed units.

5.2.2 (9) - The applicant will coordinate the unit numbering with the E-911 Addressing officer. We will alert the Planning Department once a unit numbering scheme has been established.

5.2.2 (15)– *Street plans and profile.* See the accompanying plan and profile sheet for the private drive.

5.2.2 (16) – *Location of improvements*– The applicant is proposing no Solid waste enclosure area but will require tenants to retain waste and recycling totes in their garages. These will be serviced by a private waste hauler on a weekly basis.

5.2.2 (18) See the accompanying response letters from various agencies, contained in Attachment A.

5.2.2 (19) See accompanying response letter from the MHPO. We note that their sign off was associated with the previously proposed “Waters” development. We don't believe the current proposal merits revisiting the MHPO for any further signoff.

5.2.3 Accompanying Statements and Data

(2) At this time there are no new easements covenants or deed restrictions contemplated for the property. If in the future they are required, the applicant is amenable to a condition of approval that requires submission of the encumbrance language to the City Planning office for review prior to any enactment or recording of documents.



(3) see the accompanying Determination letter from the Maine Water Company contained in Attachment A.

(5) See the accompanying boring and test pit logs from Summit Geoengineering.

(6) See trip generation above indicating that the proposed 24 Unit Townhouse project will generate less than 200 daily Vehicle trips, thus a traffic impact analysis is not required.

(8) In accordance with Sec 230-1602.D of the code, the applicant is seeking to pay the Recreational and Open space impact fees which are calculated as follows:

- Recreational Impact fee = \$469.00 x 3 bedrooms x 24 units = \$33,768.00
 - Open Space Impact Fee = \$195.00 x 3-bedroom x 24 units = \$14,040.00
- Total = \$47,808.00

(10) *Proof of Financial and Technical Capacity* - the accompanying statement contained in Attachment F provides evidence of the applicant's financial status. The applicant fully expects to use a combination of self-financing and lending resources for the financing of the development activity. The applicant has successfully completed 31 residential apartment units in Building 91 on the west side of the island and they are also completing an additional 12 units in building 2. Outside of the State of Maine the applicant has ownership affiliation with Glover Property Management Inc. of Marblehead MA. Additional information on Glover can be found at <https://www.gloverproperty.com/>. We believe this information should provide satisfactory evidence of the applicant's financial and technical capacity to complete the project.

(13 & 14) The following impervious areas are provided.



4,202 SF IMPERVIOUS FOOTPRINT EACH DUPLEX
x 12 = 50,424 SF TOTAL BUILDING / STRUCTURE IMPERVIOUS (19.4% OF SITE)
+33,100 SF IMPERVIOUS PAVEMENT (ACCESS DR / DRIVEWAY / SIDEWALK)
83,524 SF TOTAL IMPERVIOUS / 259,318 SF TOTAL SITE AREA = 32.2 % OF SITE

SITE / LOT AREA = 259,318 SF (5.95 ACRES)

In addition to this information, we offer the accompanying building elevations and materials for staff and Board consideration.



We look forward to your review of the accompanying materials and trust you will find them sufficient to consider the application satisfactory to allow the Planning Board to find the application is complete and suitable to consider an approval, with conditions as suggested in this letter or otherwise developed by the Planning Department and Board. We look forward to an appearance before the planning board as the earliest availability. As you are aware it is critical that this development proposal be found sufficiently complete within the existing zoning standards so that it will not require transitioning to the proposed zoning that is expected to be enacted in April.

Sincerely,

Gorrill-Palmer Consulting Engineers

A handwritten signature in black ink, appearing to read "Stephen Bushey", written over a light yellow rectangular background.

Stephen Bushey, PE
Senior Project Manager
sbushey@gorrillpalmer.com

C: via email
Ted Moore Saco Island Ventures
Bernie Saulnier
Paul Weinstein
Tony Sasso

Attachments:

- A. Agency response letters
- B. CMP Easement
- C. Municipal Review Form
- D. Geotechnical Information
- E. Site Lighting Information
- F. Financial Evidence – Personal Account statement

ATTACHMENT A
AGENCY LETTERS



PAUL R. LEPAGE
GOVERNOR

STATE OF MAINE
DEPARTMENT OF
INLAND FISHERIES & WILDLIFE
284 STATE STREET
41 STATE HOUSE STATION
AUGUSTA ME 04333-0041

CHANDLER E. WOODCOCK
COMMISSIONER

June 1, 2018

Tim Forrester
Atlantic Environmental, LLC
135 River Road
Woolwich, ME 04579

RE: Information Request - Factory Island, Saco

Dear Tim:

Per your request received May 9, 2018, we have reviewed current Maine Department of Inland Fisheries and Wildlife (MDIFW) information for known locations of Endangered, Threatened, and Special Concern species; designated Essential and Significant Wildlife Habitats; and inland fisheries habitat concerns within the vicinity of the *Factory Island Project* in Saco.

Our Department has not mapped any Essential Habitats or inland fisheries habitats that would be directly affected by your project.

Endangered, Threatened, and Special Concern Species

Bats

Of the eight species of bats that occur in Maine, the three *Myotis* species are protected under Maine's Endangered Species Act (MESA) and are afforded special protection under 12 M.R.S §12801 - §12810. The three *Myotis* species include little brown bat (State Endangered), northern long-eared bat (State Endangered), and eastern small-footed bat (State Threatened). The five remaining bat species are listed as Special Concern: big brown bat, red bat, hoary bat, silver-haired bat, and tri-colored bat.

While a comprehensive statewide inventory for bats has not been completed, based on historical evidence it is likely that several of these species occur within the project area during migration and/or the breeding season. We recommend that you contact the U.S. Fish and Wildlife Service--Maine Fish and Wildlife Complex (Wende Mahaney, 207-902-1569) for further guidance, as the northern long-eared bat is also listed as a Threatened Species under the Federal Endangered Species Act. Otherwise, our Agency does not anticipate significant impacts to any of the bat species as a result of this project.

Significant Wildlife Habitat

Significant Vernal Pools

At this time, MDIFW Significant Wildlife Habitat (SWH) maps indicate no known presence of SWHs within the project area, which include Waterfowl and Wading Bird Habitats, Seabird Nesting Islands, Shorebird Areas, and Significant Vernal Pools. However, a comprehensive statewide inventory for

Letter to Tim Forrester
Comments RE: Factory Island, Saco
June 1, 2018

Significant Vernal Pools has not been completed. Therefore, we recommend that surveys for vernal pools be conducted within the project boundary by qualified wetland scientists prior to final project design to determine whether there are Significant Vernal Pools present in the area. These surveys should extend up to 250 feet beyond the anticipated project footprint because of potential performance standard requirements for off-site Significant Vernal Pools, assuming such pools are located on land owned or controlled by the applicant. Once surveys are completed, our Department will need to review and verify any vernal pool data prior to final determination of significance.

This consultation review has been conducted specifically for known MDIFW jurisdictional features and should not be interpreted as a comprehensive review for the presence of other regulated features that may occur in this area. Prior to the start of any future site disturbance we recommend additional consultation with the municipality, and other state resource agencies including the Maine Natural Areas Program, the Maine Department of Marine Resources, and the Maine Department of Environmental Protection in order to avoid unintended protected resource disturbance.

Please feel free to contact my office if you have any questions regarding this information, or if I can be of any further assistance.

Best regards,

A handwritten signature in blue ink, appearing to read 'John Perry', with a stylized flourish at the end.

John Perry
Environmental Review Coordinator



135 River Road • Woolwich, ME 04579
tim@atlanticenviromaine.com • 207-837-2199
www.atlanticenviromaine.com



May 5, 2018

Mr. Kirk Mohney
Maine Historic Preservation Commission
State House Station 65
Augusta, Maine 04333-0065

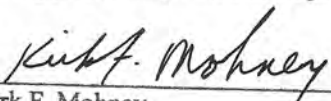
RE: Maine Department of Environmental Protection (DEP), Natural Resources Protection Act (NRPA) Application for the construction of two marinas, reconstruction and repair of a revetment structure, and associated shoreside structures on behalf of J & B Partners, LLC located at 110 Main Street, Saco, Maine (Tax Map 37, Lot 6).

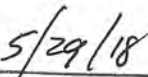
Dear Mr. Mohney,

J & B Partners (Applicant) are intending to apply for a NRPA permit requesting approval to construct two marinas, replace an existing timber revetment structure with a sheet pile retaining wall, repair an existing granite block retaining wall, and construct shoreside structures associated with a proposed mixed-use development. The project is located at 110 Main Street in Saco, Maine. Please find a copy of a Location Map and Photographs for your review.

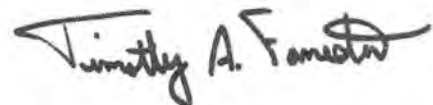
If you have any questions or concerns with this project, please feel free to contact me directly at (207) 837 - 2199 or by e-mail at tim@atlanticenviromaine.com. Thank you in advance for your timely comments.

Based on the information submitted, I have concluded that there will be no historic properties affected by the proposed undertaking, as defined by Section 106 of the National Historic Preservation Act. Consequently, pursuant to 36 CFR 800.4(d)(1), no further Section 106 consultation is required unless additional resources are discovered during project implementation pursuant to 36 CFR 800.13.


Kirk F. Mohney,
State Historic Preservation Officer
Maine Historic Preservation Commission


Date

Sincerely,
Atlantic Environmental LLC.



Tim Forrester, Owner

Cc: Jennifer Pictou, Aroostook Band of Micmacs
Donald Soctomah, Passamaquoddy Tribe of Indians, PPR
Susan Young, Houlton Band of Maliseet Indians
Chris Sockalexix, Penobscot Nation
Donald Soctomah, Passamaquoddy Tribe of Indians, IPR

Environmental Consultants • Wetland Scientists • Specializing in Federal, State, and Local Permitting • Expert Witness



United States Department of the Interior



FISH AND WILDLIFE SERVICE
Maine Fish and Wildlife Service Complex
Ecological Services
Maine Field Office
306 Hatchery Road
East Orland, Maine 04431
207/469-7300 Fax: 207/902-1588

May 11, 2018

Timothy A. Forrester, Owner
Atlantic Environmental
135 River Road
Woolwich, Maine 04579

Re: Species List Request/Review: Request for Endangered Species Review
Job Location/Number(s): Factory Island, Saco

Dear Mr. Forrester:

We have received your requests for information regarding the occurrence of federally listed threatened and endangered species within the vicinity of the above referenced project/property. **In an effort to streamline project reviews in a time of increasing workloads, we are directing all species list requests to our Web site: <http://www.fws.gov/mainefieldoffice/Project%20reviews.html>.** Please click or copy and paste this link into your browser and follow the instructions at **Species Lists and Project Reviews**. Step-by-step instructions are provided. For communication tower projects follow the self-certification procedure by clicking the link on the Intro page. Using this Web-based process will allow you to print an **Official species list response** from the Maine Field Office. Once you have received your official species list response **please send your entire package to the Federal Agency you are working with, (e.g. Veterans Affairs, USDA or NRCS,).** If you have questions, or you are not working with a Federal Agency, then by all means feel free to send us the entire review package with your request for a Federal section 7 review.

As a reminder, Section 9 of the Endangered Species Act (ESA) (87 Stat. 884, as amended; 16 U.S.C. 1531 *et seq.*) prohibits unauthorized taking* of listed species and applies to both Federal and non-federal activities. Additionally, endangered and threatened species and their habitats are protected by Section 7(a)(2) of the ESA, which requires Federal agencies, in consultation with the U.S. Fish and Wildlife Service (Service), to ensure that any action it authorizes, funds, or carries out is not likely to jeopardize the continued existence of listed species or result in the destruction or adverse modification of critical habitat. An assessment of the potential direct, indirect, and cumulative effects is required for all Federal actions that may affect listed species. For projects not authorized, funded, or carried out by a Federal agency, consultation with the Service pursuant to Section 7(a)(2) of the ESA is not required. However, no person is authorized to “take”* any listed species without appropriate authorization from the Service. Therefore, we provide technical assistance to individuals and agencies to assist with project planning to avoid the potential for “take,” or when appropriate, to provide assistance with their application for an incidental take permit pursuant to Section 10(a)(1)(B) of the ESA.

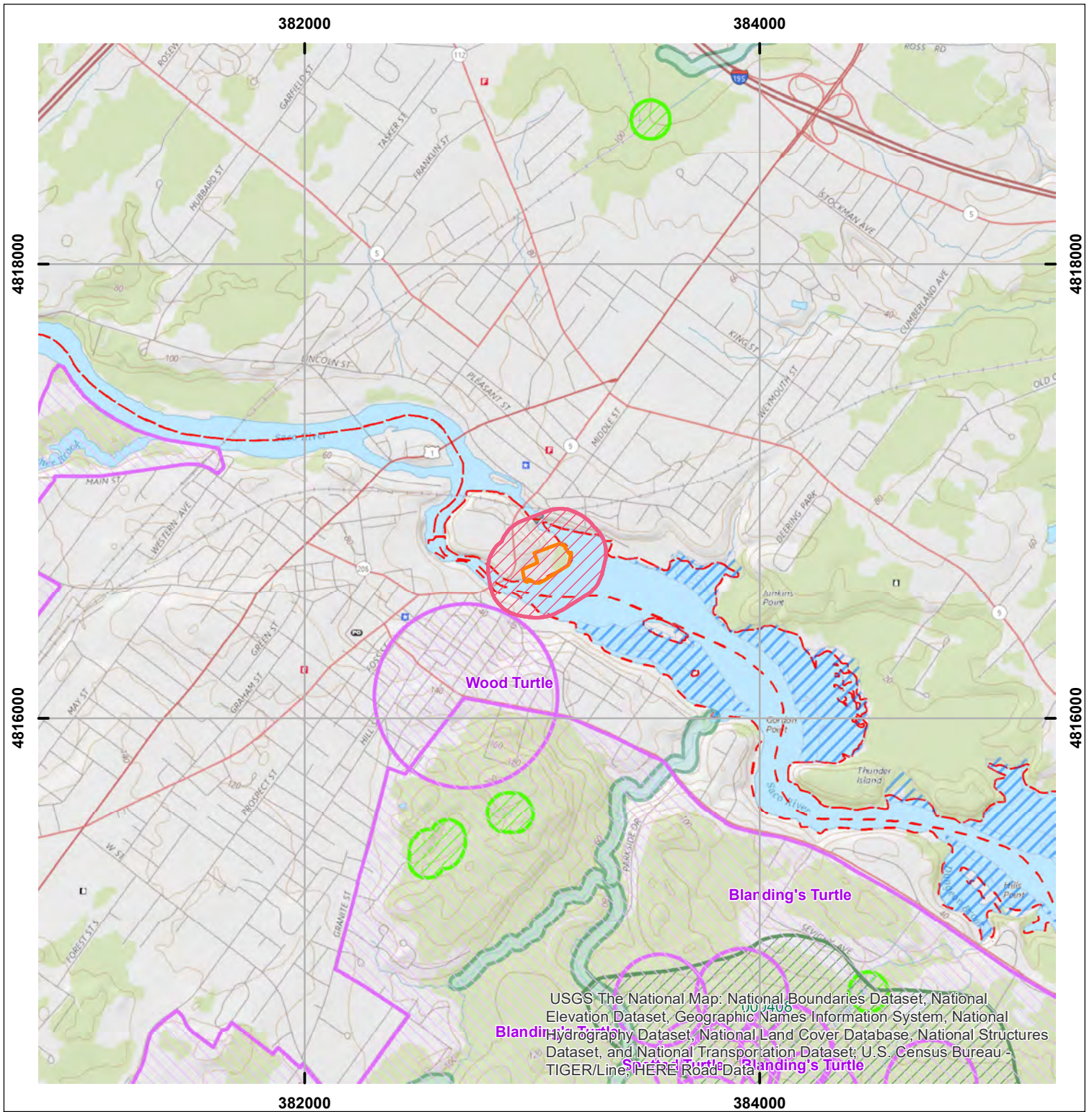
Project construction or implementation should not commence until all requirements of the ESA have been fulfilled. If you have any questions or require further assistance regarding our Web-based **Species List and Project Reviews** process, please contact Shay White at: Shay_White@fws.gov or by telephone at 207/902-1568. If you have questions about Canada lynx, please contact Mark McCollough at: Mark_McCollough@fws.gov or by telephone at 207/902-1570. For questions about Atlantic salmon, please contact Wende Mahaney at: Wende_Mahaney@fws.gov or by telephone at 207/902-1569.

Please note that our office moved from the Orono location in June of 2016 to East Orland and Laury Zicari is no longer an employee of the US Fish and Wildlife Service, as she retired in December of 2015. Please see above address for all future communications.

Thank you.

Anna Harris, Project Leader
Maine Field Office
Maine Fish & Wildlife Service Complex

*Under the Act and regulations, it is illegal for any person subject to the jurisdiction of the United States to *take* (includes harass, harm, pursue, hunt, shoot, wound, kill, trap, capture, or collect; or to attempt any of these), import or export, ship in interstate or foreign commerce in the course of commercial activity, or sell or offer for sale in interstate or foreign commerce any endangered fish or wildlife species and most threatened fish and wildlife species. It is also illegal to possess, sell, deliver, carry, transport, or ship any such wildlife that has been taken illegally. "Harm" includes any act which actually kills or injures fish or wildlife, and case law has clarified that such acts may include significant habitat modification or degradation that significantly impairs essential behavioral patterns of fish or wildlife.



Environmental Review of Fish and Wildlife Observations and Priority Habitats

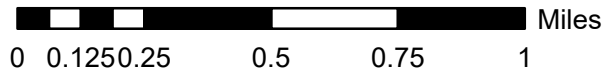
Project Name:

raremusells

(Version 1)



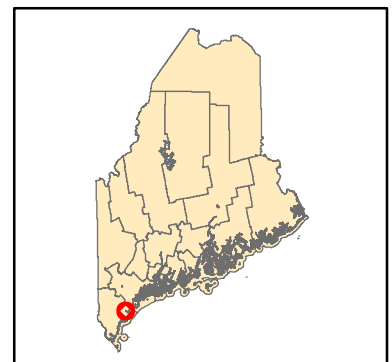
Maine Department of
Inland Fisheries and Wildlife



Projection: UTM, NAD83, Zone 19N

Date: 5/18/2018

- ProjectPolys
- ProjectSearchAreas
- Significant Vernal Pools
- ETS Environmental Review Polygons
- Special Concern-occupied habitats(100ft buffer)
- Deer Winter Area
- Tidal Waterfowl/Wading Bird





PAUL R. LePAGE
GOVERNOR

STATE OF MAINE
DEPARTMENT OF AGRICULTURE, CONSERVATION & FORESTRY

93 STATE HOUSE STATION
AUGUSTA, MAINE 04333

WALTER E. WHITCOMB
COMMISSIONER

May 18, 2018

Timothy Forrester
Atlantic Environmental
135 River Road
Woolwich, ME 04579

Via email: tim@atlanticevironmental.com

Re: Rare and exemplary botanical features in proximity to: Factory Island Development, Saco, Maine

Dear Mr. Forrester:

I have searched the Natural Areas Program's Biological and Conservation Data System files in response to your request received May 15, 2018 for information on the presence of rare or unique botanical features documented from the vicinity of the project in Saco, Maine. Rare and unique botanical features include the habitat of rare, threatened, or endangered plant species and unique or exemplary natural communities. Our review involves examining maps, manual and computerized records, other sources of information such as scientific articles or published references, and the personal knowledge of staff or cooperating experts.

Our official response covers only botanical features. For authoritative information and official response for zoological features you must make a similar request to the Maine Department of Inland Fisheries and Wildlife, 284 State Street, Augusta, Maine 04333.

According to the information currently in our Biological and Conservation Data System files, there are no rare botanical features documented specifically within the project area. This lack of data may indicate minimal survey efforts rather than confirm the absence of rare botanical features. You may want to have the site inventoried by a qualified field biologist to ensure that no undocumented rare features are inadvertently harmed.

If a field survey of the project area is conducted, please refer to the enclosed supplemental information regarding rare and exemplary botanical features documented to occur in the vicinity of the project site. The list may include information on features that have been known to occur historically in the area as well as recently field-verified information. While historic records have not been documented in several years, they may persist in the area if suitable habitat exists. The enclosed list identifies features with potential to occur in the area, and it should be considered if you choose to conduct field surveys.

This finding is available and appropriate for preparation and review of environmental assessments, but it is not a substitute for on-site surveys. Comprehensive field surveys do not exist for all natural areas in Maine, and in the absence of a specific field investigation, the Maine Natural Areas Program cannot provide a definitive statement on the presence or absence of unusual natural features at this site.

MOLLY DOCHERTY, DIRECTOR
MAINE NATURAL AREAS PROGRAM



PHONE: (207) 287-8044
FAX: (207) 287-8040
WWW.MAINE.GOV/DACF/MNAP

Letter to Atlantic Environmental
Comments RE: Factory Island, Saco
May 18, 2018
Page 2 of 2

The Natural Areas Program is continuously working to achieve a more comprehensive database of exemplary natural features in Maine. We would appreciate the contribution of any information obtained should you decide to do field work. The Natural Areas Program welcomes coordination with individuals or organizations proposing environmental alteration, or conducting environmental assessments. If, however, data provided by the Natural Areas Program are to be published in any form, the Program should be informed at the outset and credited as the source.

The Natural Areas Program has instituted a fee structure of \$75.00 an hour to recover the actual cost of processing your request for information. You will receive an invoice for \$150.00 for two hours of our services.

Thank you for using the Natural Areas Program in the environmental review process. Please do not hesitate to contact me if you have further questions about the Natural Areas Program or about rare or unique botanical features on this site.

Sincerely,

A handwritten signature in cursive script, appearing to read "Kristen Puryear".

Kristen Puryear | Ecologist | Maine Natural Areas Program
207-287-8043 | kristen.puryear@maine.gov

Rare and Exemplary Botanical Features within 4 miles of Project: Factory Island Development, Saco, Maine

Common Name	State Status	State Rank	Global Rank	Date Last Observed	Occurrence Number	Habitat
Atlantic White Cedar						
	SC	S2	G4	1996-06-13	3	Forested wetland
Beach Plum						
	E	S1	G4	1932-09	12	Rocky coastal (non-forested, upland)
	E	S1	G4	1933-06-21	9	Rocky coastal (non-forested, upland)
	E	S1	G4	2006-07-17	3	Rocky coastal (non-forested, upland)
Beach wormwood						
	SC	S1S2	G5T5	2011-10-28	6	<null>
Brackish Tidal Marsh						
	<null>	S3	GNR	2009-07-29	1	Tidal wetland (non-forested, wetland)
Butterfly Weed						
	PE	SX	G5	1986	1	Dry barrens (partly forested, upland)
Button Sedge						
	SC	S2	G5	1880-09-06	2	<null>
	SC	S2	G5	2006-07-12	5	<null>
	SC	S2	G5	2000-08-15	3	<null>
Clothed Sedge						
	E	S1	G5	2006-06-07	7	Dry barrens (partly forested, upland)
	E	S1	G5	2006-06-16	8	Dry barrens (partly forested, upland)
Coastal Dune-marsh Ecosystem						
	<null>	S3	GNR	2009	1	Tidal wetland (non-forested, wetland), Rocky coastal (non-forested, upland)
Creeping Spike-moss						

Rare and Exemplary Botanical Features within 4 miles of Project: Factory Island Development, Saco, Maine

Common Name	State Status	State Rank	Global Rank	Date Last Observed	Occurrence Number	Habitat
	E	S2	G5	1920-07-30	6	Open wetland, not coastal nor rivershore (non-forested, wetland), Old field/roadside (non-forested, wetland or upland)
	E	S2	G5	1989-08-14	2	Open wetland, not coastal nor rivershore (non-forested, wetland), Old field/roadside (non-forested, wetland or upland)
Dwarf Glasswort						
	SC	S1	G5	1981-09-16	2	Tidal wetland (non-forested, wetland)
Estuary Bur-marigold						
	SC	S3	G4	2009-07-30	35	Tidal wetland (non-forested, wetland)
Freshwater Tidal Marsh						
	<null>	S2	G4?	2009-07-30	1	Tidal wetland (non-forested, wetland)
Hollow Joe-pye Weed						
	SC	S2	G5?	1989-08-14	2	Open wetland, not coastal nor rivershore (non-forested, wetland), Old field/roadside (non-forested, wetland or upland)
	SC	S2	G5?	2013-09-01	23	Open wetland, not coastal nor rivershore (non-forested, wetland), Old field/roadside (non-forested, wetland or upland)
	SC	S2	G5?	1994-06-06	6	Open wetland, not coastal nor rivershore (non-forested, wetland), Old field/roadside (non-forested, wetland or upland)
	SC	S2	G5?	1989-08-21	1	Open wetland, not coastal nor rivershore (non-forested, wetland), Old field/roadside (non-forested, wetland or upland)
	SC	S2	G5?	1989-08-22	3	Open wetland, not coastal nor rivershore (non-forested, wetland), Old field/roadside (non-forested, wetland or upland)
Horned Pondweed						
	SC	S2	G5	1907-08-18	10	Tidal wetland (non-forested, wetland)
	SC	S2	G5	2000-08-28	15	Tidal wetland (non-forested, wetland)
	SC	S2	G5	2007-07-05	19	Tidal wetland (non-forested, wetland)
Lilaeopsis						
	SC	S2	G5	2007-07-05	11	Tidal wetland (non-forested, wetland)

Rare and Exemplary Botanical Features within 4 miles of Project: Factory Island Development, Saco, Maine

Common Name	State Status	State Rank	Global Rank	Date Last Observed	Occurrence Number	Habitat
	SC	S2	G5	2007-08-14	12	Tidal wetland (non-forested, wetland)
	SC	S2	G5	2012-10-21	10	Tidal wetland (non-forested, wetland)
Long's Bulrush						
	T	S2	G2G3	2011-08-12	10	Open wetland, not coastal nor rivershore (non-forested, wetland)
Long-spined Sandbur						
	PE	SH	G5	1984	1	Rocky coastal (non-forested, upland)
Mudwort						
	SC	S3	G4G5	2009-07-30	35	Tidal wetland (non-forested, wetland)
Pale Green Orchis						
	SC	S2	G4?T4Q	2008-06-27	52	Non-tidal rivershore (non-forested, seasonally wet),Open wetland, not coastal nor rivershore (non-forested, wetland)
	SC	S2	G4?T4Q	2008-06-27	53	Non-tidal rivershore (non-forested, seasonally wet),Open wetland, not coastal nor rivershore (non-forested, wetland)
Parker's Pipewort						
	SC	S3	G3	2012-10-21	33	Tidal wetland (non-forested, wetland)
Pendulous Bulrush						
	SC	S2	G5	2008-06-28	8	Open wetland, not coastal nor rivershore (non-forested, wetland),Old field/roadside (non-forested, wetland or upland)
Pitch Pine Bog						
	<null>	S2	G3G5	1996-06-13	4	Forested wetland,Coastal non-tidal wetland (non-forested, wetland)
Pitch Pine Dune Woodland						
	<null>	S1	G2	2014-05-08	8	Dry barrens (partly forested, upland)
Pocket Swamp						
	<null>	S2	G5	2014-05-08	4	Forested wetland,Hardwood to mixed forest (forest, upland)
	<null>	S2	G5	2004	18	Forested wetland,Hardwood to mixed forest (forest, upland)

Rare and Exemplary Botanical Features within 4 miles of Project: Factory Island Development, Saco, Maine

Common Name	State Status	State Rank	Global Rank	Date Last Observed	Occurrence Number	Habitat
Pygmyweed						
	SC	S2S3	G5	2009-07-29	25	Open water (non-forested, wetland)
	SC	S2S3	G5	2007-07-05	28	Open water (non-forested, wetland)
Raised Level Bog Ecosystem						
	<null>	S4	GNR	2006-07-12	3	Forested wetland, Open wetland, not coastal nor rivershore (non-forested, wetland)
Red Maple Swamp						
	<null>	S5	G3G5	2007-06-05	17	Forested wetland
Salt-hay Saltmarsh						
	<null>	S3	G5	2009	27	Tidal wetland (non-forested, wetland)
	<null>	S3	G5	2010-10-14	12	Tidal wetland (non-forested, wetland)
Saltmarsh False-foxglove						
	SC	S3	G5	1982	12	Tidal wetland (non-forested, wetland)
	SC	S3	G5	1982	9	Tidal wetland (non-forested, wetland)
	SC	S3	G5	2006-07-17	18	Tidal wetland (non-forested, wetland)
Sassafras						
	SC	S2	G5	2006-07-17	16	Hardwood to mixed forest (forest, upland), Old field/roadside (non-forested, wetland or upland)
Schreber's Wood-aster						
	PE	SX	G4	1894-09	1	Rocky coastal (non-forested, upland)
Slender Blue Flag						
	T	S2	G4G5	1879-08	4	Tidal wetland (non-forested, wetland)
	T	S2	G4G5	1995-07-18	18	Tidal wetland (non-forested, wetland)
Small Reed Grass						

Rare and Exemplary Botanical Features within 4 miles of Project: Factory Island Development, Saco, Maine

Common Name	State Status	State Rank	Global Rank	Date Last Observed	Occurrence Number	Habitat
	SC	S3	G5	2000-08-15	12	Old field/roadside (non-forested, wetland or upland)
	SC	S3	G5	2006-08-08	14	Old field/roadside (non-forested, wetland or upland)
Smooth Winterberry Holly						
	SC	S3	G5	2012-10	44	Forested wetland
	SC	S3	G5	1979	13	Forested wetland
	SC	S3	G5	2009-07-05	39	Forested wetland
	SC	S3	G5	2004	36	Forested wetland
	SC	S3	G5	2011-10-28	30	Forested wetland
Southern Slender Ladies'-tresses						
	PE	SH	G5T4T5	1918-08-27	1	Dry barrens (partly forested, upland)
Spongy-leaved Arrowhead						
	SC	S3	G5T4	2012-10-21	42	Tidal wetland (non-forested, wetland)
Stiff Arrowhead						
	SC	S2	G5	2006-06-16	15	Tidal wetland (non-forested, wetland)
Sweet Pepper-bush						
	SC	S2	G5	1917-09	9	Hardwood to mixed forest (forest, upland),Forested wetland
Tidal Marsh Estuary Ecosystem						
	<null>	S3	GNR	2010-10-14	4	Tidal wetland (non-forested, wetland)
Water Pimpernel						
	SC	S3	G5T5	2012-10-21	26	Tidal wetland (non-forested, wetland)

STATE RARITY RANKS

- S1** Critically imperiled in Maine because of extreme rarity (five or fewer occurrences or very few remaining individuals or acres) or because some aspect of its biology makes it especially vulnerable to extirpation from the State of Maine.
- S2** Imperiled in Maine because of rarity (6-20 occurrences or few remaining individuals or acres) or because of other factors making it vulnerable to further decline.
- S3** Rare in Maine (20-100 occurrences).
- S4** Apparently secure in Maine.
- S5** Demonstrably secure in Maine.
- SU** Under consideration for assigning rarity status; more information needed on threats or distribution.
- SNR** Not yet ranked.
- SNA** Rank not applicable.
- S#?** Current occurrence data suggests assigned rank, but lack of survey effort along with amount of potential habitat create uncertainty (e.g. S3?).

Note: **State Rarity Ranks** are determined by the Maine Natural Areas Program for rare plants and rare and exemplary natural communities and ecosystems. The Maine Department of Inland Fisheries and Wildlife determines State Rarity Ranks for animals.

GLOBAL RARITY RANKS

- G1** Critically imperiled globally because of extreme rarity (five or fewer occurrences or very few remaining individuals or acres) or because some aspect of its biology makes it especially vulnerable to extinction.
- G2** Globally imperiled because of rarity (6-20 occurrences or few remaining individuals or acres) or because of other factors making it vulnerable to further decline.
- G3** Globally rare (20-100 occurrences).
- G4** Apparently secure globally.
- G5** Demonstrably secure globally.
- GNR** Not yet ranked.

Note: **Global Ranks** are determined by NatureServe.

STATE LEGAL STATUS

Note: State legal status is according to 5 M.R.S.A. § 13076-13079, which mandates the Department of Conservation to produce and biennially update the official list of Maine's **Endangered and Threatened** plants. The list is derived by a technical advisory committee of botanists who use data in the Natural Areas Program's database to recommend status changes to the Department of Conservation.

- E** ENDANGERED; Rare and in danger of being lost from the state in the foreseeable future; or federally listed as Endangered.
- T** THREATENED; Rare and, with further decline, could become endangered; or federally listed as Threatened.

NON-LEGAL STATUS

- SC** SPECIAL CONCERN; Rare in Maine, based on available information, but not sufficiently rare to be considered Threatened or Endangered.
- PE** Potentially Extirpated; Species has not been documented in Maine in past 20 years or loss of last known occurrence has been documented.

ELEMENT OCCURRENCE RANKS - EO RANKS

Element Occurrence ranks are used to describe the quality of a rare plant population or natural community based on three factors:

- **Size**: Size of community or population relative to other known examples in Maine. Community or population's viability, capability to maintain itself.
- **Condition**: For communities, condition includes presence of representative species, maturity of species, and evidence of human-caused disturbance. For plants, factors include species vigor and evidence of human-caused disturbance.
- **Landscape context**: Land uses and/or condition of natural communities surrounding the observed area. Ability of the observed community or population to be protected from effects of adjacent land uses.

These three factors are combined into an overall ranking of the feature of **A**, **B**, **C**, or **D**, where **A** indicates an **excellent** example of the community or population and **D** indicates a **poor** example of the community or population. A rank of **E** indicates that the community or population is **extant** but there is not enough data to assign a quality rank. The Maine Natural Areas Program tracks all occurrences of rare (S1-S3) plants and natural communities as well as A and B ranked common (S4-S5) natural communities.

Note: **Element Occurrence Ranks** are determined by the Maine Natural Areas Program for rare plants and rare and exemplary natural communities and ecosystems. The Maine Department of Inland Fisheries and Wildlife determines Element Occurrence ranks for animals.

Visit our website for more information on rare, threatened, and endangered species!
<http://www.maine.gov/dacf/mnap>

ATTACHMENT B

CMP EASEMENT

FORECLOSURE DEED UNDER POWER OF SALE

Joan M. Kurker, an individual having a mailing address of 2500 Mystic Valley Parkway, Unit 902, Medford, County of Middlesex, and Commonwealth of Massachusetts, holder of a mortgage from J&B Partners, LLC dated November 16, 2017 to Joan M. Kurker and recorded in the York County Registry of Deeds on November 17, 2017 at Book 17606, Page 936, by the power conferred by such mortgage and every other power, for Eleven Thousand AND 00/100 (\$11,000.00) DOLLARS paid, grants to Saco Island Ventures, LLC, of 8 Doaks Lane, Marblehead, MA 01945, the premises and all personal property conveyed by said mortgage.

IN WITNESS WHEREOF, Joan M. Kurker has caused this instrument to be executed this 6th day of August, 2019.

Joan M. Kurker
By: [Signature]
Joan M. Kurker

STATE OF MASSACHUSETTS
COUNTY OF MIDDLESEX

8/6/, 2019

Then personally appeared the above-named Joan M. Kurker, as aforesaid, and acknowledged the foregoing instrument to be her free act and deed in her said capacity.

Before me, [Signature]
Notary Public



Maine R.E. Transfer Tax Paid

①
E 2p → 51099 Law 93 Middle York 03801

EXHIBIT A

A certain lot or parcel of land together with the buildings and improvements thereon, situated on Factory Island in Saco, York County, Maine, and more particularly bounded and described as follows, and more particularly depicted on the plan entitled PARTIAL ALTA/ACSM LAND TITLE SURVEY, sheet S2, dated January 25, 2007, revised August 20, 2007, prepared by Oak Engineers (the "ALTA East Plan"):

Beginning at an iron rod that is located on the northeasterly side of the granite seawall along the easterly side of the west branch of the Saco River at the southerly corner of land now or formerly of Central Maine Power;

Thence North $10^{\circ} 33' 00''$ West a distance of 168.88' to a point;
Thence North $50^{\circ} 02' 15''$ East a distance of 235.65' to a point near an iron rod;
Thence North $29^{\circ} 29' 30''$ West a distance of 139.35' to an iron rod with cap #1201;
Thence North $71^{\circ} 37' 30''$ East a distance of 196.49' to the base of a bent iron bolt;
Thence continuing N $71^{\circ} 37' 30''$ East to the thread of the east branch of the Saco River;
Thence southerly along the thread of the east branch of the Saco River;
Thence westerly by the thread of the west branch of the Saco River to a point located S $10^{\circ} 33' 00''$ East of the point of beginning;
Thence N $10^{\circ} 33' 00''$ West to the point of beginning.

Containing approximately 5.84 acres of land to the bank of the Saco River.

Together with a non-exclusive easement over that portion of land now of Central Maine Power Company more particularly bounded and described as the "Proposed Easement, Central Maine Power Co. to Island Associates" on the plan entitled PLAN SHOWING PROPOSED LEASES AND EASEMENT ON FACTORY ISLAND, SACO, MAINE, recorded in the York County Registry of Deeds in Plan Book 194, Page 2, and as set forth in Instrument of Conveyance and Release Agreement made by and among Central Maine Power Company and Island Associates, et al. effective August 7, 1986 and recorded in said registry in Book 5481, Page 15.

For source of title, reference is made to a quit claim deed from Saco Island East, LLC to J&B Partners, LLC dated August 8, 2017, and recorded in said registry in Book 17534, Page 286.

QUITCLAIM DEED WITH COVENANT

KNOW ALL PERSONS BY THESE PRESENTS

That **SACO ISLAND EAST, LLC**, a limited liability company formed under the laws of the State of Maine with a mailing address of 2 Main Street, Topsham, ME 04086 ("Grantor"), for consideration paid, grants to **J & B PARTNERS, LLC**, a limited liability company formed under the laws of the State of Maine with a mailing address of 24 North Ave, Saco ME 04072, with Quitclaim Covenant, all of Grantor's interest in the property located at 110 Main Street, the City of Saco, County of York, State of Maine, and buildings and improvements thereon, as more particularly described as follows:

A certain lot or parcel of land together with the buildings and improvements thereon, situated on Factory Island in Saco, York County, Maine, and more particularly bounded and described as follows, and more particularly depicted on the plan entitled PARTIAL ALTA/ACSM LAND TITLE SURVEY, sheet S2, dated January 25, 2007, revised August 20, 2007, prepared by Oak Engineers (the "ALTA East Plan"):

Beginning at an iron rod that is located on the northeasterly side of the granite seawall along the easterly side of the west branch of the Saco River at the southerly corner of land now or formerly of Central Maine Power;

Thence N 10°33'00" W a distance of 168.88' to a point;
 Thence N 50°02'15" E a distance of 235.65' to a point near an iron rod;
 Thence N 29°29'30" W a distance of 139.35' to an iron rod with cap #1201;
 Thence N 71°37'30" E a distance of 196.49' to the base of a bent iron bolt;
 Thence continuing N 71°37'30" E to the thread of the east branch of the Saco River;
 Thence southerly along the thread of the east branch of the Saco River to the intersection with the thread of the west branch of the Saco River;
 Thence westerly by the thread of the West Branch of the Saco River to a point located S 10°33'00" E of the point of the beginning.
 Thence N 10°33'00" W to the point of beginning.

Containing approximately 5.84 acres of land to the bank of the Saco River.

Together with a Non-exclusive easement over that portion of land now of Central Maine Power Company more particularly bounded and depicted as the "Proposed Easement, Central Maine Power Co. to Island Associates" on the plan entitled PLAN SHOWING PROPOSED LEASES AND EASEMENT ON FACTORY ISLAND, SACO, MAINE, recorded in the York County Registry of Deeds in Plan Book 194, Page 2, and as set forth in Instrument of Conveyance and Release Agreement made by and among Central Maine Power Company and Island Associates, et al. effective August 7, 1986 and recorded in the said Registry of Deeds in Book 5481, Page 15.

Maine R.E. Transfer Tax Paid

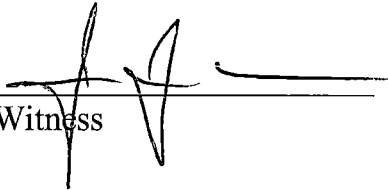
David Ordway PO Box 1179 Saco ME 04072

← 2p

Meaning and intending to convey the same premises described in the Quitclaim Deed from Cutts Island Group, dated October 1, 2007, and recorded in York Registry of Deed in Book 15270, Page 401.

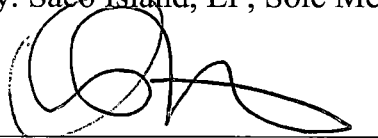
The above-described premises are also conveyed together with and subject to the grading easement given by Central Maine Power Company to Saco Island East, LLC, dated October 1, 2007, recorded in said Registry of Deeds in Book 15270, Page 466.

Witness my hand and seal this 8th day of August, 2017



Witness

SACO ISLAND EAST, LLC
By: ~~Saco Island~~, LP, Sole Member

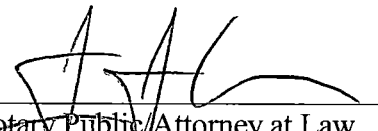


By: Kevin J. Mattson
Manager of SI Development, LLC
General Partner of Saco Island, LP

STATE OF MAINE
YORK, ss.

August 8, 2017

Then personally appeared before me the above-named Kevin J. Mattson, Manager of SI Development, LLC, General Partner of Saco Island, LP, sole Member of Saco Island East, LLC, and acknowledged the foregoing instrument to be his free act and deed in his said capacity.



Notary Public/Attorney at Law
David J. Perkins

ATTACHMENT C
MUNICIPAL REVIEW FORM

DEPARTMENT OF ENVIRONMENTAL PROTECTION
Bureau of Land and Water Quality
State House Station 17
Augusta, Maine 04333
Tel: (207) 287-2111

FOR DEP USE

#L- _____
Date Received _____

**NOTIFICATION OF APPLICATION ACCEPTANCE
MUNICIPAL REVIEW OF DEVELOPMENT**
(38 M.R.S.A. Section 489-A)

This form is to be used by a registered municipality to notify the Department upon the acceptance of an application for review pursuant to 38 M.R.S.A. Section 489-A. This form must be received by the Department within 14 days of acceptance of an application. The municipality must also submit one copy of the project application and one copy of the record of review and action.

If the application which is the subject of this notice should subsequently be amended during the review process, this form should also be used to submit notice to the Department of the amendment.

Municipality: Saco _____

Contact Person Bob Hamblen - City Planner _____

Address and Phone: 300 Main Street; Saco, ME 04072; 207.282.3487 _____

Project Applicant: Saco Island Ventures LLC - Attn: Ted Moore _____

Address and Phone: 8 Doaks Lane Marblehead MA - 01945; 617-901-8311 _____

Title of Project: Saco Harborside at Factory Island East _____

Is there a pre-existing DEP # for this project Yes IF yes, what is it? L-23633-87-B-N _____

Date Accepted as Complete By Municipality: _____

I. Type of Project for which permit is sought: (Check one)

Subdivisions as described in Section 482, subsection 5 of more than 20 acres but less than 100 acres.

_____ Authority to enforce the Performance Standards for Quarries, 38 M.R.S.A. §490-DD.

_____ Authority to enforce the Performance Standards for Excavations for Borrow, Clay, Topsoil or Silt,
38

M.R.S.A.. §490-J.

_____ A project generating 100 to 200 passenger car equivalents at peak hour.

II Description of Project (Include number of units or lots, parcel size, footprint, etc.)

Proposed mixed use site development at Main Street in Saco, ME. The 5.95+ acre property is identified on Tax Map 037/Lot 006 and 0.80 acre; Tax Map 037/Lot 5-1 (leased by CMP) with a total acreage of 6.75 acres.

- 12 duplex townhouse structures containing a total of 24 three-bedroom units, private access drive, utilities and drainage infrastructure.

III. Submit as attachments to this form:

- A. One copy of complete application filed with municipality (include site plans);
- B. Identification of any outside review agents or consultant who will be performing reviews of any aspect of the application;
- C. One copy of the legal notices served by the municipality.

NOTE: APPLICANT IS ADVISED TO REVIEW THE NATURAL RESOURCES PROTECTION ACT 38 M.R.S.A. SECTIONS 480-A THROUGH 480-U (N.R.P.A.) TO ENSURE CONSISTENCY WITH THAT LAW. THE MUNICIPALITY'S DELEGATED REVIEW AUTHORITY PURSUANT TO 38 M.R.S.A. SECTION 489-A DOES NOT EXTEND TO THE N.R.P.A. IF AN N.R.P.A. PERMIT IS NECESSARY IT MUST BE OBTAINED FROM THE DEPARTMENT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

Town or City of: _____ DATE: _____

By: _____

Print Name: _____

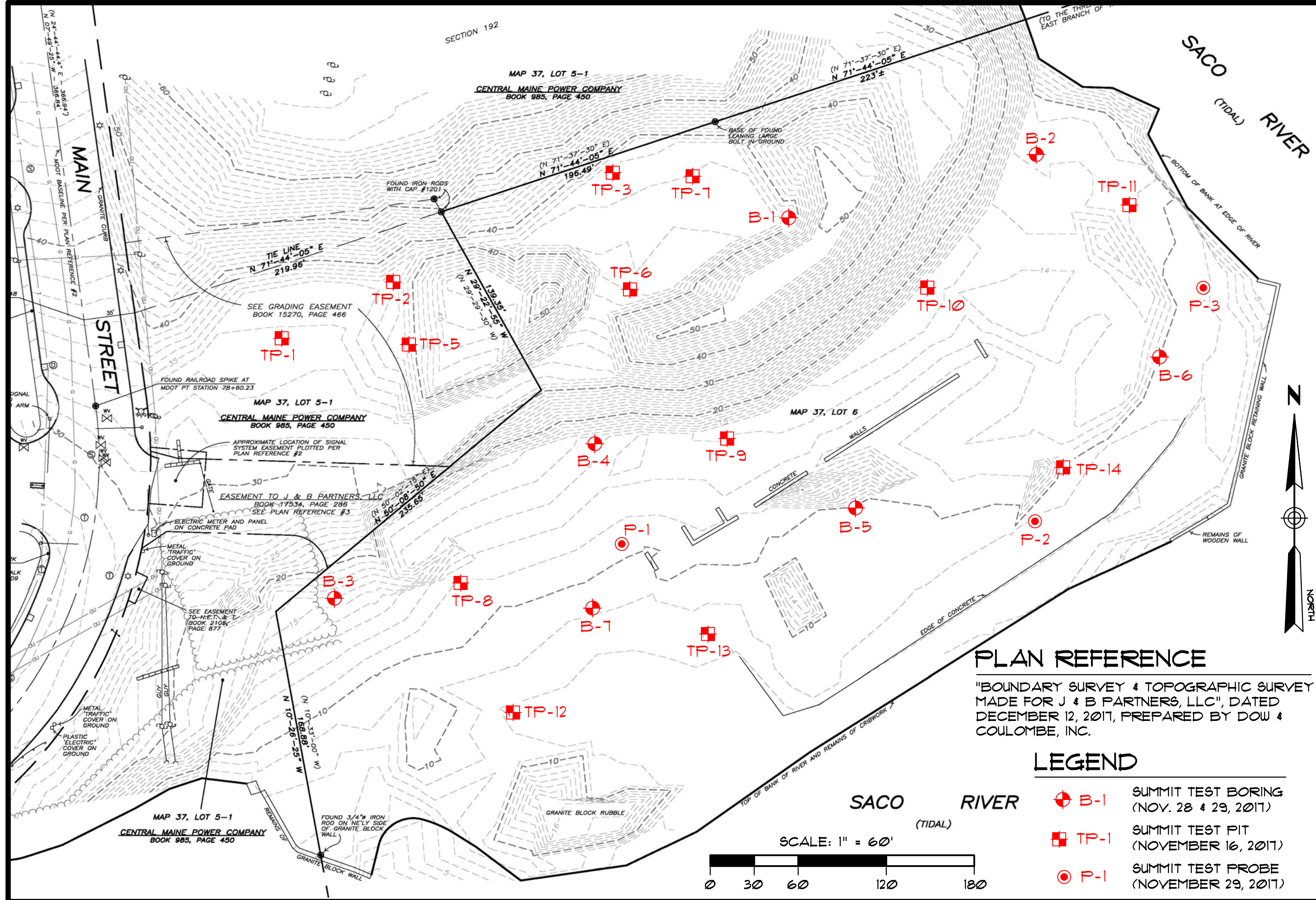
and Title: _____

ATTACHMENT D

GEOTECHNICAL INFORMATION

ATTACHMENT J

GEOTECHNICAL EXPLORATION MAP AND BORING LOGS



PLAN REFERENCE

"BOUNDARY SURVEY & TOPOGRAPHIC SURVEY MADE FOR J & B PARTNERS, LLC", DATED DECEMBER 12, 2017, PREPARED BY DOW & COULOMBE, INC.

LEGEND

- B-1 SUMMIT TEST BORING (NOV. 28 & 29, 2017)
- TP-1 SUMMIT TEST PIT (NOVEMBER 16, 2017)
- P-1 SUMMIT TEST PROBE (NOVEMBER 29, 2017)

<p>PROJECT: PROPOSED SITE DEVELOPMENT SACO ISLAND EAST - MAIN STREET - SACO, MAINE</p>	<p>CLIENT: BD SHERIDAN LLC</p>	<p>DATE: DEC. 14, 2017</p>
<p>TITLE: EXPLORATION LOCATION PLAN</p>		
<p>SCALE: 1" = 60'</p>	<p>DRAWN BY: KRF</p>	<p>APPR. BY: WMP</p>
<p>173 PLEASANT STREET ROCKLAND, ME 04841 Tel: (207) 318-1161</p>		
<p>SUMMIT GEOENGINEERING SERVICES</p>		
<p>145 LISBON ST. - SUITE 101 LEWISTON, ME 04240 Tel: (207) 516-3313</p>		
<p>PROJ.#: 17104</p>		
<p>FIGURE: 1</p>		

EXPLORATION COVER SHEET

The exploration logs are prepared by the geotechnical engineer from both field and laboratory data. Soil descriptions are based upon the Unified Soil Classification System (USCS) per ASTM D2487 and/or ASTM D2488 as applicable. Supplemental descriptive terms for estimated particle percentage, color, density, moisture condition, and bedrock may also be included to further describe conditions.

Drilling and Sampling Symbols:

SS = Split Spoon Sample	Hyd = Hydraulic Advancement of Drilling Rods
UT = Thin Wall Shelby Tube	Push = Direct Push of Drilling Rods
SSA = Solid Stem Auger	WOH = Weight of Hammer
HSA = Hollow Stem Auger	WOR = Weight of Rod
RW = Rotary Wash	PI = Plasticity Index
SV = Shear Vane	LL = Liquid Limit
PP = Pocket Penetrometer	W = Natural Water Content
RC = Rock Core Sample	USCS = Unified Soil Classification System
FV = Field Vane Shear Test	Su = Undrained Shear Strength
PS = Concrete Punch Sample	Su(r) = Remolded Shear Strength

Water Level Measurements:

Water levels indicated on the boring logs are the levels measured in the boring at the times indicated. In pervious soils, the indicated elevations are considered reliable groundwater levels. In impervious soils, the accurate determination of groundwater elevations may not be possible, even after several days of observations. Groundwater monitoring wells may be required to record accurate depths and fluctuation.

Gradation Description and Terminology:

Boulders:	Over 12 inches	Trace:	Less than 5%
Cobbles:	12 inches to 3 inches	Little:	5% to 15%
Gravel:	3 inches to No.4 sieve	Some:	15% to 30%
Sand:	No.4 to No. 200 sieve	Silty, Sandy, etc.:	Greater than 30%
Silt:	No. 200 sieve to 0.005 mm		
Clay:	less than 0.005 mm		

Density of Granular Soils and Consistency of Cohesive Soils:

CONSISTENCY OF COHESIVE SOILS		DENSITY OF GRANULAR SOILS	
SPT N-value blows/ft	Consistency	SPT N-value blows/ft	Relative Density
0 to 2	Very Soft	0 to 4	Very Loose
2 to 4	Soft	5 to 10	Loose
5 to 8	Firm	11 to 30	Compact
9 to 15	Stiff	31 to 50	Dense
16 to 30	Very Stiff	>50	Very Dense
>30	Hard		



SOIL BORING LOG

Boring #: **B-1**

Project: Proposed Development
 Location: Main Street (Saco Island)
 City, State: Saco, Maine

Project #: 17104
 Sheet: 1 of 1
 Chkd by:

Drilling Co: Summit Geoengeering Services, Inc. Boring Elevation: 43.0 ft. +/-
 Driller: Craig Coolidge, P.E. Reference: Dow and Coulombe, Inc. plan dated December 12, 2017
 Summit Staff: Mat Hardison, E.I., Brett Deyling, P.E. Date started: 11/29/2017 Date Completed: 11/29/2017

DRILLING METHOD		SAMPLER		ESTIMATED GROUND WATER DEPTH			
Vehicle: Tracked	Length: 24" SS	Date	Depth	Elevation	Reference		
Model: AMS Power Probe	Diameter: 2"OD/1.5"ID	11/29/2017	-		None encountered		
Method: 2.25" HSA	Hammer: 140 lb						
Hammer Style: Auto	Method: ASTM D1586						

Depth (ft.)	SAMPLER				Elev. (ft.)	SAMPLE DESCRIPTION	Geological/ Test Data	Geological Stratum
	No.	Pen/Rec (in)	Depth (ft)	blows/6"				
1	S-1	24/8	0 to 2	3	43'	Dark brown Sandy SILT, brick fragments, little Gravel and Cobble pieces, trace Organics (rootlets, branches), humid, dense, ML Cobble pieces, rock fragments Cobbles/debris encountered during augering No recovery, stopped sampling due to tilted spoon, likely kicked off by Cobble Unable to sample, auger advancing through Boulders and Cobbles, very dense drilling ↓ Auger penetrated through rock fill at 12'		FILL (BLASTED ROCK)
				11				
				27				
2				16				
	S-2	24/3	2 to 4	30/6"				
3								
4								
5								
	S-3	24/0	5 to 7	2				
6				4/2"				
7								
8								
9								
10								
11								
12					31.0'			
13							GLACIAL TILL	
14								
15								
	S-4	24/22	15 to 17	4		Olive brown fine to medium SAND, little to some Gravel and Silt, trace Clay in upper 8", moderately mottled, occasional Cobble pieces, humid, dense, SM		
16				23				
				20				
17				19	26.0'			
18						End of Boring at 17.0 feet, no refusal		
19								
20								
21								
22								

Granular Soils		Cohesive Soils		% Composition ASTM D2487	NOTES: PP = Pocket Penetrometer, MC = Moisture Content LL = Liquid Limit, PI = Plastic Index, FV = Field Vane Test Su = Undrained Shear Strength, Su(r) = Remolded Shear Strength Bedrock Joints Shallow = 0 to 35 degrees Dipping = 35 to 55 degrees Steep = 55 to 90 degrees Boulders = diameter > 12 inches, Cobbles = diameter < 12 inches and > 3 inches Gravel = < 3 inch and > No 4, Sand = < No 4 and >No 200, Silt/Clay = < No 200	Soil Moisture Condition Dry: S = 0% Humid: S = 1 to 25% Damp: S = 26 to 50% Moist: S = 51 to 75% Wet: S = 76 to 99% Saturated: S = 100%
Blows/ft.	Density	Blows/ft.	Consistency			
0-4	V. Loose	<2	V. soft	< 5% Trace		
5-10	Loose	2-4	Soft	5-15% Little		
11-30	Compact	5-8	Firm	15-30% Some		
31-50	Dense	9-15	Stiff	> 30% With		
>50	V. Dense	16-30	V. Stiff			
		>30	Hard			



SOIL BORING LOG

Boring #: **B-2**

Project: Proposed Development
 Location: Main Street (Saco Island)
 City, State: Saco, Maine

Project #: 17104
 Sheet: 1 of 1
 Chkd by:

Drilling Co: Summit Geoengineering Services, Inc. Boring Elevation: 11.8 ft. +/-
 Driller: Craig Coolidge, P.E. Reference: Dow and Coulombe, Inc. plan dated December 12, 2017
 Summit Staff: Mat Hardison, E.I., Brett Deyling, P.E. Date started: 11/29/2017 Date Completed: 11/29/2017

DRILLING METHOD		SAMPLER		ESTIMATED GROUND WATER DEPTH			
Vehicle:	Tracked	Length:	24" SS	Date	Depth	Elevation	Reference
Model:	AMS Power Probe	Diameter:	2"OD/1.5"ID	11/29/2017	13.0 ft.	-1.2 ft. +/-	Observed on soil samples and augers
Method:	2.25" HSA	Hammer:	140 lb				
Hammer Style:	Auto	Method:	ASTM D1586				

Depth (ft.)	SAMPLER				Elev. (ft.)	SAMPLE DESCRIPTION	Geological/ Test Data	Geological Stratum
	No.	Pen/Rec (in)	Depth (ft)	blows/6"				
1	S-1	24/10	0 to 2	2	9.8'	Dark brown to black Gravelly SILT, frequent rootlets and leaf matter, little to some Sand, trace Coal pieces, humid, loose, ML		FILL
				3				
				3				
2				4	9.8'			
	S-2	24/14	2 to 4	5				
				6				
3				6	9.8'	Olive brown Silty CLAY (reworked), intermixed Gravel and Sand, heavily mottled, slightly blocky, humid, stiff, CL	PP = 3,500 psf to 6,000 psf	
				6				
				7				
4				7	9.8'			
5					9.8'			
6	S-3	24/16	5 to 7	2	4.8'	Similar to above, moist, moderately mottled, increasing Sand and Gravel content, Sand seams at 5.8' depth Gravel seam at 6.5'	PP = 1,500 psf	
				3				
				5				
7				5	4.8'			
8	S-4	24/18	7 to 9	2	4.8'	Olive SILT, little Gravel and medium to coarse Sand, trace Clay, slightly mottled, moist, firm to stiff, ML	PP = 3,000 psf	
				6				
				5				
9				8	4.8'			
10					4.8'			
11	S-5	24/12	10 to 12	3	1.3'	Similar to above, trace to little Clay		
				18				
				12				
12				12	1.3'	Reddish brown Gravelly SAND, little to some Silt, trace Clay, moist, dense, SP-SM		GLACIAL TILL
13	S-6	24/12	12 to 14	10	1.3'	Similar to above, wet, some Silt, SM		
				22				
				24				
14				50/1"	-1.8	End of Boring at 13.6 feet, Spoon and Auger Refusal		PROBABLE BEDROCK
15								
16								
17								
18								
19								
20								
21								
22								

Granular Soils		Cohesive Soils		% Composition ASTM D2487	NOTES:	Soil Moisture Condition
Blows/ft.	Density	Blows/ft.	Consistency			
0-4	V. Loose	<2	V. soft		PP = Pocket Penetrometer, MC = Moisture Content	Dry: S = 0%
5-10	Loose	2-4	Soft	< 5% Trace	LL = Liquid Limit, PI = Plastic Index, FV = Field Vane Test	Humid: S = 1 to 25%
11-30	Compact	5-8	Firm	5-15% Little	Su = Undrained Shear Strength, Su(r) = Remolded Shear Strength	Damp: S = 26 to 50%
31-50	Dense	9-15	Stiff	15-30% Some	Shallow = 0 to 35 degrees	Moist: S = 51 to 75%
>50	V. Dense	16-30	V. Stiff	> 30% With	Dipping = 35 to 55 degrees	Wet: S = 76 to 99%
		>30	Hard		Steep = 55 to 90 degrees	Saturated: S = 100%
					Boulders = diameter > 12 inches, Cobbles = diameter < 12 inches and > 3 inches	
					Gravel = < 3 inch and > No 4, Sand = < No 4 and >No 200, Silt/Clay = < No 200	



SOIL BORING LOG

Boring #: **B-3**
 Project #: 17104
 Sheet: 1 of 2
 Chkd by:

Project: Proposed Development
 Location: Main Street (Saco Island)
 City, State: Saco, Maine

Drilling Co: Summit Geoengineering Services, Inc. Boring Elevation: 15.8 ft. +/-
 Driller: Craig Coolidge, P.E. Reference: Dow and Coulombe, Inc. plan dated December 12, 2017
 Summit Staff: Mat Hardison, E.I., Brett Deyling, P.E. Date started: 11/28/2017 Date Completed: 11/28/2017

DRILLING METHOD		SAMPLER		ESTIMATED GROUND WATER DEPTH			
Vehicle:	Tracked	Length:	24" SS	Date	Depth	Elevation	Reference
Model:	AMS Power Probe	Diameter:	2"OD/1.5"ID	11/28/2017	14.3 ft.	1.5 ft. +/-	30' of Augers in hole (10:00 AM)
Method:	2.25" HSA	Hammer:	140 lb	11/28/2017	7.4 ft.	8.4 ft. +/-	Augers pulled (10:30 AM)
Hammer Style:	Auto	Method:	ASTM D1586				

Depth (ft.)					Elev. (ft.)	SAMPLE DESCRIPTION	Geological/ Test Data	Geological Stratum
	No.	Pen/Rec (in)	Depth (ft)	blows/6"				
1	S-1	24/8	0 to 2	5	8.8'	Light brown fine Gravelly SAND, little Silt, occasional Asphalt pieces, Brick fragments in spoon tip (halted spoon advance), humid, compact, SP-SM		FILL
				8				
				11				
2				3/0"		Dense drilling from 2' to 3' depth, brick fragments and Gravel/Cobble pieces in spoils		
3								
4								
5								
6	S-2	24/20	5 to 7	4	8.8'	Dark gray to black SILT, little Clay and Sand, frequent Coal and Brick pieces, occasional Wood (lumber) and black Ash, compact, humid, ML	PP = 1,000 psf to 3,000 psf	
7				7				
8				6				
9				5				
10	S-3	24/8	7 to 9	4	8.8'	Olive gray Silty CLAY, moist, trace intermixed Sand and Gravel, Coal in bottom 4", firm to stiff, humid, CL	Groundwater PP = 5,000 psf to 6,000 psf	
11				6				
12				4				
13				3				
14								
15								
16	S-4	24/24	10 to 12	WH	5.3'	Black-stained SILT, little Sand, trace Clay and Gravel	PP = 500 psf	GLACIAL MARINE
17				1				
18				WH				
19				1				
20	S-5	24/24	12 to 14	3	5.3'	Olive gray SILT, little Clay and Sand, moist to wet, very soft, ML	PP = 8,000 psf to >9,000 psf	
21				5				
22				7				
23				7				
24								
25								
26	S-6	24/20	15 to 17	4	5.3'	Olive gray Clayey SAND, little to some Silt, heavily mottled, wet, loose, SC	PP = 4,500 psf to 7,000 psf	
27				5				
28				4				
29				6				
30	S-7	24/20	17 to 19	4	5.3'	Similar to above, trace to little Gravel, occasional Sand seam	PP = 2,000 psf to 3,000 psf	
31				4				
32				5				
33				7				
34								
35								
36								
37								
38	S-8	24/16	20 to 22	WH	-4.2'	Olive brown Silty fine to medium SAND, very loose, wet, heavily mottled, SM	PP = 2,500 psf to 3,500 psf	
39				1				
40				2				
41				3	-5.2'	Olive brown Silty CLAY, heavily mottled, firm, CL		
42								
43								

Granular Soils		Cohesive Soils		% Composition ASTM D2487	NOTES: PP = Pocket Penetrometer, MC = Moisture Content LL = Liquid Limit, PI = Plastic Index, FV = Field Vane Test Su = Undrained Shear Strength, Su(r) = Remolded Shear Strength Shallow = 0 to 35 degrees Dipping = 35 to 55 degrees Steep = 55 to 90 degrees Boulders = diameter > 12 inches, Cobbles = diameter < 12 inches and > 3 inches Gravel = < 3 inch and > No 4, Sand = < No 4 and >No 200, Silt/Clay = < No 200	Soil Moisture Condition Dry: S = 0% Humid: S = 1 to 25% Damp: S = 26 to 50% Moist: S = 51 to 75% Wet: S = 76 to 99% Saturated: S = 100%
Blows/ft.	Density	Blows/ft.	Consistency			
0-4	V. Loose	<2	V. soft			
5-10	Loose	2-4	Soft	< 5% Trace		
11-30	Compact	5-8	Firm	5-15% Little		
31-50	Dense	9-15	Stiff	15-30% Some		
>50	V. Dense	16-30	V. Stiff	> 30% With		
		>30	Hard			



SOIL BORING LOG

Boring #: **B-3**

Project: Proposed Development
 Location: Main Street (Saco Island)
 City, State: Saco, Maine

Project #: 17104
 Sheet: 2 of 2
 Chkd by:

Drilling Co: Summit Geoengineering Services, Inc. Boring Elevation: 15.8 ft. +/-
 Driller: Craig Coolidge, P.E. Reference: Dow and Coulombe, Inc. plan dated December 12, 2017
 Summit Staff: Mat Hardison, E.I., Brett Deyling, P.E. Date started: 11/28/2017 Date Completed: 11/28/2017

DRILLING METHOD		SAMPLER		ESTIMATED GROUND WATER DEPTH			
Vehicle:	Tracked	Length:	24" SS	Date	Depth	Elevation	Reference
Model:	AMS Power Probe	Diameter:	2"OD/1.5"ID	11/28/2017	14.3 ft.	1.5 ft. +/-	30' of Augers in hole (10:00 AM)
Method:	2.25" HSA	Hammer:	140 lb	11/28/2017	7.4 ft.	8.4 ft. +/-	Augers pulled (10:30 AM)
Hammer Style:	Auto	Method:	ASTM D1586				

Depth (ft.)	SAMPLER				Elev. (ft.)	SAMPLE DESCRIPTION	Geological/ Test Data	Geological Stratum
	No.	Pen/Rec (in)	Depth (ft)	blows/6"				
23								GLACIAL MARINE
24								
25								
26	S-9	24/6	25 to 27	5	-12.2'	Olive brown fine to medium SAND, trace Silt, wet, compact, SP		GLACIAL TILL
27				7		Gray Gravelly SILT, little Sand, trace Clay, wet, compact, ML		
28				8				
29				10				
30						Augered to 30' depth, unable to sample due to running sands		
31								PROBABLE BEDROCK
32					-16.5'			
33						End of Boring at 32.3 feet, Auger Refusal		
34								
35								
36								
37								
38								
39								
40								
41								
42								
43								
44								

Granular Soils		Cohesive Soils		% Composition ASTM D2487	NOTES: PP = Pocket Penetrometer, MC = Moisture Content LL = Liquid Limit, PI = Plastic Index, FV = Field Vane Test Su = Undrained Shear Strength, Su(r) = Remolded Shear Strength Shallow = 0 to 35 degrees Dipping = 35 to 55 degrees Steep = 55 to 90 degrees Boulders = diameter > 12 inches, Cobbles = diameter < 12 inches and > 3 inches Gravel = < 3 inch and > No 4, Sand = < No 4 and >No 200, Silt/Clay = < No 200	Soil Moisture Condition Dry: S = 0% Humid: S = 1 to 25% Damp: S = 26 to 50% Moist: S = 51 to 75% Wet: S = 76 to 99% Saturated: S = 100%
Blows/ft.	Density	Blows/ft.	Consistency			
0-4	V. Loose	<2	V. soft			
5-10	Loose	2-4	Soft	< 5% Trace		
11-30	Compact	5-8	Firm	5-15% Little		
31-50	Dense	9-15	Stiff	15-30% Some		
>50	V. Dense	16-30	V. Stiff	> 30% With		
		>30	Hard			



SOIL BORING LOG

Boring #: **B-4**

Project: Proposed Development
 Location: Main Street (Saco Island)
 City, State: Saco, Maine

Project #: 17104
 Sheet: 1 of 1
 Chkd by:

Drilling Co: Summit Geoengineering Services, Inc. Boring Elevation: 13.2 ft. +/-
 Driller: Craig Coolidge, P.E. Reference: Dow and Coulombe, Inc. plan dated December 12, 2017
 Summit Staff: Mat Hardison, E.I., Brett Deyling, P.E. Date started: 11/29/2017 Date Completed: 11/29/2017

DRILLING METHOD		SAMPLER		ESTIMATED GROUND WATER DEPTH			
				Date	Depth	Elevation	Reference
Vehicle:	Tracked	Length:	24" SS	11/29/2017	-		None encountered
Model:	AMS Power Probe	Diameter:	2"OD/1.5"ID				
Method:	2.25" HSA	Hammer:	140 lb				
Hammer Style:	Auto	Method:	ASTM D1586				

Depth (ft.)	SAMPLER				Elev. (ft.)	SAMPLE DESCRIPTION	Geological/ Test Data	Geological Stratum
	No.	Pen/Rec (in)	Depth (ft)	blows/6"				
1	S-1	24/16	0 to 2	1	8.2'	Black Sandy SILT, frequent Coal and Organics (wood, leaf matter), trace Gravel, humid, loose, ML	PP = 3,500 psf to 7,500 psf	FILL
				4				
				4				
				5				
				3				
2	S-2	24/20	2 to 4	3	8.2'	Olive brown Clayey SILT, little Sand, trace Gravel, heavily mottled, humid, stiff, ML	PP = 3,500 psf to 7,500 psf	FILL
				3				
				6				
3				7	8.2'			
				8				
4				11	8.2'	Olive brown Silty SAND, little to some Gravel, trace Clay, Cobble pieces in spoon tip, moderately mottled, compact, humid, SM		GLACIAL TILL
				13				
5				29	8.2'	Same as above, rock fragments in spoon tip, dense		GLACIAL TILL
				23				
6	S-3	24/16	5 to 7	8	8.2'	Very dense drilling below 8.5 feet. Offset hole and re-augered to depth, very dense below 8'		GLACIAL TILL
				11				
7				27	8.2'			GLACIAL TILL
				26				
8				28	8.2'			GLACIAL TILL
				28				
9					8.2'			GLACIAL TILL
10	S-4	24/8	7 to 9	23	8.2'	Rock fragments, little Silt and Sand		GLACIAL TILL
				27				
11				26	8.2'			GLACIAL TILL
				26				
12	S-5	24/2	10 to 12	30/3"	8.2'	End of Boring at 11.0 feet, Spoon and Auger Refusal		PROBABLE BEDROCK
13					8.2'			PROBABLE BEDROCK
14					8.2'			PROBABLE BEDROCK
15					8.2'			PROBABLE BEDROCK
16					8.2'			PROBABLE BEDROCK
17					8.2'			PROBABLE BEDROCK
18					8.2'			PROBABLE BEDROCK
19					8.2'			PROBABLE BEDROCK
20					8.2'			PROBABLE BEDROCK
21					8.2'			PROBABLE BEDROCK
22					8.2'			PROBABLE BEDROCK

Granular Soils		Cohesive Soils		% Composition ASTM D2487	NOTES: PP = Pocket Penetrometer, MC = Moisture Content LL = Liquid Limit, PI = Plastic Index, FV = Field Vane Test Su = Undrained Shear Strength, Su(r) = Remolded Shear Strength Shallow = 0 to 35 degrees Dipping = 35 to 55 degrees Steep = 55 to 90 degrees Boulders = diameter > 12 inches, Cobbles = diameter < 12 inches and > 3 inches Gravel = < 3 inch and > No 4, Sand = < No 4 and >No 200, Silt/Clay = < No 200	Soil Moisture Condition Dry: S = 0% Humid: S = 1 to 25% Damp: S = 26 to 50% Moist: S = 51 to 75% Wet: S = 76 to 99% Saturated: S = 100%
Blows/ft.	Density	Blows/ft.	Consistency			
0-4	V. Loose	<2	V. soft	< 5% Trace		
5-10	Loose	2-4	Soft	5-15% Little		
11-30	Compact	5-8	Firm	15-30% Some		
31-50	Dense	9-15	Stiff	> 30% With		
>50	V. Dense	16-30	V. Stiff			
		>30	Hard			



SOIL BORING LOG

Boring #: **B-5**

Project: Proposed Development
 Location: Main Street (Saco Island)
 City, State: Saco, Maine

Project #: 17104
 Sheet: 1 of 1
 Chkd by:

Drilling Co: Summit Geoengineering Services, Inc. Boring Elevation: 10.0 ft. +/-
 Driller: Craig Coolidge, P.E. Reference: Dow and Coulombe, Inc. plan dated December 12, 2017
 Summit Staff: Mat Hardison, E.I., Brett Deyling, P.E. Date started: 11/28/2017 Date Completed: 11/28/2017

DRILLING METHOD		SAMPLER		ESTIMATED GROUND WATER DEPTH			
Vehicle:	Tracked	Length:	24" SS	Date	Depth	Elevation	Reference
Model:	AMS Power Probe	Diameter:	2"OD/1.5"ID	11/28/2017	10.0 ft.	0.0 ft. +/-	Observed on soil samples
Method:	2.25" HSA	Hammer:	140 lb				
Hammer Style:	Auto	Method:	ASTM D1586				

Depth (ft.)	SAMPLER				Elev. (ft.)	SAMPLE DESCRIPTION	Geological/ Test Data	Geological Stratum
	No.	Pen/Rec (in)	Depth (ft)	blows/6"				
1						4" Concrete		CONCRETE
2	S-1	24/16	1 to 3	11	7.0'	Black Silty SAND, little Gravel, trace Clay, frequent Coal, trace Brick, humid, compact, SM		
3				10				
4				6				
5				4				
6	S-2	24/12	3 to 5	10		Grayish brown reworked Silty CLAY, moderately mottled, trace to little Sand, humid, CL		
7				8				
8				10				
9	S-3	24/18	5 to 7	3	0.0'	Similar to above, no Gravel, slightly mottled	PP = 3,000 psf to 6,000 psf	
10				4				
11				6				
12				6				
13	S-4	24/22	7 to 9	4		Brick fragments in bottom 6" of spoon	PP = 1,500 psf to 2,000 psf	
14				3		Reddish brown Silty CLAY, little to some Sand, wood (lumber) pieces in spoon tip, moist to wet, CL		
15				4				
16				3				
17	S-5	24/6	10 to 12	WH	-2.0'	Wood (lumber) pieces, intermixed Silt and Sand, wet	Groundwater	TIMBER CRIBBING
18				2				
19				2				
20	S-6	24/20	12 to 14	6	-3.0'	Olive gray Silty CLAY, wet, stiff	PP = 5,000 psf	GLACIAL MARINE
21				9				
22				9				
23				12	-5.5'	Olive gray Silty SAND, wet, slightly mottled, compact, SM		
24								
25								
26	S-7	24/18	15 to 17	7		Similar to above, not mottled		
27				11				
28				28	-11.7'	Gray Silty SAND, little Gravel, trace to little Clay, wet, dense, SM	PP = 5,000 psf to 5,500 psf	GLACIAL TILL
29				22				
30				14		Same as above		
31	S-8	24/16	17 to 19	14				
32				20				
33				14	0.0'			
34				12				
35								
36	S-9	24/14	20 to 22	13	-11.7'	Similar to above, increasing Gravel content		
37				17				
38				14				
39				50/2"		End of Boring at 21.7 feet, Spoon Refusal		PROBABLE BEDROCK

Granular Soils		Cohesive Soils		% Composition ASTM D2487	NOTES: PP = Pocket Penetrometer, MC = Moisture Content LL = Liquid Limit, PI = Plastic Index, FV = Field Vane Test Su = Undrained Shear Strength, Su(r) = Remolded Shear Strength Shallow = 0 to 35 degrees Dipping = 35 to 55 degrees Steep = 55 to 90 degrees Boulders = diameter > 12 inches, Cobbles = diameter < 12 inches and > 3 inches Gravel = < 3 inch and > No 4, Sand = < No 4 and >No 200, Silt/Clay = < No 200	Soil Moisture Condition Dry: S = 0% Humid: S = 1 to 25% Damp: S = 26 to 50% Moist: S = 51 to 75% Wet: S = 76 to 99% Saturated: S = 100%
Blows/ft.	Density	Blows/ft.	Consistency			
0-4	V. Loose	<2	V. soft	< 5% Trace		
5-10	Loose	2-4	Soft	5-15% Little		
11-30	Compact	5-8	Firm	15-30% Some		
31-50	Dense	9-15	Stiff	> 30% With		
>50	V. Dense	16-30	V. Stiff			
		>30	Hard			



SOIL BORING LOG

Boring #: **B-6**
 Project #: 17104
 Sheet: 1 of 1
 Chkd by:

Project: Proposed Development
 Location: Main Street (Saco Island)
 City, State: Saco, Maine

Drilling Co: Summit Geoengineering Services, Inc. Boring Elevation: 10.0 ft. +/-
 Driller: Craig Coolidge, P.E. Reference: Dow and Coulombe, Inc. plan dated December 12, 2017
 Summit Staff: Mat Hardison, E.I., Brett Deyling, P.E. Date started: 11/28/2017 Date Completed: 11/28/2017

DRILLING METHOD		SAMPLER		ESTIMATED GROUND WATER DEPTH			
Vehicle:	Tracked	Length:	24" SS	Date	Depth	Elevation	Reference
Model:	AMS Power Probe	Diameter:	2"OD/1.5"ID	11/28/2017	9.5 ft.	0.5 ft. +/-	Observed on soil samples and augers
Method:	2.25" HSA	Hammer:	140 lb				
Hammer Style:	Auto	Method:	ASTM D1586				

Depth (ft.)					Elev. (ft.)	SAMPLE DESCRIPTION	Geological/ Test Data	Geological Stratum
	No.	Pen/Rec (in)	Depth (ft)	blows/6"				
						4" Concrete		CONCRETE
1	S-1	24/20	1 to 3	9	8.5'	3" Black ASH		
2				4		Olive brown Silty CLAY, little Sand and Gravel, moderately mottled and blocky, frequent rootlets, loose, humid, CL	PP = 6,000 psf to 8,500 psf	FILL
3				5				
4	S-2	24/20	3 to 5	6		Similar to above, heavily mottled, little intermixed Sand, trace wood pieces	PP = 4,500 psf to 6,000 psf	
5				8				
6	S-3	24/16	5 to 7	5		Similar to above, increasing Gravel, no wood pieces		
7				4				
8	S-4	24/18	7 to 9	4		Olive brown Silty CLAY, moderately mottled, slightly blocky, humid, stiff, CL	PP = 1,000 psf to 2,500 psf	
9				5				
10				5	0.5'			
11	S-5	24/10	10 to 12	1		Olive gray Silty CLAY, wet, moderately mottled, moist to wet, soft, CL	PP = 2,500 psf	GLACIAL MARINE
12				2				
13	S-6	24/12	12 to 14	1		Similar to above, firm, wood (natural) at 13.8' depth		
14				3				
15				3	-3.5'	Reddish brown Silty SAND, loose, wet		
16	S-7	24/8	15 to 17	11	-5.0'	Brown to gray Sandy GRAVEL, rock fragments in spoon tip, wet, compact to dense, GP		GLACIAL TILL
17				50/5"	-5.9'	End of Boring at 15.9 feet, Spoon Refusal		POSSIBLE BOULDER OR BEDROCK
18								
19								
20								
21								
22								

Granular Soils		Cohesive Soils		% Composition ASTM D2487	NOTES: PP = Pocket Penetrometer, MC = Moisture Content LL = Liquid Limit, PI = Plastic Index, FV = Field Vane Test Su = Undrained Shear Strength, Su(r) = Remolded Shear Strength Shallow = 0 to 35 degrees Dipping = 35 to 55 degrees Steep = 55 to 90 degrees Boulders = diameter > 12 inches, Cobbles = diameter < 12 inches and > 3 inches Gravel = < 3 inch and > No 4, Sand = < No 4 and >No 200, Silt/Clay = < No 200	Soil Moisture Condition Dry: S = 0% Humid: S = 1 to 25% Damp: S = 26 to 50% Moist: S = 51 to 75% Wet: S = 76 to 99% Saturated: S = 100%
Blows/ft.	Density	Blows/ft.	Consistency			
0-4	V. Loose	<2	V. soft			
5-10	Loose	2-4	Soft	< 5% Trace		
11-30	Compact	5-8	Firm	5-15% Little		
31-50	Dense	9-15	Stiff	15-30% Some		
>50	V. Dense	16-30	V. Stiff	> 30% With		
		>30	Hard			



SOIL BORING LOG

Boring #: **B-7**
 Project #: 17104
 Sheet: 1 of 2
 Chkd by:

Drilling Co: Summit Geoengineering Services, Inc. Boring Elevation: 9.2 ft. +/-
 Driller: Craig Coolidge, P.E. Reference: Dow and Coulombe, Inc. plan dated December 12, 2017
 Summit Staff: Mat Hardison, E.I., Brett Deyling, P.E. Date started: 11/28/2017 Date Completed: 11/28/2017

DRILLING METHOD		SAMPLER		ESTIMATED GROUND WATER DEPTH			
Vehicle:	Tracked	Length:	24" SS	Date	Depth	Elevation	Reference
Model:	AMS Power Probe	Diameter:	2"OD/1.5"ID	11/28/2017	7.4 ft.	1.8 ft. +/-	Measured with 5' Auger in hole (1:00 PM)
Method:	2.25" HSA	Hammer:	140 lb				
Hammer Style:	Auto	Method:	ASTM D1586				

Depth (ft.)	SAMPLER				Elev. (ft.)	SAMPLE DESCRIPTION	Geological/ Test Data	Geological Stratum
	No.	Pen/Rec (in)	Depth (ft)	blows/6"				
1	S-1	24/12	0 to 2	5	7.7'	Gray to brown medium SAND, mottled, trace to little Silt, moist, compact, SP-SM		
				10				
				11				
2				9	7.2'	Black Silty SAND, trace Clay and Gravel, occasional Coal		
	S-2	24/14	2 to 4	6				
				6				
3				5	3.7'	Reddish brown to black Silty SAND, frequent Coal, trace Clay and Gravel, humid, loose to compact, trace Brick fragments, SM		
				5				
				4				
4				4	1.2'	Wood (lumber) pieces, wet, intermixed Clay and Silt	▽ Groundwater	TIMBER CRIBBING
				WH				
				6				
5				12	-4.3'	Did not sample at 7' due to presence of wood		
6	S-3	24/8	5 to 7	4	-11.3'	Gray Clayey SILT, some fine Sand, stiff, damp, ML	PP = 2,000 psf to 4,500 psf	
				6				
				5				
7				6		Similar to above, little to some Clay, trace Organics (natural wood pieces), stiff, wet	PP = 1,500 psf	
	S-4	24/24	10 to 12	9				
				6				
8				6		increasing Sand content in bottom 6", heavily mottled		
				6				
				6				
9	S-5	24/22	12 to 14	4		Gray medium SAND, little Silt, loose, wet, SP-SM		
				7				
				6				
10				6		Same as above		
				6				
				8				
11	S-6	24/20	15 to 17	WH		Cobble fragments and Gravel (angular), little intermixed Sand, wet, dense, GP		
				2				
				6				
12				8				
13								
14								
15								
16								
17								
18								
19								
20								
21	S-7	24/6	20 to 22	4				
				12				
				19				
22				25				

Granular Soils		Cohesive Soils		% Composition ASTM D2487	NOTES: PP = Pocket Penetrometer, MC = Moisture Content LL = Liquid Limit, PI = Plastic Index, FV = Field Vane Test Su = Undrained Shear Strength, Su(r) = Remolded Shear Strength Shallow = 0 to 35 degrees Dipping = 35 to 55 degrees Steep = 55 to 90 degrees Boulders = diameter > 12 inches, Cobbles = diameter < 12 inches and > 3 inches Gravel = < 3 inch and > No 4, Sand = < No 4 and >No 200, Silt/Clay = < No 200	Soil Moisture Condition Dry: S = 0% Humid: S = 1 to 25% Damp: S = 26 to 50% Moist: S = 51 to 75% Wet: S = 76 to 99% Saturated: S = 100%
Blows/ft.	Density	Blows/ft.	Consistency			
0-4	V. Loose	<2	V. soft	< 5% Trace		
5-10	Loose	2-4	Soft	5-15% Little		
11-30	Compact	5-8	Stiff	15-30% Some		
31-50	Dense	9-15	V. Stiff	> 30% With		
>50	V. Dense	16-30	Hard			



SOIL BORING LOG

Boring #: **B-7**

Project: Proposed Development
 Location: Main Street (Saco Island)
 City, State: Saco, Maine

Project #: 17104
 Sheet: 2 of 2
 Chkd by:

Drilling Co: Summit Geoengineering Services, Inc. Boring Elevation: 9.2 ft. +/-
 Driller: Craig Coolidge, P.E. Reference: Dow and Coulombe, Inc. plan dated December 12, 2017
 Summit Staff: Mat Hardison, E.I., Brett Deyling, P.E. Date started: 11/28/2017 Date Completed: 11/28/2017

DRILLING METHOD		SAMPLER		ESTIMATED GROUND WATER DEPTH			
				Date	Depth	Elevation	Reference
Vehicle:	Tracked	Length:	24" SS	11/28/2017	7.4 ft.	1.8 ft. +/-	Measured with 5' Auger in hole (1:00 PM)
Model:	AMS Power Probe	Diameter:	2"OD/1.5"ID				
Method:	2.25" HSA	Hammer:	140 lb				
Hammer Style:	Auto	Method:	ASTM D1586				

Depth (ft.)	SAMPLER				Elev. (ft.)	SAMPLE DESCRIPTION	Geological/ Test Data	Geological Stratum
	No.	Pen/Rec (in)	Depth (ft)	blows/6"				
23						Gray to brown medium to coarse SAND, trace Silt, wet, compact, SP		
24								
25								
26	S-8	24/20	25 to 27	7				
26				10				
26				8				
27				-				
28								
29								
30								
31	S-9	24/14	30 to 32	9		same as above, trace to little Silt, trace fine Gravel, rock fragments in spoon tip		
31				12				
31				15				
32				10				
33								
34								
34								
35					-25.2			
36								
37								
38								
39								
40								
41								
42								
43								
44								
35						End of Boring at 34.4 feet, Auger Refusal		PROBABLE BEDROCK

Granular Soils		Cohesive Soils		% Composition ASTM D2487	NOTES: PP = Pocket Penetrometer, MC = Moisture Content LL = Liquid Limit, PI = Plastic Index, FV = Field Vane Test Su = Undrained Shear Strength, Su(r) = Remolded Shear Strength Shallow = 0 to 35 degrees Dipping = 35 to 55 degrees Steep = 55 to 90 degrees Boulders = diameter > 12 inches, Cobbles = diameter < 12 inches and > 3 inches Gravel = < 3 inch and > No 4, Sand = < No 4 and >No 200, Silt/Clay = < No 200	Soil Moisture Condition Dry: S = 0% Humid: S = 1 to 25% Damp: S = 26 to 50% Moist: S = 51 to 75% Wet: S = 76 to 99% Saturated: S = 100%
Blows/ft.	Density	Blows/ft.	Consistency			
0-4	V. Loose	<2	V. soft			
5-10	Loose	2-4	Soft	< 5% Trace		
11-30	Compact	5-8	Firm	5-15% Little		
31-50	Dense	9-15	Stiff	15-30% Some		
>50	V. Dense	16-30	V. Stiff	> 30% With		
		>30	Hard			



SOIL PROBE LOG

Boring #: **P-1**

Project: Proposed Development
 Location: Main Street (Saco Island)
 City, State: Saco, Maine

Project #: 17104
 Sheet: 1 of 1
 Chkd by:

Drilling Co: Summit Geoengineering Services, Inc.
 Driller: Craig Coolidge, P.E.
 Summit Staff: Mat Hardison, E.I., Brett Deyling, P.E.

Boring Elevation: 10.5 ft. +/-
 Reference: Dow and Coulombe, Inc. plan dated December 12, 2017
 Date started: 11/29/2017 Date Completed: 11/29/2017

DRILLING METHOD		SAMPLER		ESTIMATED GROUND WATER DEPTH			
Vehicle:	Tracked	Length:				Reference	
Model:	AMS Power Probe	Diameter:	Date	Depth	Elevation		
Method:	Speartip	Hammer:	11/29/2017	-			
Hammer Style:	Auto	Method:					

Depth (ft.)	No.	Pen/Rec (in)	Depth (ft)	blows/6"	Elev. (ft.)	SAMPLE DESCRIPTION	Geological/ Test Data	Geological Stratum
1						Speartip Probe		GLACIAL MARINE
2								
3								
4								
5								
6								
7								
8								
19								GLACIAL TILL
20								
21					-10.5'			
22								
23								
24								
25								
26								
27								
28								
29								
30								
31					-21.6'			
32						End of Probe at 32.1 feet, Probable Bedrock		PROBABLE BEDROCK

Granular Soils		Cohesive Soils		% Composition ASTM D2487	NOTES: PP = Pocket Penetrometer, MC = Moisture Content LL = Liquid Limit, PI = Plastic Index, FV = Field Vane Test Su = Undrained Shear Strength, Su(r) = Remolded Shear Strength Bedrock Joints Shallow = 0 to 35 degrees Dipping = 35 to 55 degrees Steep = 55 to 90 degrees Boulders = diameter > 12 inches, Cobbles = diameter < 12 inches and > 3 inches Gravel = < 3 inch and > No 4, Sand = < No 4 and >No 200, Silt/Clay = < No 200	Soil Moisture Condition Dry: S = 0% Humid: S = 1 to 25% Damp: S = 26 to 50% Moist: S = 51 to 75% Wet: S = 76 to 99% Saturated: S = 100%
Blows/ft.	Density	Blows/ft.	Consistency			
0-4	V. Loose	<2	V. soft	< 5% Trace		
5-10	Loose	2-4	Soft	5-15% Little		
11-30	Compact	5-8	Firm	15-30% Some		
31-50	Dense	9-15	Stiff	> 30% With		
>50	V. Dense	16-30	V. Stiff			
		>30	Hard			



SOIL PROBE LOG

Boring #: **P-2**
 Project #: 17104
 Sheet: 1 of 1
 Chkd by:

Project: Proposed Development
 Location: Main Street (Saco Island)
 City, State: Saco, Maine

Drilling Co: Summit Geoengineering Services, Inc.
 Driller: Craig Coolidge, P.E.
 Summit Staff: Mat Hardison, E.I., Brett Deyling, P.E.

Boring Elevation: 9.0 ft. +/-
 Reference: Dow and Coulombe, Inc. plan dated December 12, 2017
 Date started: 11/29/2017 Date Completed: 11/29/2017

DRILLING METHOD		SAMPLER		ESTIMATED GROUND WATER DEPTH					
Vehicle:	Tracked	Length:				Date	Depth	Elevation	Reference
Model:	AMS Power Probe	Diameter:				11/29/2017	-		
Method:	Speartip	Hammer:							
Hammer Style:	Auto	Method:							

Depth (ft.)	No.	Pen/Rec (in)	Depth (ft)	blows/6"	Elev. (ft.)	SAMPLE DESCRIPTION	Geological/ Test Data	Geological Stratum
1						4" Concrete		CONCRETE
2						Speartip Probe		GLACIAL MARINE
3								
4								
5								
6								
7								
8								
20								
21					-12.0'			
22								GLACIAL TILL
23								
24								
25								
26								
27								
28								
29								
30								
31								
32								
33					-24.1'			
						End of Probe at 33.1 feet, Probable Bedrock		PROBABLE BEDROCK

Granular Soils		Cohesive Soils		% Composition ASTM D2487	NOTES:	Soil Moisture Condition
Blows/ft.	Density	Blows/ft.	Consistency			
0-4	V. Loose	<2	V. soft	< 5% Trace 5-15% Little 15-30% Some > 30% With	PP = Pocket Penetrometer, MC = Moisture Content LL = Liquid Limit, PI = Plastic Index, FV = Field Vane Test Su = Undrained Shear Strength, Su(r) = Remolded Shear Strength Shallow = 0 to 35 degrees Dipping = 35 to 55 degrees Steep = 55 to 90 degrees Boulders = diameter > 12 inches, Cobbles = diameter < 12 inches and > 3 inches Gravel = < 3 inch and > No 4, Sand = < No 4 and >No 200, Silt/Clay = < No 200	Dry: S = 0% Humid: S = 1 to 25% Damp: S = 26 to 50% Moist: S = 51 to 75% Wet: S = 76 to 99% Saturated: S = 100%
5-10	Loose	2-4	Soft			
11-30	Compact	5-8	Firm			
31-50	Dense	9-15	Stiff			
>50	V. Dense	16-30	V. Stiff			
		>30	Hard			



SOIL PROBE LOG

Boring #: **P-3**

Project: Proposed Development
 Location: Main Street (Saco Island)
 City, State: Saco, Maine

Project #: 17104
 Sheet: 1 of 1
 Chkd by:

Drilling Co: Summit Geoengineering Services, Inc.
 Driller: Craig Coolidge, P.E.
 Summit Staff: Mat Hardison, E.I., Brett Deyling, P.E.

Boring Elevation: 9.2 ft. +/-
 Reference: Dow and Coulombe, Inc. plan dated December 12, 2017
 Date started: 11/29/2017 Date Completed: 11/29/2017

DRILLING METHOD		SAMPLER		ESTIMATED GROUND WATER DEPTH			
Vehicle:	Tracked	Length:				Reference	
Model:	AMS Power Probe	Diameter:	Date	Depth	Elevation		
Method:	Speartip	Hammer:	11/29/2017	-			
Hammer Style:	Auto	Method:					

Depth (ft.)	No.	Pen/Rec (in)	Depth (ft)	blows/6"	Elev. (ft.)	SAMPLE DESCRIPTION	Geological/ Test Data	Geological Stratum
1						Speartip Probe		GLACIAL MARINE
2								
3								
4								
5								
6								
7								
8								
15								GLACIAL MARINE
16								
17								
18								
19								
20								
21								
22								
23					-13.8'			
24								
25					-16.3'	End of Probe at 25.7 feet, Probable Bedrock		GLACIAL TILL
26								
27								
28								

Granular Soils		Cohesive Soils		% Composition ASTM D2487	NOTES: PP = Pocket Penetrometer, MC = Moisture Content LL = Liquid Limit, PI = Plastic Index, FV = Field Vane Test Su = Undrained Shear Strength, Su(r) = Remolded Shear Strength Bedrock Joints Shallow = 0 to 35 degrees Dipping = 35 to 55 degrees Steep = 55 to 90 degrees Boulders = diameter > 12 inches, Cobbles = diameter < 12 inches and > 3 inches Gravel = < 3 inch and > No 4, Sand = < No 4 and >No 200, Silt/Clay = < No 200	Soil Moisture Condition			
Blows/ft.	Density	Blows/ft.	Consistency			Dry: S = 0%	Humid: S = 1 to 25%	Damp: S = 26 to 50%	Moist: S = 51 to 75%
0-4	V. Loose	<2	V. soft	< 5% Trace					
5-10	Loose	2-4	Soft	5-15% Little					
11-30	Compact	5-8	Firm	15-30% Some					
31-50	Dense	9-15	Stiff	> 30% With					
>50	V. Dense	16-30	V. Stiff						
		>30	Hard						



TEST PIT LOG

Test Pit # **TP-1**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104

Groundwater:
None Encountered

Contractor: Emery Brothers

Ground Surface Elevation: 33.8 ft. +/-

Equipment: Deere 135D Tracked Excavator

Reference: Dow and Coulombe, Inc. plan dated 12/12/2017

Summit Staff: M. Hardison, E.I.

Date: 11/16/2017

Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
1	2" Leaf Matter, heavy rootlets, brown Silt, dry	TOPSOIL
2	Gray-brown fine to medium SAND, some Silt and Gravel, Blasted bedrock fragments intermixed, humid, trace brick, SM	FILL
3	Transitions to Blasted Bedrock Fragments with little intermixed gray-brown Sand and Silt, trace brick	2.5' Hard Digging Blasted Bedrock Fragment Diameter = 4" to 2.5' Very Hard Digging
4	pieces, humid	
5		
6		
7		
8		
9	End of Test Pit at 8.7', no refusal	8.7'
10		
11		
12		
13		
14		
15		
16		
17		





TEST PIT LOG

Test Pit # **TP-2**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104

Groundwater:
None Encountered

Contractor: Emery Brothers

Ground Surface Elevation: 36.0 ft. +/-

Equipment: Deere 135D Tracked Excavator

Reference: Dow and Coulombe, Inc. plan dated 12/12/2017

Summit Staff: M. Hardison, E.I.

Date: 11/16/2017

Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
	4" Topsoil, Brown Sandy SILT, loose, rootlets	TOPSOIL
1	Blasted Bedrock Fragments, intermixed gray-brown Sand, Silt, and Gravel, trace Brick, humid	4" FILL Hard Digging Blasted Bedrock Diameter up to 22"
2		
3		
4		
5	Same as above	
6		
7		
8		
9	End of Test Pit at 8.0', no refusal	8.0'
10		
11		
12		
13		
14		
15		
16		
17		



TEST PIT LOG

Test Pit # **TP-3**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104

Groundwater:
None Encountered

Contractor: Emery Brothers

Ground Surface Elevation: 37.8 ft. +/-


Equipment: Deere 135D Tracked Excavator

Reference: Dow and Coulombe, Inc. plan dated 12/12/2017

Summit Staff: M. Hardison, E.I.

Date: 11/16/2017

Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
	4" Topsoil, Brown Sandy SILT, loose, rootlets	TOPSOIL
1	Blasted Bedrock Fragments, intermixed gray-brown Sand, Silt, and Gravel, humid	4" FILL Glass bottle, brick pieces, minor trash intermixed
2		
3		
4		
5	Olive gray Clayey SILT, slightly blocky and mottled, little Sand, humid, ML	4.0' GLACIAL MARINE Pocket Penetrometer = 5,000 psf to >9,000 psf
6	Light brown Gravelly fine to coarse SAND, little to some Silt, occasional cobbles, slightly mottled, SM	7.0' GLACIAL TILL Medium Dense Digging
7		
8		
9		
10		
11		
12	End of Test Pit at 11.2', Refusal on Probable Bedrock	PROBABLE BEDROCK
13		
14		
15		
16		
17		



TEST PIT LOG

Test Pit # **TP-5**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104

Groundwater:
None Encountered

Contractor: Emery Brothers

Ground Surface Elevation: 39.0 ft. +/-

Equipment: Deere 135D Tracked Excavator

Reference: Dow and Coulombe, Inc. plan dated 12/12/2017

Summit Staff: M. Hardison, E.I.

Date: 11/16/2017

Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
	4" to 6" Topsoil, Brown Sandy SILT, loose, rootlets	TOPSOIL
1	Brown fine Gravelly medium to coarse SAND, trace Silt, loose, humid, occasional Cobble and Brick	4" to 6"
2		Easy Digging
3		FILL
4		
5	Dark gray Sandy SILT, little black Ash, Brick pieces, Blasted Bedrock Fragments, dense	4.2' Hard Digging
6	Transitions to Blasted Bedrock Fragments with little intermixed gray-brown Sand and Silt, humid	6.0'
7		
8		
9	End of Test Pit at 8.2', no refusal	
10		
11		
12		
13		
14		
15		
16		
17		



TEST PIT LOG

Test Pit # **TP-6**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104

Groundwater:
None Encountered

Contractor: Emery Brothers

Ground Surface Elevation: 36.0 ft. +/-


Equipment: Deere 135D Tracked Excavator

Reference: Dow and Coulombe, Inc. plan dated 12/12/2017

Summit Staff: M. Hardison, E.I.

Date: 11/16/2017

Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
1	8" to 11" Topsoil, Brown Sandy SILT, loose, rootlets	
2	Blasted Bedrock Fragments, intermixed gray-brown Sand, Silt, and Gravel, trace Brick, humid	8" to 11"
3		Hard Digging
4		Blasted Bedrock Diameter up to 36"
5	Same as above	
6		
7		
8		
9	End of Test Pit at 8.0', no refusal	8.0'
10		
11		
12		
13		
14		
15		
16		
17		



TEST PIT LOG

Test Pit # **TP-7**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104

Groundwater:
None Encountered

Contractor: Emery Brothers

Ground Surface Elevation: 37.0 ft. +/-

Equipment: Deere 135D Tracked Excavator

Reference: Dow and Coulombe, Inc. plan dated 12/12/2017

Summit Staff: M. Hardison, E.I.

Date: 11/16/2017

Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
	6" to 8" Topsoil, Brown Sandy SILT, loose, rootlets	TOPSOIL
1	Blasted Bedrock Fragments, intermixed gray-brown Sand, Silt, and Gravel, trace Brick, humid	6" to 8"
2		FILL
		Hard Digging
3		
4		Blasted Bedrock Diameter up to 42"
5	Same as above	
6		Abandoned iron pipe at 6'
7		
8		Brick pieces at 7.5'
9	End of Test Pit at 8.0', no refusal	8.5'
10		
11		
12		
13		
14		
15		
16		
17		



TEST PIT LOG

Test Pit # **TP-8**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104

Groundwater:
None Encountered

Contractor: Emery Brothers

Ground Surface Elevation: 11.0 ft. +/-

Equipment: Deere 135D Tracked Excavator

Reference: Dow and Coulombe, Inc. plan dated 12/12/2017

Summit Staff: M. Hardison, E.I.

Date: 11/16/2017

Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
	6" to 7" Leaf Matter, little rootlets and Silt	TOPSOIL
1	Dark gray-blue Clayey SILT, little fine Gravel, occasional Ash and Brick pieces, humid, ML	Pocket Penetrometer = 7,000 psf
2		
3		
4		
5		
6		
7		
	Similar to above, increase in Gravel content, Cobbles, humid	Trace glass pieces and ceramic intermixed
8	Dark gray Silty CLAY, slightly mottled, moderately blocky, damp, trace Sand, CL	7.0' GLACIAL MARINE Pocket Penetrometer = 5,500 psf to 6,500 psf
9		
10		
11		
	same as above	
12	End of Test Pit at 11.0', no refusal	11.0'
13		
14		
15		
16		
17		



TEST PIT LOG

Test Pit # **TP-9**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104

Groundwater:
None Encountered

Contractor: Emery Brothers

Ground Surface Elevation: 13.0 ft. +/-


Equipment: Deere 135D Tracked Excavator

Reference: Dow and Coulombe, Inc. plan dated 12/12/2017

Summit Staff: M. Hardison, E.I.

Date: 11/16/2017

Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
1	9" to 10" Topsoil, Black SILT, heavy rootlets, ML	TOPSOIL
2	Orange-brown SAND, little to some Silt, intermixed (whole) bricks and Blasted Bedrock Fragments, humid, SM	9" to 10" FILL
3	Same as above, black staining	
4	Blue-gray Clayey SILT, heavily blocky and mottled, little Sand and Brick pieces, trace black Ash, ML	
5		4' Pocket Penetrometer = 3,000 psf
6		12" Diameter WOOD (tree trunk) at 6.5'
7	Gray Clayey SILT, humid to moist, trace Sand, ML	6.5'
8		GLACIAL MARINE
9		
10		
11	End of Test Pit at 9' to 10', Refusal on Probable Bedrock, bedrock sloping downwards in a southwestern direction	9' to 10' PROBABLE BEDROCK
12		
13		
14		
15		
16		
17		



TEST PIT LOG

Test Pit # **TP-10**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104

Groundwater:
None Encountered

Contractor: Emery Brothers

Ground Surface Elevation: 14.8 ft. +/-

Equipment: Deere 135D Tracked Excavator

Reference: Dow and Coulombe, Inc. plan dated 12/12/2017

Summit Staff: M. Hardison, E.I.

Date: 11/16/2017

Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
	8" Topsoil, Brown Sandy SILT, loose, rootlets	TOPSOIL
1	Dark brown to black Gravelly SAND, little to some Silt, humid	8" FILL Trace Rootlets, Bricks, Trash
2		
3		
4		
5	Olive Clayey SILT, slightly blocky and mottled, stiff, trace Sand, humid, ML	4.0' GLACIAL MARINE Pocket Penetrometer = 7,000 psf
6	Light brown Gravelly medium to coarse SAND, little Silt, occasional Cobbles, SP-SM	6.0' GLACIAL TILL
7		
8		
9		
10	End of Test Pit at 9.0', Refusal on Probable Bedrock	9.0' PROBABLE BEDROCK
11		
12		
13		
14		
15		
16		
17		



TEST PIT LOG

Test Pit # **TP-11**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104
Groundwater:
9.0' depth (10:30AM)

Contractor: Emery Brothers
Equipment: Deere 135D Tracked Excavator
Summit Staff: M. Hardison, E.I.

Ground Surface Elevation: 11 ft. +/-
Reference: Dow and Coulombe, Inc. plan dated 12/12/2017
Date: 11/16/2017 Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
1	Dark brown Sandy SILT, humid, rootlets	TOPSOIL Top of Slab @ 9" Depth
2	6" Concrete Slab (Unreinforced)	6" CONCRETE SLAB CAST ON BRICK
3	Below Slab/Brick: Brown fine Gravelly SAND, little Silt and black Ash, frequent bricks and brick pieces, humid	FILL
4		
5	Olive gray Silty CLAY, moderately mottled, slightly blocky, trace Sand, humid, CL	4.3' Pocket Penetrometer = 8,000 psf
6		GLACIAL MARINE
7		
8	Similar to above, slightly mottled	Pocket Penetrometer = 3,000 psf
9	Gray Silty CLAY, wet, very soft, trace Sand, CL	9.0' Pocket Penetrometer < 500 psf
10		
11	End of Test Pit at 11.2', no refusal	11.2'
12		
13		
14		
15		
16		
17		





TEST PIT LOG

Test Pit # **TP-12**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104

Groundwater:
4.0' depth (8:30AM)

Contractor: Emery Brothers
Equipment: Deere 135D Tracked Excavator
Summit Staff: M. Hardison, E.I.

Ground Surface Elevation: 7.9 ft. +/-
Reference: Dow and Coulombe, Inc. plan dated 12/12/2017
Date: 11/16/2017 Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
1	4" Leaf Matter, heavy rootlets, brown Silt, dry	TOPSOIL
2	Olive gray to black SILT, little Sand, intermixed Brick and Black ASH	4" FILL 6" x 6" Timber buried at 2' depth
3	Similar to above, increasing Black ASH content	
4		
5		
6		Heavy water inflow at 4', bubbling up from below (possible voids below)
7	Buried Wood (tree trunks) with dark brown Silt and Sand, Brick (whole) and brick pieces, occasional Cobbles, little Gravel, wet	Buried tree trunks up to 15" in diameter
8		
9		
10	End of Test Pit at 9.0', no refusal	9.0'
11		
12		
13		
14		
15		
16		
17		



TEST PIT LOG

Test Pit # **TP-13**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104

Groundwater:
3.5' depth (9:00AM)

Contractor: Emery Brothers
Equipment: Deere 135D Tracked Excavator
Summit Staff: M. Hardison, E.I.

Ground Surface Elevation: 8.5 ft. +/-
Reference: Dow and Coulombe, Inc. plan dated 12/12/2017
Date: 11/16/2017 Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
1	Dark brown Sandy SILT, humid, rootlets	TOPSOIL
		Top of Slab @ 20" Depth
2	4" Concrete Slab (Unreinforced)	4" CONCRETE SLAB
3	Below Slab: Brown fine to coarse SAND, little Silt and brick pieces, humid	FILL
4	Same as above, trace black Ash, little Gravel	Heavy water inflow at 3.5' depth
5	Blasted Bedrock Fragments mixed with Brick (whole) and brick pieces, wet	3.5'
6		Blasted Bedrock Diameter up to 36"
7		
8	Same as above, trace Silt and Clay	
9	End of Test Pit at 8.0', Refusal on Possible Bedrock or Large Boulder	8.0' BEDROCK OR BOULDER
10		
11		
12		
13		
14		
15		
16		
17		



TEST PIT LOG

Test Pit # **TP-14**

Project: Proposed Development
Main Street (Saco Island)
Saco, Maine

Project #: 17104

Groundwater:
None Encountered

Contractor: Emery Brothers

Ground Surface Elevation: 10 ft. +/-

Equipment: Deere 135D Tracked Excavator

Reference: Dow and Coulombe, Inc. plan dated 12/12/2017

Summit Staff: M. Hardison, E.I.

Date: 11/16/2017

Weather: 40° Overcast

Depth (ft)	DESCRIPTION	
	ENGINEERING	GEOLOGIC/GENERAL
1	Dark brown Sandy SILT, humid, rootlets	TOPSOIL
		Top of Slab @ 18" Depth
2	4.5" Concrete Slab (Unreinforced)	4.5" CONCRETE SLAB
3	Below Slab: Orange-Brown fine to coarse SAND, little Silt and Clay, increasing Silt with depth, little Ash, humid	FILL
		Thin Black ASH layer, mild petroleum odor
4	End of Test Pit at 3.0', Refusal on Possible Boulder	3.0' PROBABLE BOULDER
5		
6		
7		
8		
9		
10		
11		
12		
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14		
15		
16		
17		

ATTACHMENT E

SITE LIGHTING PACKAGE

FEATURES

- Reliable, uniform, glare free illumination
- Types 1, 2, 3, 4W, 5Q, and 5W distributions
- 3000K, 4000K, 5000K CCT
- 0-10V dimming ready
- Integral Surge protection: 10k in parallel, 20k in series
- Upgrade Kits



3000K and warmer CCTs only

See Certification Specifications

SPECIFICATIONS

CONSTRUCTION

- All housing components aluminum 360 alloy, sealed with continuous silicone rubber gaskets
- Standard configurations do not require a flat lens, optional lenses is tempered glass
- All internal and external hardware is stainless steel
- Finish: fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) polyester powdercoat
- Optical bezel finish is match the luminaire housing

LED/OPTICS

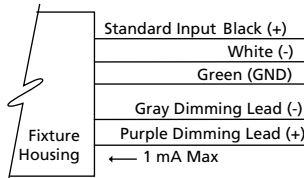
- Optical cartridge system consisting of a die cast heat sink, LED engine, TIR optics, gasket and bezel plate
- Optics are held in place without the use of adhesives
- Molded silicone gasket ensures a weather-proof seal around each individual LED.
- Features individual LED optical control based on high performance TIR optical designs.
- House Side Shield is available on Standard and Clear Lens options except any Type 5 distribution. House Side Shield is not available for any distribution using a Diffused Lens.

INSTALLATION

- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

ELECTRICAL

- Luminaires have integral surge protection, UL recognized and have a surge current rating of 10,000 Amps using the industry standard 8/20uSec wave and surge rating of 372J
- Drivers are UL recognized with an inrush current maximum of <20.0 Amps maximum at 230VAC
- 100%-1% dimming range. Fixture will be wired for low voltage 0-10V dimming control

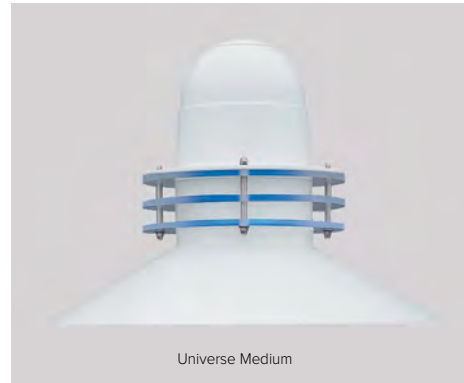


- Driver and surge suppressor are mounted to a prewired tray with quick disconnects that may be removed from the gear compartment

CONTROLS

- Egress adapter(s) shall slip over a 4"/100mm DIA. pole with the luminaire or arm slipping over the adapter to add a total of 4.5"/114mm to the overall height. Adapter(s) shall be prewired, independently rotatable 359°, and have a cast access cover with an integral lens and lanyard.

UNIVERSE®



Universe Medium

RELATED PRODUCTS

[UCL2](#)

[UCL2-LK](#)

[UCS](#)

[UCB](#)

CONTROLS (CONTINUED)

- Photocell adapter shall include an internal twist lock receptacle. Photocell by others.
- Egress adapter shall require an auxiliary 120 volt supply for operation of an integral MR16 lamp in the event of emergency. The lamp may be aimed and locked into position with an adjustment range of 15°-45°. Adapter shall have a socket that accepts miniature bi-pin MR16 lamps up to 50 watts, lamp by others

CERTIFICATIONS

- ETL listed under UL 1598 and CSA C22.2 No. 250.0-08 for wet locations
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 6/06/2020. [See Buy American Solutions.](#)

WARRANTY

- See [HLI Standard Warranty](#) for additional information

KEY DATA	
LUMEN RANGE	1,821–9,336
WATTAGE RANGE	31.52–71.6
EFFICACY RANGE (LPW)	54.5–138.5
INPUT CURRENT RANGE (mA)	260/420/615 mA
WEIGHT	18 lbs 4.1 kg to 27 lbs 12.25 kg
EPA	.53 to 1.05

ORDERING GUIDE

Example: UCM2-WND-BLU-FLR-36L-420-4K7-2-CL-BL-WIRSC-SLA2-D-UNV

CATALOG #

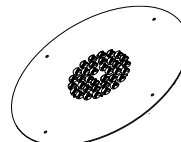
HOUSING

UCM2		LED Quantity	Lumen output	CCT/CRI	Distribution	Finish
UCM2	Universe Medium 2.0	36L 36 LED	260 260mA, 4000 Lumens	AMB Amber-595nm Peak ¹	1 Type I	BLS Black Gloss Smooth
Optional Element			325 450mA Microcore Equivalent	3K7 3000K, 70 CRI	2 Type II	BLT Black Matte Textured
WND	Universe Medium with Luminous Window		420 420mA, 6000 Lumens	4K7 4000K, 70 CRI	3 Type III	DBS Dark Bronze Gloss Smooth
SR	Universe Medium with Luminous Solid Rings		460 700mA Microcore Equivalent	5K7 5000K, 70 CRI	4W Type IV Wide	DBT Dark Bronze Matte Textured
VSL	Universe Medium with Luminous Vertical Slots		615 615mA, 9000 Lumens		5Q Type V Square	GTT Graphite Matte Textured
LUM	Universe Medium with Luminous Rings				5W Type V Wide	LGS Light Grey Gloss Smooth
Optional Internal Lens						LGT Light Grey Matte Textured
BLU	Blue					PSS Platinum Silver Gloss Smooth
RD	Red					VGT Verde Green Matte Textured
GRN	Green					WHS White Gloss Smooth
Hood Style						WHT White Matte Textured
ANG	Angled Hood					Color Option
BEL	Bell Hood					CC ³ Custom Color
FLR	Flared Hood					
SKB	Skirted Bell Hood					
STR	Straight Hood					
Hood Finish						
STS	Stainless Steel					
COP	Copper					

Mounting	Optional Lens	Options	Mounting Options	Voltage
Pole Mount	CL Clear Lens	HS House Side Shield ⁴	WIR wiSCAPE connectivity	UNV 120-277V
SLA2-D SLA18	DL Diffused Lens ²	SLC Solid Lens Cover	WIRSC wiSCAPE connectivity with Sensor	347 347V
SLA3 SLA20		SF Single Fuse (120, 277, 347)	SCP-8F Sensor Control to 8' Mounting Height	480 480V
SLA4 SLA20A		DF Double Fuse (208, 240, 480)	SCP-20F Sensor Control to 9' to 20' Mounting Height	
SLA7 SLA22D			PCA-C Photocontrol Adaptor Contemporary	
SLA8D SLA24			EPA-C Egress Adaptor Contemporary	
SLA9 TRA7				
SLA10 TRA8				
SLA16 TRA9				
SLA17				
Wall Mount				
WMA5 WMA17				
WMA9D WMA20				
WMA11 WMA24				
WMA12 WMA39				
WMA16				

Notes:

- Wild life friendly
- Diffused Lens is available only with T3 and T5W distribution
- Consult factory for custom color, marine and corrosive finish options
- House side Shield is available only with T1, T2, T3 and T4W distributions



DIMENSIONS

See page 6 for dimensions

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

CONTROLS

wiSCAPE™:

Supports remote management, monitoring and metering of outdoor wireless lighting applications such as smart campuses, smart cities, parking lots, parking lots and roadways.



wiSCAPE Reference									
wiSCAPE Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	0-10V Dimming	On/off Control	Bluetooth App Programming	Commissioning
Networked – Wireless									
WIR	WIR-RMI-IO	Yes	Yes	No	Yes	Yes	Yes	wiSCAPE Gateway	On-site
WIRSC	WIR-RMI-IO with Motion Sensor	Yes	Yes	Yes	Yes	Yes	Yes	wiSCAPE Gateway	On-site

DELIVERED LUMENS

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

LED #	Drive Current	Lumen Package	Lens	Distribution	3000K 70CRI				4000K 70CRI				5000K 70CRI						
					Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)
36	260	4000	None	1	4100	1	0	1	130.1	4176	1	0	1	132.5	4354	1	0	1	138.5
				2	3788	1	0	1	120.2	3859	1	0	1	122.4	4023	1	0	1	127.9
				3	3708	1	0	1	114.6	3777	1	0	1	117.7	3938	1	0	1	125.4
				4W	3749	1	0	2	119.0	3819	1	0	2	121.2	3982	1	0	2	127.1
				1-HS	2316	0	0	0	73.5	2359	0	0	0	74.9	2460	0	0	0	78.4
				2-HS	2023	0	0	1	64.2	2061	0	0	1	65.4	2149	0	0	1	68.6
				3-HS	1981	0	0	1	62.9	2018	0	0	1	64.0	2104	0	0	1	67.0
				4W-HS	2044	0	0	1	64.9	2082	0	0	1	66.1	2171	0	0	1	69.2
				5Q	3936	2	0	1	124.9	4009	2	0	1	127.2	4180	2	0	1	133.4
				5W	3822	3	0	1	121.3	3893	3	0	1	123.5	4059	3	0	1	129.6
			Clear	1-CL	3769	0	0	1	119.6	3839	0	0	1	121.8	4002	1	0	1	127.0
				2-CL	3482	1	0	1	110.5	3547	1	0	1	112.5	3698	1	0	1	117.3
				3-CL	3409	1	0	1	108.1	3472	1	0	1	110.2	3620	1	0	1	115.5
				4W-CL	3447	1	0	2	109.3	3511	1	0	2	111.4	3660	1	0	2	116.1
				1-CL-HS	2129	0	0	0	67.6	2169	0	0	0	68.8	2261	0	0	0	71.7
				2-CL-HS	1860	0	0	1	59.0	1895	0	0	1	60.1	1975	0	0	1	62.7
				3-CL-HS	1821	0	0	1	57.8	1855	0	0	1	58.9	1934	0	0	1	61.4
			Diffused	4W-CL-HS	1879	0	0	1	59.6	1914	0	0	0	60.7	1996	0	0	1	63.3
				5Q-CL	3618	2	0	1	114.8	3685	2	0	1	116.9	3842	2	0	1	121.9
				5W-CL	3513	2	0	1	111.5	3579	2	0	1	113.5	3731	2	0	1	118.4
3-DL	2943	1		0	1	93.4	2998	1	0	1	95.1	3126	1	0	1	99.3			
5W-DL	3020	1		0	1	95.8	3076	1	0	1	97.6	3207	1	0	1	101.9			

DELIVERED LUMENS CONTINUED

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

LED #	Drive Current	Lumen Package	Lens	Distribution	3000K 70CRI				4000K 70CRI				5000K 70CRI							
					Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	
36	325	450mA Microcore Equivalent	None	1	4999	1	0	1	125.0	5092	1	0	1	127.3	5309	1	0	1	132.7	
				2	4619	1	0	1	115.5	4705	1	0	1	117.6	4906	1	0	1	122.6	
				3	4522	1	0	2	113.0	4606	1	0	2	115.1	4802	1	0	2	120.1	
				4W	4572	1	0	2	114.3	4657	1	0	2	116.4	4856	1	0	2	121.4	
				1-HS	2825	0	0	0	70.6	2877	0	0	0	71.9	3000	0	0	0	75.0	
				2-HS	2467	0	0	1	61.7	2513	0	0	1	62.8	2620	0	0	1	65.5	
				3-HS	2416	0	0	1	60.4	2461	0	0	1	61.5	2566	0	0	1	64.1	
				4W-HS	2493	0	0	1	62.3	2539	0	0	1	63.5	2647	0	0	1	66.2	
				5Q	4799	2	0	1	120.0	4889	2	0	1	122.2	5097	2	0	1	127.4	
			5W	4660	3	0	1	116.5	4747	3	0	1	118.7	4950	3	0	1	123.7		
			Clear	1-CL	4595	1	0	1	114.9	4681	1	0	1	117.0	4881	1	0	1	122.0	
				2-CL	4246	1	0	1	106.2	4325	1	0	1	108.1	4510	1	0	1	112.7	
				3-CL	4156	1	0	1	103.9	4234	1	0	1	105.8	4414	1	0	1	110.4	
				4W-CL	4203	1	0	2	105.1	4281	1	0	2	107.0	4464	1	0	2	111.6	
				1-CL-HS	2596	0	0	0	64.9	2645	0	0	0	66.1	2757	0	0	0	68.9	
				2-CL-HS	2268	0	0	1	56.7	2310	0	0	1	57.8	2409	0	0	1	60.2	
				3-CL-HS	2221	0	0	1	55.5	2262	0	0	1	56.6	2358	0	0	1	59.0	
				4W-CL-HS	2291	0	0	1	57.3	2334	0	0	1	58.4	2434	0	0	1	60.8	
	5Q-CL	4412		2	0	1	110.3	4494	2	0	1	112.3	4685	2	0	1	117.1			
	5W-CL	4284	3	0	1	107.1	4364	3	0	1	109.1	4550	3	0	1	113.7				
	Diffused	3-DL	3581	1	0	1	89.5	3647	1	0	1	91.2	3803	1	0	1	95.1			
		5W-DL	3691	1	0	1	92.3	3760	1	0	1	94.0	3920	2	0	1	98.0			
	420	6000		None	1	6298	1	0	1	126.4	6416	1	0	1	128.8	6689	1	0	1	134.3
					2	5820	1	0	1	116.8	5928	1	0	1	119.0	6181	1	0	1	124.1
					3	5697	1	0	2	114.3	5803	1	0	2	116.5	6050	1	0	2	121.4
					4W	5760	1	0	3	115.6	5867	1	0	3	117.8	6118	1	0	3	122.8
					1-HS	3559	0	0	0	71.4	3625	0	0	0	72.8	3779	0	0	0	75.9
					2-HS	3109	0	0	1	62.4	3167	0	0	1	63.6	3302	0	0	1	66.3
					3-HS	3044	0	0	1	61.1	3100	0	0	1	62.2	3232	0	0	1	64.9
					4W-HS	3141	0	0	1	63.0	3199	0	0	1	64.2	3335	0	0	1	66.9
					5Q	6047	2	0	1	121.4	6159	2	0	1	123.6	6422	3	0	1	128.9
				5W	5872	3	0	1	117.9	5981	3	0	1	120.1	6236	3	0	1	125.2	
				Clear	1-CL	5790	1	0	1	116.2	5898	1	0	1	118.4	6149	1	0	1	123.4
					2-CL	5350	1	0	1	107.4	5449	1	0	1	109.4	5681	1	0	1	114.0
					3-CL	5237	1	0	2	105.1	5334	1	0	2	107.1	5561	1	0	2	111.6
4W-CL					5295	1	0	3	106.3	5394	1	0	3	108.3	5624	1	0	3	112.9	
1-CL-HS					3271	0	0	0	65.7	3332	0	0	0	66.9	3474	0	0	0	69.7	
2-CL-HS					2858	0	0	1	57.4	2911	0	0	1	58.4	3035	0	0	1	60.9	
3-CL-HS					2798	0	0	1	56.2	2850	0	0	1	57.2	2971	0	0	1	59.6	
4W-CL-HS					2887	0	0	1	57.9	2941	0	0	1	59.0	3066	0	0	1	61.5	
5Q-CL		5558	2		0	1	111.6	5662	2	0	1	113.6	5903	2	0	1	118.5			
5W-CL		5398	3	0	1	108.3	5498	3	0	1	110.4	5732	3	0	1	115.1				
Diffused		3-DL	4511	1	0	1	90.6	4595	1	0	1	92.3	4791	1	0	1	96.2			
		5W-DL	4562	2	0	1	91.6	4647	2	0	1	93.3	4845	2	0	1	97.3			

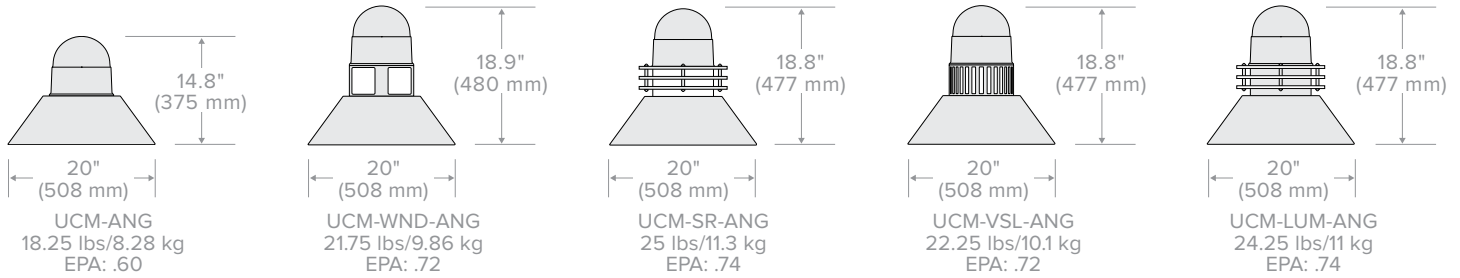
DELIVERED LUMENS CONTINUED

The table below shows the delivered lumens for the various lumen outputs and beam distributions. Use this chart in connection with the lumen factor (LF) capability to deliver any output required.

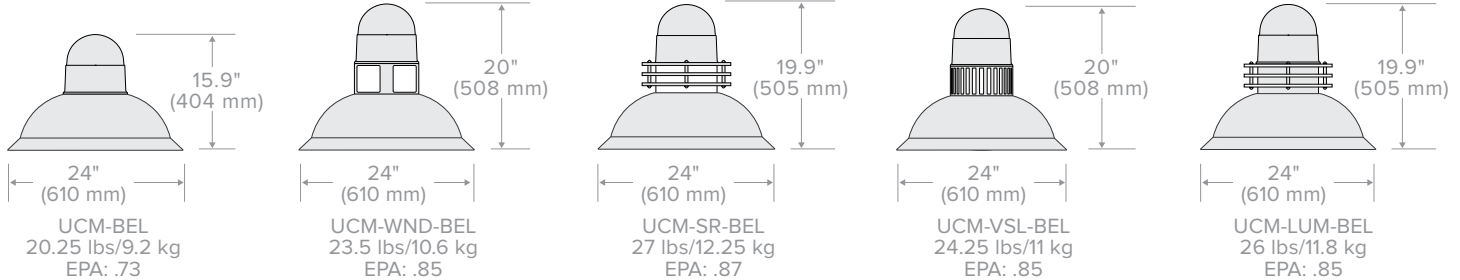
LED #	Drive Current	Lumen Package	Lens	Distribution	3000K 70CRI				4000K 70CRI				5000K 70CRI							
					Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	Lumen	Bug Rating			Efficacy (Lm/W)	
36	460	700mA Microcore Equivalent	None	1	6811	1	0	1	124.1	6937	1	0	1	126.4	7233	1	0	1	131.8	
				2	6293	1	0	2	114.6	6410	1	0	2	116.8	6683	1	0	2	121.7	
				3	6160	1	0	2	112.2	6275	1	0	2	114.3	6542	1	0	2	119.2	
				4W	6229	1	0	3	113.5	6345	1	0	3	115.6	6615	1	0	3	120.5	
				1-HS	3848	0	0	0	70.1	3920	0	0	0	71.4	4087	0	0	0	74.4	
				2-HS	3362	0	0	1	61.2	3424	0	0	1	62.4	3570	0	0	1	65.0	
				3-HS	3291	0	0	1	59.9	3352	0	0	1	61.1	3495	0	0	1	63.7	
				4W-HS	3396	0	0	1	61.9	3459	0	0	1	63.0	3607	0	0	1	65.7	
				5Q	6538	3	0	1	119.1	6660	3	0	1	121.3	6944	3	0	1	126.5	
			5W	6349	3	0	1	115.6	6467	3	0	1	117.8	6743	3	0	1	122.8		
			Clear	1-CL	6261	1	0	1	114.0	6377	1	0	1	116.2	6649	1	0	1	121.1	
				2-CL	5785	1	0	1	105.4	5892	1	0	1	107.3	6144	1	0	1	111.9	
				3-CL	5662	1	0	2	103.1	5768	1	0	2	105.1	6014	1	0	2	109.5	
				4W-CL	5726	1	0	3	104.3	5832	1	0	3	106.2	6081	1	0	3	110.8	
				1-CL-HS	3537	0	0	0	64.4	3603	0	0	0	65.6	3757	0	0	0	68.4	
				2-CL-HS	3090	0	0	1	56.3	3148	0	0	1	57.3	3282	0	0	1	59.8	
				3-CL-HS	3025	0	0	1	55.1	3082	0	0	1	56.1	3213	0	0	1	58.5	
				4W-CL-HS	3122	0	0	1	56.9	3180	0	0	1	57.9	3315	0	0	1	60.4	
	5Q-CL	6010		2	0	1	109.5	6122	2	0	1	111.5	6383	3	0	1	116.3			
	Diffused	5W-CL	5836	3	0	1	106.3	5945	3	0	1	108.3	6199	3	0	1	112.9			
		3-DL	4878	1	0	1	88.9	4969	1	0	1	90.5	5181	1	0	1	94.4			
		5W-DL	5028	2	0	1	91.6	5122	2	0	1	93.3	5340	2	0	1	97.3			
	615	9000		None	1	8791	1	0	1	122.8	8954	1	0	1	125.1	9336	1	0	1	130.4
					2	8122	1	0	2	113.5	8274	1	0	2	115.6	8626	1	0	2	120.5
					3	7951	1	0	2	111.1	8099	1	0	2	113.1	8444	1	0	2	117.9
					4W	8040	1	0	3	112.3	8189	1	0	3	114.4	8538	1	0	3	119.3
					1-HS	4967	0	0	0	69.4	5059	0	0	0	70.7	5275	0	0	0	73.7
					2-HS	4339	0	0	1	60.6	4420	0	0	1	61.7	4608	0	0	1	64.4
					3-HS	4248	0	0	1	59.3	4327	0	0	1	60.4	4511	0	0	1	63.0
					4W-HS	4383	0	0	2	61.2	4465	0	0	2	62.4	4655	0	0	2	65.0
					5Q	8439	3	0	1	117.9	8596	3	0	1	120.1	8963	3	0	1	125.2
				5W	8195	3	0	2	114.5	8348	3	0	2	116.6	8703	3	0	2	121.6	
				Clear	1-CL	8081	1	0	1	112.9	8231	1	0	1	115.0	8582	1	0	1	119.9
					2-CL	7467	1	0	2	104.3	7605	1	0	2	106.2	7930	1	0	2	110.8
					3-CL	7309	1	0	2	102.1	7445	1	0	2	104.0	7762	1	0	2	108.4
					4W-CL	7390	1	0	3	103.2	7528	1	0	3	105.2	7849	1	0	3	109.6
1-CL-HS					4566	0	0	0	63.8	4651	0	0	0	65.0	4849	0	0	0	67.7	
2-CL-HS					3988	0	0	1	55.7	4063	0	0	1	56.7	4236	0	0	1	59.2	
3-CL-HS					3905	0	0	1	54.5	3978	0	0	1	55.6	4147	0	0	1	57.9	
4W-CL-HS					4029	0	0	2	56.3	4104	0	0	2	57.3	4279	0	0	2	59.8	
5Q-CL	7758	3	0		1	108.4	7902	3	0	1	110.4	8239	3	0	1	115.1				
5W-CL	7533	3	0	2	105.2	7674	3	0	2	107.2	8001	3	0	2	111.8					
Diffused	3-DL	6297	2	0	1	87.9	6414	2	0	2	89.6	6687	2	0	2	93.4				
	5W-DL	6490	2	0	1	90.6	6611	2	0	1	92.3	6893	2	0	1	96.3				

DIMENSIONS

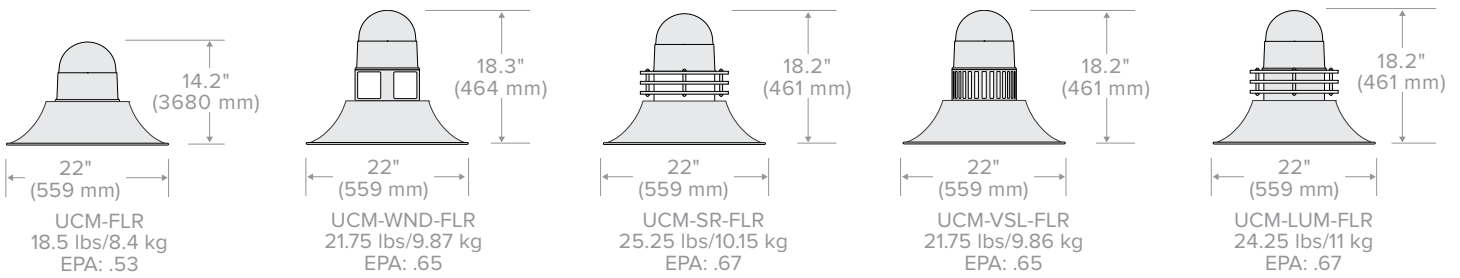
ANGLED HOOD CONFIGURATION



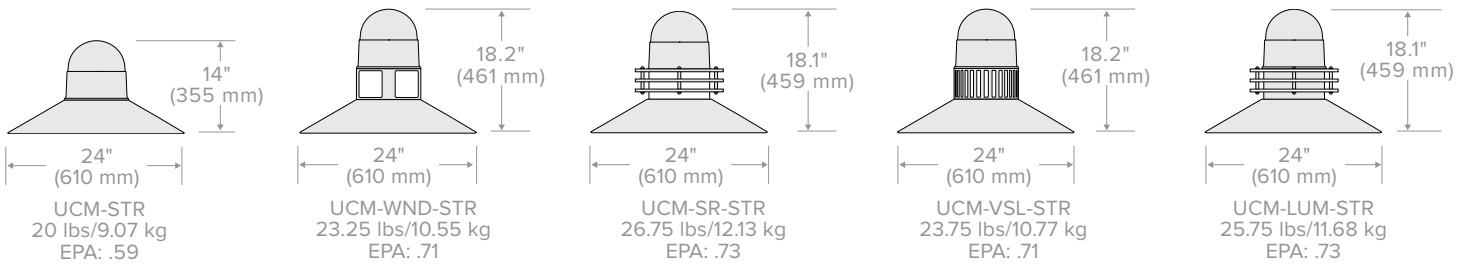
BELL HOOD CONFIGURATION



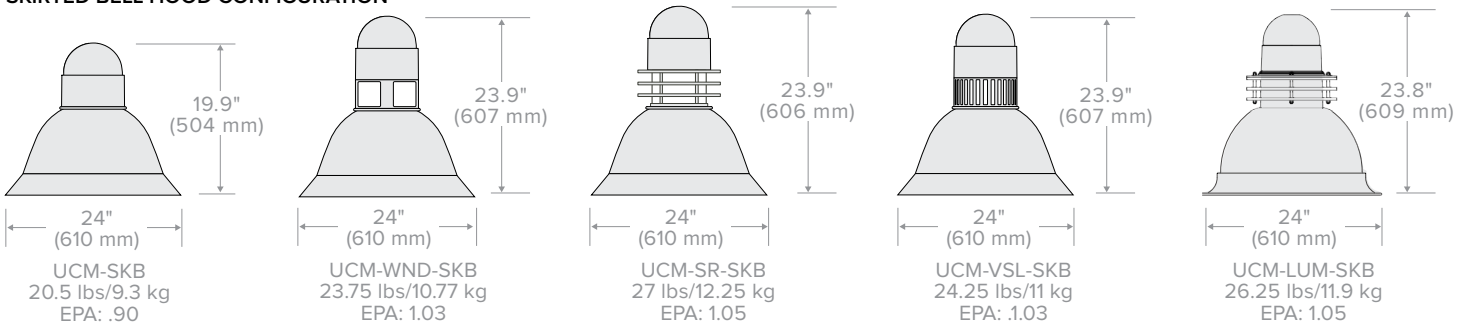
FLARE HOOD CONFIGURATION



STRAIGHT HOOD CONFIGURATION



SKIRTED BELL HOOD CONFIGURATION



PHOTOMETRY

UCM2-ANG-36L-615-4K7-1

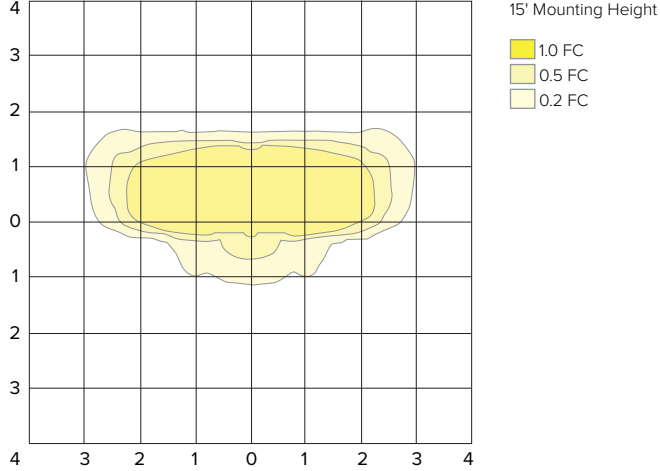
LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	8954
Watts	71.59
Efficacy	125.1
IES Type	I
BUG Rating	B1-U0-G1
Mounting Height	15 ft
Grid Scale	15 ft

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	8046	90%
Downward House Side	908	10%
Downward Total	8954	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8954	100%

ISOFOOT CANDLE PLOT



UCM2-ANG-36L-615-4K7-2

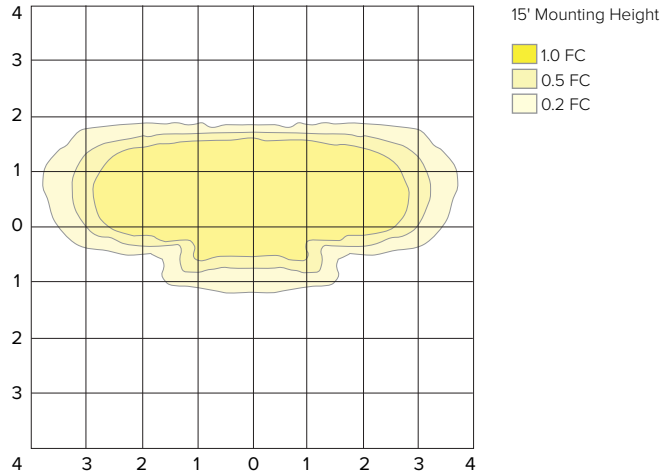
LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	8274
Watts	71.59
Efficacy	115.6
IES Type	II
BUG Rating	B1-U0-G2
Mounting Height	15 ft
Grid Scale	15 ft

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	6942	84%
Downward House Side	1332	16%
Downward Total	8274	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8274	100%

ISOFOOT CANDLE PLOT



UCM2-ANG-36L-615-4K7-3

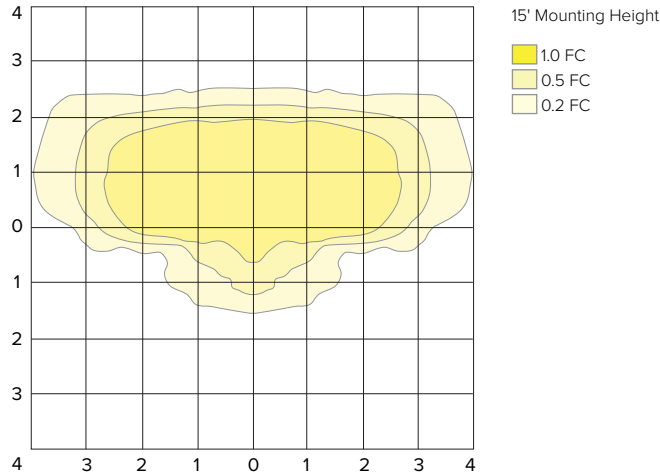
LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	8099
Watts	71.59
Efficacy	113.1
IES Type	III
BUG Rating	B1-U0-G2
Mounting Height	15 ft
Grid Scale	15 ft

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	6800	84%
Downward House Side	1299	16%
Downward Total	8099	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8099	100%

ISOFOOT CANDLE PLOT



PHOTOMETRY

UCM2-ANG-36L-615-4K7-4W

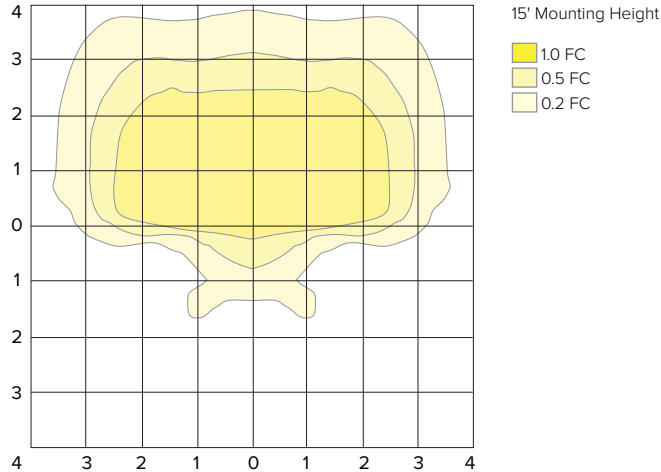
LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	8189
Watts	71.6
Efficacy	114.4
IES Type	IV Wide
BUG Rating	B1-U0-G3
Mounting Height	15 ft
Grid Scale	15 ft

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	7339	90%
Downward House Side	850	10%
Downward Total	8189	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8189	100%

ISOFOOT CANDLE PLOT



UCM2-ANG-36L-615-4K7-5Q

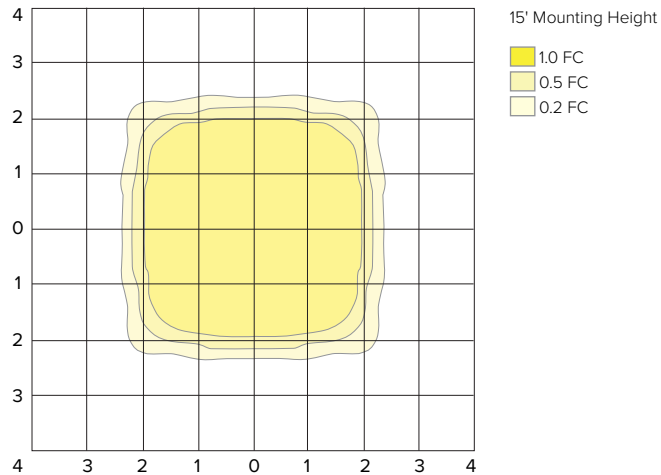
LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	8596
Watts	71.6
Efficacy	120.1
IES Type	VS
BUG Rating	B3-U0-G1
Mounting Height	15 ft
Grid Scale	15 ft

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
Downward Street Side	4298	50%
Downward House Side	4298	50%
Downward Total	8596	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8596	100%

ISOFOOT CANDLE PLOT



UCM2-ANG-36L-615-4K7-5W

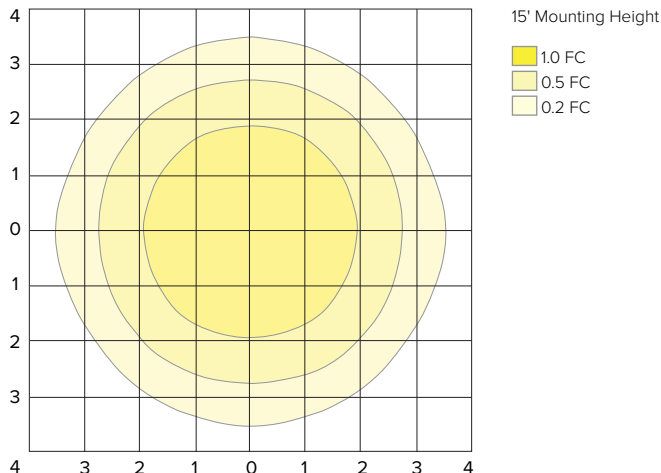
LUMINAIRE DATA

Description	4000 Kelvin, 70CRI
Delivered Lumens	8348
Watts	71.6
Efficacy	116.6
IES Type	VS
BUG Rating	B3-U0-G2
Mounting Height	15 ft
Grid Scale	15 ft

ZONAL LUMEN SUMMARY

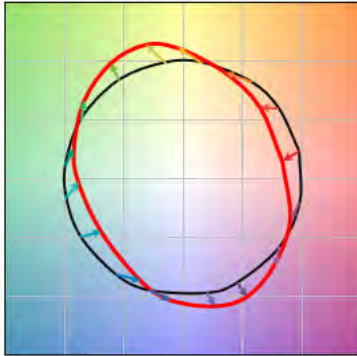
Zone	Lumens	% Luminaire
Downward Street Side	4174	50%
Downward House Side	4174	50%
Downward Total	8348	100%
Upward Street Side	0	0%
Upward House Side	0	0%
Upward Total	0	0%
Total Flux	8348	100%

ISOFOOT CANDLE PLOT



TM-30 DATA

COLOR VECTOR GRAPHIC

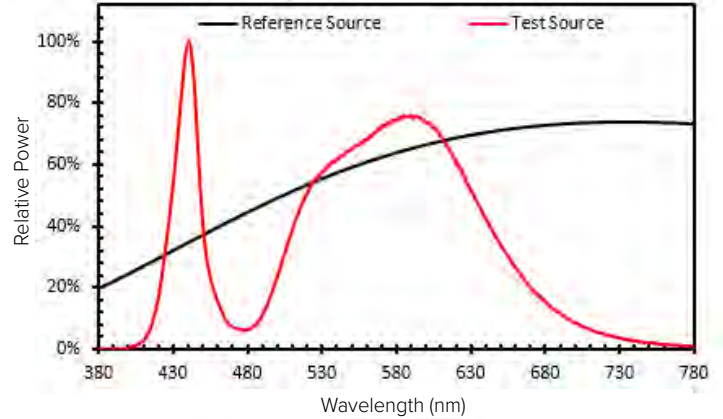


— Reference Illuminant — Test Source

TEST SOURCE

MBM TEST RESULTS	
CCT (K)	3947
CIE Ra	72
Duv	0.0004
x	0.3831
y	0.3793
Rf	68
Rg	99

SPECTRAL POWER DISTRIBUTION COMPARISON



ELECTRICAL DATA

Light Engine	Electrical										Dimming						
	System Current	System Watts	Line Voltage		Amps AC						Min. Power Factor	Max THD (%)	Dimming Range	Source current out of 0-10V		Absolute voltage range on 0-10V (+)	
			VAC	HZ	120	208	240	277	347	480				Min	Max	Min	Max
36L	260 mA	31.52	120-480	50/60	0.26	0.15	0.13	0.11	0.09	0.07	>0.9	20	10% to 100%	0mA	1mA	0V	10V
	325 mA	40			0.33	0.19	0.17	0.14	0.12	0.08							
	420 mA	49.82			0.42	0.24	0.21	0.18	0.14	0.10							
	460 mA	54.9			0.46	0.26	0.23	0.20	0.16	0.11							
	615 mA	71.6			0.60	0.34	0.30	0.26	0.21	0.15							

TM-21 LIFETIME CALCULATION - PROJECTED LUMEN MAINTENANCE (25°C / 77°F)						
HOURS	0	25,000	36,000	50,000	100,000	REPORTED L70
Projected Lumen Maintenance	100%	98.0%	96.9%	95.4%	90.5%	> 60,000

AMBER MULTIPLIER	
CCT	MULTIPLIER
5000K	1
AM	0.1727

2700K MULTIPLIER	
CCT	MULTIPLIER
5000K	1
2700K	0.897

LENS OPTION MULTIPLIER	
CLEAR LENS	DIFFUSED LENS
0.9192	0.7919

ADDITIONAL INFORMATION

PHOTOCELL / EGRESS ADAPTERS

- Adapter(s) shall slip over a 4"/100mm DIA. pole with the luminaire or arm slipping over the adapter to add a total of 4.5"/114mm to the overall height. Adapter(s) shall be prewired, independently rotatable 359°, and have a cast access cover with an integral lens and lanyard.
- Photocell adapter shall include an internal twist lock receptacle. Photocell by others.
- Egress adapter shall require an auxiliary 120 volt supply for operation of an integral MR16 lamp in the event of emergency. The lamp may be aimed and locked into position with an adjustment range of 15°-45°. Adapter shall have a socket that accepts miniature bi-pin MR16 lamps up to 50 watts, lamp by others.

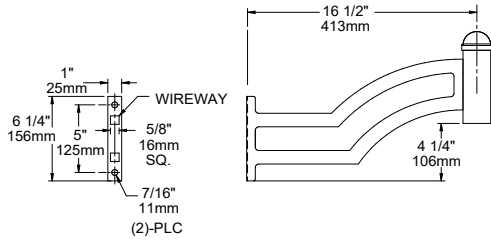
ADDITIONAL INFORMATION CONTINUED

MOUNTING POLE OPTIONS

SLA2-D

Wt: 6 lbs

EPA: .30

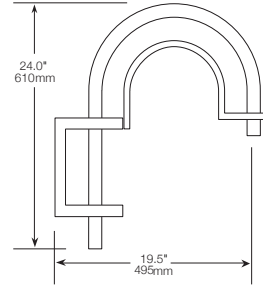


4" POLE

SLA3

WT: 8 LBS

EPA: .77

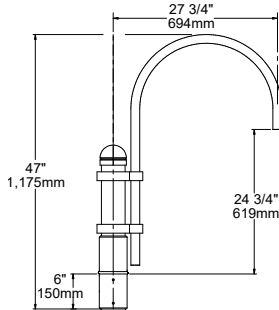


4" POLE

SLA4

WT: 14 LBS

EPA: 1.39

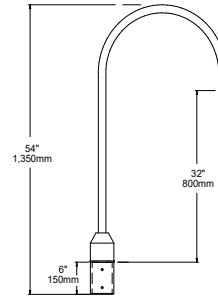


4" POLE

SLA7

WT: 9 LBS

EPA: 1.34

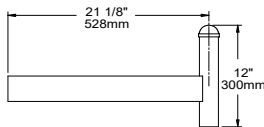


4" POLE

SLA8D

WT: 5 LBS

EPA: .40

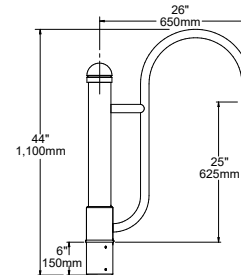


4" OR 5" POLE

SLA9

WT: 18 LBS

EPA: 1.90

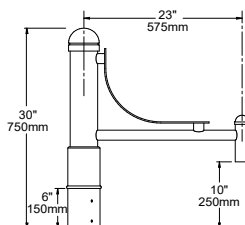


4" POLE

SLA10

WT: 9 LBS

EPA: 1.09

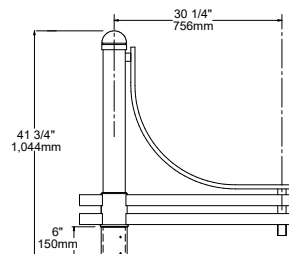


4" POLE

SLA16

WT: 18 LBS

EPA: 2.88

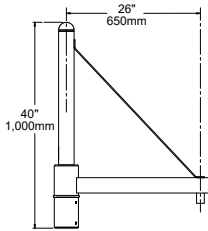


4" POLE

ADDITIONAL INFORMATION CONTINUED

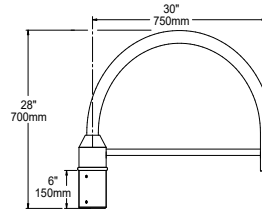
MOUNTING POLE OPTIONS

SLA17 WT: 18 LBS EPA: 1.50



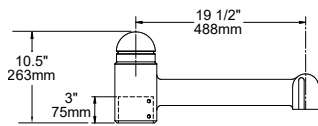
4" POLE

SLA18 WT: 12 LBS EPA: .85



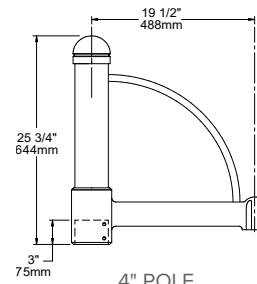
4" POLE

SLA20 WT: 10 LBS EPA: .70



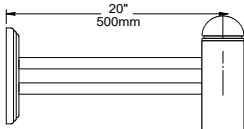
4" POLE

SLA20A WT: 15 LBS EPA: 1.30



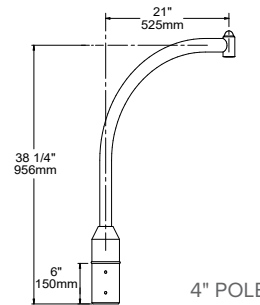
4" POLE

SLA22D WT: 4 LBS EPA: .44



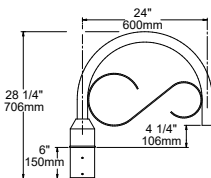
4" POLE

SLA24 WT: 9 LBS EPA: .85



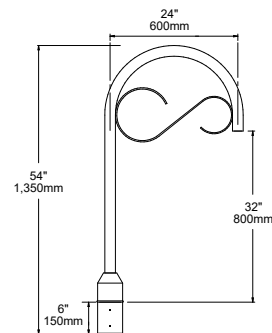
4" POLE

TRA7 WT: 12 LBS EPA: .90



4" POLE

TRA8 WT: 13 LBS EPA: 1.34



4" POLE

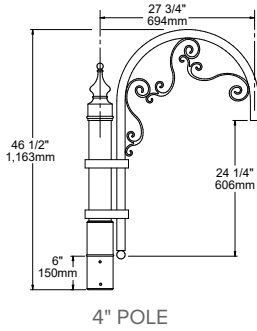
ADDITIONAL INFORMATION CONTINUED

MOUNTING POLE OPTIONS

TRA9

WT: 17 LBS

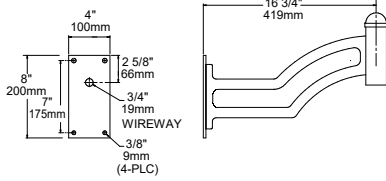
EPA: 1.90



MOUNTING WALL OPTIONS

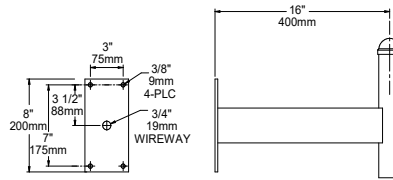
WMA5

WT: 6 LBS



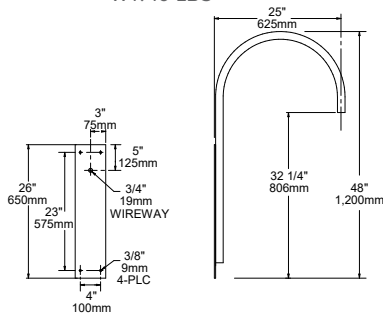
WMA9D

WT: 6 LBS



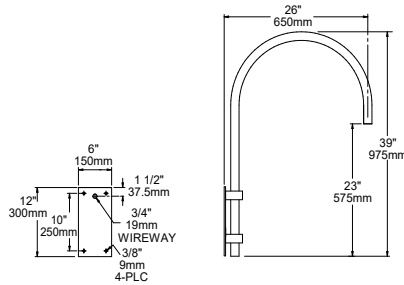
WMA11

WT: 10 LBS



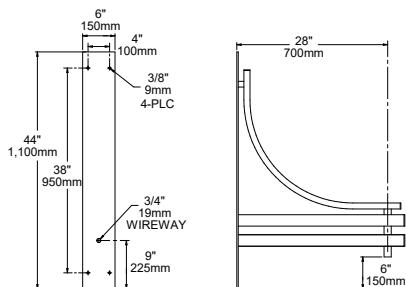
WMA12

WT: 12 LBS



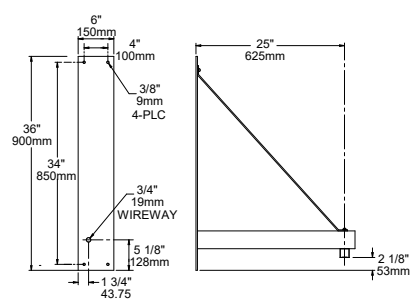
WMA16

WT: 22 LBS



WMA17

WT: 15 LBS

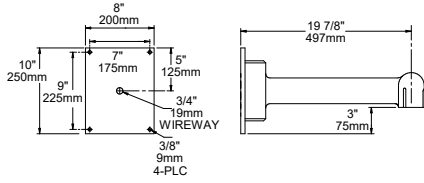


ADDITIONAL INFORMATION CONTINUED

MOUNTING WALL OPTIONS

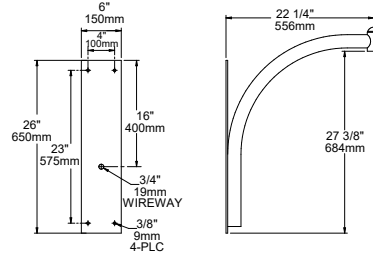
WMA20

WT: 12 LBS



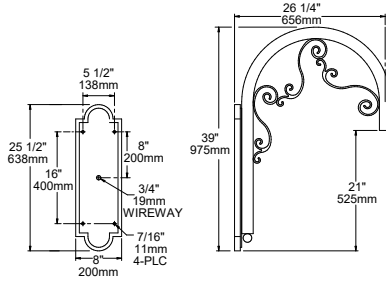
WMA24

WT: 12 LBS

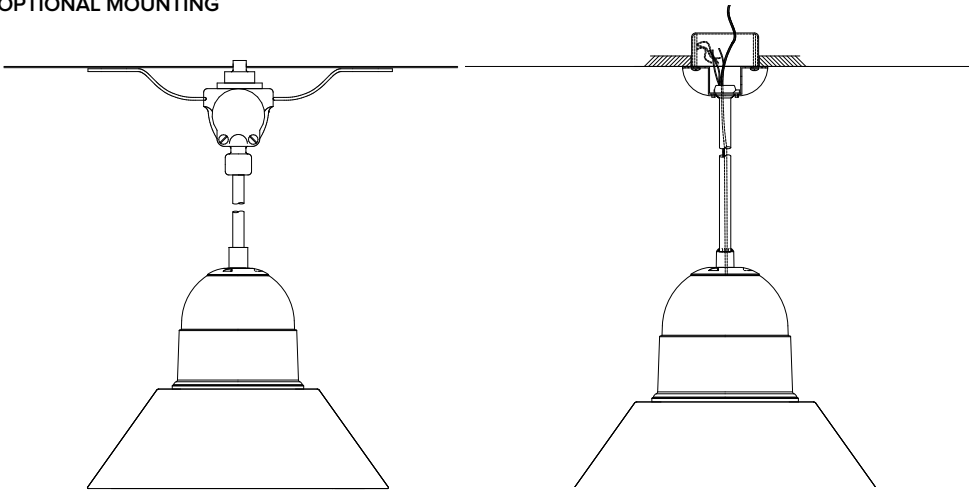


WMA39

WT: 14 LBS



OPTIONAL MOUNTING



Catcatenated Mount *

Pendant Mount *

* Contact factory for more information

ATTACHMENT F
FINANCIAL EVIDENCE



Schwab One® Account of
EDWARD TAYLOR MOORE JR

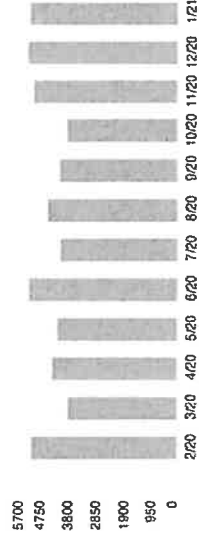
Statement Period
January 1-31, 2021

Account Value as of 01/31/2021: \$ 5,070,734.23

Change in Account Value

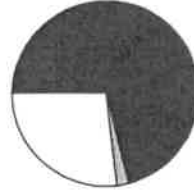
	This Period	Year to Date
Starting Value	\$ 5,125,224.82	\$ 5,125,224.82
Credits	268,469.34	268,469.34
Debits	(390,979.94)	(390,979.94)
Transfer of Securities (In/Out)	0.00	0.00
Income Reinvested	(22,737.38)	(22,737.38)
Change in Value of Investments	90,757.39	90,757.39
Ending Value on 01/31/2021	\$ 5,070,734.23	\$ 5,070,734.23
Accrued Income ^d	4,345.93	890
Ending Value with Accrued Income^d	\$ 5,075,080.16	\$ (54,490.59)
Total Change in Account Value	\$ (54,490.59)	(1.06)%
Total Change with Accrued Income^d	\$ (50,144.66)	

Account Value (in Thousands)

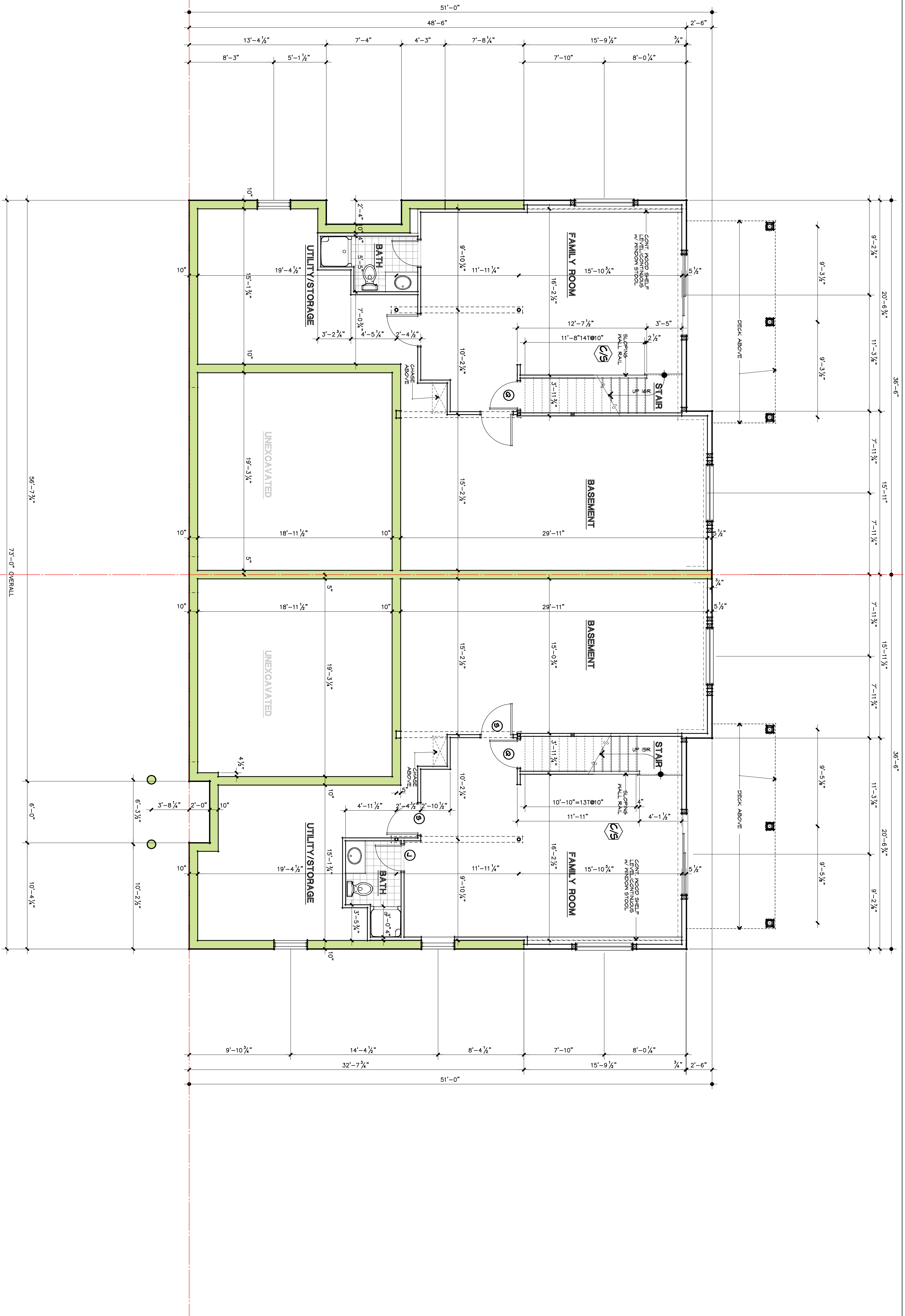


Asset Composition

	Market Value	% of Account Assets
Equities	\$ 5,460,066.83	71%
Exchange Traded Funds	125,845.48	2%
Other Assets	2,063,470.27	27%
Total Assets Long	\$ 7,649,382.58	
Net Loan Balance	(2,578,648.35)	
Total Account Value	\$ 5,070,734.23	100%



71% Equities
2% Exchange Traded Funds
27% Other Assets



1 2 3 4 8 SCALE IN FEET

A1

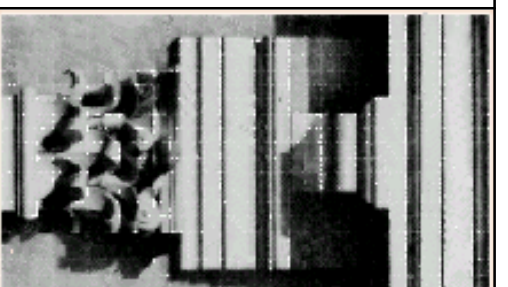
TYPICAL TOWNHOUSE BASEMENT PLAN

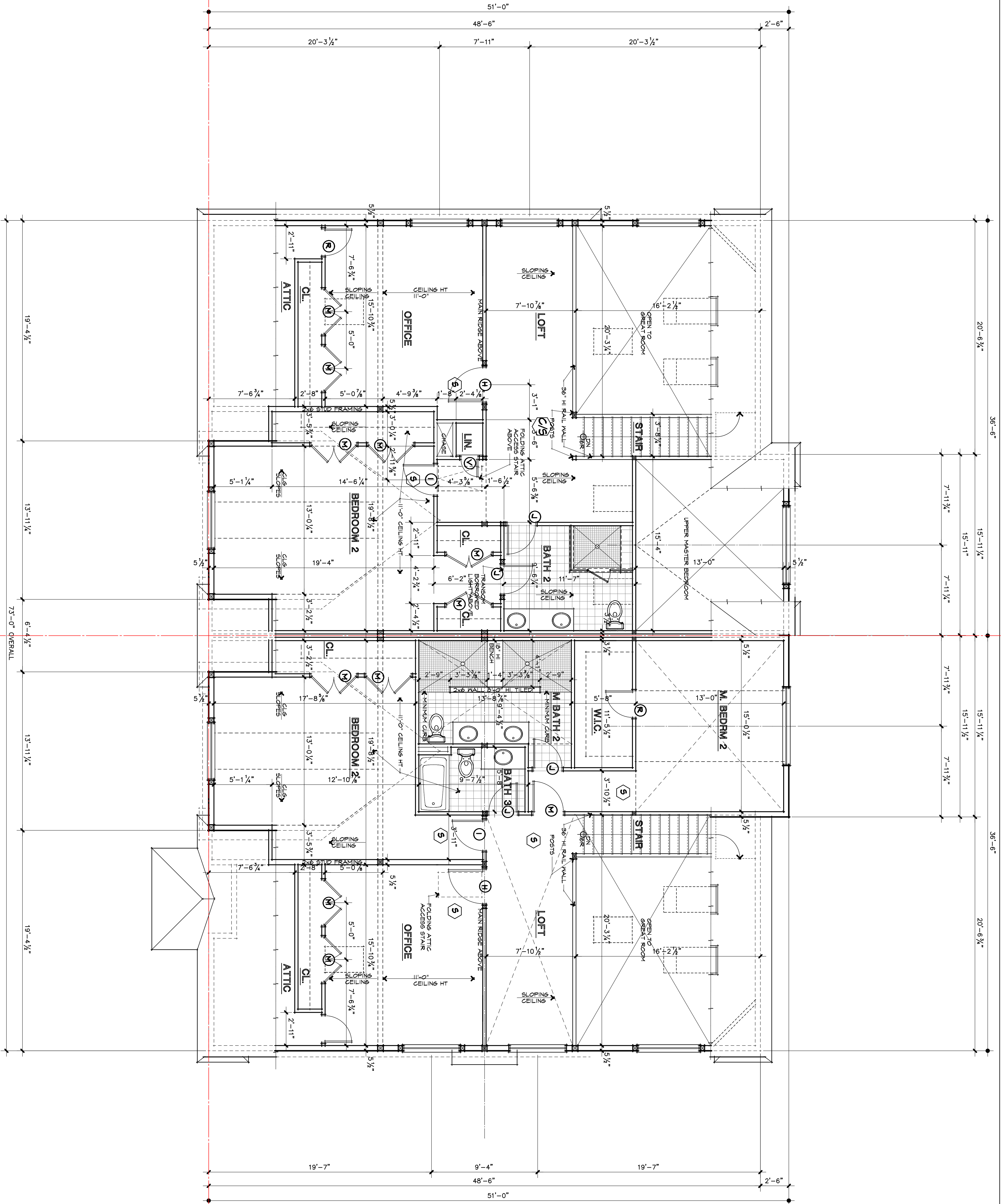
DATE: 2/03/21
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PROJECT NAME
SACO HARBORSIDE
Saco, Maine

APPLICANT
Saco Island Ventures, LLC
8 Doaks Lane
Marblehead, MA 01945

ARCHITECT
GRAZADO VELLECO ARCHITECTS 10 DOAKS LANE MARBLEHEAD, MA
REGISTERED ARCHITECT MASSACHUSETTS AND MAINE





1 2 3 4 8 SCALE IN FEET 1/4"

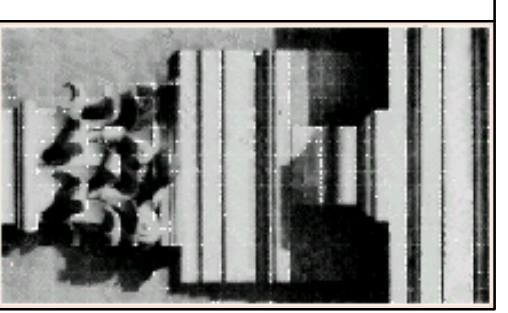
A3

TYPICAL TOWNHOUSE SECOND FLOOR PLAN
 DATE: 2/03/21
 SCALE: 1/4"=1'-0"

PROJECT NAME
SACO HARBORSIDE
 Saco, Maine

APPLICANT
 Saco Island Ventures, LLC
 8 Doaks Lane
 Marblehead, MA 01945

ARCHITECT
 GRAZADO VELLECO ARCHITECTS 10 DOAKS LANE MARBLEHEAD, MA
 REGISTERED ARCHITECT MASSACHUSETTS AND MAINE





FRONT ELEVATION

RIGHT SIDE ELEVATION

- FIBERGLASS ASPHALT SHINGLE ROOFING MATERIAL TYPE CHARCOAL GRAY COLOR TYPICAL
- SOLID PVC TRIM BOARDS THROUGHOUT WHITE COLOR.
- > 5/4 x 5" BALANCED CORNERBOARDS AT DORMERS AND REAR CORNERS
- > AT FRONT BUILDING WALLS CORNERS
- > BUILT-UP RAKE AND EAVE DETAILS
- FIBER-CEMENT LAP SIDING, 4" EXPOSURE AT DORMERS AND HIGH SABLES
- PROJECTING WINDOW BAYS AT KITCHENS
- COMPOSITE ARCHITECTURAL PORCHES ARCHING COLUMNS AT PORCHES
- FIBERGLASS DOORS AND SIDELITES

- REFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS
- ALUMINUM GLAD WOOD WINDOWS WITH INSULATING GLASS, TYPICAL
- SOLID PVC WINDOW CASINGS
- SOLID PVC WATERABLE WITH DRIP

A4

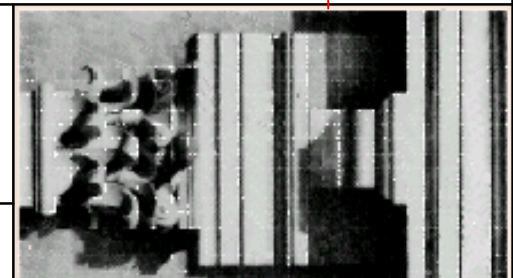
TYPICAL TOWNHOUSE FRONT + RIGHT ELEV'S

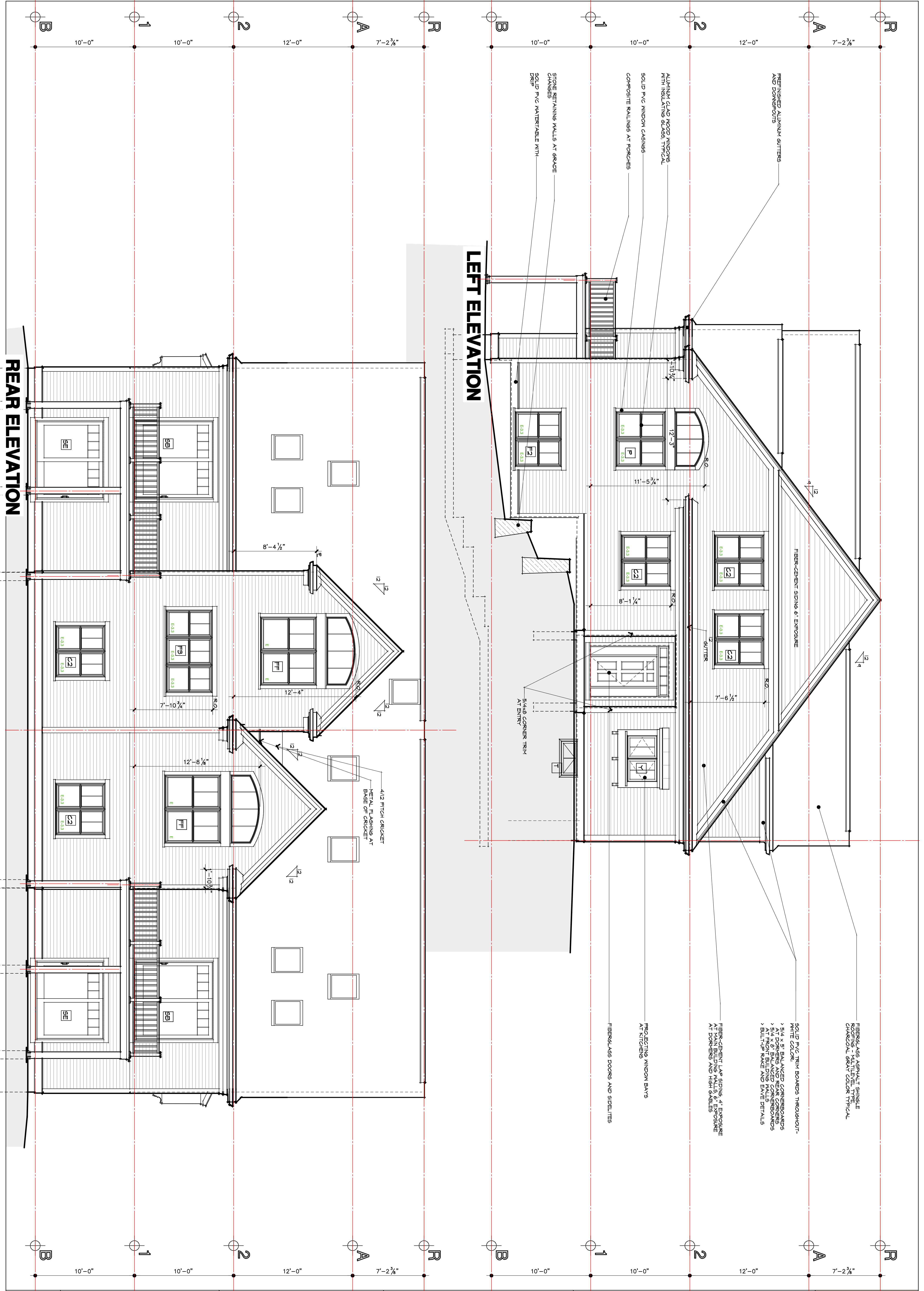
DATE: 2/03/21
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PROJECT NAME
SACO HARBORSIDE
Saco, Maine

APPLICANT
Saco Island Ventures, LLC
8 Doaks Lane
Marblehead, MA 01945

ARCHITECT
GRAZADO VELLECO ARCHITECTS 10 DOAKS LANE MARBLEHEAD, MA
REGISTERED ARCHITECT MASSACHUSETTS AND MAINE





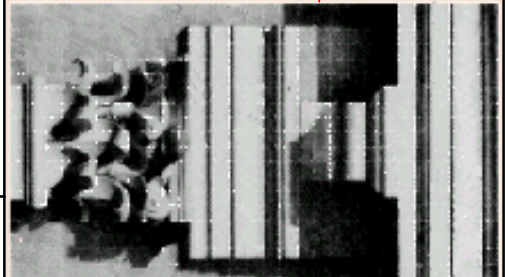
A5

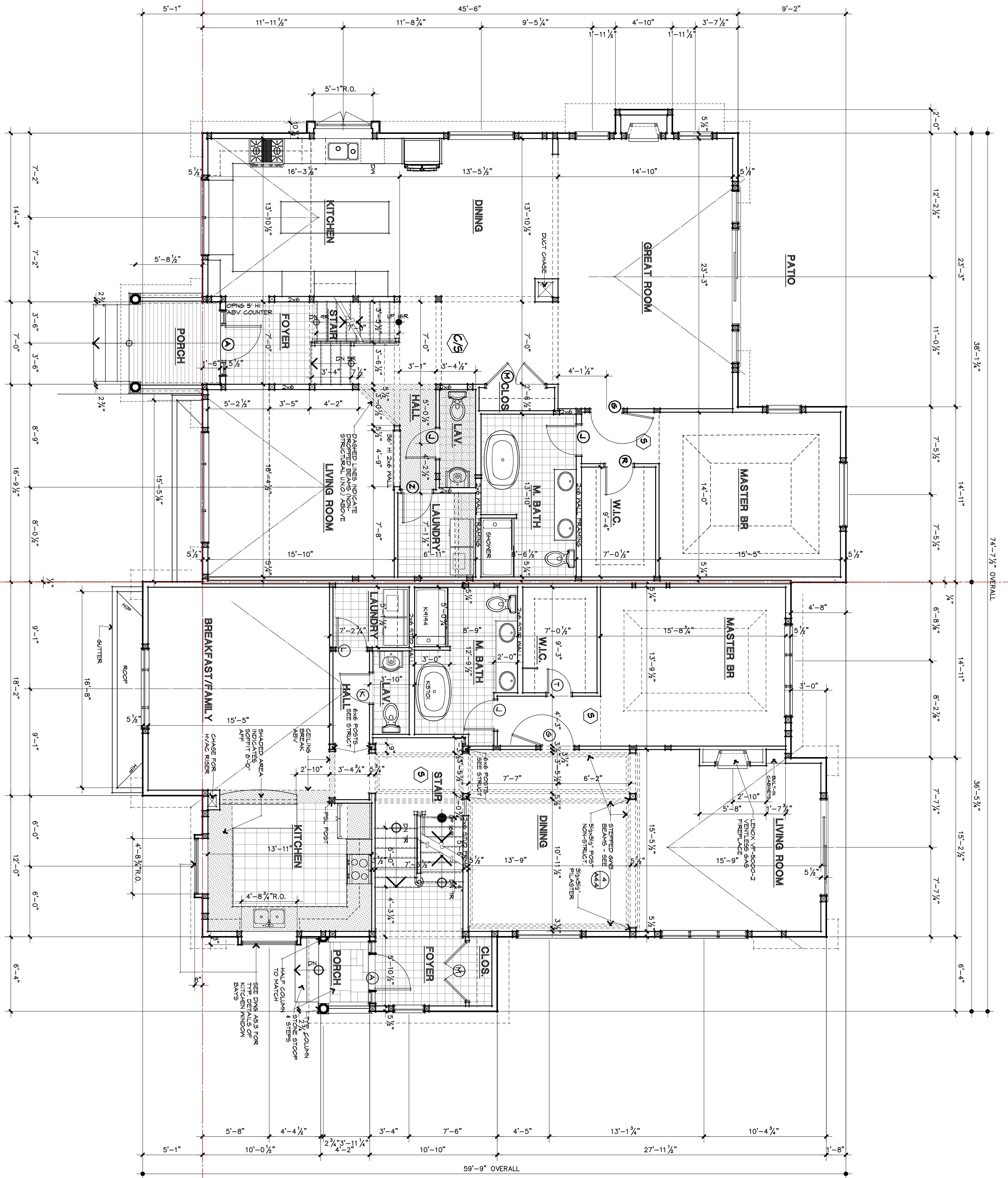
TYPICAL TOWNHOUSE LEFT + REAR ELEV'S
 DATE: 2/03/21
 SCALE: 1/4"=1'-0"

PROJECT NAME
SACO HARBORSIDE
 Saco, Maine

APPLICANT
 Saco Island Ventures, LLC
 8 Doaks Lane
 Marblehead, MA 01945

ARCHITECT
 GRAZADO VELLECO ARCHITECTS 10 DOAKS LANE MARBLEHEAD, MA
 REGISTERED ARCHITECT MASSACHUSETTS AND MAINE





1 2 3 4 6 SCALE IN FEET 8

A7

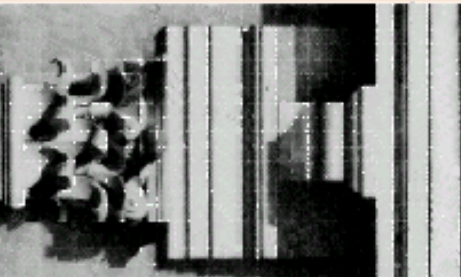
**GARAGE UNDER UNITS
FIRST FLOOR PLAN**

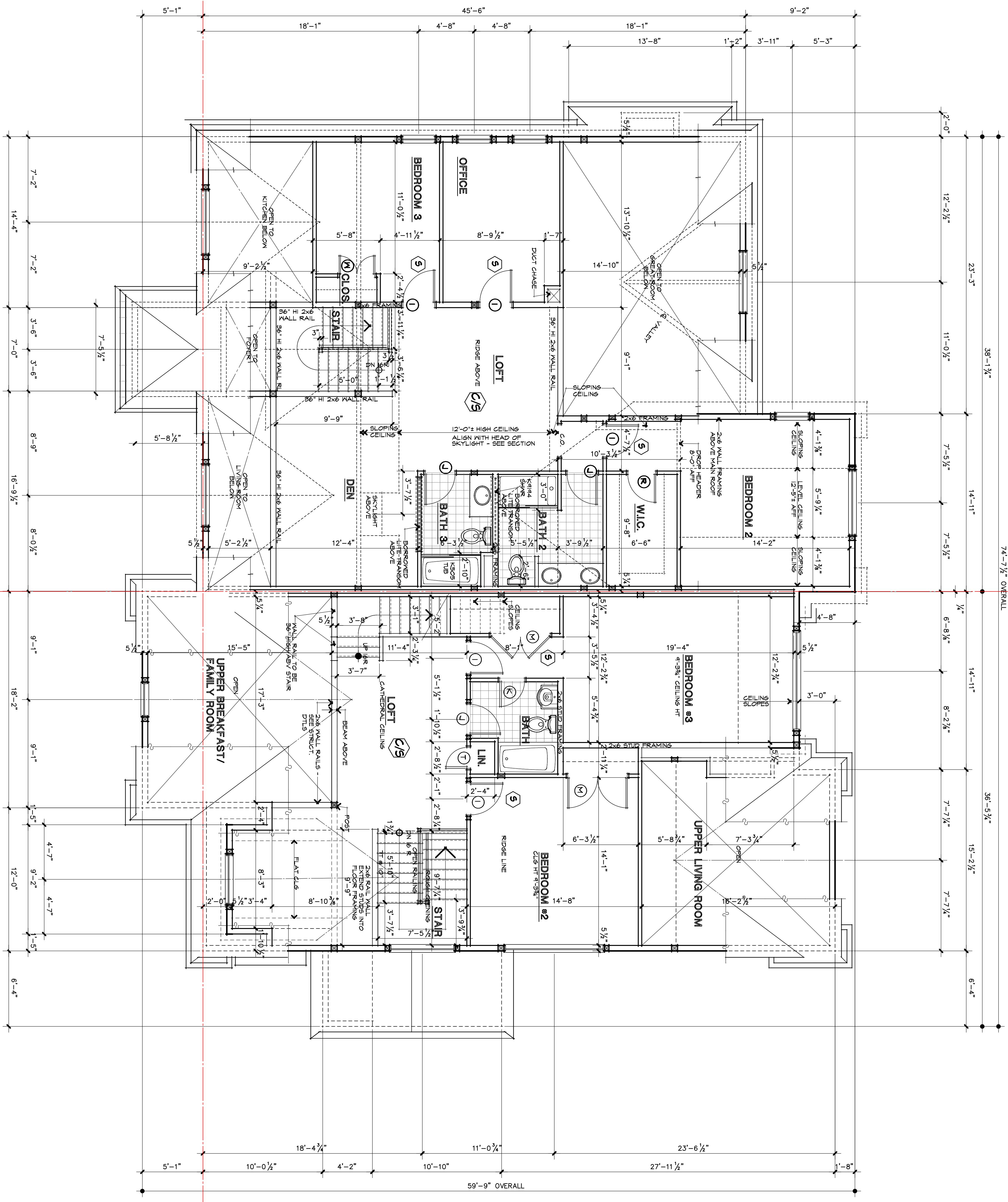
DATE: 2/03/21
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PROJECT NAME
SACO HARBORSIDE
Saco, Maine

APPLICANT
Saco Island Ventures, LLC
8 Doaks Lane
Marblehead, MA 01945

ARCHITECT
GRAZADO VELLECO ARCHITECTS 10 DOAKS LANE MARBLEHEAD, MA
REGISTERED ARCHITECT MASSACHUSETTS AND MAINE





1 2 3 4 6 SCALE IN FEET 1/8"

A8

**GARAGE UNDER UNITS
SECOND FLOOR PLAN**

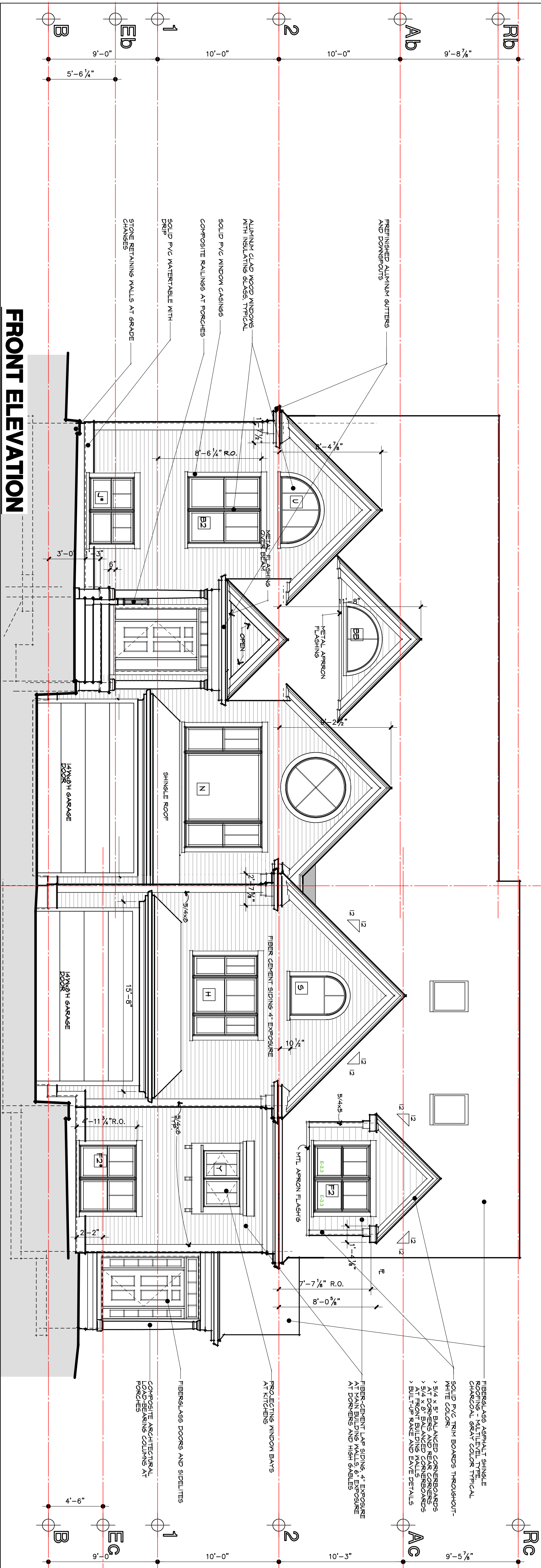
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PROJECT NAME
SACO HARBORSIDE
Saco, Maine

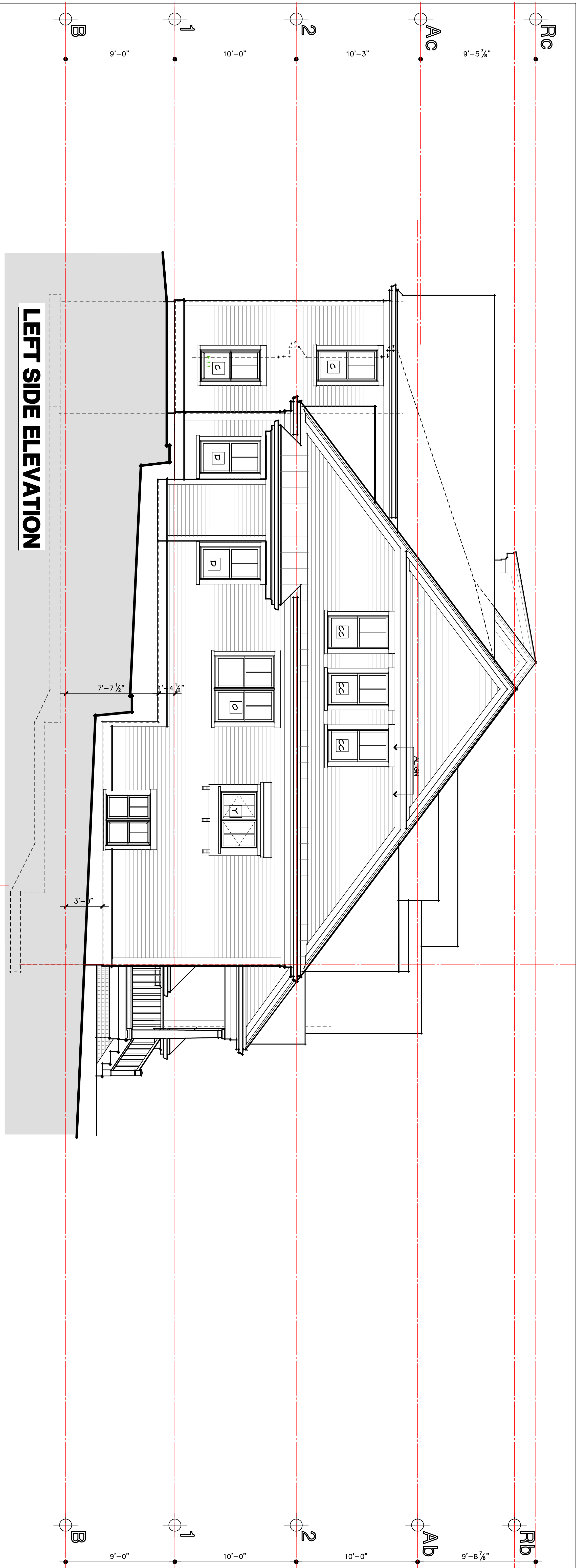
APPLICANT
Saco Island Ventures, LLC
8 Doaks Lane
Marblehead, MA 01945

ARCHITECT
GRAZADO VELLECO ARCHITECTS 10 DOAKS LANE MARBLEHEAD, MA
REGISTERED ARCHITECT MASSACHUSETTS AND MAINE





FRONT ELEVATION



LEFT SIDE ELEVATION

A9

**GARAGE UNDER UNITS
FRONT+LEFT ELEV'S**

DATE: 2/03/21
SCALE: 1/4"=1'-0"

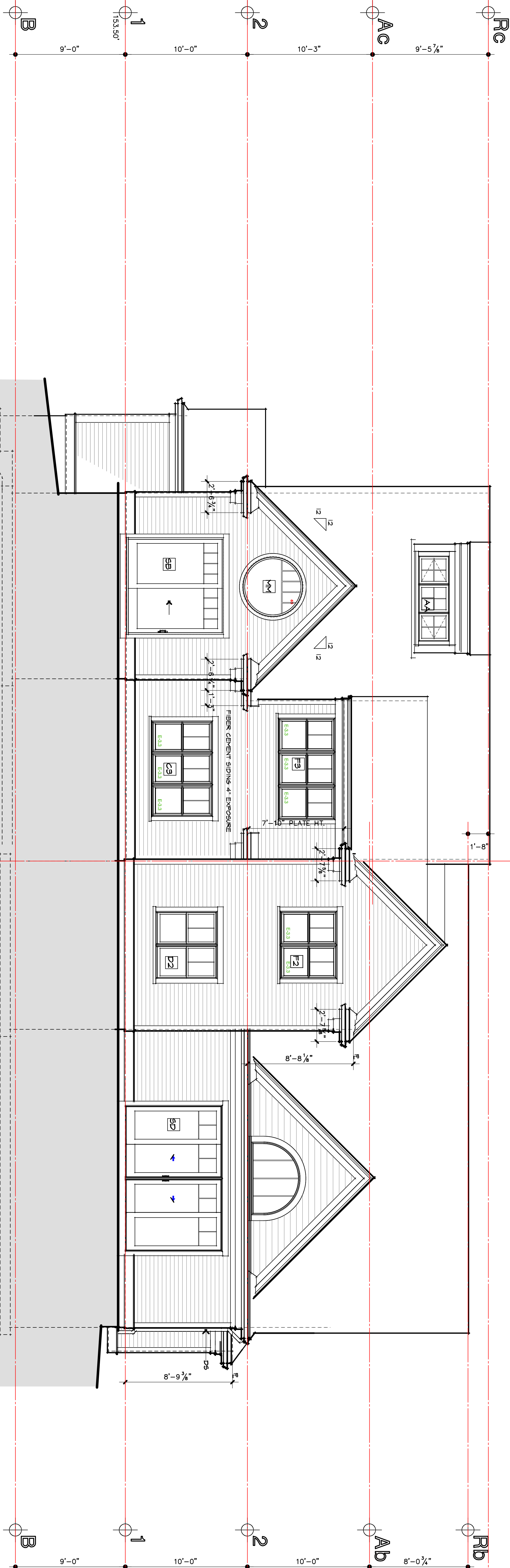
PROJECT NAME
SACO HARBORSIDE
Saco, Maine

APPLICANT
Saco Island Ventures, LLC
8 Doaks Lane
Marblehead, MA 01945

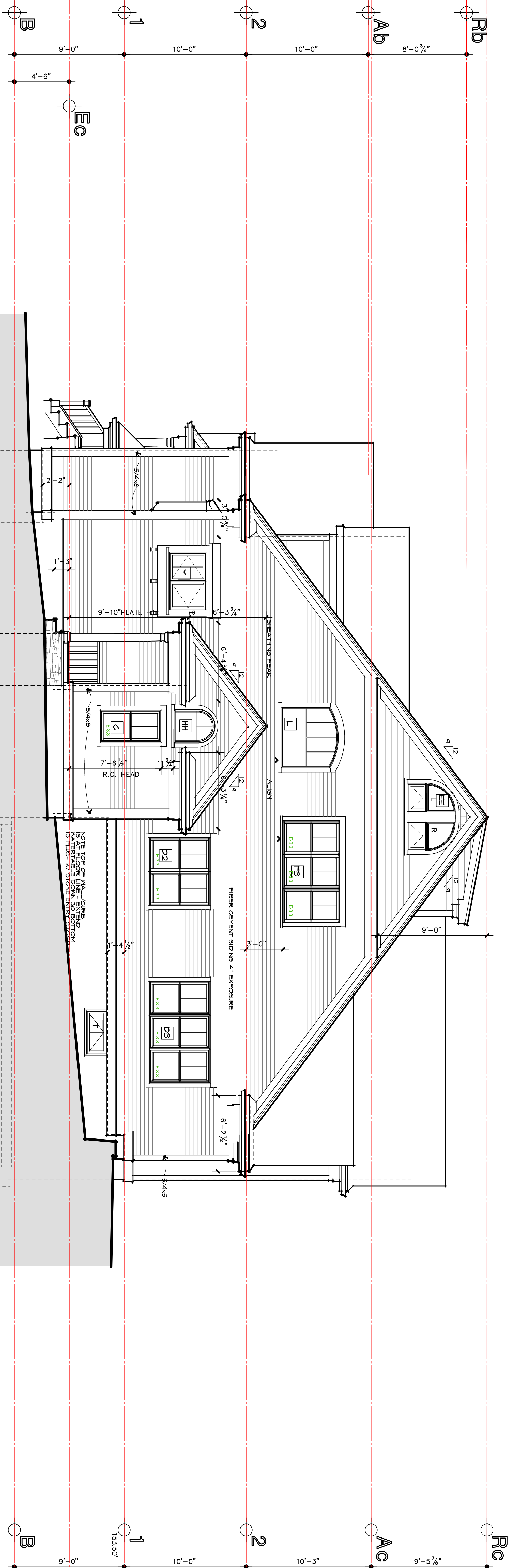
ARCHITECT
GRAZADO VELLECO ARCHITECTS 10 DOAKS LANE MARBLEHEAD, MA
REGISTERED ARCHITECT MASSACHUSETTS AND MAINE



REAR ELEVATION



RIGHT SIDE ELEVATION



A10

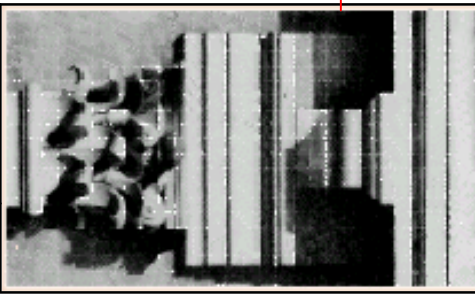
**GARAGE UNDER UNITS
RIGHT + REAR ELEV'S**

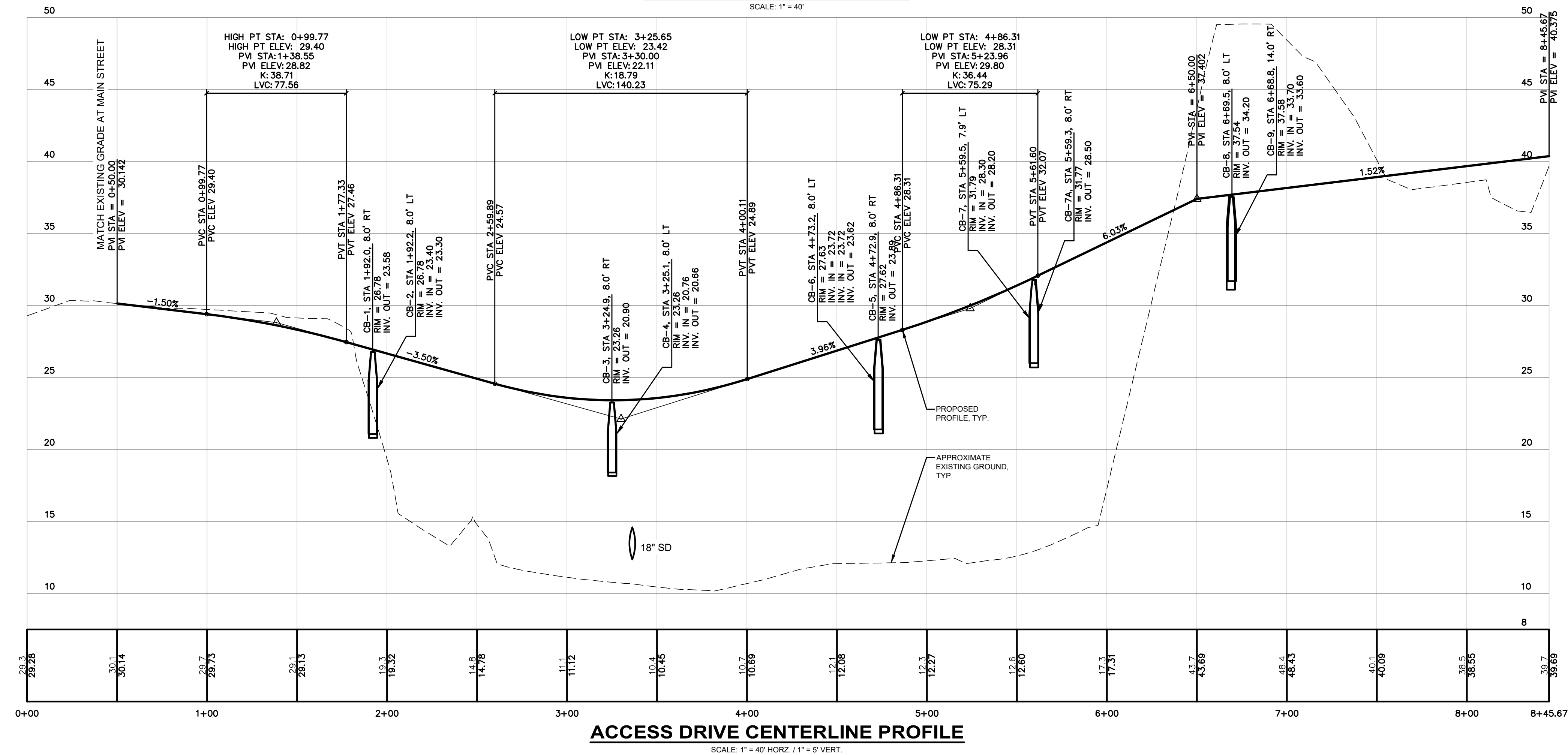
DATE: 2/03/21
SCALE: 1/4"=1'-0"

PROJECT NAME
SACO HARBORSIDE
Saco, Maine

APPLICANT
Saco Island Ventures, LLC
8 Doaks Lane
Marblehead, MA 01945

ARCHITECT
GRAZADO VELLECO ARCHITECTS 10 DOAKS LANE MARBLEHEAD, MA
REGISTERED ARCHITECT MASSACHUSETTS AND MAINE





U:\3738.01_24 Unit Townhouse-Factory Island East- Saco, ME.Z - CAD (DWG) 373801-GRADING.dwg 2/2/2021 9:50 AM

OWNER OF RECORD:
SACO ISLAND VENTURES LLC
8 DOAKS LANE
MARBLEHEAD, MA 01945
YCRD BK 18023; PG 284

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES & SHALL NOT BE USED FOR CONSTRUCTION.

STATE OF MAINE
STEPHEN R. BUSHEY, P.E.
LICENSED PROFESSIONAL ENGINEER
02.02.21
LIC. #7429

Rev.	Date	Revision
2	2021.02.02	REVISED PERMIT PLANS
1	2021.01.20	SUBMITTED TO CITY OF SACO FOR REVIEW

Rev.	Date	Revision
2	2021.02.02	REVISED PERMIT PLANS
1	2021.01.20	SUBMITTED TO CITY OF SACO FOR REVIEW

Design: KAB Draft: CDD Date: DEC. 2020
Checked: SRB Scale: AS NOTED Job No.: 3738.01
File Name: 373801-GRADING.dwg

This plan shall not be modified without written permission from Gorrill Palmer. Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to Gorrill Palmer.



Relationships. Responsiveness. Results.
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207.772.2515

Drawing Name:	ACCESS DRIVE PLAN & PROFILE
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-8.1



707 Sable Oaks Drive, Suite 30
South Portland, Maine 04106
207.772.2515

February 16, 2021

**Mr. Bob Hamblen,
City Planner
300 Main Street
City of Saco, Maine 04072**

**Subject: Saco Harborside
24 Unit Townhouse development
Factory Island East
Letter of Response #2 – Department of Public Works Comments**

Dear Bob:

Gorrill Palmer has received your email from February 8, 2021 containing additional staff review comments from Joe Laverriere, City Engineer from the Department of Public Works. We have reviewed these additional comments and we offer the following supporting information for your review. Some comments may coincide with the staff comments that were addressed in Letter of Response #1 (LOR#1) that was submitted to your office on February 3, 2021. In those cases, we may defer to the responses provided in LOR#1.

- 1. The application materials that have been submitted thus far is incomplete and does not include several items, such as financial capacity, traffic, site lighting, utility designs, etc. With that in mind, our review comments are somewhat general in nature.*

Response: Please refer to the information presented in LOR#1 that addresses the additional outstanding supporting materials. In addition, we offer the accompanying letter from Lowell Five Bank which indicates their past financial support of the applicant and current interest in financing the Harborside proposal. We trust this additional information will serve as sufficient evidence of the applicant's financial capacity.

- 2. The stormwater report did not include predevelopment and postdevelopment watershed maps. These maps are required to perform a substantive review of the Stormwater Management Report.*

Response: As the project is directly tributary to the tidal conditions of Saco River, we are requesting a waiver from the Flooding Standard through MEDEP Ch.500 Section F.(3)(a). With this in mind, we are requesting that pre- and post-development watershed maps associated with a hydrologic analysis not be required as the emphasis of the stormwater management plan is to provide water quality treatment and not water quantity control. Please advise if more substantive information on the drainage system pipe sizing is required as that can be provided if necessary. We would like to defer this sort of final design effort to the production of construction documents, at which time the information could be provided to the city, perhaps as a condition of approval.



- 3. A note should be added to the plan set indicating that the owner shall be required to inspect the stormwater management system on an annual basis, perform required annual maintenance, and submit an annual report to DPW by July 15th of each calendar year. In addition, the applicant is required to execute Form 1 within Section 805 of the Zoning Ordinance prior to the start of construction and Form 2 as part of the future annual reporting effort.*

Response: A note has been added to the plan set requiring inspection, maintenance, and submission as requested. The Applicant will execute Forms 1 and 2, as necessary. Applying these requirements as a condition of approval seems appropriate.

- 4. Are there any prior permit approvals for this site that need to be amended or complied with as part of this proposed site plan application?*

Response: Please refer to the response in LOR#1 for Section 230-1104 A(4). Additionally, the project will require a Permit by Rule under Ch.305 Section 2 for activity adjacent to the Saco River. We are in the process of completing an application to the Saco River Corridor Commission and seek to appear before their Board in the next few months.

- 5. Since this project will disturb in excess of 1 acre, then it will be subject to the requirements of a Maine General Construction Permit (MGCP). The applicant is required to obtain said permit and comply with all requirements. In accordance with the MGCP, the erosion control requirements for this project need to include specific requirements for inspection frequency, maintaining weekly inspection records, etc. These written inspection logs need to be maintained onsite and available for viewing during site inspections.*

Response: An NOI will be filed with the MaineDEP that will include an Erosion and Sedimentation Control Plan. The permit authorization and accompanying ESC Plan will be forwarded to the City under separate cover.

- 6. Main Street is under a 5-year moratorium. Unless the Moratorium is lifted for this project, then no disturbance of the Main Street pavement surface is permitted until after October 1, 2023. If the moratorium is lifted, then pavement restoration efforts within Main Street will likely require full width (curb-to-curb) roadway restoration within the affected area.*

Response: Construction of the project is anticipated to occur this summer, so we may need to pursue the lifting of the street moratorium. We fully understand that the restoration effort may then likely be significantly more extensive than normal. We can continue to work with DPW on the necessary restoration effort that will be required for any street openings and ensure that this coordination is captured on the final construction plans.

- 7. Previous discussions on the development of this site included the installation of a sidewalk along the easterly side of Main Street from the project entrance towards Pepperrell Square. Is this still being considered as part of the project?*



Response: The current site plan does not currently contemplate the construction of a sidewalk to the north towards Pepperrell Square. If the sidewalk is required, then the Applicant is open to discussions with City Staff to implement this with the request that it be a condition of approval. Further the applicant is seeking to explore cost sharing opportunities with the City, given the expense and reality that the sidewalk will extend well beyond the site and along street frontage associated with adjacent properties.

8. *Vehicular and pedestrian traffic movements will likely be a significant item of discussion as this project moves forward. Traffic signalization on the project's entrance onto Main Street is critically important to how these movements will operate and function.*

The current plan indicates the project entrance onto Main Street to be an unsignalized intersection until the traffic signal is activated. This implies the traffic signal will not be in place at the completion of this project. If that is indeed the case, then:

- *From a vehicle point of view, this will result in increased difficulty for turning movements (particularly left turns out of the two opposing driveways onto Main Street) that is anticipated to result in a safety concern.*
- *From a pedestrian point of view, this will adversely impact pedestrian accommodations. Without a functional traffic signal, DPVV is not supportive of the pedestrian crosswalk across Main Street as shown on the concept plan. Without this sidewalk, how will pedestrian connectivity be provided to the westerly side of Main Street?*

Response: The applicant will continue to explore options for improving the pedestrian crossing and traffic signalization of the Main Street/Driveway intersection, understanding that the signalization, while long since installed, but not activated, remains a critical traffic and pedestrian control system for the island and Main Street.

9. *The main access drive is shown as being 18' in width with raised curbing along each side of the access drive. Is this sufficient to accommodate snow removal activities with any opposing vehicles onsite? At the entrance onto Main Street, the access drive should be widened to a minimum of 24' to better accommodate turning vehicles entering and exiting the site. Turning movement diagrams should be provided with a stationary vehicle in the exit lane of the site entrance.*

Response: Based on these suggestions we propose to widen the private road to 20' except for the drive entrance which will be widened to 24'. The widening will be shown on the final plans associated with construction document production which will be made part of the final plans as a condition of approval tied to the issuance of a building permit. The entrance onto Main Street will be widened to 24' for the first 100' to accommodate vehicles entering and exiting the site. Vehicle tracking movements have been performed for vehicles entering and exiting the site and are provided with this letter.

10. *The portion of the driveway entrance within the Main Street right-of-way shall be constructed in accordance with the pavement section thickness requirements for a local roadway. Beyond that point, the pavement section thicknesses may be reduced as indicated on the detail sheet.*



Response: A note has been added to the Site Plan demonstrating the pavement thickness for the portion of driveway in the right-of-way will be constructed to local/state roadway requirements. As-built information has not been made readily available for this section of Main Street/Rte. 9, therefore, the plans have been revised to note the requirement to match the existing pavement section. It is anticipated that the existing pavement section may include:

- **3” of 12.5MM HMA surface course, MDOT 403.208**
- **3” of 19MM HMA binder course, MDOT 403.207**
- **6” of base aggregate, MDOT 703.06 Type A**
- **18” of subbase gravel, MDOT 703.06 Type D**

11. All curb within Main Street right-of-way, including the fillet radii on either side of the site entrance drive, shall be vertical granite curb matching the existing curb along Main Street. Beyond that point, the curb material may change to slip form concrete curb as indicated on the detail sheet.

Response: The Site Plan currently shows granite curb extending through the right-of-way and matching into existing curbing in Main Street. The applicant reserves the right to install either granite curb or slipform concrete curb within the property.

12. All work within the public right-of-way shall be subject to the terms and conditions of a Street Opening Permit to be issued by DPW. The developer shall be responsible for applying and obtaining a Street Opening Permit prior to the start of any work within the public right-of-way.

Response: A street opening permit will be filed with the City DPW by the Applicant prior to construction of any work within the public right-of-way. This can be made a condition of approval if it is not already a typical Standard Condition.

13. How is solid waste being collected? Is there a centralized dumpster or will solid waste be collected at each residential unit?

Response: Please refer to the responses to LOR#1 regarding site elements and the waste disposal plan. Each unit will have solid waste and recycling totes that will be collected along the private street side on a weekly basis, by a contracted waste hauler.

14. The United States Postal Service is requiring the installation of centralized mailbox for delivery and no longer delivering to individual mailboxes. The proposed location of the centralized mailbox shall be shown on the site plans and be at a location acceptable to the Postmaster. The location of the centralized mailbox shall not interfere with traffic entering or exiting the site.

Response: The Site Plan has been revised to include a centralized mailbox for tenants. We continue to coordinate with the USPS on the location and details for the mailbox services.



15. *In accordance with Section 5.2.2 of the Subdivision Regulations, the Subdivision Plan needs to contain coordinates on at least four corners of the parcel for geo-referencing purposes.*

Response: Please see the response to Section 5.2.2 in LOR#1.

16. *Are the buildings planned to be equipped with a fire suppression sprinkler system? Is the building required to be sprinkled?*

Response: The buildings will not require fire suppression systems but the development will be constructed with several private hydrants positioned along the roadway. If the fire department or local building codes require a fire suppression system, please advise so that the architectural/MEP consultants for the buildings can be made aware of this requirement.

17. *The applicant should consult with the Saco Fire Department on the requirements and locations for knox box; annunciator panel; and external sprinkler riser connection.*

Response: We will coordinate with the Saco Fire Department to satisfy all requirements they may have.

18. *Final hydrant locations throughout the site shall be determined by the Saco Fire Department. It is our understanding that any new onsite fire hydrants will be private. The applicant should consult with the Saco Fire Department on requirements for future maintenance agreements for the private hydrants.*

Response: We will coordinate with the Fire Department to confirm the final locations of the hydrants. The Applicant will consult with the Fire Department regarding maintenance agreements for the private hydrants, all in advance of the upcoming Planning Board meeting. We will advise you of our ongoing status, periodically.

19. *The final design of the water distribution system shall be reviewed and approved by the Maine Water Company prior to Final Approval.*

Response: We are currently waiting for a response from Maine Water and will forward to the City upon receipt.

20. *The extent of the 100-year floodplain should be shown on the existing plans and site plans.*

Response: The 100-year flood plain has been added to the plan set. Base flood elevation is elevation 9.

21. *Does any of the proposed grading extend into the 100-year flood plain?*

Response: The proposed grading includes a minor fill embankment extension to within the mapped Base Flood elevation (El. 9' FEMA) located in the southwest and south portions of the site, but approximately 30' behind the existing wood wall remnants. The surface area of fill within the floodplain is approximately 26,075SF and the volume of fill placed is approximately



17,700CF. The fill placement will not impact the flood storage capacity and no structures are proposed within the fill slope. The Applicant's team will await further direction from City staff as to any additional information that may be required or any additional related permitting. If necessary, the embankment fill slope can be steepened to 2:1 or steeper and the amount of fill placement can be minimized.

22. Are foundation perimeter drains proposed to be installed? If so, the locations of the foundation drains, including outfall locations, should be shown on the plans.

Response: Perimeter foundation drains will be provided for the three duplexes containing Units 1-6. Outfall locations for each of these is shown on the Grading, Drainage, & Erosion Control Plan.

23. Are the finish floor elevations shown on the plans the first floor of the residential use or the garage floors? What are the finish floor elevations of the lower levels?

Response: The Grading, Drainage, & Erosion Control Plan has been revised to show the elevations of first floor and bottom floors for units that have daylight basements.

24. As noted above in comment 2, a more substantive review of the stormwater quality and quantity control plan will be performed once all materials have been submitted. The following general comments are provided based upon a cursory review of the grading plans:

- How do Filterra units 1 and 2 outlet?*
- There are three drain manholes (3, 4 and 5) shown on the plans, but connecting storm drain lines are not shown.*
- Sheet C-7.5, the diameter of OCS-1 does not appear large enough to accommodate the pipes entering and exiting the structure. How will maintenance access be provided between the outlet pipe and internal weir structure.*

Response: The Grading, Drainage, and Erosion Control Plan and Stormwater Management sheets have been revised to show the outlet pipes and proper configuration for the Filterra® stormwater management systems. The Filterra® units outlet to an underground storage system that outlets to OCS-1. OCS-1 has been increased to a 6' diameter structure to accommodate the pipe sizes and to provide two inspection ports for proper maintenance.

25. The onsite sewerage pump station will be considered private. The applicant should consult with the WRRD. The design of the private pump station is required to meet their standards. In addition, WRRD requires a renewable contract with a qualified, third party agency to perform semi-annual inspection, maintenance and operation of the private pump station. The language for the renewable contract should be submitted to the City WRRD for review and approval.

Response: We will coordinate with the WRRD to ensure the pump station meets their applicable standards. The Applicant will execute a Contract with a qualified vendor for the inspection, maintenance, and operation of the pump station.



26. The 2" force main will connect to a 6" force main stub that has been previously installed for future service to this parcel. An excerpt of the Record Drawings for this force main stub is provided below along with the access manhole within intersection of Main Street and the site entrance.

Response: The Utility Plan has been revised to depict the existing utility conditions and connect to the 6" force main stub accordingly. We will continue to coordinate with the DPW and WRRD to ensure proper connection to the public force main. We previously provided a capacity study of the existing 6" FM and we look forward to WRRD review of that information.

27. Provide design data for force main hydraulic analysis, pump system head condition, and pump selection.

Response: The full design of the private pump station will be completed by a third party vendor who will be responsible to design and supply the system. We request consideration to make the submission of these design materials a condition of approval subject to the issuance of a building permit, so that the applicant can seek competitive pricing for the supply of the private system.

28. The force main analysis will require the hydraulic analysis of the shared force main, which include discharges from two other municipal pump stations. The applicant should consult with the WRRD on discharge rates for those two facilities as well as force main plans.

Response: A capacity analysis has been provided to the WRRD and the basic findings were that the 6" FM has adequate capacity for the proposed 24 unit development.

29. The onsite sewer system design needs to include pipe sizes, manhole inverts as well as service lateral inverts at the buildings.

- *Sheet G-7.6 details an underground chambered storage system. Where is this intended to be installed?*
- *A detail for CCS2 needs to be provided.*

Response: The Utility Plan has been revised to show pipe sizing and manhole inverts. A structure table has been added to the sheet as well.

The underground storage system is proposed to store the water quality volume from the Filterra® units. This is shown in more detail on the stormwater management plans. Detail A on Sheet C-7.4 has been revised to have an eccentric cone for better access and maintenance.

30. A detail for "Grasspave2" is contained on Sheet G-7.1 of the plan set. Where is this intended to be used?

Response: The Applicant reserves the right to use a variety of surfaces for the tenant driveways. These may include a porous grass paver system, pavers or porous pavers, bituminous pavement, concrete, or other hard surface. For now, we have not accounted for any porous systems in the water quality treatment calculations. If these systems are used, they will only help with the site's overall water quality treatment and stormwater management systems.



31. It is likely that multiple rows of perimeter erosion control measures will be required along the edge of the Saco River. In addition, temporary sediment sumps will likely be required to effectively control sediment laden runoff water from the construction area. The site-specific erosion control plan should include additional measures to protect the Saco River.

Response: The Erosion & Sedimentation Control Plan has been revised to address permanent erosion control issues and satisfy the Ch. 500 Basic Standards. As mentioned above, the approved Erosion Control Report and Maine General Construction Permit will be provided to the City under separate cover.

We look forward to your review of the accompanying materials and trust you will find the information sufficient to consider the application satisfactory to allow the Planning Board to find the application is complete and suitable to consider an approval, with conditions as suggested in this letter or otherwise developed by the Planning Department and Board.

If you have any questions with the information being submitted, please contact our office.

Sincerely,

Gorrill-Palmer Consulting Engineers

A handwritten signature in black ink, appearing to read 'Kaleb Bourassa'.

Kaleb Bourassa, EI
Project Engineer
kbourassa@gorrillpalmer.com

c: Ted Moore Saco Island Ventures (email)
Bernie Saulnier (email)
Paul Weinstein
Tony Sasso

Attachments:

Financial Capacity Letter
Vehicle Tracking Figures
Revised Plan Sheets



February 12, 2021

To Whom It May Concern,

Please be advised that Mr. Edward T. Moore is a long-standing customer of Lowell Five. Over the years Mr. Moore's relationship has included road and infrastructure financing, subdivision financing, multifamily financing, and revolving lines of credit. Mr. Moore is highly regarded by Senior Management as a highly successful and experienced real estate developer. Based on his experience we welcome the opportunity to partner with Mr. Moore on his projects.

Regarding a proposed 12-building, 24-unit project along the Saco River in Saco, ME, I have reviewed the proposed site plan and the Bank is interested in partnering with Mr. Moore on this project. Final approval and credit extension, if granted, will be subject, but not limited to, the following conditions:

1. Receipt of all required State and Town approvals;
2. Receipt and satisfactory review of a subdivision appraisal with a maximum loan to value ratio of 75% at all times;
3. An updated satisfactory credit bureau report;
4. Updated proof of liquid reserves;
5. A full application including the total loan amount requested;
6. A budget and scope of work for the proposed development;
7. Final approval by the Bank's Board Loan Committee.

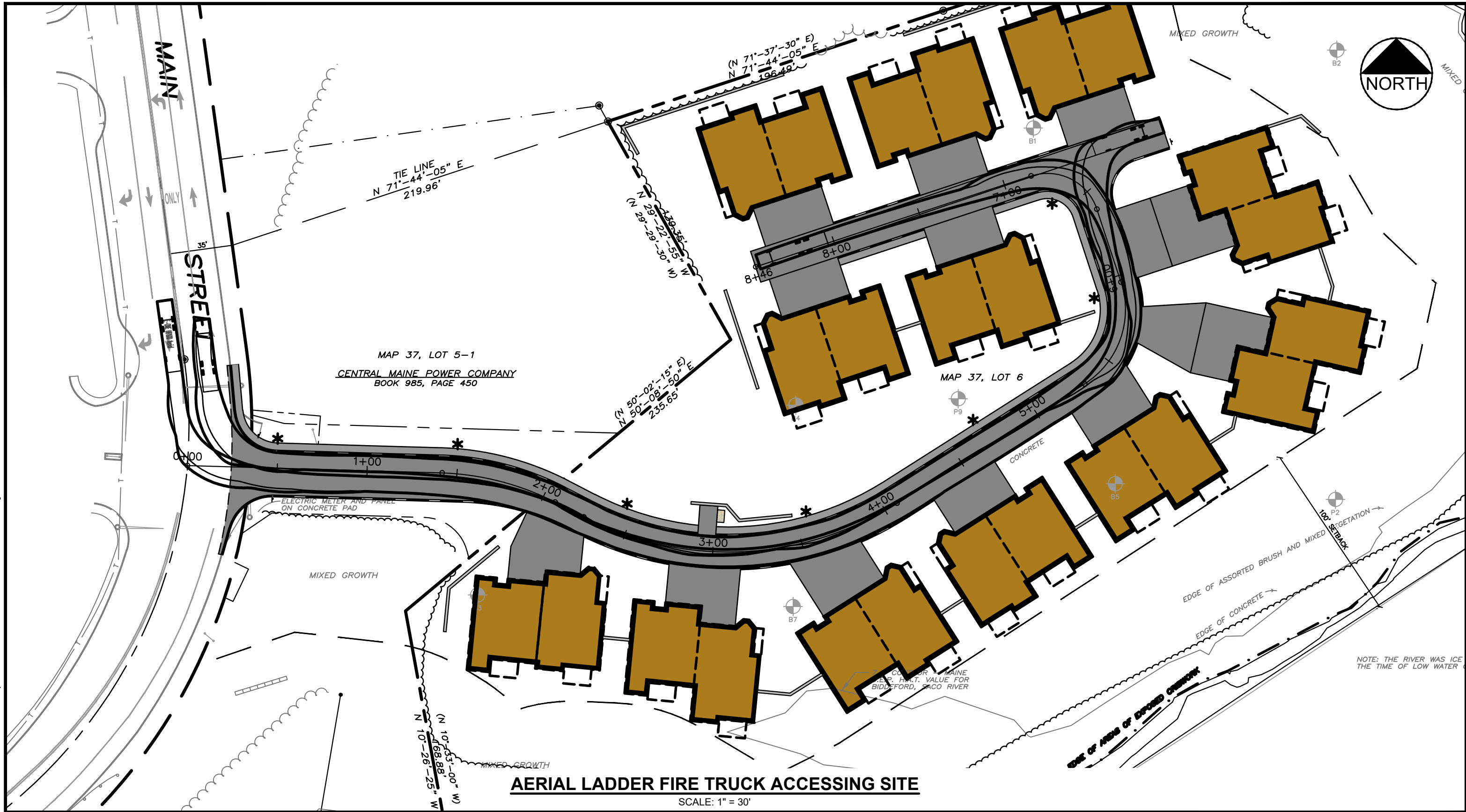
Please feel free to call me with any questions you may have. My direct line is (978) 441-6468.

Best Regards,

Mark M. Katimy, SVP

Mark M. Katimy
Senior Vice President
Commercial Loan Officer

U:\3738.01_24 Unit Townhouse-Factory Island East-Saco, MEZ - CAD\DWG\373801-PBASE.dwg chuck.duba 2/15/2021 9:39 AM



AERIAL LADDER FIRE TRUCK ACCESSING SITE

SCALE: 1" = 30'



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Client/Project
24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST
SACO, ME

SACO ISLAND VENTURES
8 DOAKS LANE, MARBLEHEAD, MASS. 01945

File Name: 373801-PBASE

CDD	SRB	KAB	21.02.12
DWN.	CHKD.	DSGN.	DATE

Title

VEHICLE TRACKING MOVEMENTS
FOR AERIAL LADDER FIRE TRUCK

Figure No.

1

February 17, 2021

**Mr. Bob Hamblen,
City Planner
300 Main Street
City of Saco, Maine 04072**

**Subject: Saco Harborside – 24 Unit Townhouse Development
Factory Island East
Letter of Response #3 to Email Comments Dated February 16, 2021**

Dear Bob:

Gorrill Palmer has received your email dated February 16, 2021 containing additional review comments for the project. We have reviewed these additional comments and we offer the following supporting information for your review. For ease of review we have included the comments in *italics* with our responses in **bold**.

- a. *SLODA permit status – have you asked the DEP? Is this an amendment to the 2007 permit, or has that expired? Cover sheet lists several required permits, but not a SLODA – is that the case? How much disturbed area is proposed?*

Response: The previous owner of the site, S.I. Development, LLC and Cutts Island Group received previous approval from the Department in Department Orders #L-23633-87-N-N/L-23633-2G-C-N to construct a 30-unit residential development with associated infrastructure, a 2,050 square foot clubhouse, a 69-slip marina with associated ramps, floats, and a boat pump-out facility. The Department also approved the reconstruction and repair of the retaining wall. The construction did not begin and the permit approval expired.

As the permit has now lapsed due no development onsite, the previous MaineDEP Permit is no longer valid. As the City of Saco has delegated review authority for MaineDEP review we had included a completed Municipal Capacity form in LOR #1, Item 4 which we submitted previously. This allows for the City to supply to the MaineDEP securing this delegated authorization to review the development.

The project now involves approximately 83,000 SF of proposed impervious surface and a disturbed area between 3 to 4 acres. The project does not qualify for review under the Site Location of Development Standards, however it does qualify for a Stormwater Management Permit and requires a Maine Construction General Permit notice filing. We understand the City has capacity to review the stormwater aspects of the site and we therefore request for that to occur.



b. Photometric plan forthcoming?

Response: A Photometric Plan was previously submitted in LOR #1 on February 3, 2021.

c. PDF of the plan set, please.

Response: A PDF of the plan set was sent to your office on February 15, 2020 for you review.

d. Comments pertaining to Saco River Corridor Commission.

Response: We are in the process of completing an application to the Saco River Corridor Commission and seek to appear before their Board in the next few months. We would seek any SRCC action to be a condition of Site Plan approval.

e. Is a permanent sign with the name "Saco Harborside" anticipated at the project entrance? If so, please add to plan.

Response: We are reviewing with the applicant and will provide further information in the near future.

f. Letters of capacity from WRRD and Maine Water – relying again on the 2018 project? If so, got copies?

Response: Our office is working with Maine Water and WRRD to secure current capacity to service letters and will forward upon receipt. We forwarded a recent reply from Maine Water Co. to your attention on February 16, 2021 indicating their preliminary support for adequate water capacity to the development.

g. Acknowledging the relatively low volume of ADTs that will be generated, does this still merit an amendment to the existing TMP for the west and east sides of Saco Island?

Response: The original TMP REG.01-00090-A-N included the development of 30 residential townhomes on the east side of the island. The townhomes were never constructed. We have requested a concurrence letter from the DOT Region 1 traffic engineer, Randy Illian, regarding any further permitting required. Based on past experience we believe the proposed 24 Townhouse development would not trigger a TMP from the Department, thus no further permitting is required at this time, at least from the MaineDOT. We will provide the MaineDOT's response upon receipt.

h. Do you have appoint of contact for CMP? If City plans to move forward with that CMP-owned piece next to Main St., that would be a starting point.

Response: In the past, we have worked with Alice Richards of CMP's real estate department; Alice.Richards@cmpco.com. We have reached out to others in CMP asking for other real estate contacts. We will forward this information to you upon receipt.



If you have any questions with the information being submitted, please contact our office.

Sincerely,

Gorrill-Palmer Consulting Engineers

A handwritten signature in blue ink, reading "Stephen R. Bushey".

Stephen R. Bushey, PE
Associate
Sbushey@gorrillpalmer.com

- c: Ted Moore Saco Island Ventures (email)
- Bernie Saulnier (email)
- Paul Weinstein (email)
- Tony Sasso (email)

PROJECT PARCEL SITE
CITY OF SACO TAX ASSESSOR'S
MAP AND LOT - 37/LOT 6
Y.C.R.D. BOOK 17534 PAGE 286 - 5.84 ACRES

APPLICANT/OWNER:
SACO ISLAND VENTURES
8 DOAKS LANE
MARBLEHEAD, MASS. 01945
ATTN: TED MOORE
YCRD BOOK 18025 PAGE 284

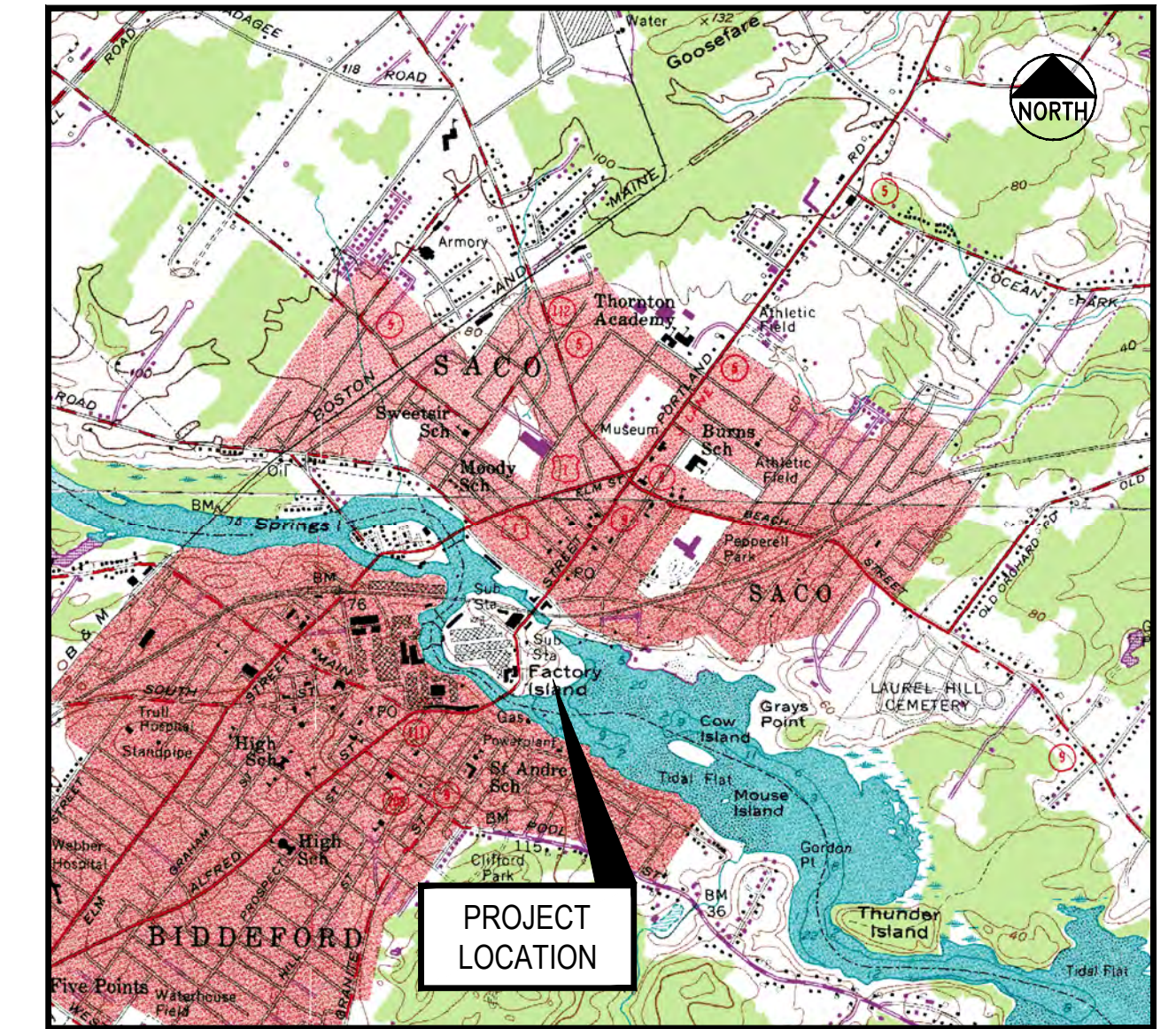
SITE PLAN IMPROVEMENTS for 24-UNIT TOWNHOUSES

AT FACTORY ISLAND EAST

SACO, MAINE

JANUARY 2021

PERMIT PLAN SUBMISSION



LOCATION MAP
N.T.S.

INDEX

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C-7.8	EROSION AND SEDIMENT CONTROL NARRATIVE
C-8.0	SITE CROSS SECTION
C-8.1	ACCESS DRIVE PLAN & PROFILE

UTILITIES

SEWER
ATTN: HOWARD CARTER
WATER RESOURCES RECOVERY DEPARTMENT
300 MAIN STREET
SACO, MAINE 04072
207.282.3564

WATER
ATTN: HELEN POTTLE
MAINE WATER COMPANY
93 INDUSTRIAL PARK ROAD
SACO, MAINE 04072
800.287.1643

ELECTRIC - POWER
ATTN: JAMIE COUGH - ENERGY SERVICES SUPERVISOR
CENTRAL MAINE POWER
162 CANCO ROAD
PORTLAND, MAINE 04101
207.842.2367 (OFFICE)
207.458.0382 (CELL)
Jamie.Cough@cmpco.com

STORM DRAIN
CITY OF SACO - PUBLIC WORKS DEPARTMENT
15 PHILLIPS SPRING ROAD
SACO, MAINE 04072
207.284.6641
ATTN: PATRICK FOX - DIRECTOR
JOSEPH LAVERRIERE - CITY ENGINEER

GAS
ATTN: SCOTT CARPENTER
UNITIL, INC.
376 RIVERSIDE INDUSTRIAL PARKWAY
PORTLAND, MAINE 04103
207.541.2543
carpenters@unitil.com

TELEPHONE
ATTN: PATRICK MORRISON
CONSOLIDATED COMMUNICATIONS
5 DAVIS FARM ROAD
PORTLAND, MAINE 04103
207.797.1866

CABLE
ATTN: MARK PELLETIER
CHARTER COMMUNICATIONS
118 JOHNSON ROAD
PORTLAND, MAINE 04102
207.253.2291
mark.pelletier@charter.com

DIG SAFE
DIAL 811 (AT LEAST 72 HRS. IN ADVANCE)

PERMITS / APPROVALS

LOCAL	GOVERNING BODY	STATUS
SITE PLAN / SUBDIVISION APPROVAL	CITY OF SACO - PLANNING BOARD	PERMIT PLANS FILED 01 / 20 / 2021
BUILDING PERMIT	SACO MUNICIPAL BUILDING 300 MAIN STREET SACO, MAINE 04072 ATTN:	TO BE FILED BY CONTRACTOR
STATE		
STORMWATER MANAGEMENT / NRPA	MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION 312 CANCO ROAD PORTLAND, MAINE 04103 207.822.6300	CITY OF SACO HAS DELEGATED REVIEW FOR STORMWATER
SACO RIVER CORRIDOR COMMISSION	SACO RIVER CORRIDOR COMMISSION 81 MAPLE STREET CORNISH, MAINE 04020 207.625.8123 ATTN: DALYN HOUSER	-
TRAFFIC MOVEMENT PERMIT	MAINE DEPARTMENT OF TRANSPORTATION DIVISION 6 OFFICE P.O. BOX 1940 PORTLAND, MAINE 04104 207.883.5546	30 UNIT TOWNHOUSE DEVELOPMENT PARTIALLY APPROVED UNDER RG. 01-00090-A-N.
VOLUNTARY RESPONSE ACTION PROGRAM (VRAP)	MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION 17 STATE HOUSE STATION AUGUSTA, MAINE 04333-0017 207.592.0882 ATTN: NICK HODGKINS	NO ACTION ASSURANCE LETTER ISSUED JANUARY 17, 2018-OWNER TO SEEK UPDATE

CONSULTANT LIST

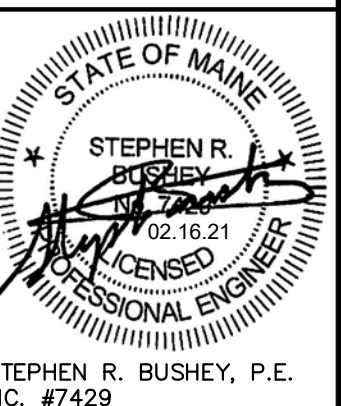
CIVIL ENGINEER:
Gorrill Palmer
707 SABLE OAKS DRIVE, SUITE 30
SOUTH PORTLAND, MAINE 04106
207.772.2515
ATTN: STEVE BUSHEY
sbushey@gorrillpalmer.com

SURVEYOR:
Dow and Coulombe
13 PARK STREET
SACO, MAINE 04072
207.284.4521
ATTN: MIKE COULOMBE

ARCHITECT:
Grazado Velleco Architects
10 DOAKS LANE
MARBLEHEAD, MA 01945

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES & SHALL NOT BE USED FOR CONSTRUCTION.



U:\3738.01_24_Unit_Townhouse-Factory_Island_East-Saco,ME.Z - CAD\DWG\373801-COVER.dwg 2/15/2021 4:02 PM

Rev.	Date	Revision

Rev.	Date	Revision
2	2021.02.16	REVISED PERMIT PLANS
1	2021.01.20	SUBMITTED TO CITY OF SACO FOR REVIEW

Design: KAB	Draft: CDD	Date: DEC. 2020
Checked: SRB	Scale: AS NOTED	Job No.: 3738.01
File Name: 373801-COVER.dwg		
This plan shall not be modified without written permission from Gorrill Palmer. Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to Gorrill Palmer.		

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Drawing Name:	COVER SHEET
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.	C-1.0
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GENERAL NOTES

- 1. IN ADDITION TO THESE PLANS AND NOTES, THE CONTRACTOR SHALL REFER TO THE PROJECT MANUAL FOR CONSTRUCTION SPECIFICATIONS AND BIDDING PROCEDURES.
2. TOPOGRAPHIC AND BOUNDARY DATA AND EXISTING CONDITIONS ARE BASED ON A GROUND SURVEY CONDUCTED BY DOW AND COULOMBE.
3. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
5. ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
6. THE CONTRACTOR SHALL REFER TO THE BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PAVING, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE POINTS
7. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
8. PROJECT IS PARTIALLY LOCATED IN 100-YEAR FLOOD ZONE, PER FEMA FLOOD INSURANCE RATE MAP, COMMUNITY #230155, PANEL #0120D DATED JAN. 5, 2006.
9. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
10. ALL PROPOSED SIGNS WILL CONFORM TO THE CITY OF SACO ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
11. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MAINE EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND MDOT SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED).
12. ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE 2 COATS OF PAINT, ALKYD BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE. ALL STRIPING ON CONCRETE IS TO BE YELLOW.
13. ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE STRUCTURAL PLANS. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
14. THE ENTIRE SITE AND PLAN SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE AND PLAN AND IN ACCORDANCE WITH ALL ACCOMPANYING WRITTEN SUBMITTALS AND IN ACCORDANCE WITH ANY CONDITIONS ATTACHED BY THE PLANNING AUTHORITY. APPROVAL BY THE CITY PLANNER SHALL BE REQUIRED FOR ANY MINOR ALTERATIONS TO OR DEVIATIONS FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY; DRAINAGE; LANDSCAPING; RETENTION OF WOODED OR LAWN AREAS; ACCESS; UTILITIES; SIZE, LOCATION AND SURFACING OF PARKING AREAS; AND LOCATION AND SIZE OF BUILDINGS. MAJOR ALTERATIONS OR DEVIATIONS MUST BE APPROVED BY THE PLANNING AUTHORITY AS REVISIONS OR AMENDMENTS. THE INITIAL DETERMINATION OF WHETHER A CHANGE IS MINOR OR MAJOR WILL BE MADE BY THE TOWN PLANNER.
15. FAILURE TO COMMENCE SUBSTANTIAL CONSTRUCTION OF A SITE PLAN WITHIN TWO (2) YEARS OF THE DATE OF THE FINAL PLANNING AUTHORITY APPROVAL OF THE PLAN SHALL RENDER THE PLAN NULL AND VOID.
16. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RECORD DRAWINGS THROUGHOUT THE PROJECT AND PROVIDING THE OWNER WITH A SET OF ELECTRONIC FINAL RECORD DRAWINGS WHEN THE PROJECT IS COMPLETE.

PERMITTING NOTES

- 1. THIS PROJECT WILL BE SUBJECT TO THE TERMS AND CONDITIONS OF ALL PERMITS ISSUED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAINE DEPARTMENT OF TRANSPORTATION, THE U.S DEPARTMENT OF THE ARMY CORPS OF ENGINEERS, LOCAL UTILITY COMPANIES AND THE CITY OF SACO.
2. THE CONSTRUCTION WILL BE GOVERNED BY THE MEDEP RULES AND REGULATIONS OR CITY OF SACO CODE OF ORDINANCES. IN CASE OF CONFLICT WITH LOCAL OR FEDERAL REGULATIONS, THE MOST STRINGENT SHALL APPLY.
3. THE CONTRACTOR SHALL REVIEW THE ABOVE-REFERENCED PERMITS PRIOR TO SUBMITTING A BID FOR THIS PROJECT, AND INCLUDE COSTS AS NECESSARY TO COMPLY WITH THE CONDITIONS OF THESE PERMITS.

SITE LAYOUT NOTES

- 1. ALL HANDICAP PARKING SPACES ARE TO RECEIVE HANDICAP SIGNS AND PAVEMENT MARKINGS AS ILLUSTRATED ON THE DETAIL SHEETS.
2. BITUMINOUS CONCRETE CURB, SLIPFORM CONCRETE CURB AND GRANITE CURB SHALL MEET THE REQUIREMENTS OF MDOT 702.001, 703.07 AND 609.04.
3. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE EDGE OF PAVEMENT, FACE OF CURB OR THE FACE OF THE BUILDING.
4. ALL TRAFFIC CONTROL SIGNS INDICATED ON THE SITE LAYOUT PLAN ARE TO MEET ALL REQUIREMENTS & STANDARDS OF THE MAINE DEPARTMENT OF TRANSPORTATION, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITIONS AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
5. STRIPE PARKING AREAS, DRIVES AND ROADWAY AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, CROSSWALKS, HANDICAP SYMBOLS, PAINTED ISLANDS AND FIRE LANES. (ALL MARKINGS EXCEPT MEDIAN ISLANDS AND CENTERLINES TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT). ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". MEDIAN ISLANDS AND CENTERLINES TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT.
6. PROPERTY LINE AND R.O.W. MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS, AT THE CONTRACTOR'S EXPENSE, BY A MAINE PROFESSIONAL LAND SURVEYOR, AT NO EXTRA EXPENSE TO THE OWNER.

GRADING AND DRAINAGE NOTES

- 1. UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603 - PIPE CULVERTS AND STORM DRAINS, LATEST REVISION, WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
REINFORCED CONCRETE PIPE
POLYVINYL CHLORIDE (PVC) PIPE
SMOOTH BORE POLYETHYLENE PIPE- ADS OR HANCOR
2. AN "AS-BUILT" CERTIFICATION AND PLANS OF THE STORMWATER DRAINAGE SYSTEM ARE REQUIRED PRIOR TO THE OWNER ACCEPTING ANY BUILDINGS AND PROPERTY. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ANY DEVIATION FROM THE PLANS MAY DELAY THE ACCEPTANCE OF THE PROJECT, WITH CONTRACTOR RESPONSIBLE FOR ANY ASSOCIATED COSTS.
3. A DETAILED O&M MANUAL FOR STORMWATER MANAGEMENT SYSTEMS IS (WILL BE) FILED WITH THE CITY OF SACO DURING THE PERMIT REVIEW PROCESS. A SPECIFIC MANUAL HAS BEEN PREPARED FOR O&M OF THE DRAINAGE SYSTEM.
4. SEE EXISTING CONDITIONS FOR BENCHMARK INFORMATION.
5. SEE GRADING, DRAINAGE AND EROSION/SEDIMENT CONTROL FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
6. TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCK PILED AND SCREENED. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION.
7. THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING. ALL DEWATERING SHALL BE CONDUCTED IN A MANNER THAT PREVENTS THE RELEASE OR TRANSPORT OF SEDIMENTS FROM THE SITE.
8. PAVING WITHIN ALL ADA COMPLIANT PARKING SPACES SHALL COMPLY WITH ADA/ANSI REQUIREMENTS INCLUDING PROVISIONS THAT LIMIT PAVEMENT GRADES TO A MAXIMUM OF 2% IN ANY DIRECTION WITHIN ALL SPACES. A MAXIMUM GRADE OF 5% ALONG THE ADA ROUTE MUST ALSO BE PROVIDED. THE CONTRACTOR SHALL PROVIDE EVIDENCE THAT THESE CONDITIONS HAVE BEEN SATISFIED PRIOR TO PROJECT ACCEPTANCE.
9. THE CONTRACTOR SHALL PROVIDE A WORK SHEET CONTAINING BINDER COURSE ASPHALT SPOT GRADES AT ALL FOUR CORNERS OF EACH ADA SPACE TO THE ENGINEER PRIOR TO PLACEMENT OF SURFACE PAVEMENT.
10. COMPACTION REQUIREMENTS:
LOCATION MINIMUM COMPACTION%
SUBBASE AND BASE GRAVEL BELOW PAVED OR CONCRETE AREAS 95%
SUBGRADE FILL BELOW PAVED AREAS 90%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%
STRUCTURAL FILL WITHIN PROPOSED BUILDING AREA 95%
SELECT FILL ADJACENT BUILDING FOUNDATIONS, EXTERIOR FOUNDATIONS 95%
AND WITHIN 8 INCHES OF THE SLAB-ON-GRADE
*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM-D-1557.

- 11. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE AND EXIT RAMPS ADJACENT TO THE BUILDING AND ALONG NEW CURBED AREAS.
12. PROVIDE STABILIZATION OR SEPARATION GEOTEXTILE FABRIC OVER UNSTABLE SOILS AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND IN ACCORDANCE WITH THE FINAL GEOTECHNICAL RECOMMENDATIONS.

LOCAL APPROVALS, WAIVERS AND VARIANCES

THE CONSTRUCTION PLANS ARE TO BE SUBMITTED TO THE CITY OF SACO FOR THEIR REVIEW. APPROVAL AND RECORDS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

UTILITY NOTES

- 1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND THEY SHALL REPORT THEIR FINDINGS TO THE OWNER AND DESIGN ENGINEER.
2. ALL REQUIRED UTILITIES SERVING THE PROJECT SHALL BE COORDINATED AND CONSTRUCTED BY THE DIVISION SITE CONTRACTOR TO WITHIN 5 FEET OF THE BUILDINGS. AT A LOCATION COORDINATED WITH THE MEP CONTRACTOR(S) AND THE BUILDING PLANS. SITE WORK WITHIN 5 FEET OF UNDERSLAB UTILITIES SHALL CONSIST OF TRENCHING AND BACKFILLING. ACTUAL UTILITY INSTALLATION SHALL BE BY THE MEP CONTRACTOR. ALL REQUIRED CONNECTION FEES SHALL BE PAID BY THE GENERAL CONTRACTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DROP AND TIE-IN FEES REQUIRED AS WELL AS THE COSTS OF SERVICE CONNECTIONS TO THE BUILDING
4. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ELECTRIC SERVICE WITH CENTRAL MAINE POWER.
5. COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY COMPANY. ALL UTILITY WORK SHALL CONFORM TO THE STANDARDS OF THE UTILITY COMPANY AND PROJECT SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.
6. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO THE MAINE WATER COMPANY'S STANDARDS. ALL WATER FIRE LINE AND DOMESTIC PIPING 4" OR GREATER DIAMETER DISTRIBUTION PIPING SHALL BE CLASS 52 DUCTILE IRON PIPE, DOUBLE CEMENT LINED AND BITUMINOUS COATED CONFORMING TO AWWA/ANSI C104/A21.4. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
7. THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL BE PLACED ON THE WATER DISTRIBUTION LINES AT ALL BENDS, TEES, FIRE HYDRANTS, VALVES, CHANGES IN DIRECTION, ETC.. THE THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL MEET THE REQUIREMENTS OF THE MAINE WATER COMPANY STANDARDS.
8. THE LOCATION OF THE PROPOSED OVERHEAD AND UNDERGROUND ELECTRICAL SERVICE IS APPROXIMATE AND THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION WITH THE ELECTRICAL PLANS, CENTRAL MAINE POWER AND OTHER SERVICING UTILITY COMPANIES.
9. THE SACO SANITARY DISTRICT/PUBLIC WORKS DEPT. SHALL BE NOTIFIED FOR SEWER INSPECTIONS. ALL SEWER UTILITY MATERIALS AND INSTALLATION METHODS SHALL BE ACCEPTABLE TO THE DISTRICT.
10. THE DOMESTIC WATER METER(S) SHALL BE INSTALLED WITHIN THE BUILDING WITH A REMOTE READER INSTALLED ON THE BUILDING AT THE ENTRANCE POINTS. THE DOMESTIC WATER SERVICE LINES SHALL HAVE GATE VALVES INSTALLED OUTSIDE THE BUILDINGS.
11. LIGHT POLES AND FIXTURES SHALL BE REVIEWED WITH THE OWNER FOR COLOR AND PHOTOMETRICS.
12. SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS FOR SDR-35 FOR GRAVITY PIPE AND SDR-18 FOR PRESSURE PIPE.
13. SEWER AND WATER LINES AND ALL APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY STANDARDS AND SPECIFICATIONS.
14. ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
15. SANITARY SEWER LINES SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES A WATER MAIN, THE WATER LINE SHALL BE CLASS 52 DUCTILE IRON, EXTENDED A MINIMUM OF 10 FEET TO EACH SIDE OF THE WATER LINE. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES FROM A WATER LINE.
16. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
17. THE CONTRACTOR IS RESPONSIBLE FOR PAYMENT OF ALL UTILITY CONNECTION FEES.
18. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS, INSTALLATION AND MEASURES NECESSARY FOR THE INSTALLATION OF ALL UNDERGROUND STORAGE OR PUMP STATION TANKS INCLUDING BUT NOT LIMITED TO ANTI-FLOTATION MEASURES, BACK FILL MATERIAL AND SURFACE RESTORATION.
19. UNDERGROUND ELECTRICAL, CONDUIT MATERIAL AND INSTALLATION SHALL CONFORM TO UTILITY COMPANY STANDARDS AND PROJECT SPECIFICATIONS, WHICH EVER IS MORE STRINGENT.
20. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OR WORK TO FINISH GRADE.
21. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
22. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL, AT NO EXTRA EXPENSE TO THE OWNER.
23. A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18 INCH OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER AND SANITARY SEWER CROSSINGS.

EROSION CONTROL NOTES

- 1. PRIOR TO BEGINNING ANY LAND DISTURBING ACTIVITIES, CLEARING AND GRADING LIMITS SHALL BE STAKED BY THE CONTRACTOR BASED ON THE LIMITS OF GRADING SHOWN ON THE DRAWINGS AND ACCEPTED BY THE OWNER'S REPRESENTATIVE IN THE FIELD. AFTER THE CLEARING AND GRADING LIMITS HAVE BEEN ACCEPTED, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCES, SEDIMENT BARRIERS AND THE CONSTRUCTION ENTRANCES ASSOCIATED WITH THE PROJECT.
2. ALL GROUND AREAS GRADED FOR CONSTRUCTION SHALL BE GRADED, LOAMED, SEEDED AND MULCHED AS SOON AS POSSIBLE. TEMPORARY/PERMANENT SEED MIXTURES SHALL CONFORM TO THE SEEDING PLAN CONTAINED IN THE EROSION CONTROL PROJECT PREPARED FOR THIS PROJECT.
3. PRIOR TO PAVING, THE CONTRACTOR SHALL REMOVE SILT FROM ALL STORM LINES AND APPURTANCES.
4. ALL STORM DRAIN INLETS AND OUTLETS NOT IN PAVED AREAS ARE TO RECEIVE RIPRAP PROTECTION APRONS DURING CONSTRUCTION.
5. SILT FENCES SHALL BE INSPECTED, REPAIRED AND CLEANED AS NOTED IN THE EROSION CONTROL NOTES SHOWN ON THE EROSION CONTROL DETAIL SHEET.
6. THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCE AS IT BECOMES SATURATED WITH MUD TO ENSURE THAT IT FUNCTIONS TO CAPTURE MUD FROM THE TIRES OF CONSTRUCTION VEHICLES DURING CONSTRUCTION. THE PURPOSE OF THE CONSTRUCTION ENTRANCE IS TO KEEP ADJACENT STREETS CLEAR OF DIRT AND MUD. SWEEPING OF THE ROADWAYS SHALL BE PERFORMED BY THE CONTRACTOR ON AN AS NEEDED BASIS, BUT AT A MINIMUM ONCE A WEEK.
7. SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO TOPSOIL FOR USE IN LANDSCAPING OPERATIONS.
8. LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE WHICH CAUSE THE LEAST PRACTICAL UNPROTECTED DENUDDED AREAS ON THE SITE DURING CONSTRUCTION.
9. THE CONTRACTOR IS CAUTIONED THAT FAILURE TO COMPLY WITH THE SEQUENCE OF CONSTRUCTION, EROSION/SEDIMENT CONTROL PLAN, AND OTHER PERMIT REQUIREMENTS MAY RESULT IN MONETARY PENALTIES AS ENFORCED BY THE MEDEP OR LOCAL AGENCIES. THE CONTRACTOR SHALL BE ASSESSED ALL SUCH PENALTIES AT NO COST TO THE OWNER OR PERMITTEE.
10. A FULL EROSION/SEDIMENTATION CONTROL PLAN ACCOMPANIES THIS DRAWING SET AND IS ALSO CONTAINED IN THE DIV 312513 SPECIFICATIONS.
11. PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS AS SHOWN AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
12. INSPECT EROSION AND SEDIMENT CONTROL DEVICES AFTER EACH RAIN STORM OF 0.25 INCHES OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 OF THE STRUCTURE HEIGHT.
13. INSTALL CURLEX EROSION CONTROL MAT OR EQUAL ON ALL SLOPES STEEPER THAN 3:1.
14. THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES, CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003".
15. THE PROJECT IS SUBJECT TO ENVIRONMENTAL WORK PLAN PREPARED BY SUMMIT GEOENGINEERING ON BEHALF OF THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE PROVISIONS CONTAINED IN THE WORK PLAN, AS CONTAINED IN THE SPECIFICATIONS ACCOMPANYING THESE PLANS.

LANDSCAPE NOTES (A LANDSCAPE PLAN WILL BE PREPARED AFTER PRELIMINARY APPROVAL AND UPON FEEDBACK FROM CITY STAFF AND PLANNING BOARD)

(SUBJECT TO COORDINATION WITH LANDSCAPE DRAWINGS. IN CASE OF CONFLICT BETWEEN THIS SECTION AND THE LANDSCAPE DRAWINGS, THE LANDSCAPING DRAWINGS SHALL GOVERN)

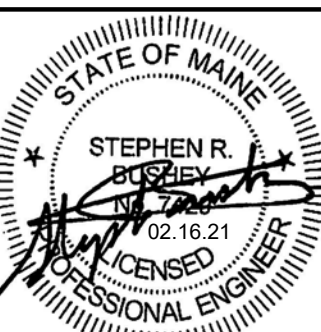
- 1. ALL PLANTS SHALL BE NURSERY GROWN AND WORKSMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, STANDARDS AND SHALL BE SUBJECT TO THE APPROVAL OF THE OWNERS REPRESENTATIVE BEFORE AND AFTER PLANTING.
2. PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER INSPECTION AND ACCEPTANCE, AND SHALL HAVE AT LEAST 80% HEALTHY GROWTH AT THE END OF THE GUARANTEED PERIOD.
3. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM AND SEED.
4. THREE (3) INCH BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS USED IN A CURBED ISLAND, THE BARK SHALL MEET THE TIP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE 4" LOAM AND SEED.
5. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN.
6. PARKING AREA PLANTED ISLANDS TO HAVE A MINIMUM OF 4" TOPSOIL. REMOVE ALL CONSTRUCTION DEBRIS BEFORE TOPSOILING. TOPSOIL SHALL BE PLACED TO TOP OF CURB.
7. ALL PLANT MATERIAL SHALL BE APPROVED BY THE OWNER OR THE OWNERS REPRESENTATIVE PRIOR TO ARRIVAL ON THE SITE.
8. PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
9. THE CONTRACTOR SHALL LOCATE, VERIFY, AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTINGS AND UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
10. NO SUBSTITUTION OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
12. SEE PLANTING DETAILS FOR WEED BARRIER INFORMATION.
13. ALL PLANTING LOCATED AT THE ENTRANCE TO THE PROJECT OR AT INTERSECTIONS WITHIN THE SITE WILL BE MAINTAINED AND WILL NOT EXCEED 3 FEET IN HEIGHT WITHIN A TRIANGLE FORMED 25' INTO THE DRIVEWAY AND 25' ALONG THE TRAVEL WAY.

LEGEND

Table with 3 columns: EXISTING, DESCRIPTION, PROPOSED. It lists various symbols and line styles for existing and proposed features such as buildings, property lines, setbacks, retaining walls, curbing, pavement edges, grading contours, spot elevations, guard posts, utility poles, freestanding signs, barrier free parking symbols, pedestrian crosswalks, painted directional traffic arrows, overhead and underground electric/telephone lines, water and sewer lines, gas lines, storm drain lines, culverts, hydrants, water gate valves, water shut off valves, manholes, catch basins, stone walls, treelines, trees/landscaping, riprap, permeable pavement, standard duty bituminous pavement, silt fences, chain link fences, wood fences, guide rails, stone sediment barriers, transformer pads, center lines, test pits, iron rods, P.K. spikes, CL stream courses, approx. 100 year floodplains, and buffer area limits.

OWNER OF RECORD: SACO ISLAND VENTURES LLC 8 DOAKS LANE MARBLEHEAD, MA 01945 YCRD BK 18023; PG 284

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES & SHALL NOT BE USED FOR CONSTRUCTION.



STEPHEN R. BUSHEY, P.E. LIC. #7429

U:\3738.01_24_Unit_Townhouse-Facery_Island_East-Saco_ME_Z - CAD\DWG\373801-GEN NOTES.dwg 2/15/2021 4:02 PM

Table with 3 columns: Rev., Date, Revision. Row 1: 1, 2021.02.16, REVISED PERMIT PLANS. Row 2: 2, 2021.01.20, SUBMITTED TO CITY OF SACO FOR REVIEW.

Table with 3 columns: Rev., Date, Revision. Row 1: 1, 2021.01.20, SUBMITTED TO CITY OF SACO FOR REVIEW.

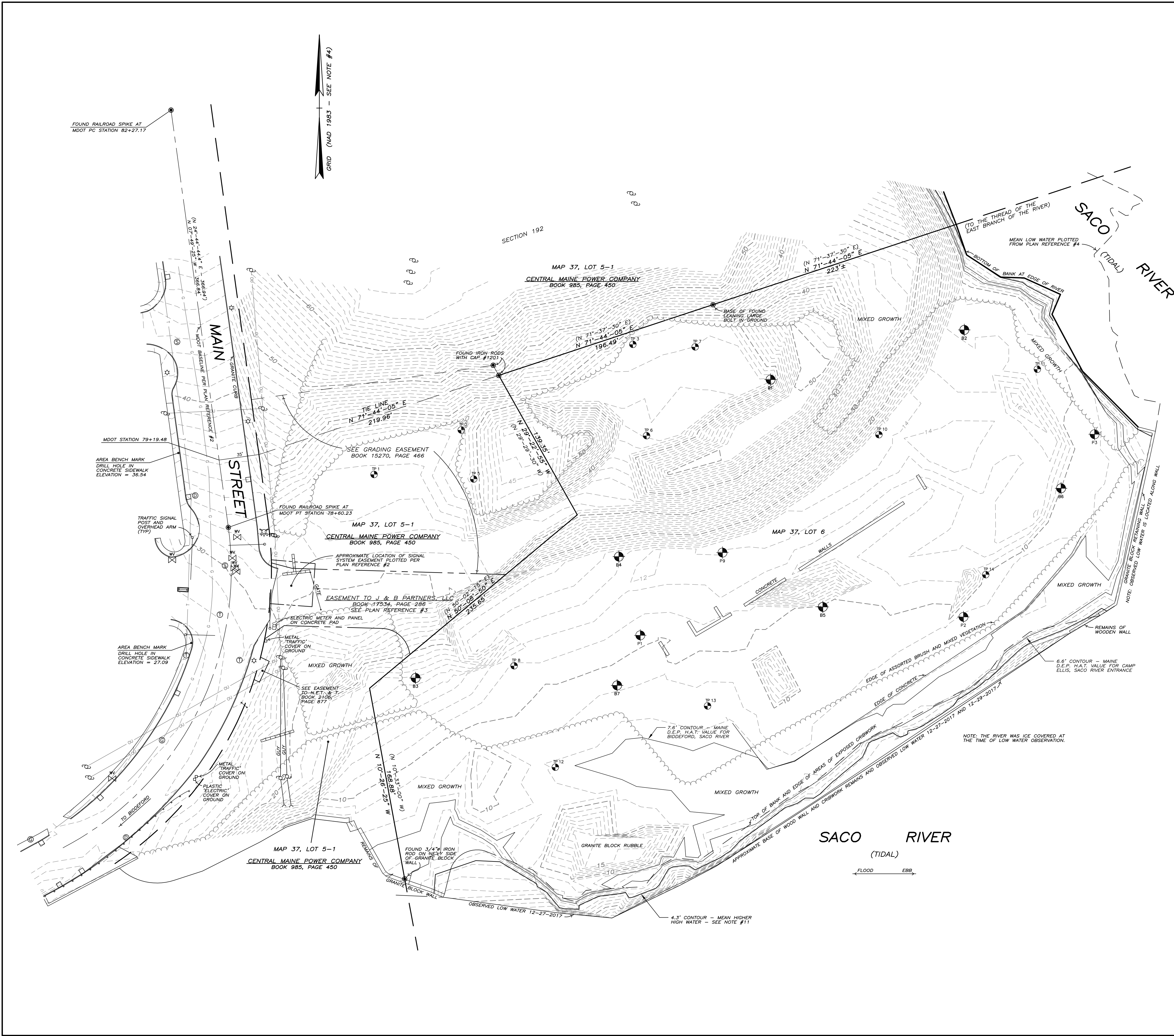
Table with 3 columns: Design: KAB, Draft: CDD, Date: DEC. 2020. Checked: SRB, Scale: AS NOTED, Job No.: 3738.01. File Name: 373801-GEN NOTES.dwg. This plan shall not be modified without written permission from Gorrill Palmer. Any alterations, authorized or otherwise, shall be at the user's sole risk and without liability to Gorrill Palmer.



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Table with 2 columns: Drawing Name: GENERAL NOTES & LEGEND. Project: 24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine. Client: SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Table with 2 columns: Drawing No. C-1.1



LEGEND :

- SET IRON ROD WITH CAP (UNLESS OTHERWISE NOTED)
- CATCH BASIN
- ⊗ DRAIN MANHOLE
- ⊗ HYDRANT
- ⊗ WATER VALVE
- ⊗ SEWER MANHOLE
- ⊗ TELEPHONE MANHOLE
- ⊗ GAS VALVE
- ⊗ LIGHT POST
- ⊗ UTILITY POLE
- ⊗ TEST PIT
- ⊗ BORING
- ⊗ PROBE
- ⊗ DIAMETER
- N/F NOW OR FORMERLY
- W — WATER MAIN
- S — SANITARY SEWER MAIN
- SD — STORM DRAIN
- OU — OVERHEAD UTILITY LINES
- G — GAS LINE
- 40 — CONTOUR LINE

LOCUS DEED REFERENCE :

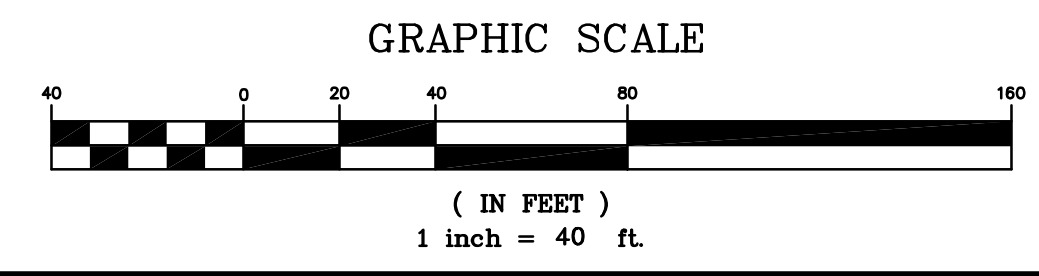
SACO ISLAND EAST, LLC TO J & B PARTNERS, LLC AUGUST 8, 2017 BOOK 17534, PAGE 286

PLAN REFERENCES :

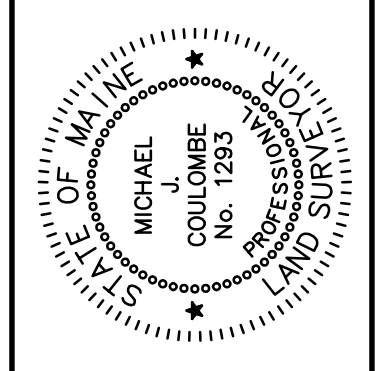
1. "PLAN SHOWING A STANDARD BOUNDARY SURVEY MADE FOR G.A.R. PROPERTIES, INC.", DATED MARCH 20, 1985, AS REVISED NOVEMBER 7, 1985, BY DOW & COULOMBE, INC., RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 144, PAGE 2.
2. "STATE OF MAINE DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, STATE AID HIGHWAY NO. 8, SACO, YORK COUNTY, STATE PROJECT NO. 002958.00", DATED JANUARY, 1987, D.O.T. FILE 16-304, SHEETS 1 AND 2 OF 2 SHEETS, RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 161, PAGES 29 AND 30.
3. "PLAN SHOWING PROPOSED LEASES & EASEMENT ON FACTORY ISLAND, SACO, MAINE", DATED MAY 2, 1988, BY DOW & COULOMBE, INC., RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 194, PAGE 2.
4. "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR SACO ISLAND EAST, LLC, MAIN STREET, SACO, YORK COUNTY, MAINE", DATED NOVEMBER 15, 2007, BY OAK ENGINEERS.
5. "SACO RIVER, BIDDEFORD AND SACO, MAINE CONDITION SURVEY", ISSUE DATE DECEMBER 22, 2016, BY THE U.S. ARMY CORPS OF ENGINEERS, DRAWING CODE SAC-2782, SHEET ID G-001.

NOTES :

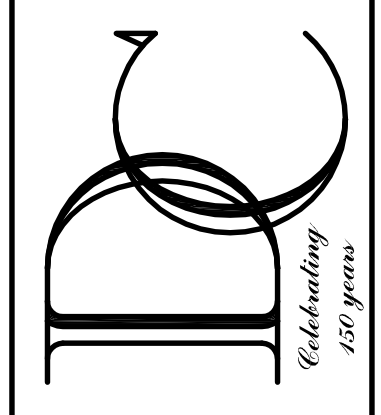
1. TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS SURVEY CONFORMS TO STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS, CHAPTER 90, ADOPTED APRIL, 2001. EXCEPTIONS: A PROPOSED LEGAL DESCRIPTION WAS NOT PREPARED. A SURVEYOR'S REPORT WAS NOT PREPARED.
2. AREA EQUALS 5.55± ACRES TO THE 4.3' CONTOUR.
3. INFORMATION IN PARENTHESES COPIED FROM DEED AND PLAN REFERENCES.
4. BEARINGS AND COORDINATES ARE CALCULATED BY HOLDING PUBLISHED COORDINATE VALUES FOR MAINE DEPARTMENT OF TRANSPORTATION CONTROL POINTS 2958-11 AND 54-RR-12, AND REFER TO THE MAINE COORDINATE GRID SYSTEM, WEST ZONE NAD83 (1986).
5. ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988, AND ARE BASED ON A CLOSED LEVEL LOOP RUN FROM CONTROL POINT 2958-11.
6. THE BOUNDARY SURVEY IS BASED ON THE LOCUS DEED REFERENCE, AND THE DEEDS AND PLANS REFERENCED HEREON. THE SURVEYOR WAS NOT PROVIDED WITH A CURRENT COMMITMENT OF TITLE.
7. THE LOCATION OF MAIN STREET IS PER PLAN REFERENCE #2. REFERENCE IS MADE TO THE NOTICE OF LAYOUT AND TAKING RECORDED IN BOOK 4361, PAGE 188, AND SUPPLEMENTAL NOTICES OF LAYOUT AND TAKING RECORDED IN BOOK 4412, PAGE 134, AND BOOK 4662, PAGE 282.
8. THE UNDERGROUND GAS LINE WAS PLOTTED FROM EVIDENCE OF RECENT EXCAVATION WITHIN MAIN STREET.
9. THE UNDERGROUND TELEPHONE LINE WAS PLOTTED FROM OLD PAINT MARKS BY OTHERS FOUND ON THE GROUND.
10. THE UNDERGROUND UTILITIES PLOTTED DO NOT REPRESENT A COMPLETE INVENTORY OF UNDERGROUND UTILITIES LOCATED WITHIN MAIN STREET. THE LOCATION OF UNDERGROUND UTILITIES WAS NOT WITHIN THE AGREED SCOPE OF SERVICES WITH THE CLIENT.
11. THE VALUE FOR MEAN HIGHER-HIGH WATER (MHHW) WAS CALCULATED FROM THE CORRECTION VALUE OF 5.37 FEET FROM NAVD88 TO MEAN LOWER-LOW WATER (MLLW) STATED IN NOTE #3 ON PLAN REFERENCE #5 ESTABLISHED IN THE VICINITY OF NOAA STATION 8418606 (CAMP ELLIS), AND ELEVATIONS PUBLISHED FOR STATION 8418606 AVAILABLE ON THE NOAA WEBSITE.



No.	Revision	Date
1.	ADD ME DEP. HIGHEST ANNUAL TIDE, AND OBSERVED LOW WATER, AND APPROX. LIMITS OF WIND VEGETATION.	01-04-2018
2.	ADD ME DEP. HIGHEST ANNUAL TIDE, AND OBSERVED LOW WATER, AND APPROX. LIMITS OF WIND VEGETATION. EASTERLY PORTION OF LOCUS DEED.	01-17-2018



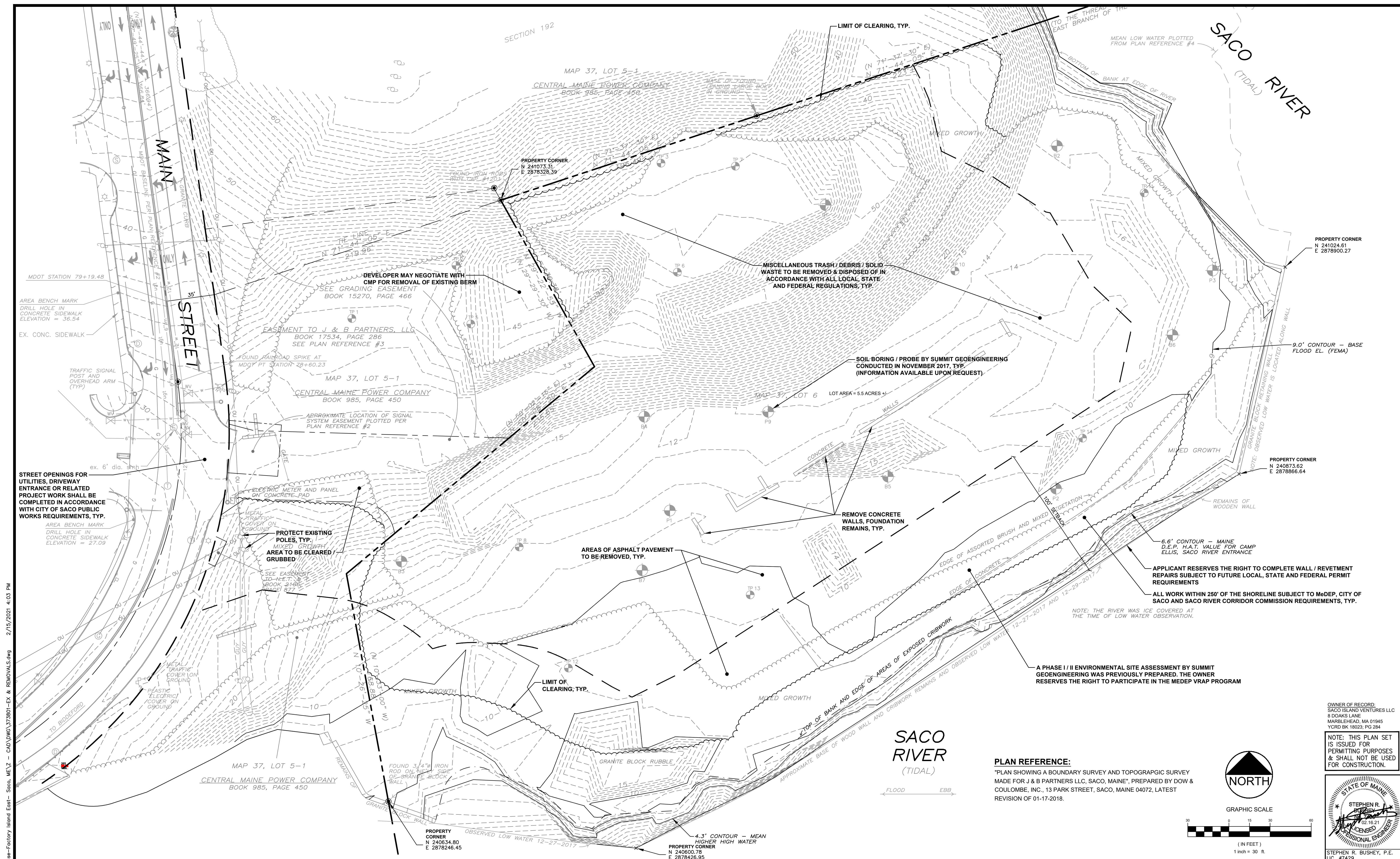
PLAN SHOWING A BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY MADE FOR
J & B PARTNERS, LLC
 (MAILING ADDRESS : 110 MAIN STREET, SUITE 1214, SACO, ME 04072)
 PARCEL LOCATED AT SACO ISLAND EAST
SACO MAINE



Dow & Coulombe, Inc.
 Land Surveyors & Land Planners Since 1864
 13 Park Street, Saco, Maine 04072
 Telephone: (207)284-4521 • Fax: (207)284-4522
 info@dowcoulombe.com • www.dowcoulombe.com

Date: DECEMBER 12, 2017
 H. Scale: Drawn by: 1" = 40' MJC
 Chk'd by: App'd by: PDD MJC

SHEET C-1.2
 ZONE-1
 Dwg#2018\SAULNIER1r2



U:\3738.01_24 Unit Townhouse-Factory Island East- Saco, ME.Z - CAD DWG\373801-EX & REMOVALS.dwg 2/15/2021 4:03 PM

STREET OPENINGS FOR UTILITIES, DRIVEWAY ENTRANCE OR RELATED PROJECT WORK SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF SACO PUBLIC WORKS REQUIREMENTS, TYP.

PROTECT EXISTING POLES, TYP. MIXED GROWTH AREA TO BE CLEARED / GRUBBED

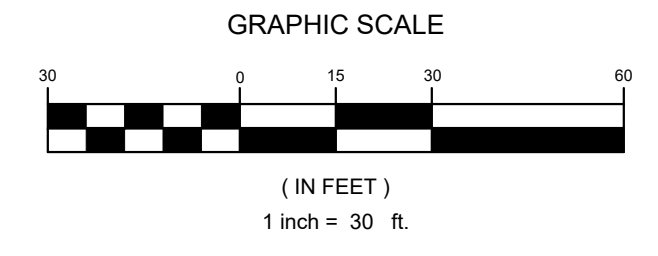
AREAS OF ASPHALT PAVEMENT TO BE REMOVED, TYP.

REMOVE CONCRETE WALLS, FOUNDATION REMAINS, TYP.

APPLICANT RESERVES THE RIGHT TO COMPLETE WALL / REVETMENT REPAIRS SUBJECT TO FUTURE LOCAL, STATE AND FEDERAL PERMIT REQUIREMENTS
ALL WORK WITHIN 250' OF THE SHORELINE SUBJECT TO MEDEP, CITY OF SACO AND SACO RIVER CORRIDOR COMMISSION REQUIREMENTS, TYP.

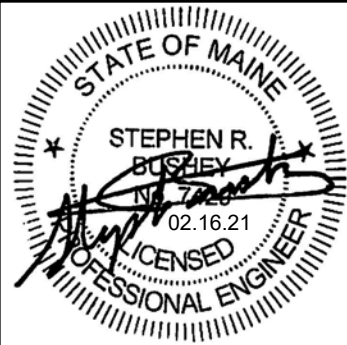
A PHASE I / II ENVIRONMENTAL SITE ASSESSMENT BY SUMMIT GEOENGINEERING WAS PREVIOUSLY PREPARED. THE OWNER RESERVES THE RIGHT TO PARTICIPATE IN THE MEDEP VRAP PROGRAM

PLAN REFERENCE:
"PLAN SHOWING A BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY MADE FOR J & B PARTNERS LLC, SACO, MAINE", PREPARED BY DOW & COULOMBE, INC., 13 PARK STREET, SACO, MAINE 04072, LATEST REVISION OF 01-17-2018.



OWNER OF RECORD:
SACO ISLAND VENTURES LLC
8 DOAKS LANE
MARBLEHEAD, MA 01945
YCRD BK 18023; PG 284

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES & SHALL NOT BE USED FOR CONSTRUCTION.



STEPHEN R. BUSHEY, P.E.
LIC. #7429

Rev.	Date	Revision
2	2021.02.16	REVISED PERMIT PLANS
1	2021.01.20	SUBMITTED TO CITY OF SACO FOR REVIEW

Rev.	Date	Revision
2	2021.02.16	REVISED PERMIT PLANS
1	2021.01.20	SUBMITTED TO CITY OF SACO FOR REVIEW

Design: KAB Draft: CDD Date: DEC. 2020
Checked: SRB Scale: AS NOTED Job No.: 3738.01
File Name: 373801-EX & REMOVALS.dwg
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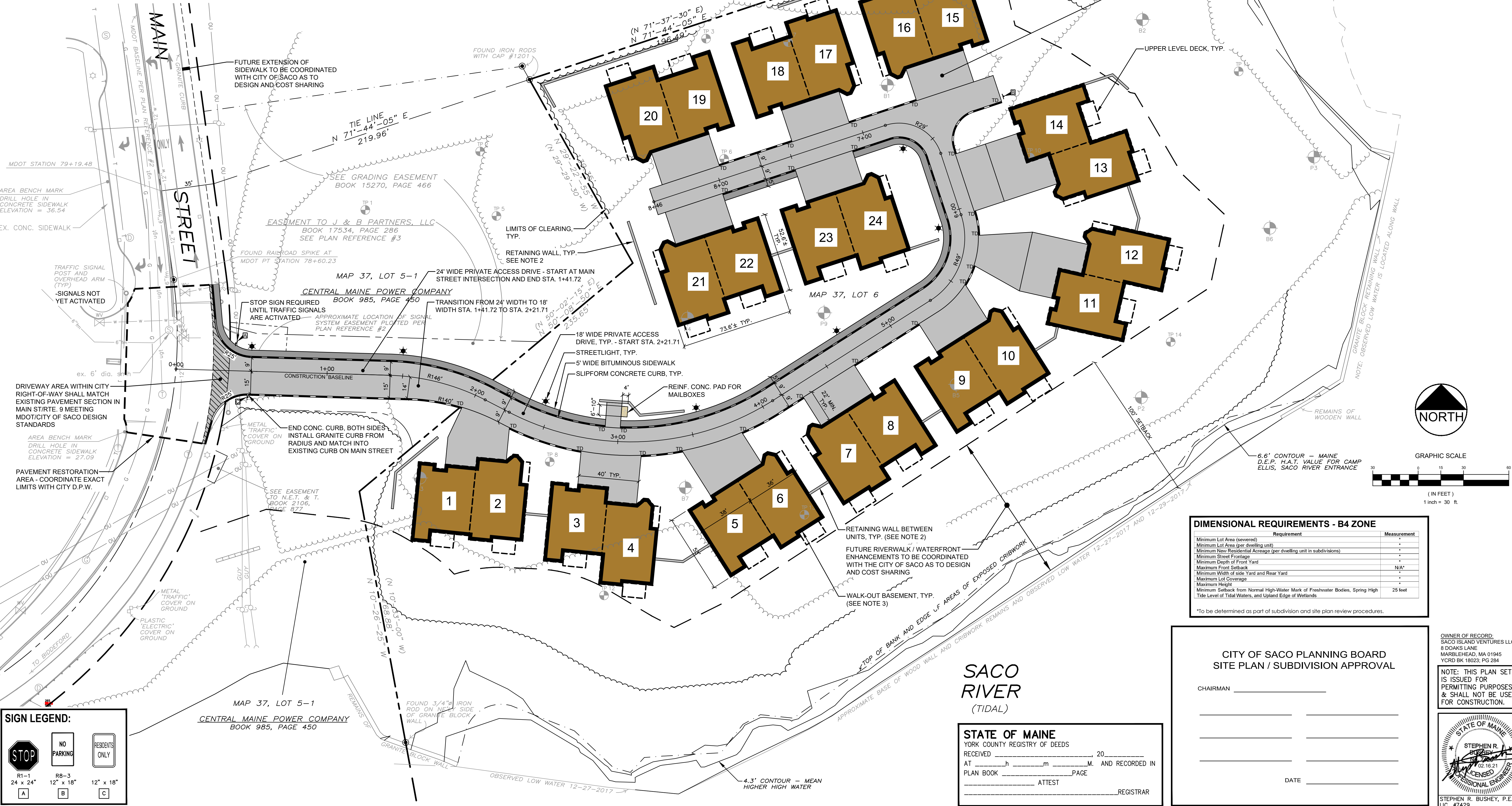
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Drawing Name:	EXISTING CONDITIONS & REMOVALS PLAN
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-2.0

- NOTES:**
- SOLID WASTE COLLECTION TO BE PROVIDED BY PRIVATE WASTE COLLECTOR.
 - RETAINING WALLS MAY CONSIST OF SMALL OR LARGE MODULAR BLOCK. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF MAINE.
 - UNITS 1 THROUGH 14 AND UNITS 21 THROUGH 24 WILL HAVE WALKOUT BASEMENTS. UNITS 15 THROUGH 20 WILL HAVE BELOW-GRADE BASEMENTS.

PLAN REFERENCE:
 "PLAN SHOWING A BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY MADE FOR J & B PARTNERS LLC, SACO, MAINE". PREPARED BY DOW & COULOMBE, INC., 13 PARK STREET, SACO, MAINE 04072. LATEST REVISION OF 01-17-2018.



SIGN LEGEND:

R1-1 24 x 24"	R8-3 12" x 18"	12" x 18"
A	B	C

DIMENSIONAL REQUIREMENTS - B4 ZONE

Requirement	Measurement
Minimum Lot Area (severed)	-
Minimum Lot Area (per dwelling unit)	-
Minimum New Residential Acreage (per dwelling unit in subdivisions)	-
Minimum Street Frontage	-
Minimum Depth of Front Yard	-
Maximum Front Setback	N/A*
Minimum Width of side Yard and Rear Yard	-
Maximum Lot Coverage	-
Maximum Height	-
Minimum Setback from Normal High-Water Mark of Freshwater Bodies, Spring High Tide Level of Tidal Waters, and Upland Edge of Wetlands	25 feet

*To be determined as part of subdivision and site plan review procedures.

**CITY OF SACO PLANNING BOARD
 SITE PLAN / SUBDIVISION APPROVAL**

CHAIRMAN _____

DATE _____

OWNER OF RECORD:
 SACO ISLAND VENTURES LLC
 8 DOAKS LANE
 MARBLEHEAD, MA 01945
 YCRD BK 18023; PG 284

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES & SHALL NOT BE USED FOR CONSTRUCTION.

STEPHEN R. BUSHEY, P.E.
 LIC. #7429

SACO RIVER (TIDAL)

STATE OF MAINE
 YORK COUNTY REGISTRY OF DEEDS

RECEIVED _____ 20____

AT _____ h _____ m _____ M. AND RECORDED IN
 PLAN BOOK _____ PAGE _____

_____ ATTEST _____ REGISTRAR

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Rev.	Date	Revision
2	2021.02.16	REVISED PERMIT PLANS
1	2021.01.20	SUBMITTED TO CITY OF SACO FOR REVIEW

Design: KAB Draft: CDD Date: DEC. 2020
 Checked: SRB Scale: AS NOTED Job No.: 3738.01
 File Name: 373801-SITE.dwg

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Drawing Name:	SITE LAYOUT PLAN
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

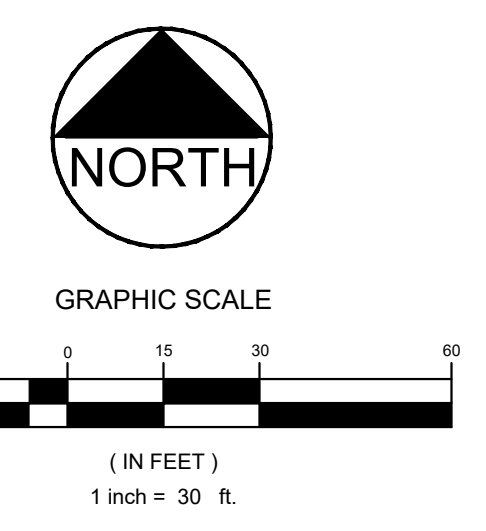
Drawing No.
C-3.0

STRUCTURE	SIZE	RIM INV.	IN. SIZE (FROM)	INV. OUT. SIZE (TO)
SMH-1	4"	26.26	21.90/4"	21.80/8"(SMH-2)
SMH-2	4"	24.25	18.04/8"(SMH-1) 18.04/8"(SMH-3)	17.94/8"(LIFT STATION) 18.04/4"
SMH-3	4"	24.25	19.56/8"(SMH-4) 19.56/4"	19.48/8"(SMH-2)
SMH-4	4"	30.40	25.25/8"(SMH-5) 25.25/4"	24.25/8"(SMH-3)
SMH-5	4"	34.59	29.45/8"(SMH-6) 29.45/4"	29.35/8"(SMH-4)
SMH-6	4"	37.55	33.20/8"(SMH-7) 33.20/4"	33.10/8"(SMH-5)
SMH-7	4"	40.12	36.55/4"	36.45/8"(SMH-6)

*ALL SEWER LATERALS FOR UNITS SHALL BE 4" DIA. UNLESS OTHERWISE NOTED ON PLANS.



NOTES:
 THE PUMP STATION DESIGN SHALL BE PROVIDED BY THE VENDOR AND SHALL INCLUDE, BUT NOT BE LIMITED TO, DAILY AND PEAK FLOW DEMAND, PUMP SIZING / CONTROLS, ELECTRICAL REQUIREMENTS, STORAGE CAPACITY, ANTI-FLOATATION, OPERATIONS AND MAINTENANCE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS, STAMPED BY A LICENSED PROFESSIONAL ENGINEER, FOR REVIEW AND APPROVAL BY THE OWNER AND, IF NECESSARY, THE CITY OF SACO WATER RESOURCE RECOVERY DEPARTMENT.



OWNER OF RECORD:
 SACO ISLAND VENTURES LLC
 8 DOAKS LANE
 MARBLEHEAD, MA 01945
 YCRD BK 18023; PG 284

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES & SHALL NOT BE USED FOR CONSTRUCTION.

STATE OF MAINE
 SEPTEMBER 15, 2021
 02.16.21
 LICENSED PROFESSIONAL ENGINEER
 STEPHEN R. BUSHEY, P.E.
 LIC. #7429

U:\3738.01_24 Unit Townhouse-Factory Island East-Saco, ME.Z - CAD\DWG\373801-UTILITY.dwg 2/15/2021 4:09 PM

Rev.	Date	Revision
2	2021.02.16	REVISED PERMIT PLANS
1	2021.01.20	SUBMITTED TO CITY OF SACO FOR REVIEW

Design: KAB Draft: CDD Date: DEC. 2020
 Checked: SRB Scale: AS NOTED Job No.: 3738.01
 File Name: 373801-UTILITY.dwg

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Drawing Name:	UTILITY PLAN
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-4.0

NOTE:
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SEE SHEET C-8.0 FOR
SITE CROSS SECTION

MAP 37, LOT 5-1
CENTRAL MAINE POWER COMPANY
BOOK 985, PAGE 450.

GRASSED UNDERDRAINED SOIL FILTER #1
BASIN EL.: 31.07
SEE SHEET C-5.2 FOR MORE INFORMATION

SACO RIVER
(TIDAL)

OWNER RESERVES THE RIGHT TO
COORDINATE GRADING ON CMP LAND TO
REMOVE EXISTING BERM AND PROVIDE A
LEVEL AREA, TYP.

SEE GRADING EASEMENT
BOOK 15270, PAGE 466

EASEMENT TO J & B PARTNERS, LLC
BOOK 17534, PAGE 286
SEE PLAN REFERENCE #3

SUBSURFACE WATER QUALITY STORAGE SYSTEM
SEE SHEET C-5.3 FOR MORE INFORMATION

MAP 37, LOT 5-1
CENTRAL MAINE POWER COMPANY
BOOK 985, PAGE 450

APPROXIMATE LOCATION OF SIGNAL
SYSTEM EASEMENT PLOTTED PER
PLAN REFERENCE #2

BIORETENTION FILTER #4
BASIN EL.: 11.00
SEE SHEET C-5.2 FOR MORE INFORMATION

8" OUTFALL #6
INV. OUT= 8.27
RIP RAP AT BASE OF SLOPE
D50= 8"
THICKNESS= 14"

ALL SLOPES SHALL BE LOAMED, SEEDED AND MULCHED - A
FINAL LANDSCAPE PLAN TO INCLUDE TREE AND SHRUB
PLANTINGS WILL BE PREPARED AS A CONDITION OF APPROVAL
SEE SHEET C-6.0 FOR PRELIMINARY LANDSCAPE PLAN

EROSION CONTROL BLANKET ON SLOPES
RANGING FROM 2:1 TO 4:1, TYP.

BIORETENTION FILTER #3
BASIN EL.: 21.00
SEE SHEET C-5.2 FOR MORE INFORMATION

8" OUTFALL #2
INV. OUT= 17.75



GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

NOTE: THE RIVER WAS ICE COVERED AT
THE TIME OF LOW WATER OBSERVATION.

PIPE SCHEDULE

Pipe Name	Size	Length	Slope
SD-1	12"	14.5'	1.00%
SD-2	12"	69.5'	0.77%
SD-3	12"	12.1'	0.88%
SD-4	12"	9.1'	5.97%
SD-5	12"	12.0'	1.06%
SD-6	12"	60.8'	0.99%
SD-7	12"	76.8'	5.55%
SD-8	12"	11.9'	1.26%
SD-9	18"	108.3'	1.93%
SD-10	18"	70.9'	0.97%
SD-11	8"	18.9'	1.32%
SD-12	6"	19.9'	1.51%
SD-13	8"	21.6'	2.31%
SD-14	12"	18.1'	2.27%
SD-15	12"	64.6'	1.02%
SD-16	12"	23.3'	0.91%
SD-17	8"	54.4'	1.03%
SD-18	12"	18.3'	2.81%

STORM DRAIN STRUCTURE SCHEDULE

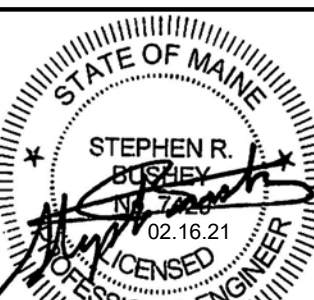
STRUCTURE	SIZE	RIM	INV. IN/SIZE (FROM)	INV. OUT/SIZE (TO)
CB-1	2' SQ	25.46		23.58/12"(CB-2)
CB-2	4'x	26.78	23.40/12"(CB-1)	23.30/12"(FILTERRA-1)
CB-3	2' SQ	23.26		20.90/12"(CB-4)
CB-4	2' SQ	23.26	20.76/12"(CB-3)	20.66/12"(FILTERRA 1)
CB-5	2' SQ	27.62		23.89/12"(CB-6)
CB-6	4'x	27.63	23.72/12"(CB-5)	23.62/12"(FILTERRA 2)
CB-7	4'x	31.79	28.30/12"(CB-7A)	28.20/12"(CB-6)
CB-7A	2' SQ	31.77		28.50/12"(CB-7)
CB-8	2' SQ	37.54		34.20/12"(CB-9)
CB-9	4'x	37.58	33.70/12"(CB-8)	33.60/12"(DMH-1)
DMH-1	4'x	36.91	32.90/12"(CB-9)	32.80/12"(GUSF 1)
DMH-2	4'x	25.00	11.71/18"(OCS-1)	10.21/18"(OUTFALL-4)
OCS-1*	6'x	20.75		13.90/18"(DMH-2)
OCS-2*	4'x	32.57	28.74/6"(GUSF-1)	28.64/12"(OUTFALL-1)

DEVELOPMENT SUMMARY:
IMPERVIOUS AREA: ROOF - 37,560 SF
OTHER IMPERVIOUS - 35,720 SF
TOTAL IMPERVIOUS - 73,280 SF ; 1.68 AC
DEVELOPED AREA: 167,444 SF ; 3.84 AC

* SEE DETAIL A, SHEET C-7.5 FOR ADDITIONAL INFORMATION
** SEE SHEET C-5.3 FOR INFORMATION ON DMH 3, DMH 4, DMH 5 & DMH 6

OWNER OF RECORD:
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YCRD BK 18023, PG 284

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FOR CONSTRUCTION.



STEPHEN R. BUSHEY, P.E.
LIC. #7429

U:\3738.01_24 Unit Townhouse-Factory Island East- Saco, ME.Z - CAD\DWG\373801-GRADING.dwg 2/15/2021 4:00 PM

Rev.	Date	Revision
2	2021.02.16	REVISED PERMIT PLANS
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Design: KAB Draft: CDD Date: DEC. 2020
Checked: SRB Scale: AS NOTED Job No.: 3738.01
File Name: 373801-GRADING.dwg
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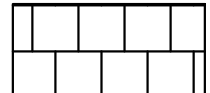

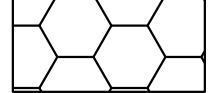





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Drawing Name: GRADING, DRAINAGE, & EROSION CONTROL PLAN
Project: 24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST
Saco, Maine
Client: SACO ISLAND VENTURES
8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-5.0

STORMWATER TREATMENT METHOD LEGEND

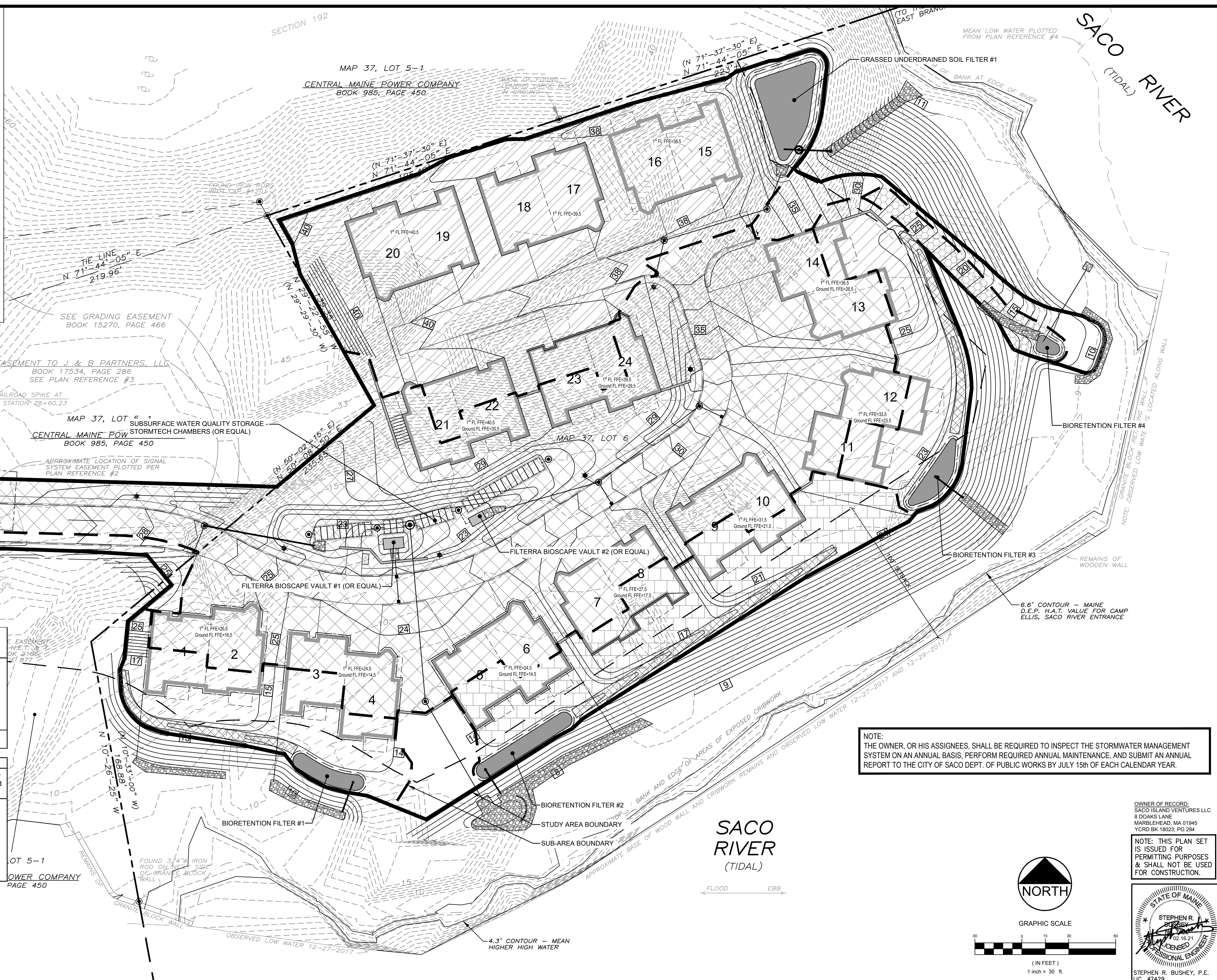
-  TO BIO-FILTER #1
-  TO BIO-FILTER #2
-  TO BIO-FILTER #3
-  TO BIO-FILTER #4
-  TO GUSF #1
-  TO FILTERRA'S #1-4 AND UNDERGROUND STORAGE SYSTEM
-  UNTREATED AREA

STORMWATER MANAGEMENT SUMMARY

Subarea ID	New Development			Treated New Impervious Area (sf)	Treated New Landscaped Area (sf)
	Impervious Area (sf)	Landscaped Area (sf)	Total Developed Area (sf)		
1A	2,846	7,314	10,160	2,846	7,314
1B	4,237	11,570	15,807	4,237	11,570
1C	2,846	8,032	10,896	2,846	8,032
1D	0	2,350	2,350	0	2,350
1E	22,646	18,841	41,487	22,646	18,783
1F	24,383	19,280	43,663	24,383	19,280
2F	16,322	18,517	34,839	16,322	18,517
1G (untreated)	0	8,242	8,242	0	0
Total (sf)	73,280	94,146	167,444	73,280	85,846
Total (ac)	1.68	2.16	3.84	1.68	1.97

Subarea ID	Treatment Method	Water Quality		BMP Surface Area Required (sf)	BMP Surface Area Provided (sf)
		Volume Required (cf)	Volume Provided (cf)		
1A	Bio-Filter 1	481	503	419	463
1B	Bio-Filter 2	739	739	644	683
1C	Bio-Filter 3	505	575	440	534
1D	Bio-Filter 4	78	153	71	135
1E	Grassed Underdrained Soil Filter 1	2,515	2,853	1,509	1,520
1-2F	Filterra Systems	4,652	4,652	-	-
1Z (untreated)		-	-	-	-

Treatment Summary		
	Required	Provided
Treated New Impervious (%)	95%	100.00%
Treated New Developed (%)	80%	95.07%

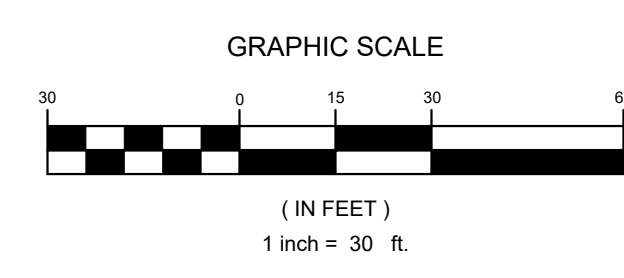


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OWNER OF RECORD:
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MARBLEHEAD, MA 01945
YCRD BK 18023; PG 284

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STATE OF MAINE
STEPHEN R. BUSHEY, P.E.
LICENSED PROFESSIONAL ENGINEER
02-16-21
LIC. #7429



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Rev.	Date	Revision
2	2021.02.16	REVISED PERMIT PLANS
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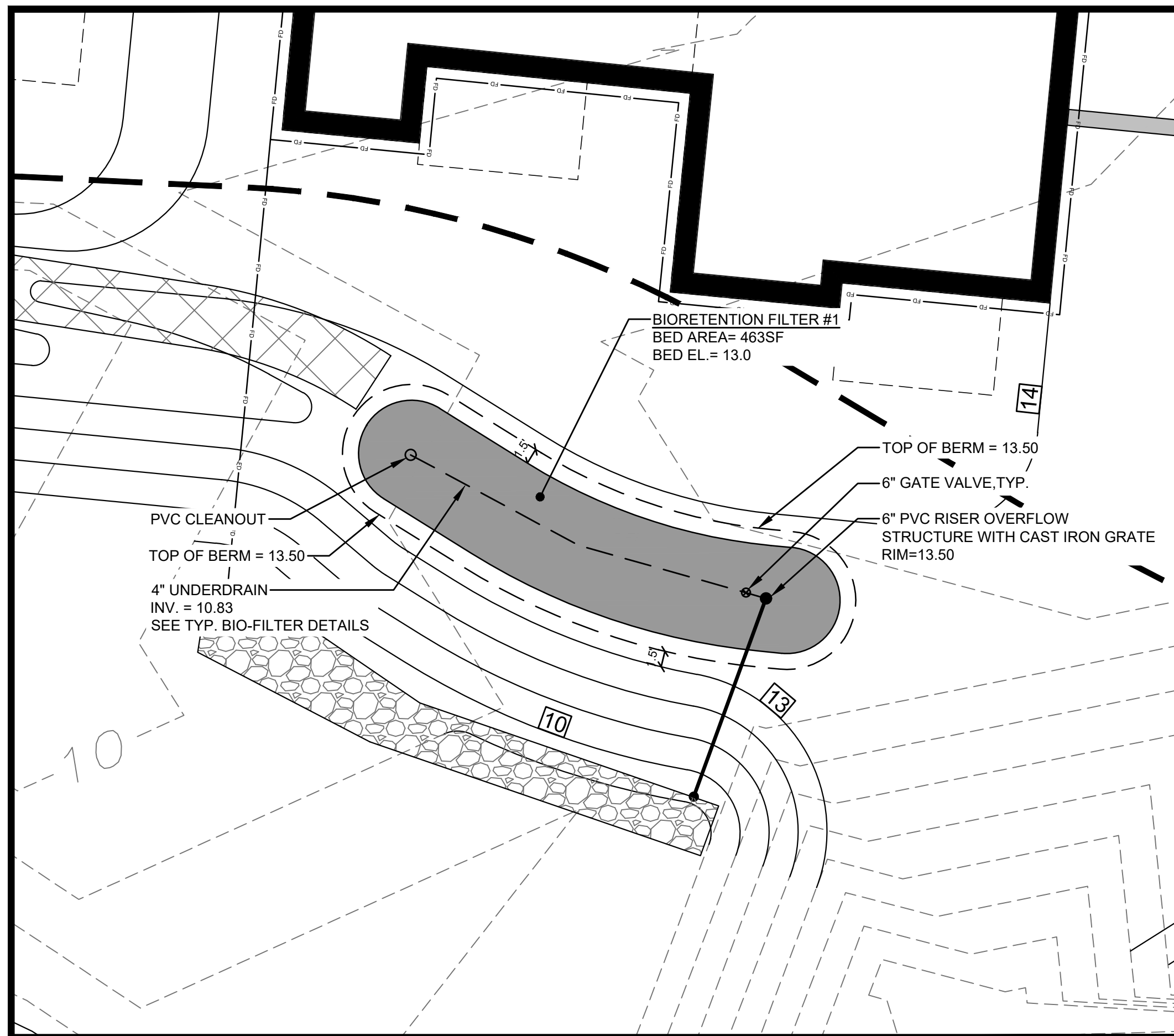
Design: KAB Draft: CDD Date: DEC. 2020
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File Name: 373801-SWM.dwg
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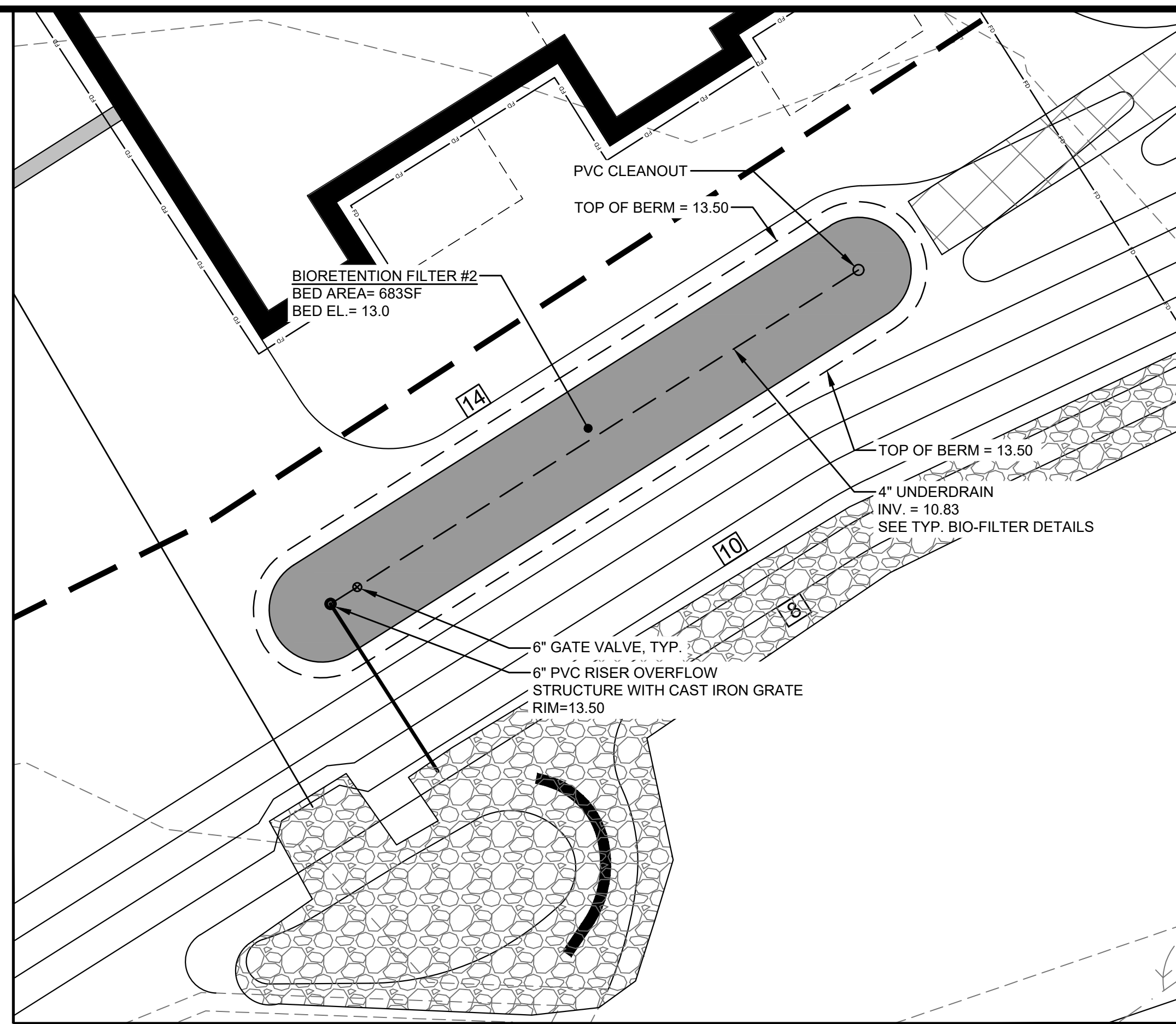
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Drawing Name:	STORMWATER MANAGEMENT PLAN
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

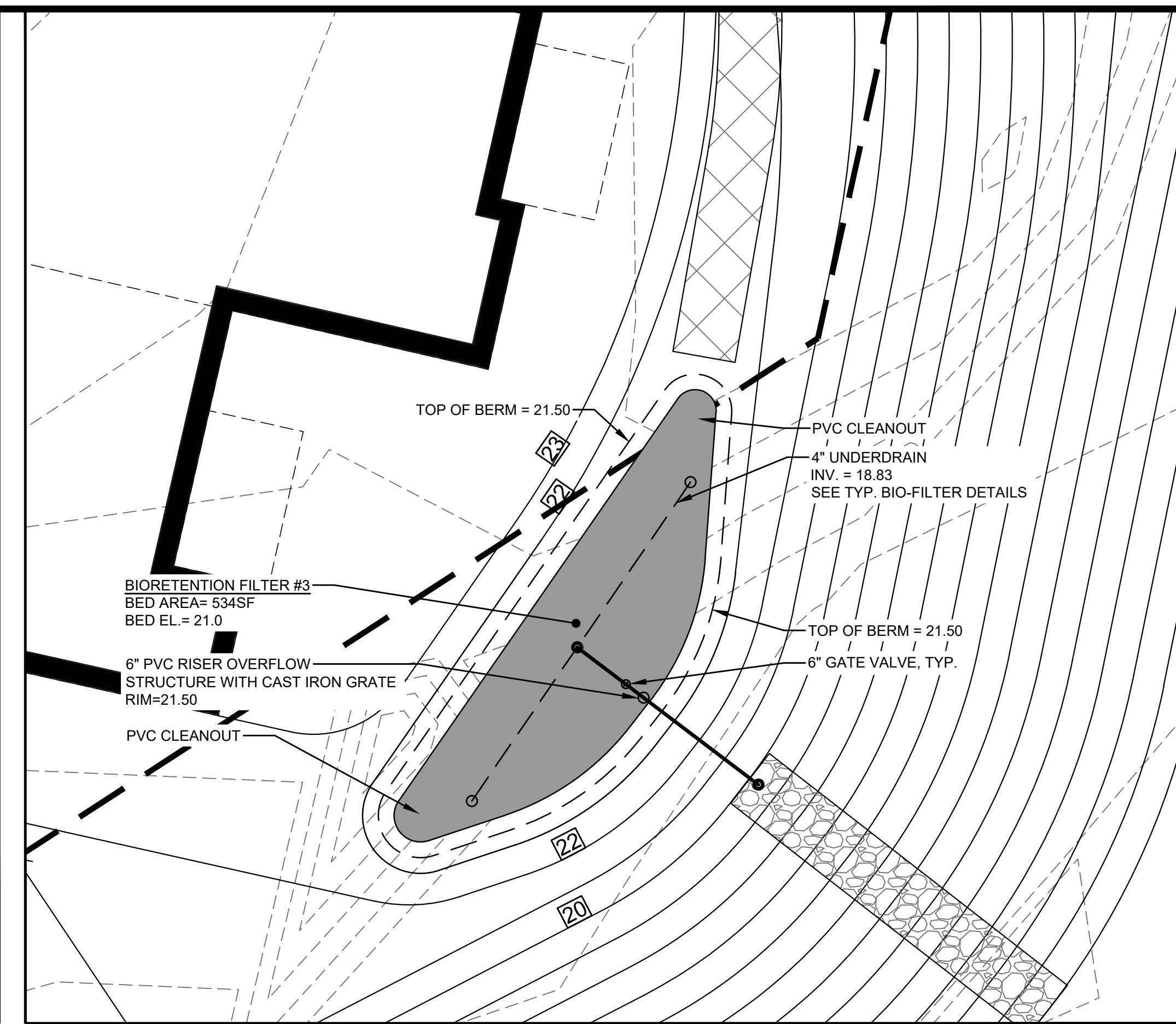
Drawing No.
C-5.1



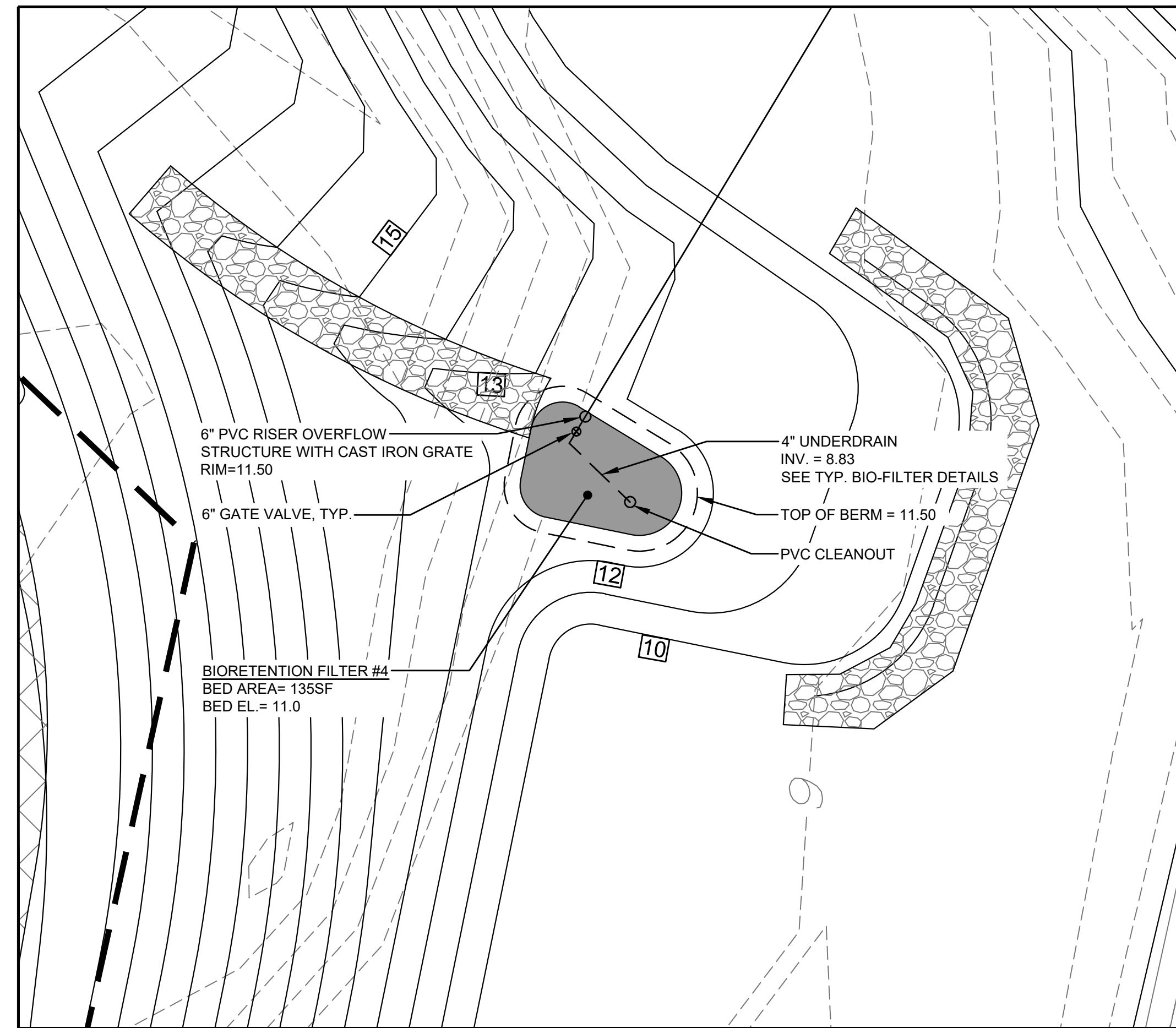
BIORETENTION FILTER #1
SCALE: 1" = 10'



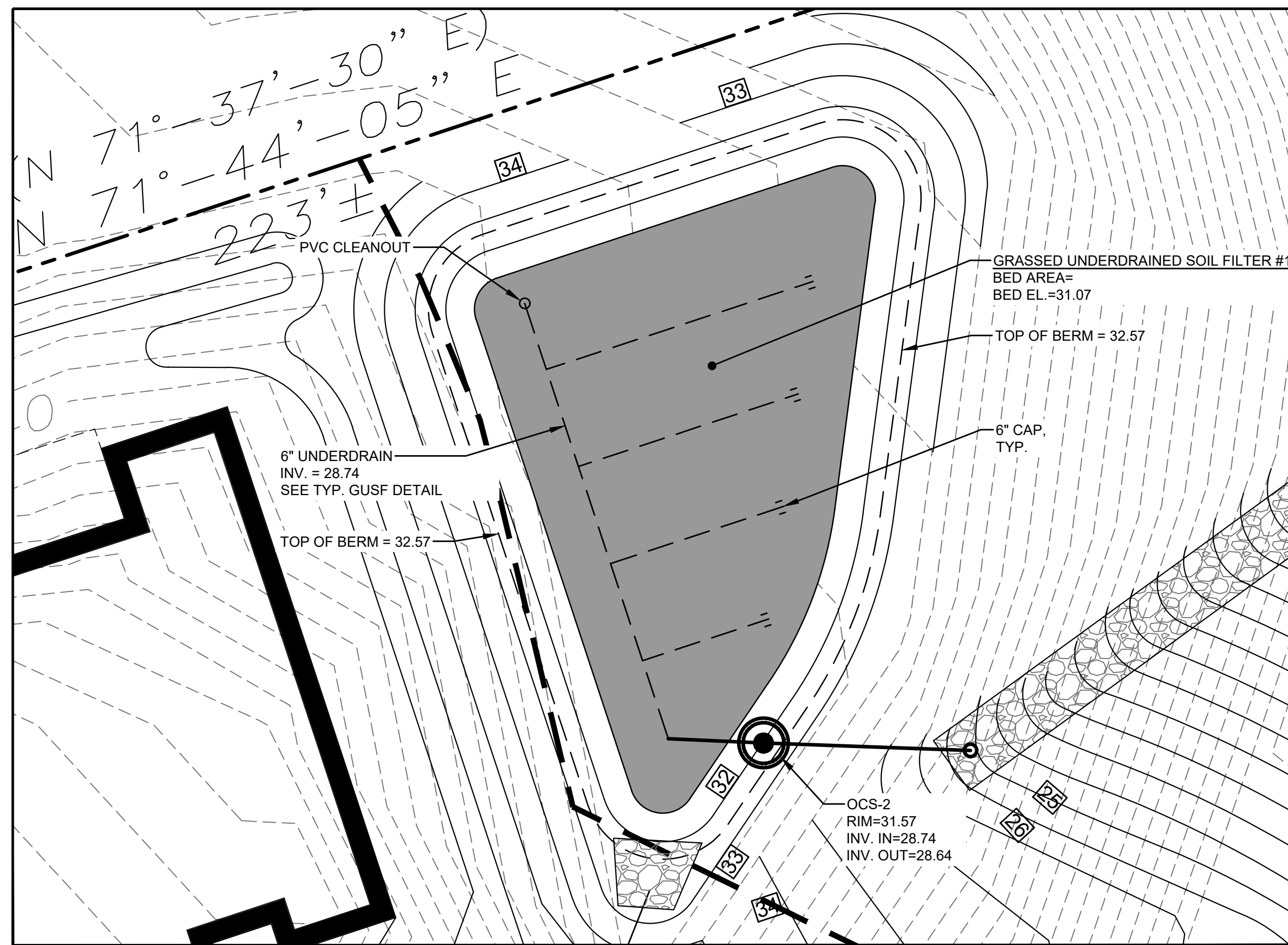
BIORETENTION FILTER #2
SCALE: 1" = 10'



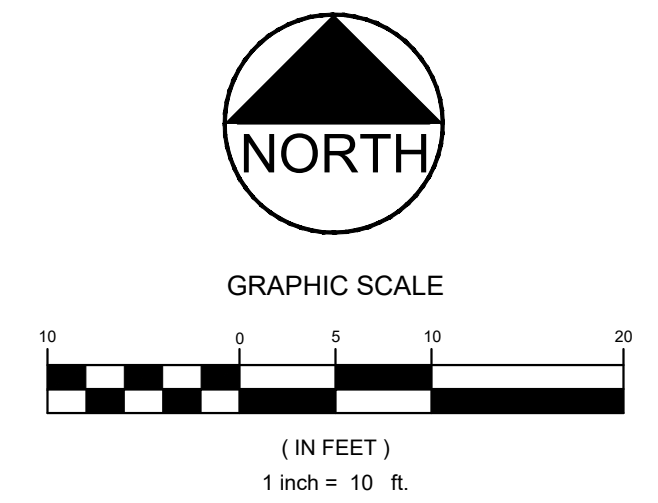
BIORETENTION FILTER #3
SCALE: 1" = 10'



BIORETENTION FILTER #4
SCALE: 1" = 10'

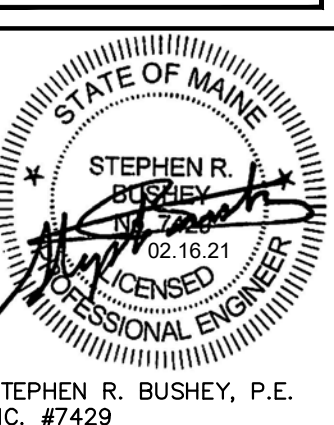


GRASSED UNDERDRAINED SOIL FILTER #1
SCALE: 1" = 10'



OWNER OF RECORD:
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8 DOAKS LANE
MARBLEHEAD, MA 01945
YCRD BK 18023; PG 284

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Rev.	Date	Revision

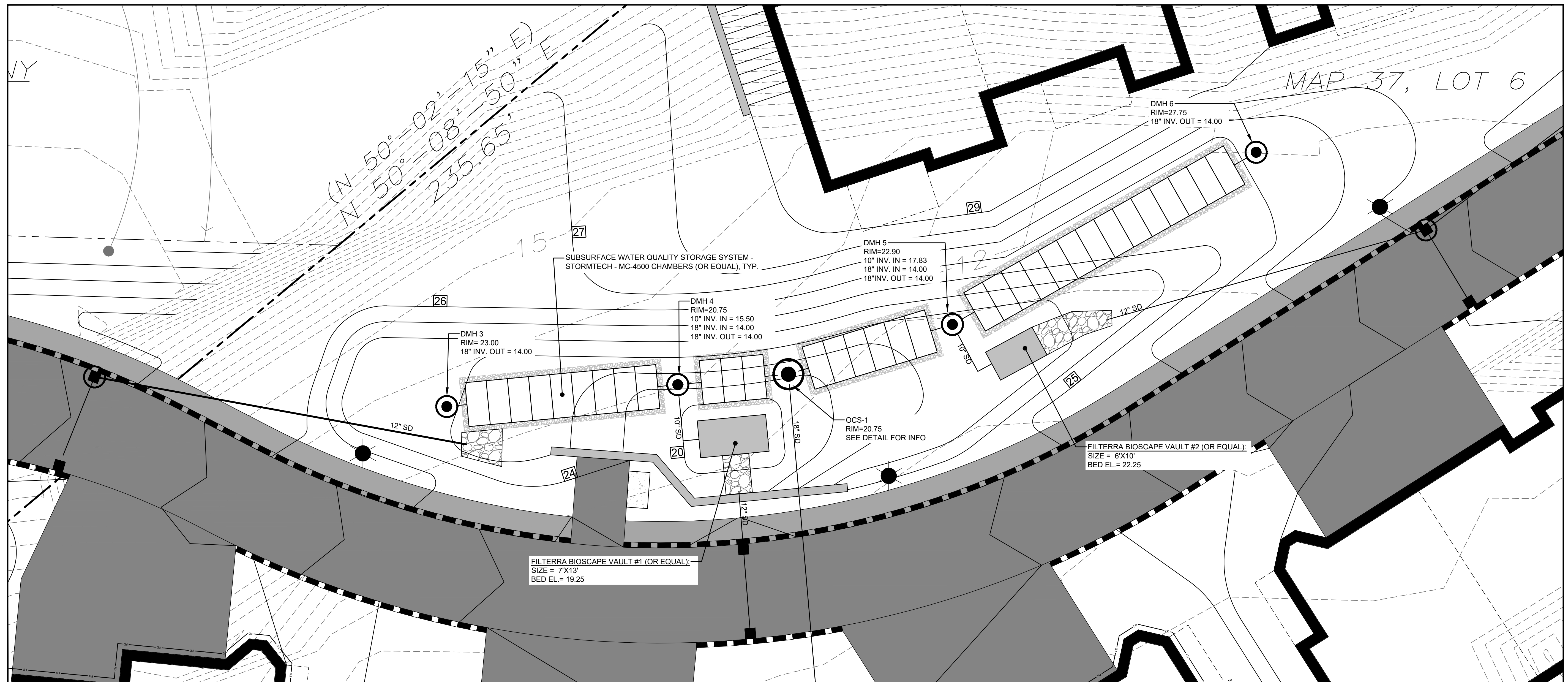
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Design: KAB Draft: CDD Date: DEC. 2020
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Drawing Name:	STORMWATER MANAGEMENT PLAN - BMP 10' SCALE
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-5.2



**FILTERRA BIOSCAPE VAULT AND UNDERGROUND
WATER QUALITY STORAGE SYSTEM**
SCALE: 1" = 10'

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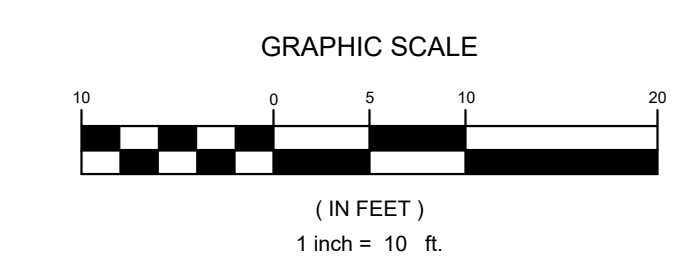
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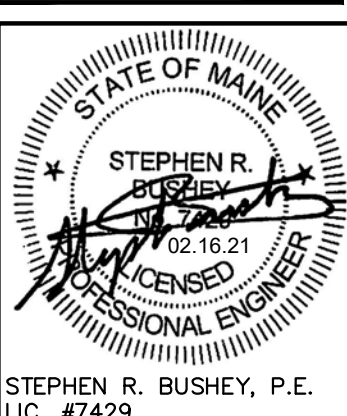
Drawing Name:	STORMWATER MANAGEMENT PLAN - BMP 10' SCALE
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-5.3



OWNER OF RECORD:
 SACO ISLAND VENTURES LLC
 8 DOAKS LANE
 MARBLEHEAD, MA 01945
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STEPHEN R. BUSHEY, P.E.
 LIC. #7429



PLANT LIST - TREES

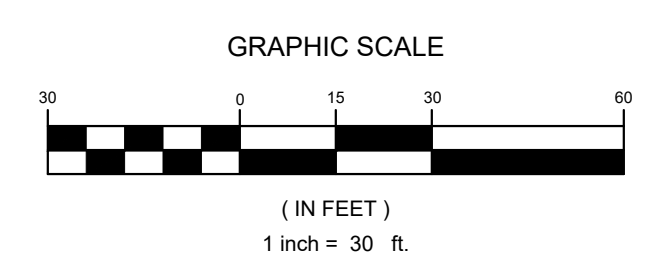
QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	NATIVE	GROWTH RT
16	AR	<i>Acer rubrum x freemanii</i>	Freeman's Red Maple	2" CAL.	B&B	Y	4-5' YR.
3	AS	<i>Acer saccharum</i>	Sugar Maple	2" CAL.	B&B	Y	2-3' YR.
7	BA	<i>Betula alleghaniensis</i>	Yellow Birch	2" CAL.	B&B	Y	18-24' YR.
4	PG	<i>Picea glauca</i>	White Spruce	7-8'	B&B	Y	12-18' YR.
6	QR	<i>Quercus rubra</i>	Red Oak	2" CAL.	B&B	Y	2-4' YR.
7	QB	<i>Quercus bicolor</i>	Swamp White Oak	2" CAL.	B&B	Y	2-4' YR.

PLANT LIST - LAWN & MEADOW SEED MIX

QTY	SYM	BOTANICAL NAME	SIZE	REMARKS	NATIVE
27,950	SF	New England Erosion Control Restoration Seed Mix *	seed mix	25lbs / acres	Y

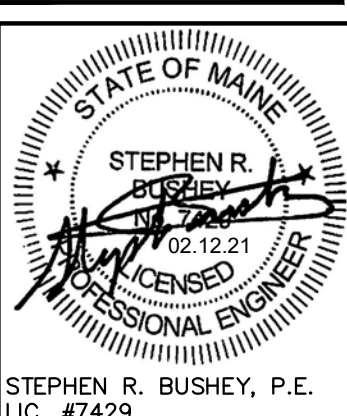
*The New England Erosion Control/Restoration Mix For Dry Sites provides an appropriate selection of native and naturalized grasses to ensure that dry and recently disturbed sites will be quickly re-vegetated and the soil surface stabilized. It is an appropriate seed mix for road cuts, pipelines, steeper slopes, and areas requiring quick cover during the ecological restoration process. The mix may be applied by hydro-seeding, by mechanical spreading, or on small sites it can be spread by hand. Lightly rake, or roll to ensure proper soil seed contact. Best results are obtained with a Spring or late Summer seeding. Late Spring through Mid-Summer seeding will benefit from a light mulching of weed-free straw to conserve moisture. If conditions are drier than usual, watering will be required. Fertilization is not required unless the soils are particularly infertile. Preparation of a clean weed free seed bed is necessary for optimal results.

SPECIES: Red Fescue (*Festuca rubra*), Canada Wild Rye (*Elymus canadensis*), Annual Ryegrass (*Lolium multiflorum*), Perennial Ryegrass (*Lolium perenne*), Little Bluestem (*Schizachyrium scoparium*), Indian Grass (*Sorghastrum nutans*), Switch Grass (*Panicum virgatum*), Upland Bentgrass (*Agrostis perennans*).



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Design: KAB Draft: CDD Date: DEC. 2020
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 File Name: 373801-LANDSCAPE.dwg

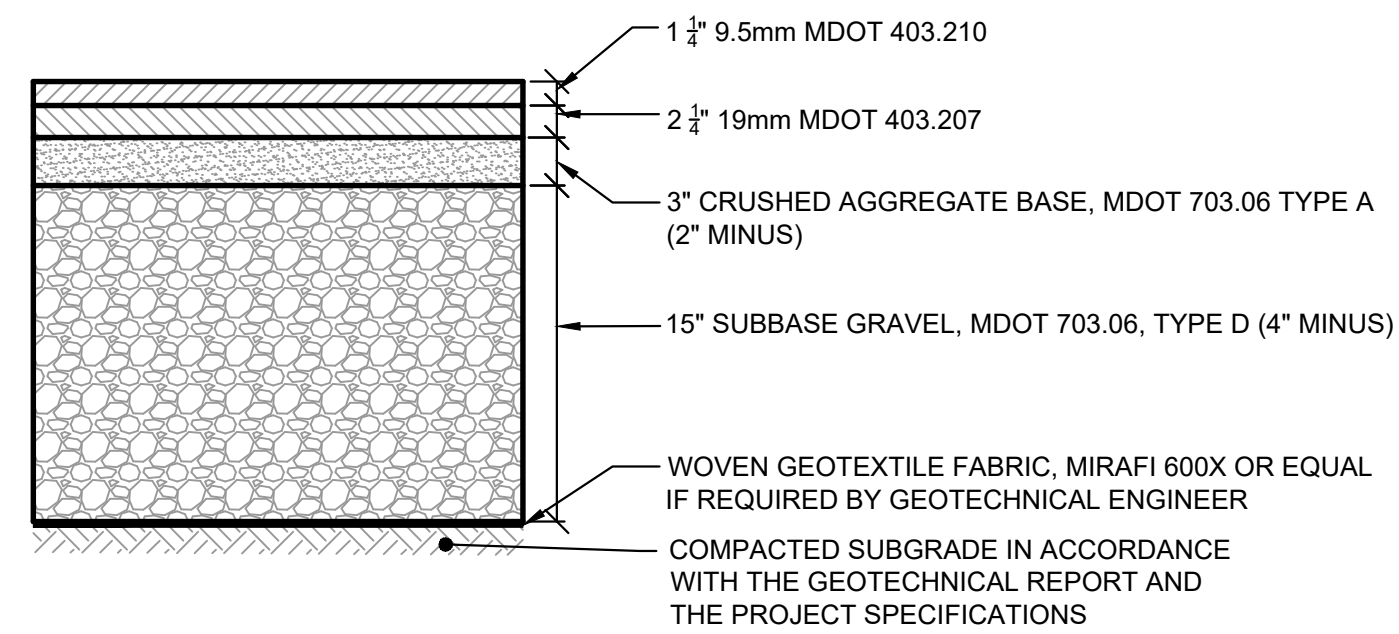
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Drawing Name:	PRELIMINARY LANDSCAPE PLAN
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-6.0

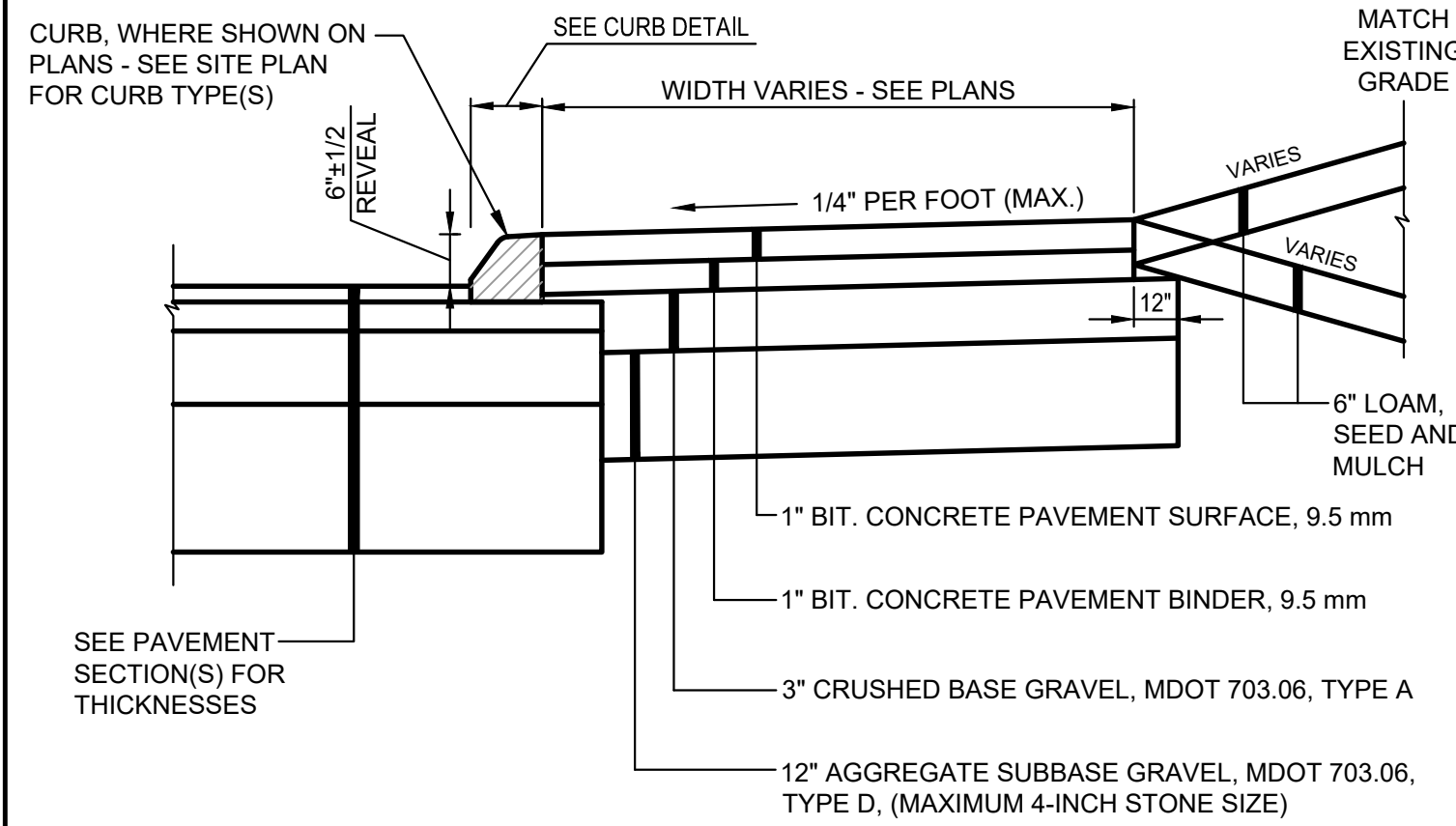


NOTES:

1. APPLY TACK COAT BETWEEN BINDER AND SURFACE COURSES.
2. ALL MATERIALS SHALL CONFORM TO MDOT SPECIFICATIONS, LATEST REVISION.
3. COMPACTION OF ALL MATERIALS TO BE IN ACCORDANCE WITH THE SPECIFICATIONS AND THE GEOTECHNICAL REPORT.

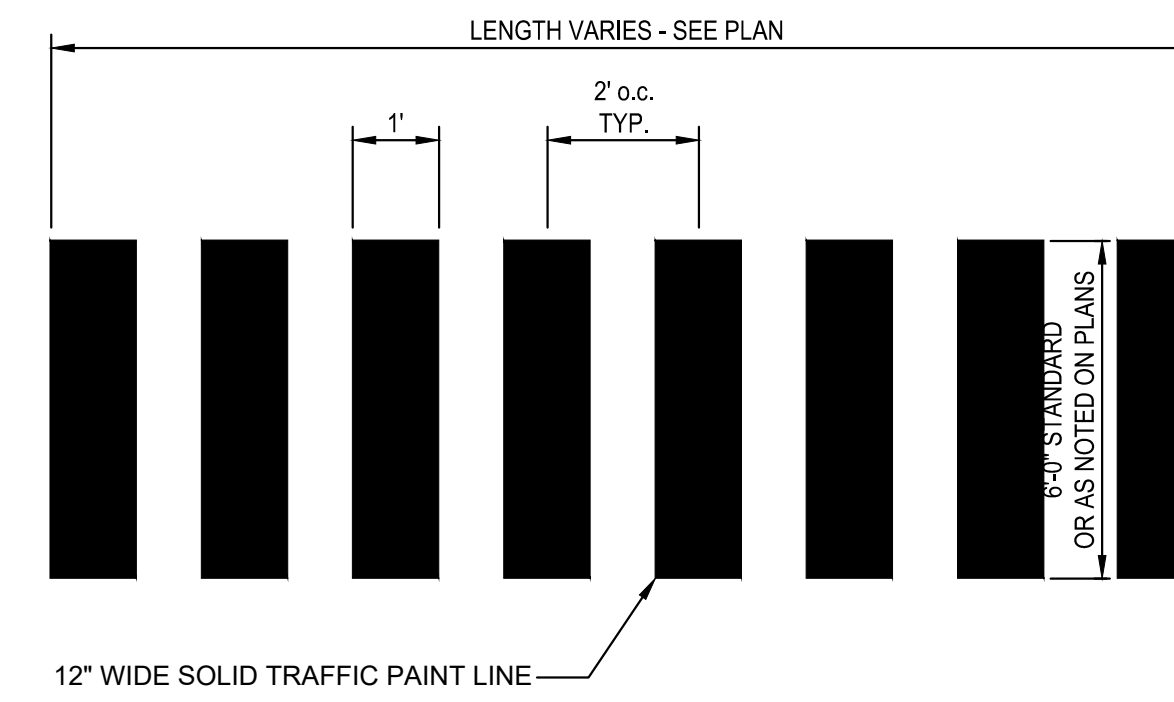
STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT SECTION

(A) N.T.S.



BITUMINOUS SIDEWALK WITH CURB DETAIL

(D) N.T.S.

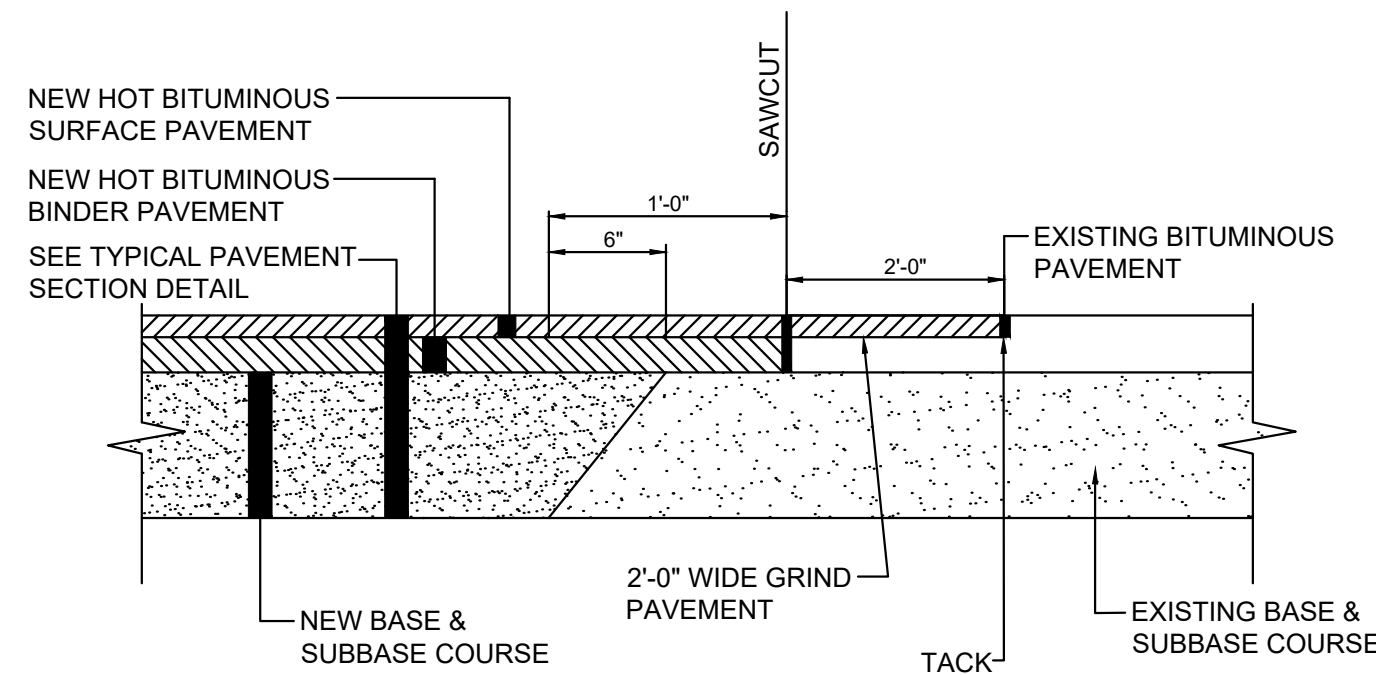


NOTES:

1. ALL TRAFFIC MARKINGS TO BE SOLID TRAFFIC PAINT AS PER DIMENSIONS SHOWN.
2. PAINT COLOR TO BE SOLID WHITE TRAFFIC PAINT.

CROSSWALK STRIPING DETAIL

(G) N.T.S.



NOTES:

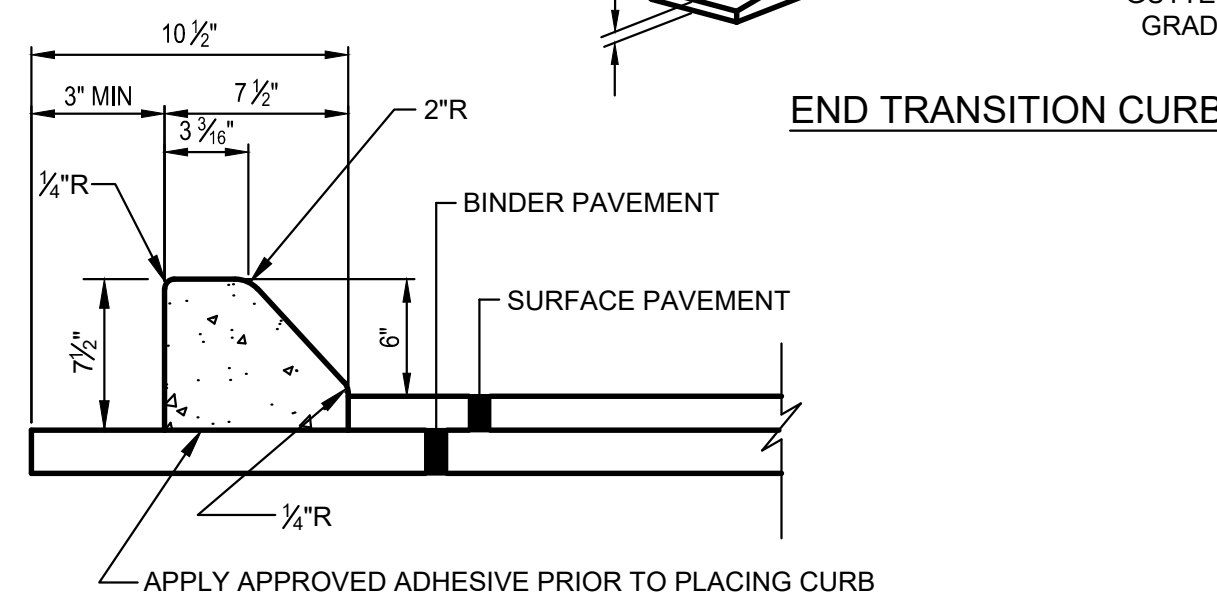
1. USE THIS DETAIL FOR THE RADIUS FILLET AT THE DRIVEWAY ENTRANCE TO THE PUBLIC STREETS OR TO MATCH PARKING LOT/DRIVE PAVEMENTS WHERE WIDENING OF EXISTING PAVEMENT AREA IS REQUIRED.
2. WHERE SURFACE PAVEMENT HAS NOT BEEN INSTALLED, THE 2-0" WIDE GRIND IS NOT REQUIRED.

PAVEMENT SAWCUT DETAIL

(B) N.T.S.

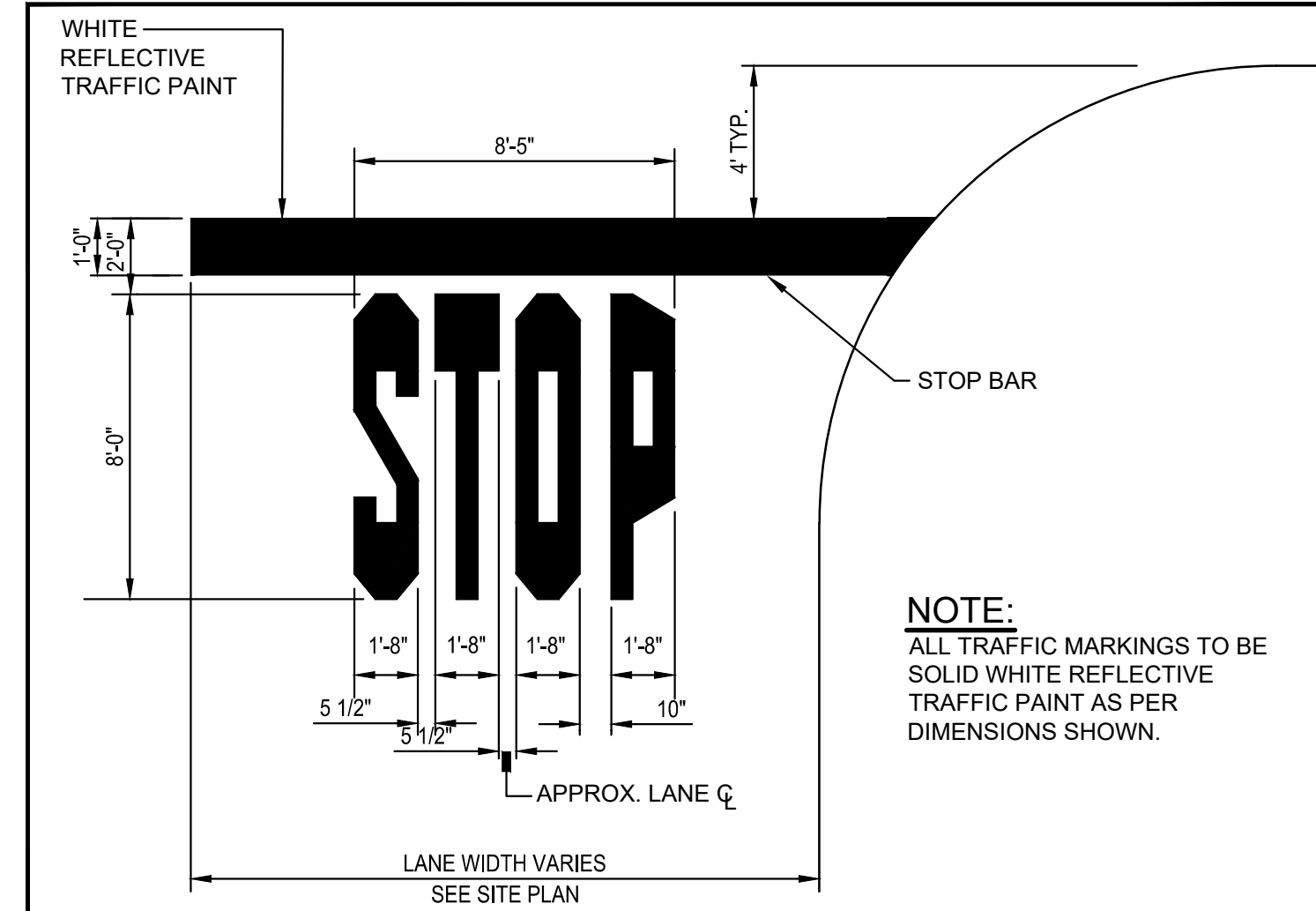
NOTES:

1. 4,000 PSI CONCRETE WITH FIBER REINFORCEMENT.
2. 4% TO 6% AIR ENTRAINMENT.
3. 1" TO 2" SLUMP.
4. APPLY EPOXY TO BINDER PAVEMENT PRIOR TO CURB PLACEMENT.
5. APPLY SALTGUARD™ TREATMENT TO ALL CONCRETE CURB.



EXTRUDED SLIPFORM SLOPED CONCRETE CURB DETAIL

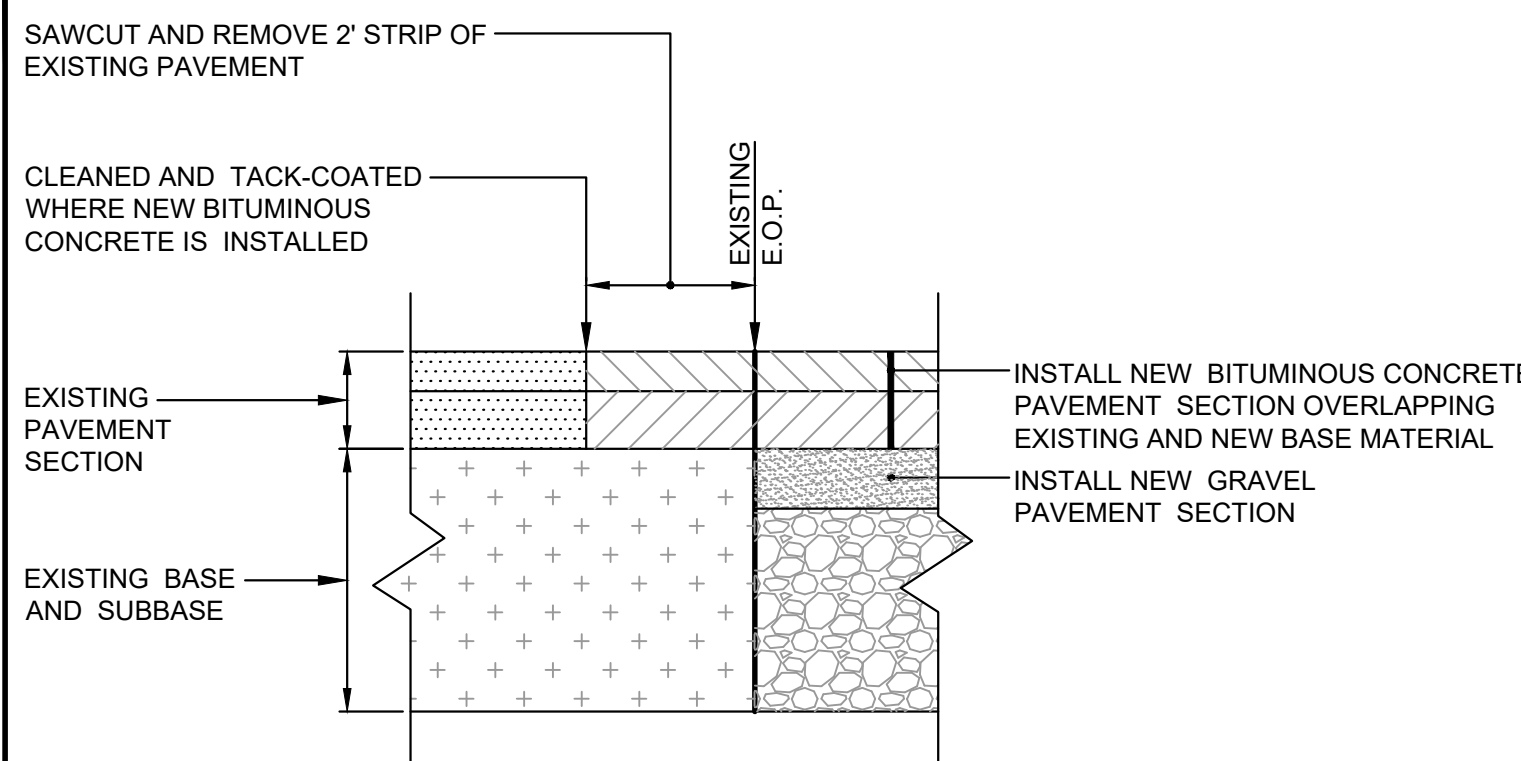
(E) N.T.S.



NOTE:
ALL TRAFFIC MARKINGS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT AS PER DIMENSIONS SHOWN.

TYPICAL PAVEMENT MARKINGS

(H) N.T.S.



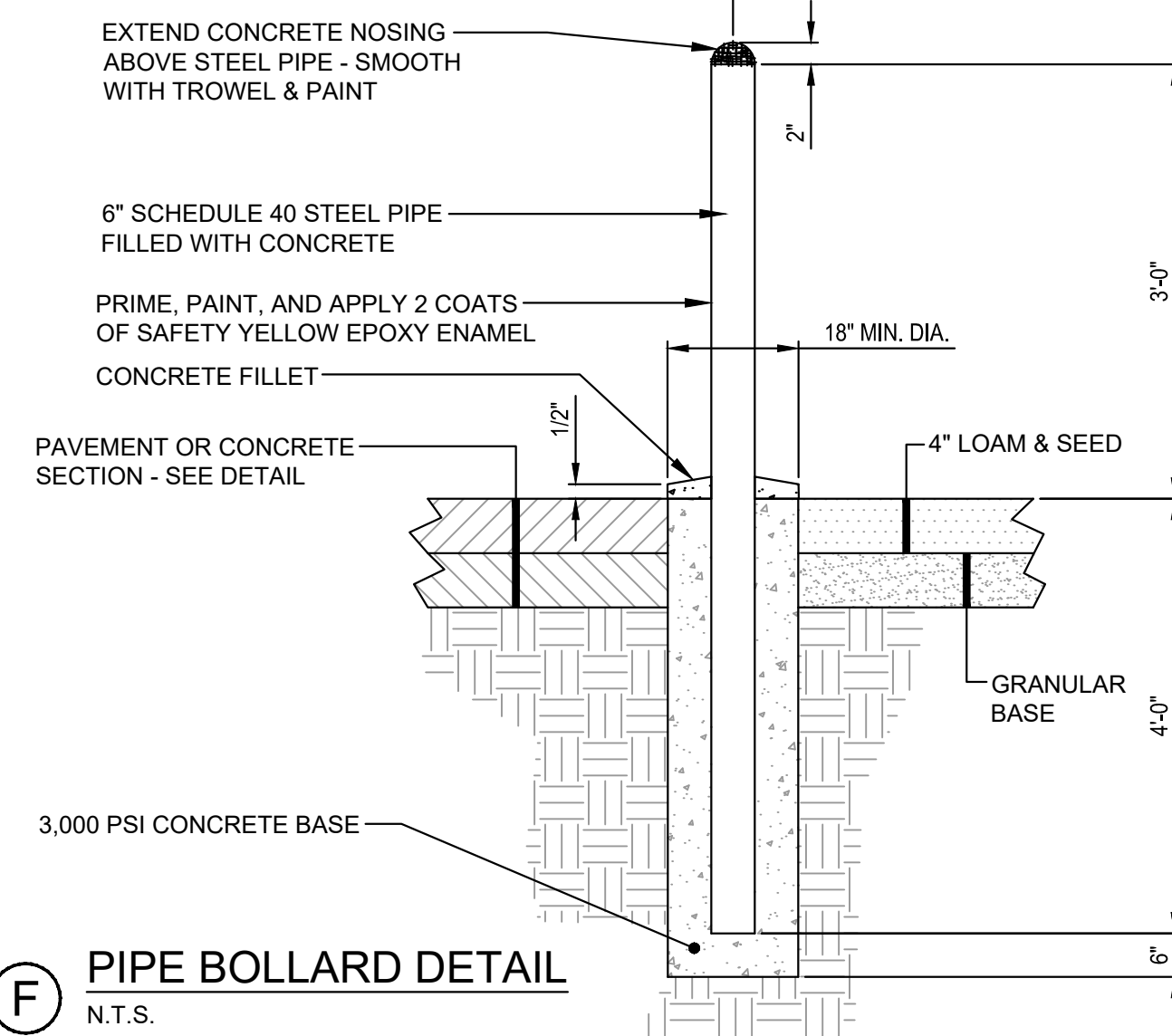
NOTES:

1. APPLY TACK COAT BETWEEN BINDER AND SURFACE COURSES.
2. ALL MATERIALS SHALL CONFORM TO MDOT SPECIFICATIONS, LATEST REVISION.
3. COMPACTION OF ALL MATERIALS TO BE IN ACCORDANCE WITH THE SPECIFICATIONS AND GEOTECHNICAL REPORTS PREPARED BY THE GEOTECHNICAL ENGINEER.

TYPICAL PAVEMENT SECTION NEW PAVEMENT ADJACENT TO EXISTING PAVEMENT

(C) N.T.S.

PAVED AREAS NON-PAVED AREAS

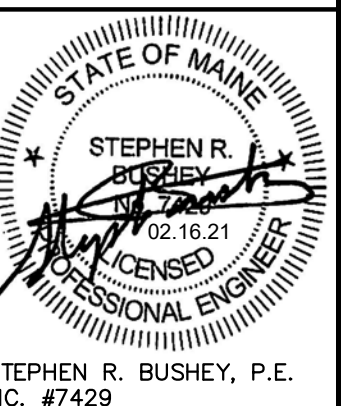


PIPE BOLLARD DETAIL

(F) N.T.S.

OWNER OF RECORD:
SACO ISLAND VENTURES LLC
8 DOAKS LANE
MARBLEHEAD, MA 01945
YCRD BK 18023; PG 284

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES & SHALL NOT BE USED FOR CONSTRUCTION.



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Rev.	Date	Revision

Rev.	Date	Revision
2	2021.02.16	REVISED PERMIT PLANS
1	2021.01.20	SUBMITTED TO CITY OF SACO FOR REVIEW

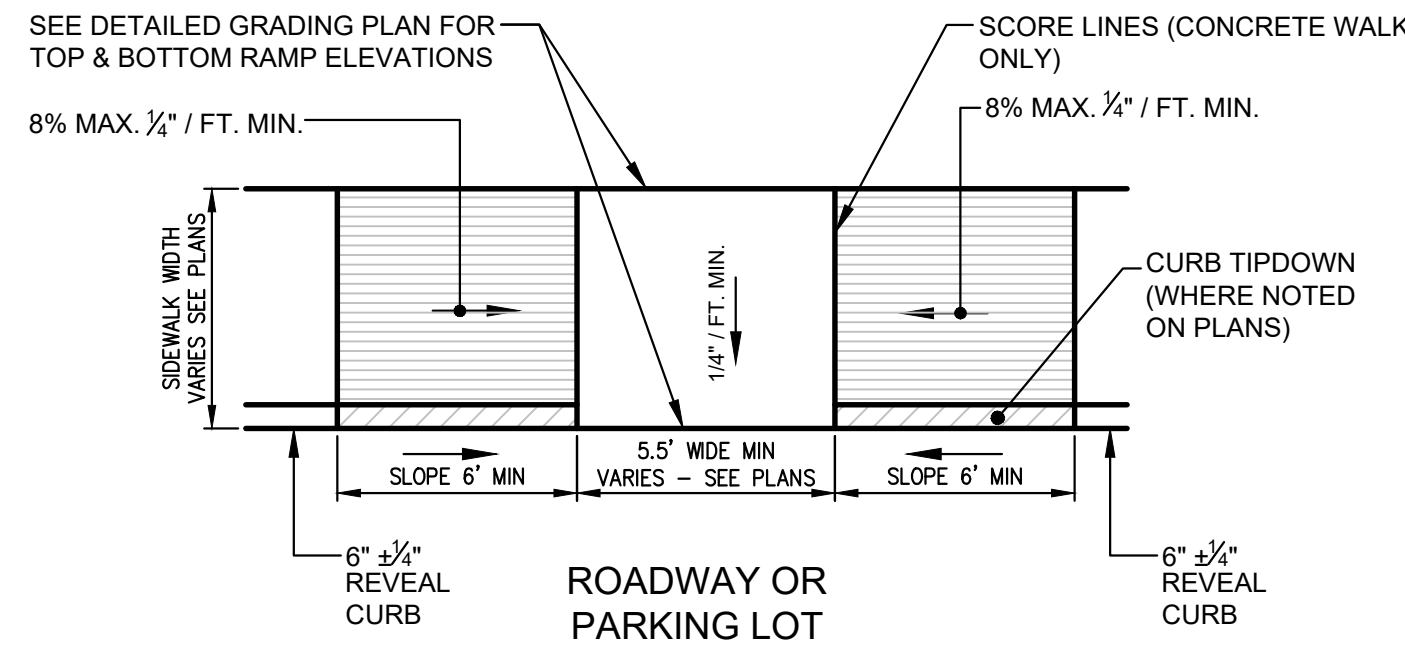
Design: KAB	Draft: CDD	Date: DEC. 2020
Checked: SRB	Scale: AS NOTED	Job No.: 3738.01
File Name: 373801-DETAILS.dwg		
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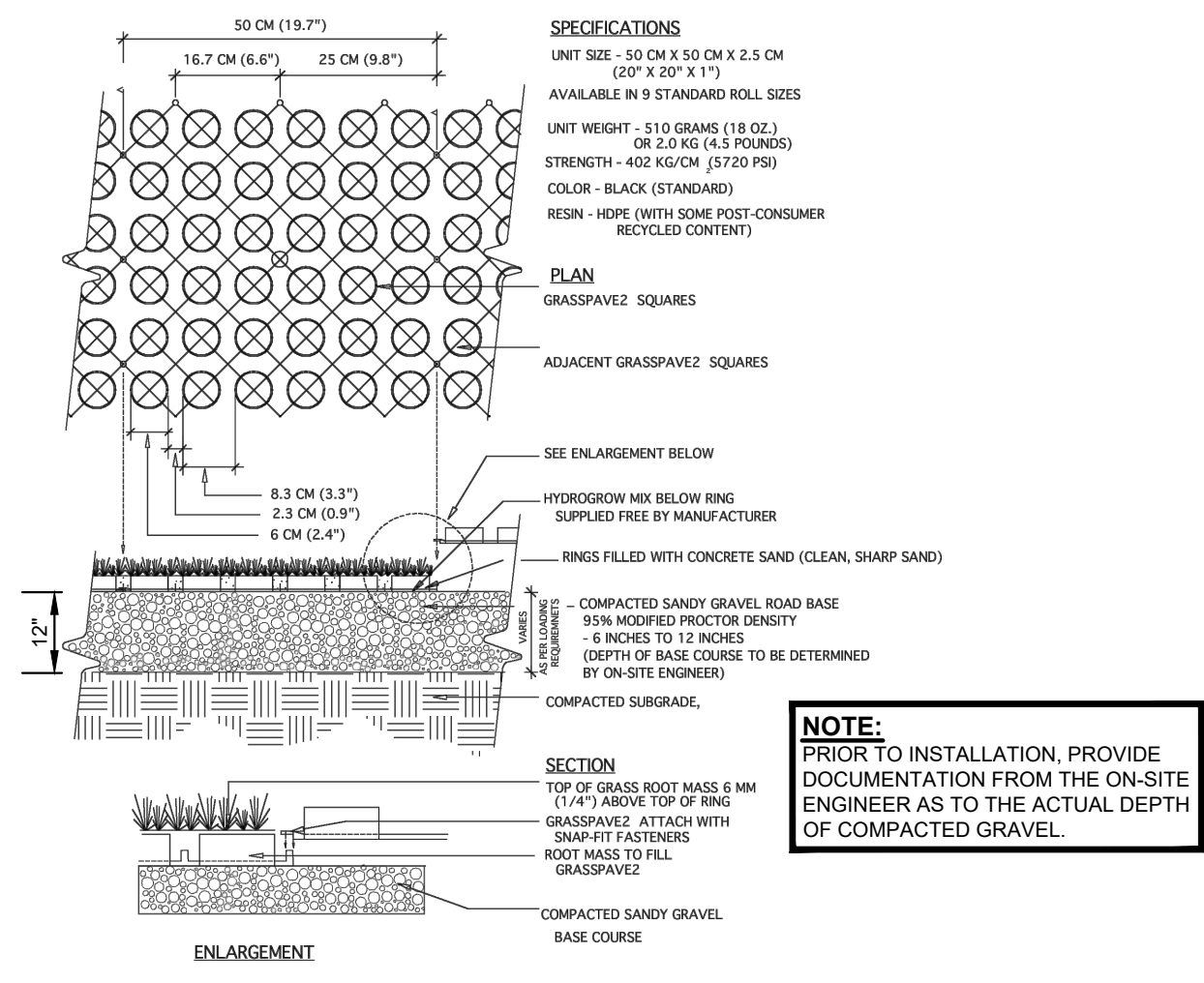
Drawing Name:	SITE DETAILS
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.	C-7.0
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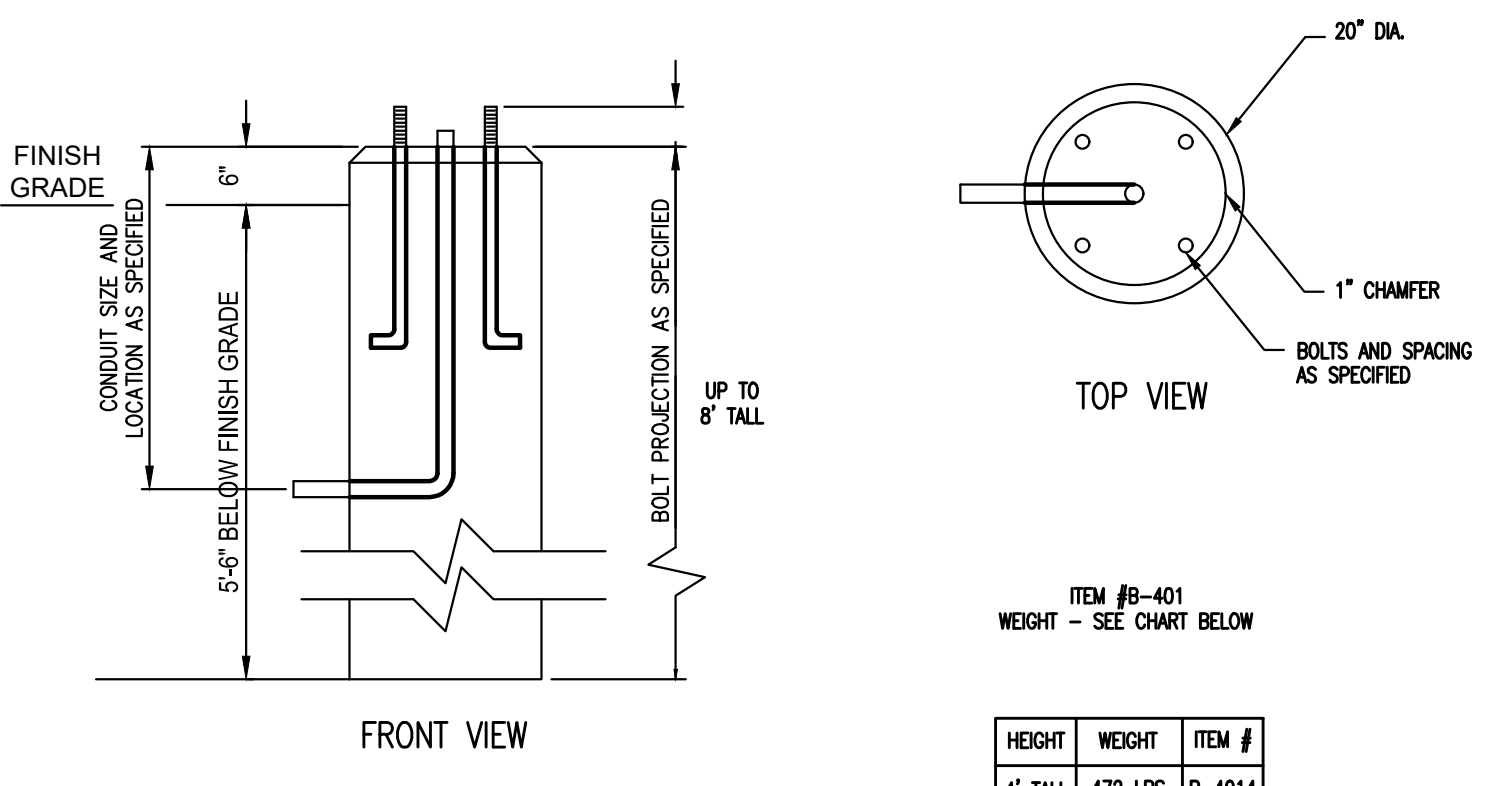


NOTES:
 1. RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA).
 2. SCORE LINES ARE NOT APPLICABLE TO BITUMINOUS CONCRETE SIDEWALKS.
 3. SEE PLANS FOR LOCATION(S) AND TYPES OF CURB.

(A) BARRIER FREE RAMP DETAIL
 N.T.S.



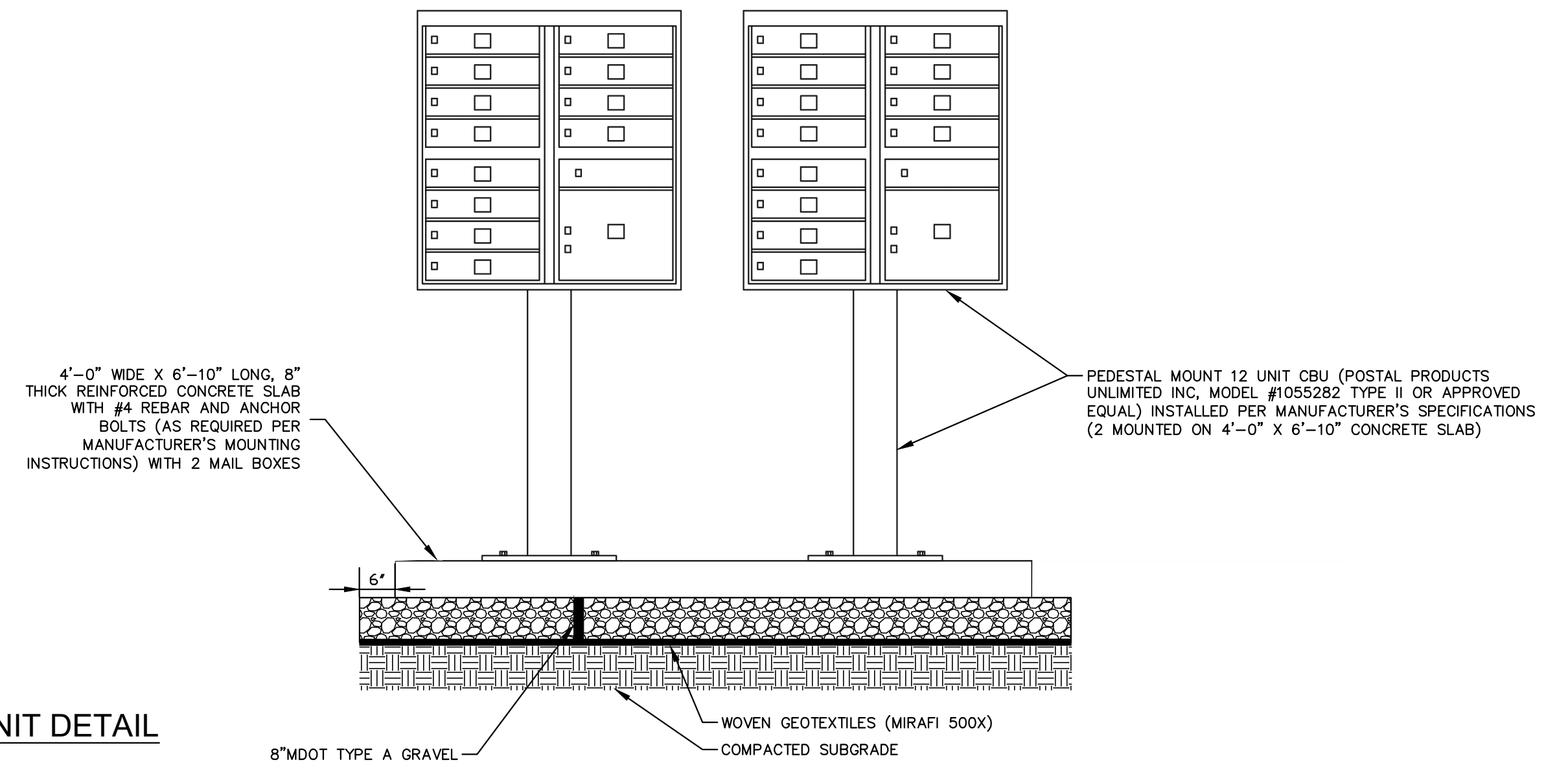
(D) GRASSPAVE2 DETAIL OR APPROVED EQUAL
 N.T.S.



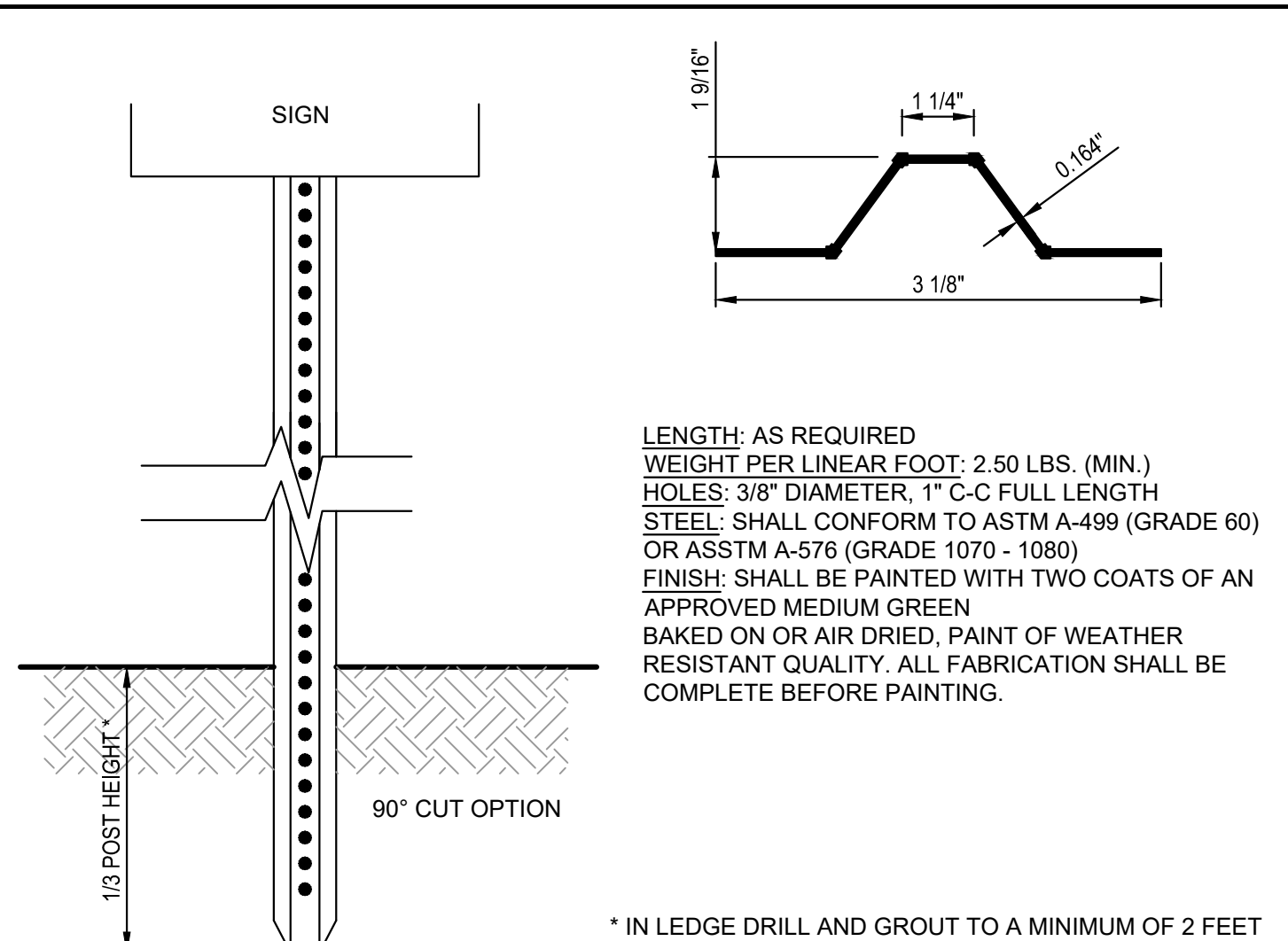
DESIGN NOTES:
 1 - CONCRETE 4000 PSI AT 28 DAYS.
 2 - REINFORCING IS AS SPECIFIED. (TOP 4 - #4 VERTICALLY AND #3 STIRRUPS 12" O.C. HORIZONTALLY)
 3 - ANCHOR BOLTS AND GROUNDING AS SPECIFIED.
 4 - BALLAST POURED AROUND BASE IF REQUIRED.

PRECAST CONCRETE PRODUCTS OF MAINE, INC. PHONE (207) 729-1628 FAX (207) 729-8710

(B) 20" DIA. LIGHT POLE BASE
 N.T.S.



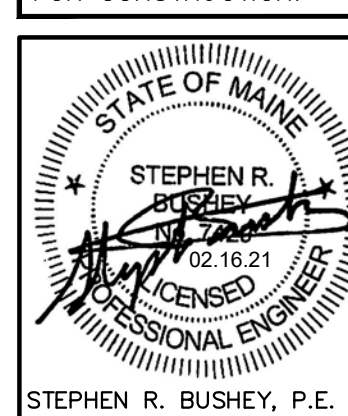
(E) PEDESTAL MOUNT CLUSTER MAILBOX UNIT DETAIL
 N.T.S.



(C) U-CHANNEL METAL SIGN POST
 N.T.S.

OWNER OF RECORD:
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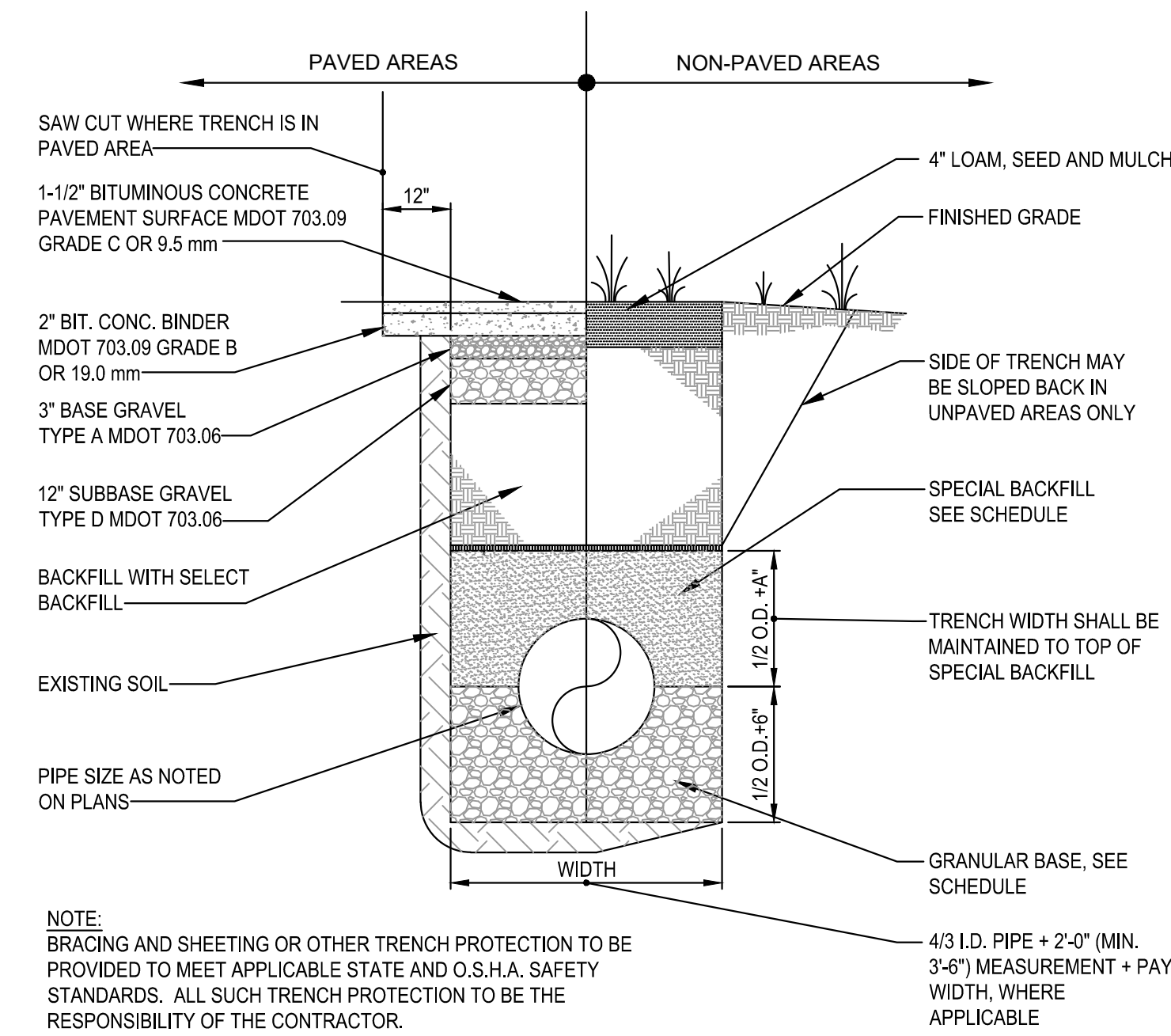
Design: KAB Draft: CDD Date: DEC. 2020
 Checked: SRB Scale: AS NOTED Job No.: 3738.01
 File Name: 373801-DETAILS.dwg
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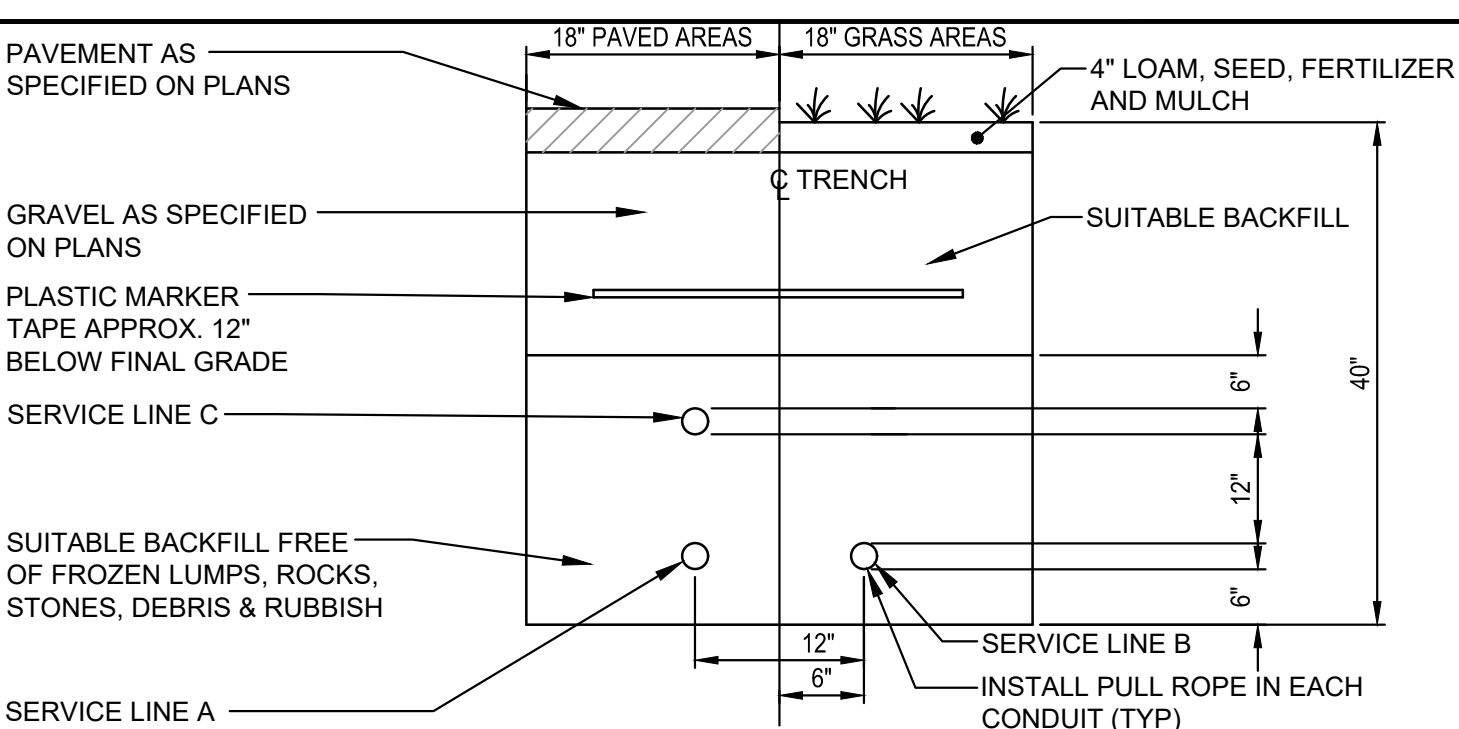
Drawing Name:	SITE DETAILS
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-7.1

TRENCH SECTION BACKFILL SCHEDULE				
TYPE OF PIPE	GRANULAR BASE MATERIAL	SPECIAL BACKFILL	SPECIAL BACKFILL COVER "A" (IN)	SELECT BACKFILL
CONCRETE	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	12"	GRANULAR AASHTO M145-49 A-3 OR BETTER
PVC OR HDPE	3/4" CRUSHED STONE	GRANULAR AASHTO M145-49 A-3 OR BETTER	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER
DUCTILE IRON	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER
UNDER-DRAINS	3/4" CRUSHED STONE	3/4" CRUSHED STONE	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER



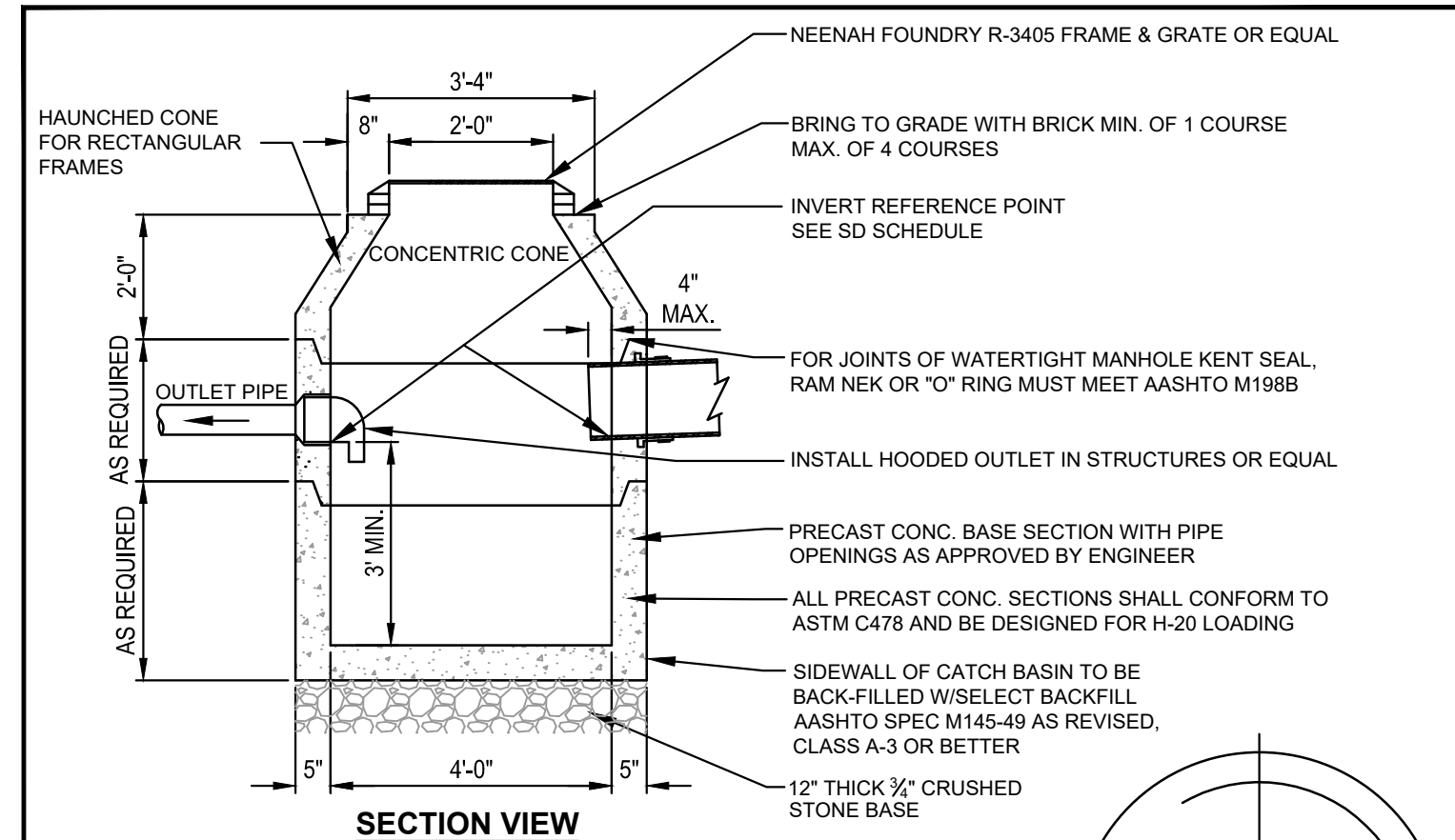
A TYPICAL UTILITY PIPE TRENCH SECTION
N.T.S.



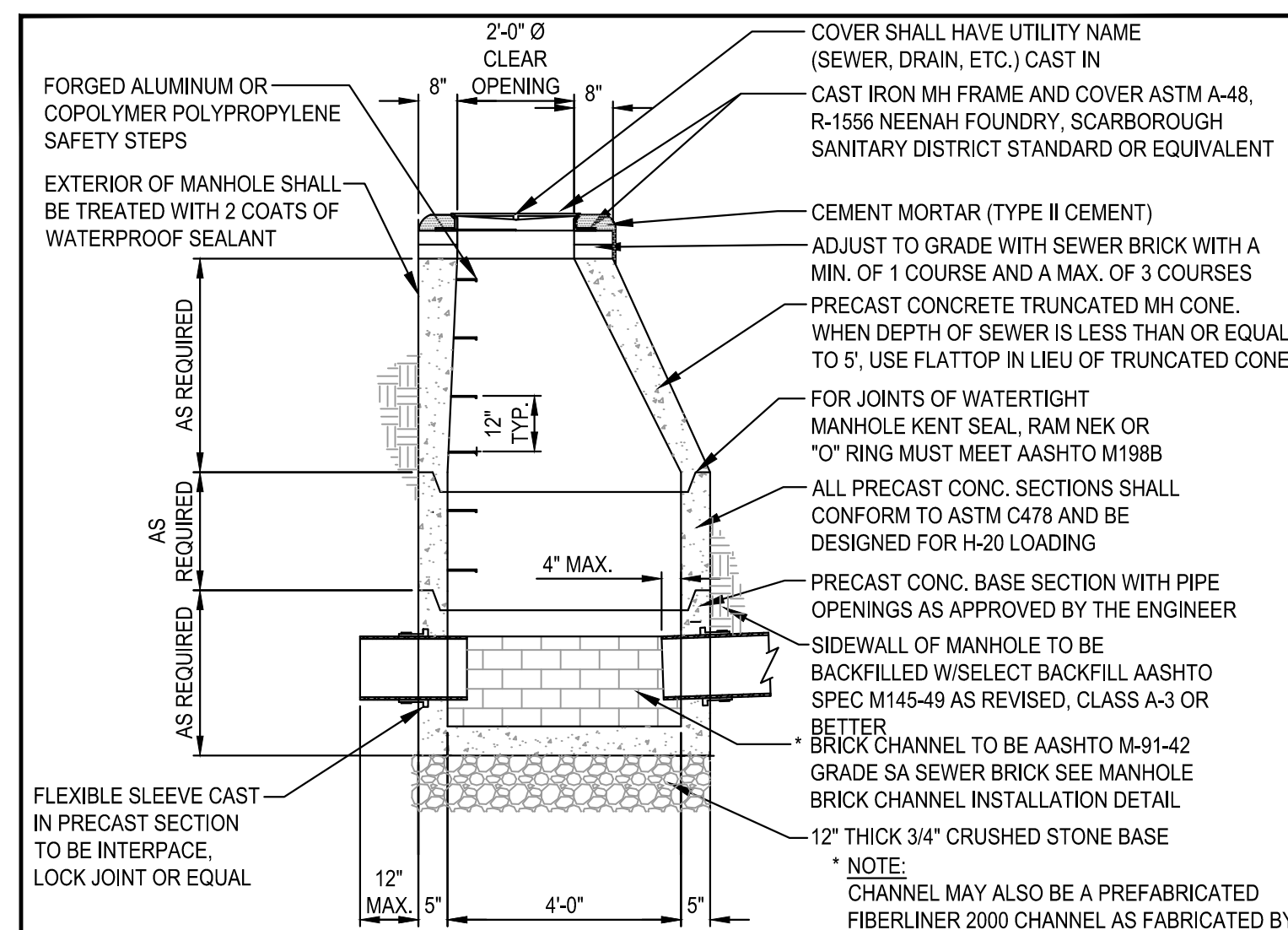
SERVICE	CONDUIT SIZE	CONDUIT TYPE		UTILITY	REMARKS
		PAVED AREAS	GRASS AREAS		
A	2 - 5"	SCHEDULE 40 PVC ELECTRICAL GRADE	RIGID GALVANIZED STEEL, ASTM A120	POWER	SEE NOTE
B	1 - 4"	SCHEDULE 40 PVC	RIGID GALVANIZED STEEL, ASTM A120	TELEPHONE	SEE NOTE
C	1 - 4"	SCHEDULE 40 PVC	RIGID GALVANIZED STEEL, ASTM A120	COMMUNICATION	SEE NOTE

NOTE: ONE CONDUIT CAPPED FOR SPARE. PROVIDE GALVANIZED STEEL LONG SWEEP AT RISER POLE AND EXTEND GALVANIZED CONDUIT TO 10' ABOVE GRADE AT POLE WITH STAND-OFF BRACKETS

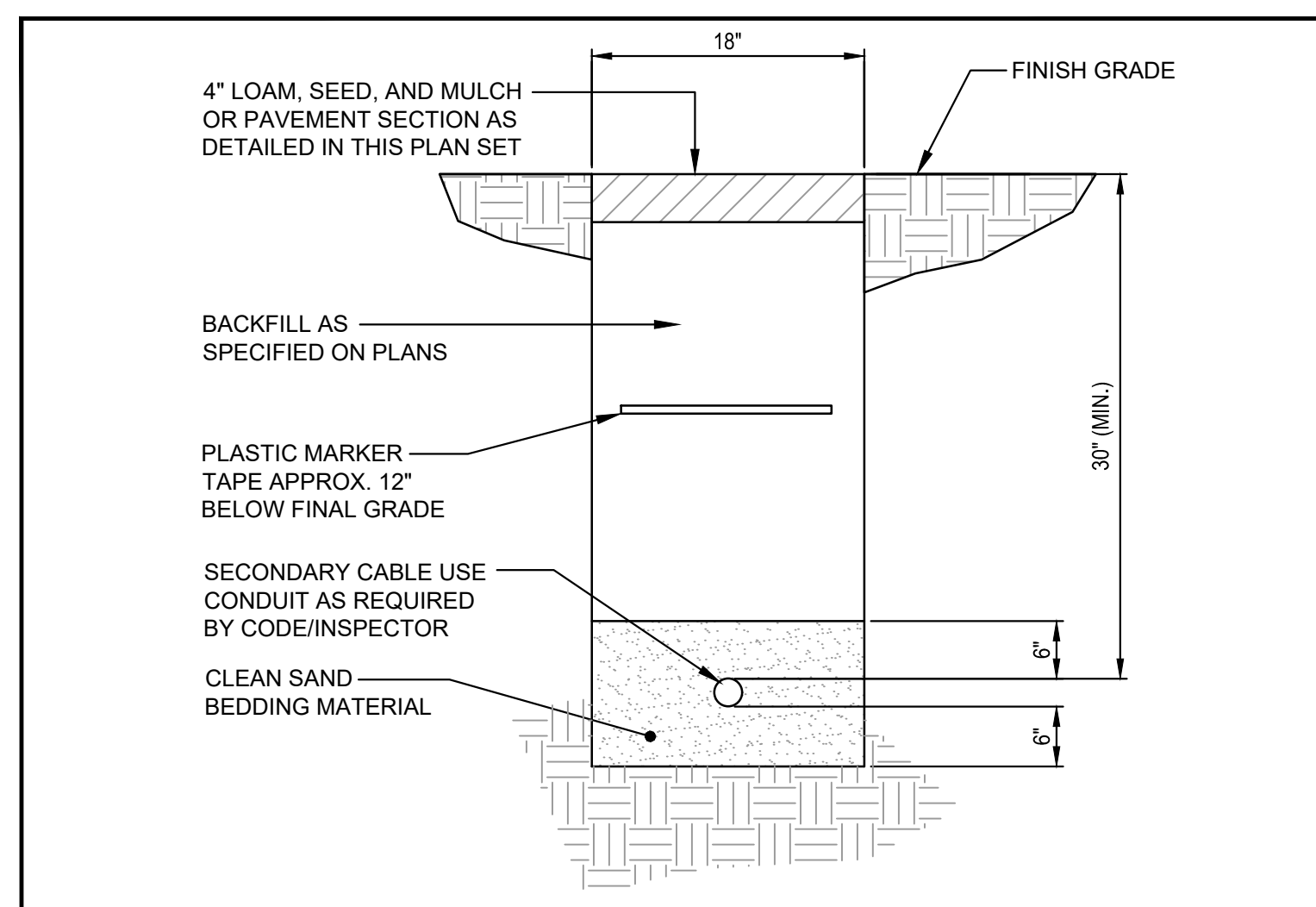
B UTILITY TRENCH - PRIMARY ELECTRIC, TELEPHONE & COMMUNICATIONS
N.T.S.



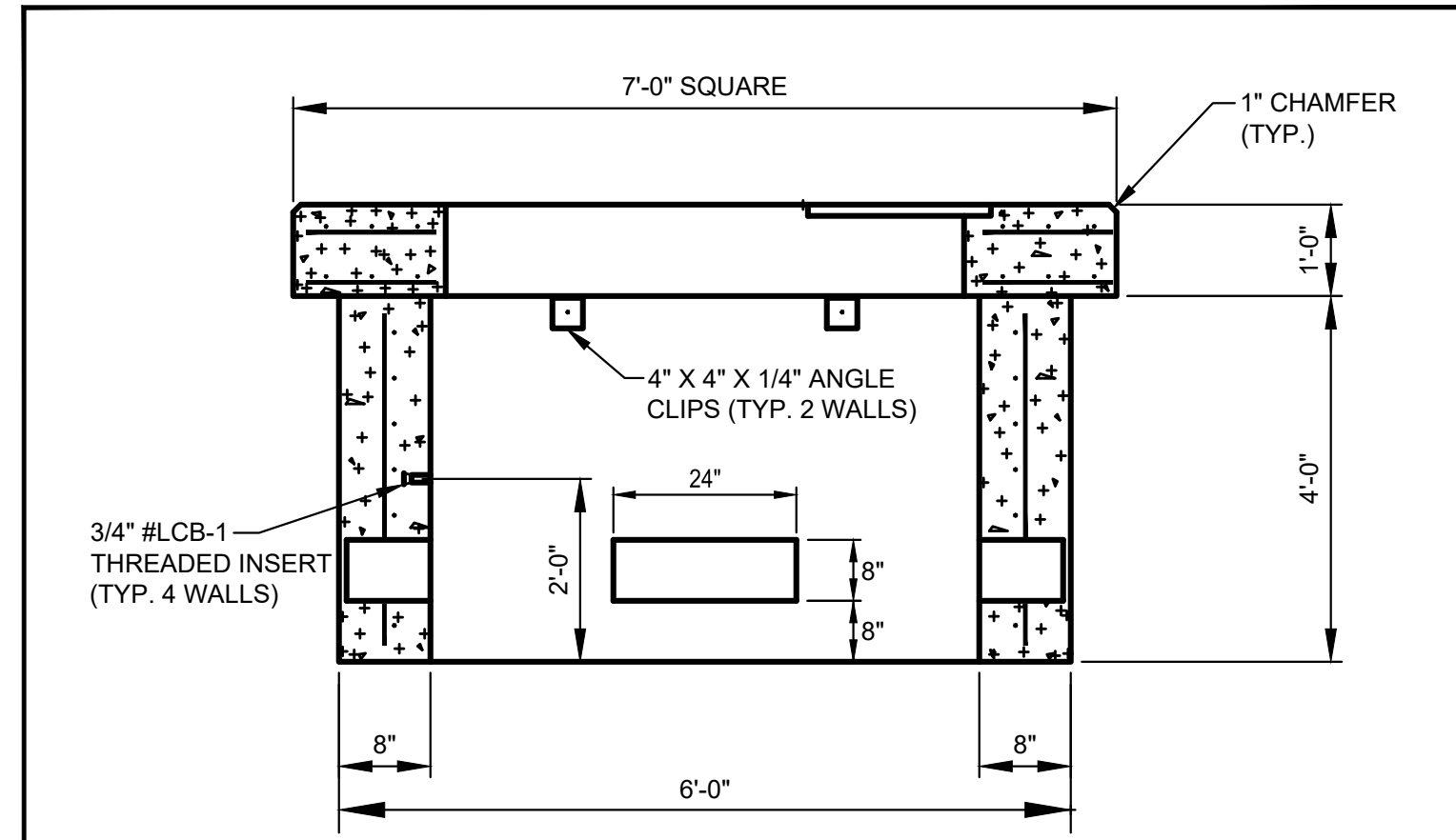
C 4'-0" PRECAST CATCH BASIN
N.T.S.



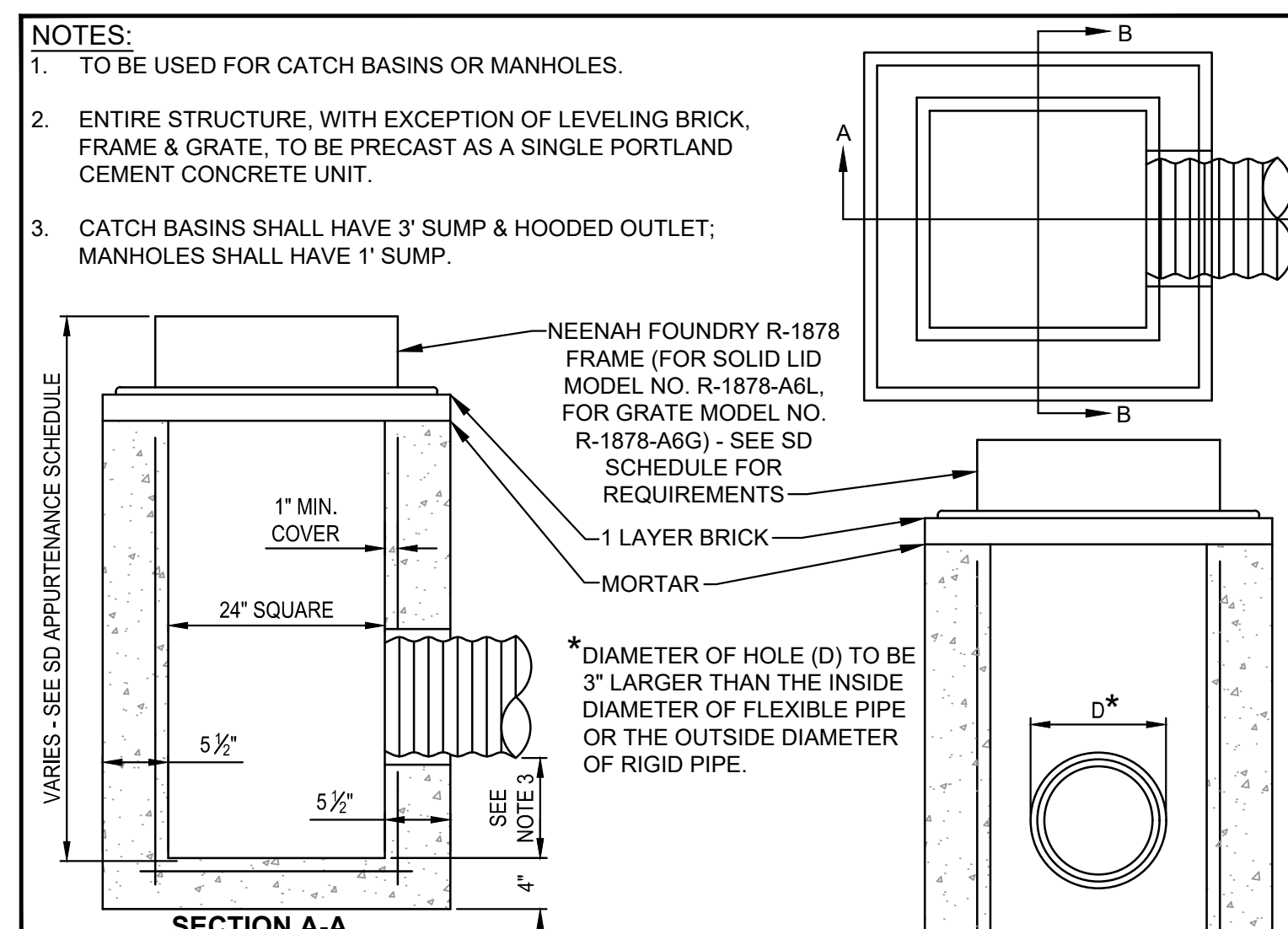
D 4'-0" DIA. PRECAST SANITARY SEWER OR DRAIN MANHOLE DETAIL
N.T.S.



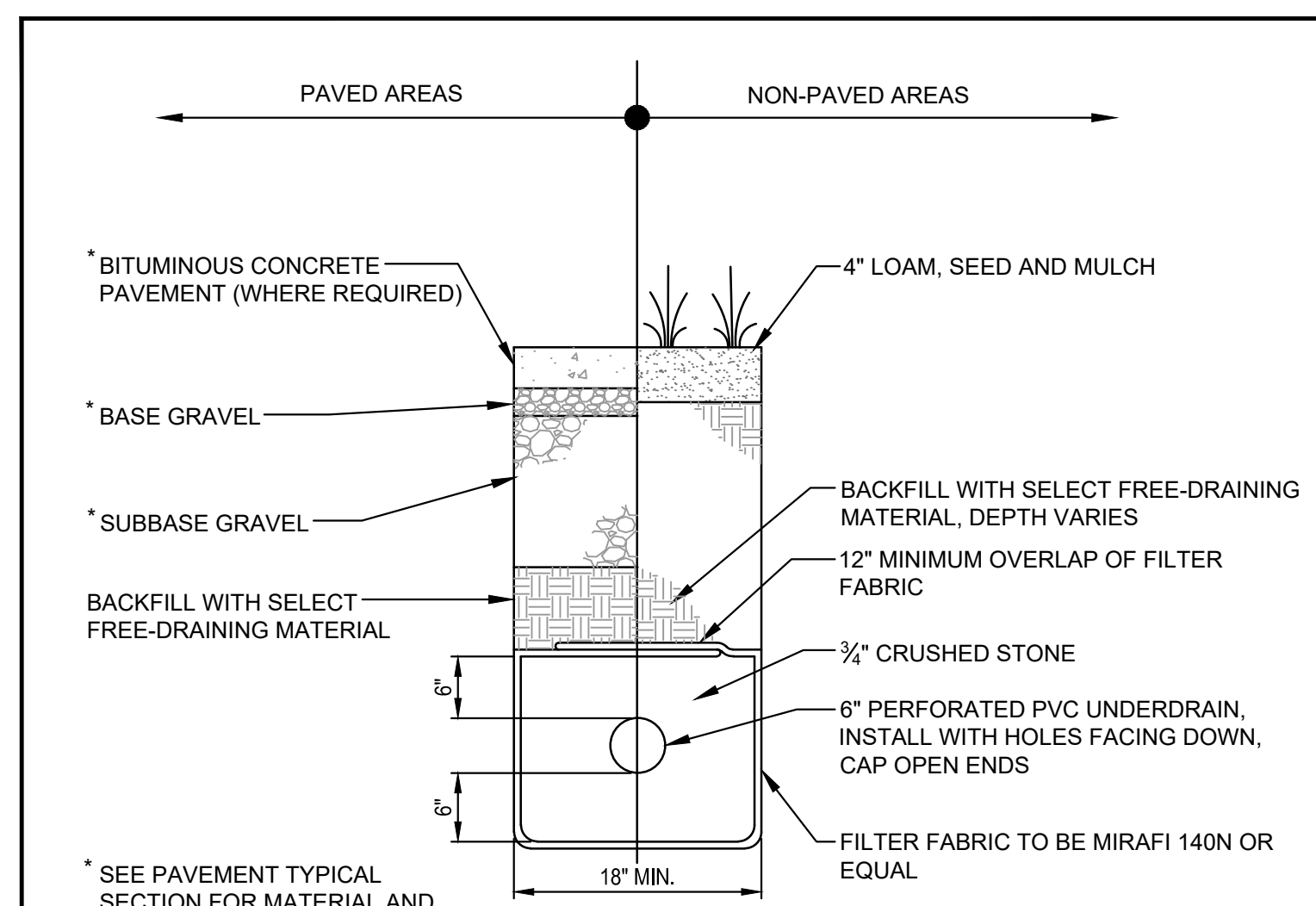
E SECONDARY ELECTRICAL TRENCH DETAIL
N.T.S.



F TRANSFORMER PAD DETAIL
N.T.S.

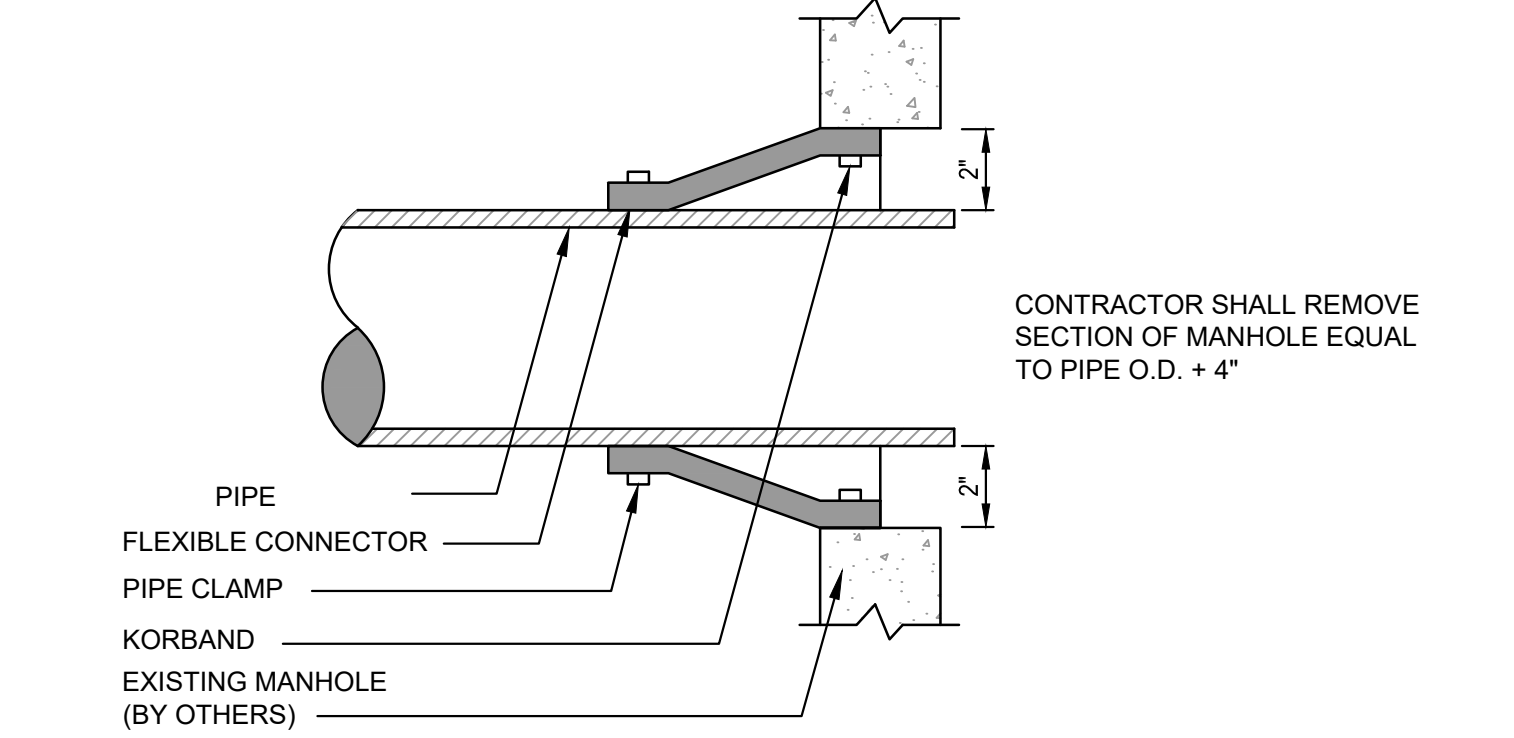


G TYPE 'F' (2' SQUARE) STRUCTURE
N.T.S.



H TYPICAL UNDERDRAIN TRENCH SECTION DETAIL
N.T.S.

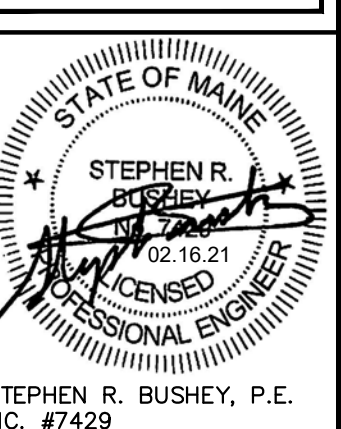
- NOTES:**
- A FLEXIBLE PIPE TO MANHOLE CONNECTOR SHALL BE EMPLOYED IN THE CONNECTION OF ALL PIPE TO MANHOLE JUNCTIONS.
 - THE CONNECTOR SHALL BE KOR-N-SEAL AS MANUFACTURED BY NPC SYSTEMS, INC., OF MILFORD, NH OR EQUAL.
 - THE CONNECTOR SHALL BE THE SOLE ELEMENT RELIED ON TO ASSURE A FLEXIBLE WATERTIGHT SEAL OF THE PIPE TO MANHOLE. NO ADHESIVES OR LUBRICANTS SHALL BE EMPLOYED IN THE INSTALLATION OF THE CONNECTOR TO THE MANHOLE. THE RUBBER FOR THE CONNECTOR SHALL COMPLY TO ASTM C443 AND ASTM C923 AND CONSIST OF EPDM AND ELASTOMERS KNOWN TO BE RESISTANT TO OZONE, WEATHER ELEMENTS, CHEMICALS, INCLUDING ACIDS, ALKALIS, ANIMAL AND VEGETABLE FATS, OILS AND PETROLEUM PRODUCTS FROM SPILLS.
 - ALL STAINLESS STEEL ELEMENTS OF THE CONNECTOR SHALL BE TOTALLY NON-MAGNETIC SERIES 304 STAINLESS, EXCLUDING THE WORM SCREW USED FOR TIGHTENING THE STEEL BAND AROUND THE PIPE WHICH SHALL BE SERIES 305 STAINLESS. THE WORM SCREW USED FOR TIGHTENING THE STEEL BAND SHALL BE TORQUED BY A BREAK-AWAY TORQUE WRENCH AVAILABLE FROM THE PRECAST MANHOLE SUPPLIER, AND SET AT 60/70 in/lbs.
 - THE CONNECTOR SHALL BE INSTALLED IN THE MANHOLE WALL BY ACTIVATING THE EXPANDING MECHANISM IN STRICT ACCORDANCE WITH THE RECOMMENDATION OF THE CONNECTOR MANUFACTURER.
 - THE CONNECTOR SHALL BE OF A SIZE SPECIFICALLY DESIGNED FOR THE PIPE MATERIAL AND SIZE BEING UTILIZED ON THE PROJECT.
 - ALL CONNECTORS WHICH ARE CAPPED AWAITING PIPE INSTALLATION AT A LATER DATE MUST BE RESTRAINED.



I CORE AND SEAL CONNECTION TO MANHOLE
N.T.S.

OWNER OF RECORD:
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YCRD BK 18023; PG 284

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STEPHEN R. BUSHEY, P.E.
LIC. #7429

Design: KAB Draft: CDD Date: DEC. 2020
Checked: SRB Scale: AS NOTED Job No.: 3738.01
File Name: 373801-DETAILS.dwg

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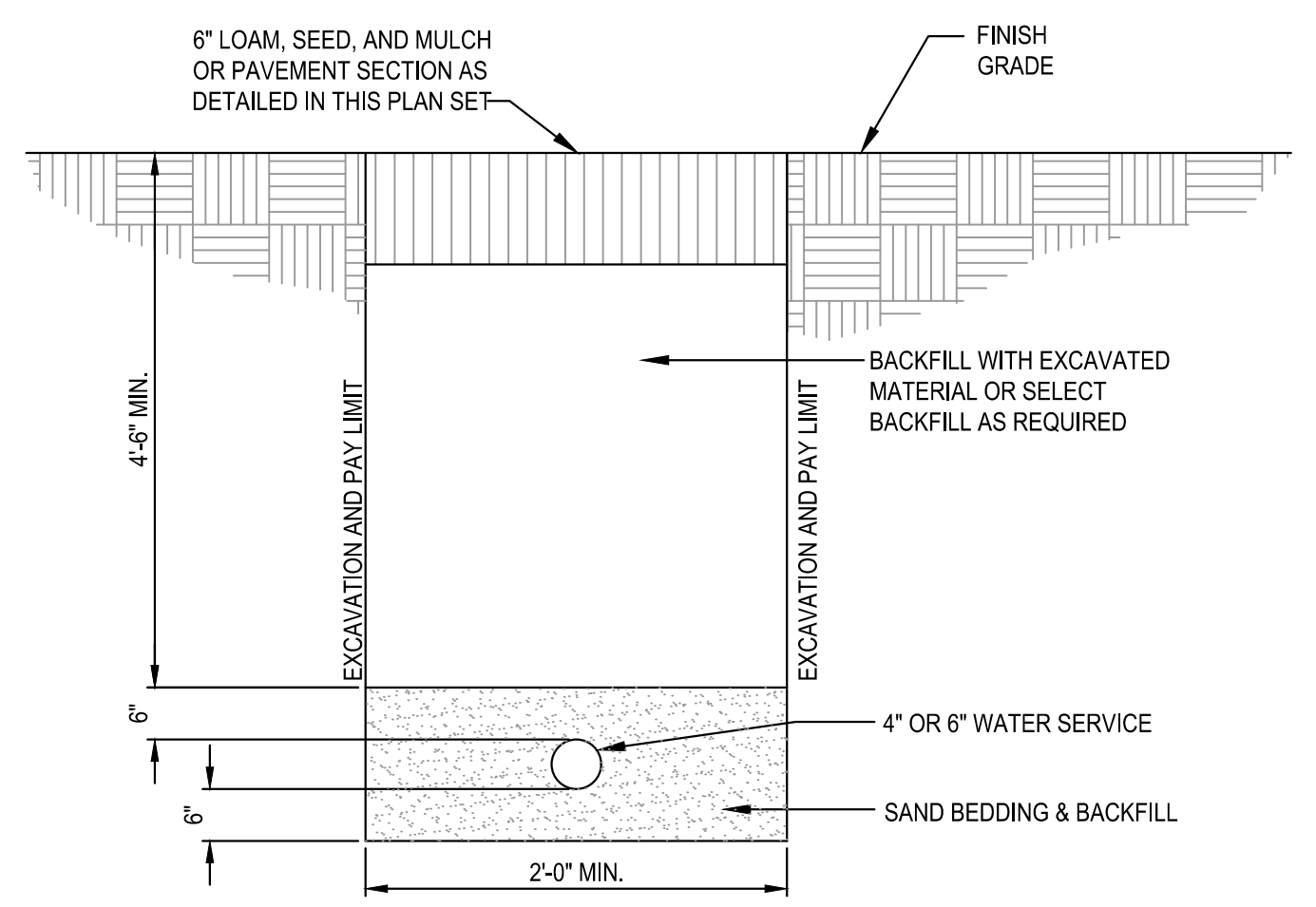
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Drawing Name: STORM DRAIN & UTILITY DETAILS
Project: 24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST
Saco, Maine
Client: SACO ISLAND VENTURES
8 Doaks Lane, Marblehead, Mass. 01945

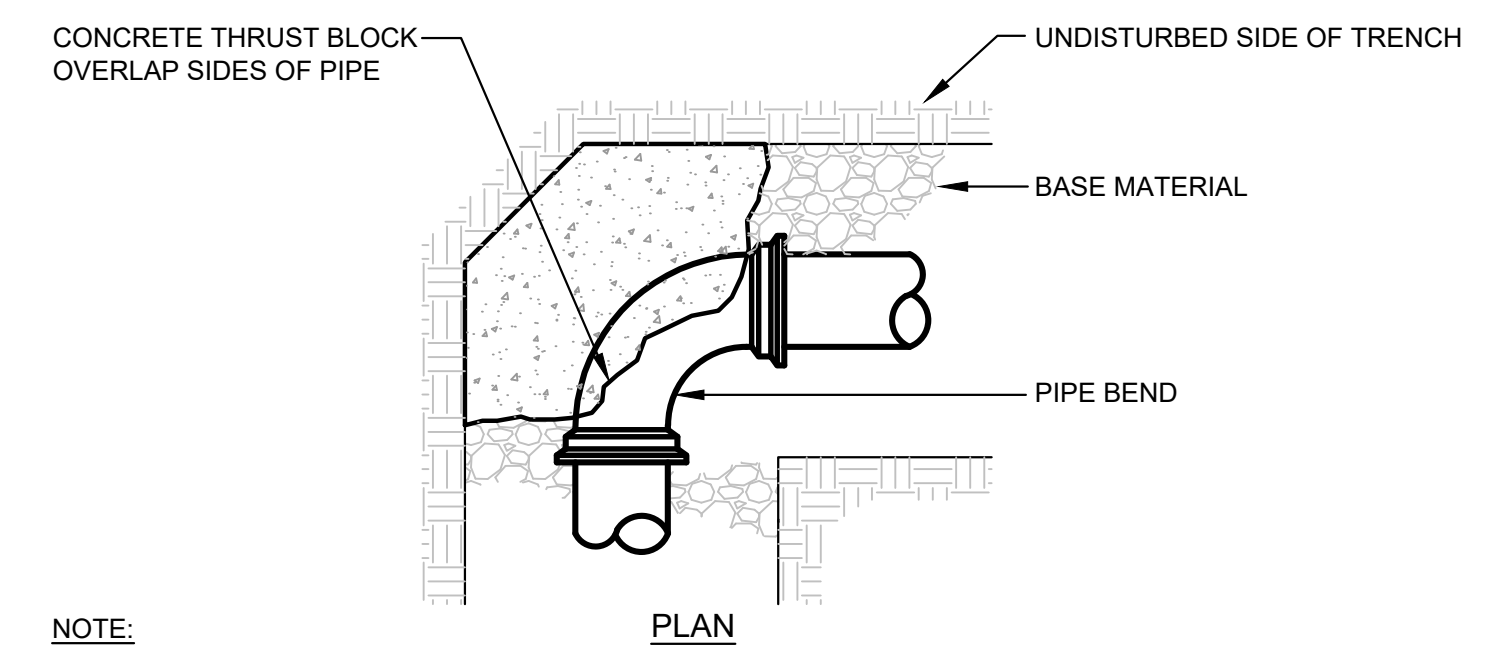
Drawing No.

C-7.2

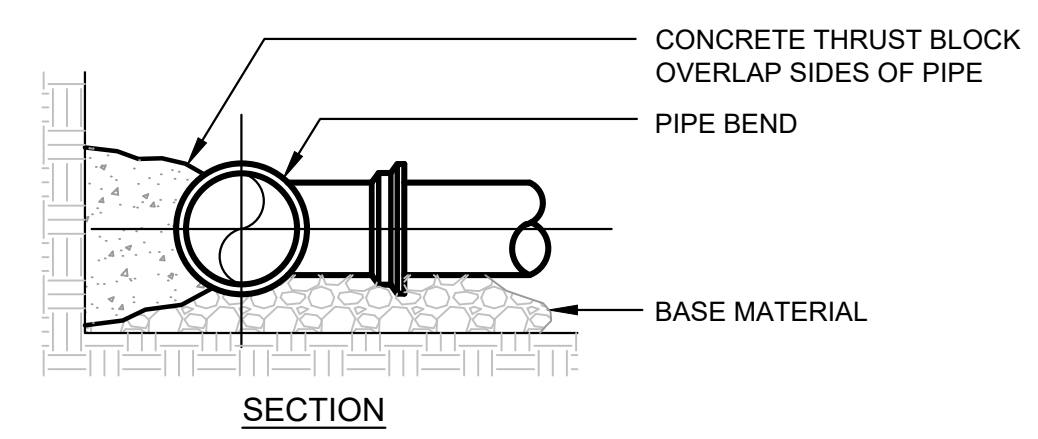
2	2021.02.16	REVISED PERMIT PLANS
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A WATER SERVICE TRENCH SECTION
N.T.S.



NOTE:
KEEP CONCRETE CLEAR OF
PIPE JOINT, NUTS AND BOLTS

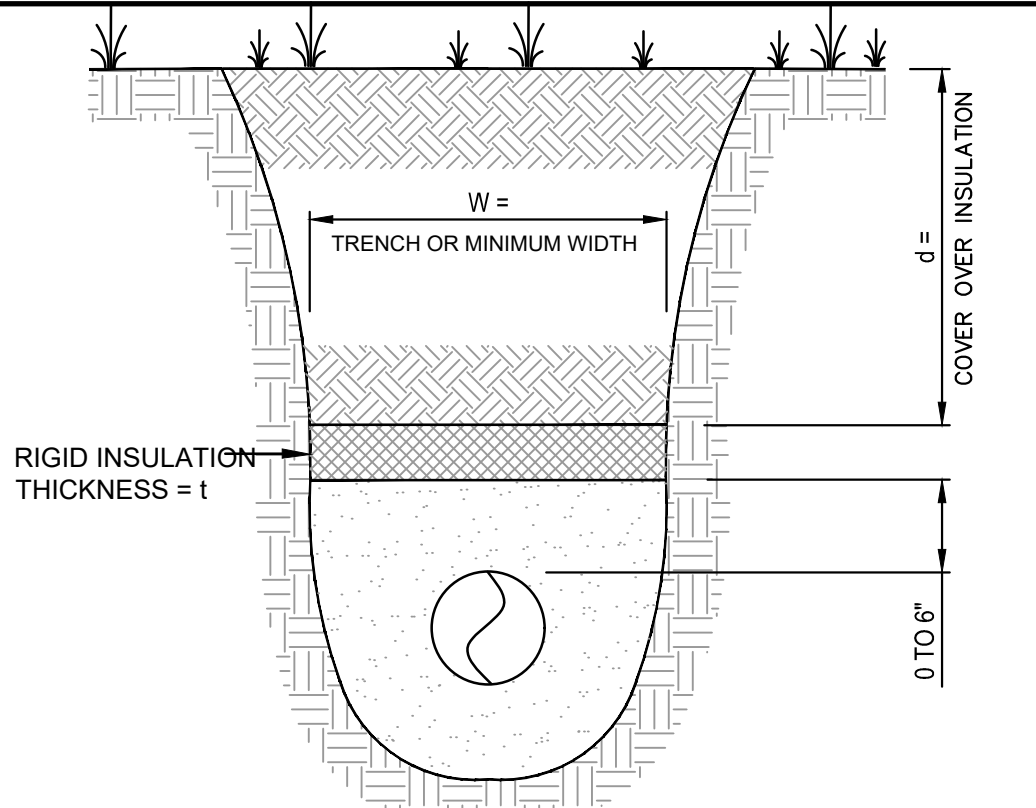


D TYPICAL THRUST BLOCK PLACEMENT ON BENDS DETAIL
N.T.S.

THRUST/RETAINER GLAND SCHEDULE		
1/4 BEND	(90°)	USE POURED-IN-PLACE THRUST BLOCK WITH GRIPRING™ MECHANICAL JOINT RESTRAINT
1/8 BEND	(45°)	THRUST BLOCK W/ GRIPRING™
1/16 BEND	(22 1/2°)	THRUST BLOCK W/ GRIPRING™
1/32 BEND	(11 1/4°)	THRUST BLOCK W/ GRIPRING™

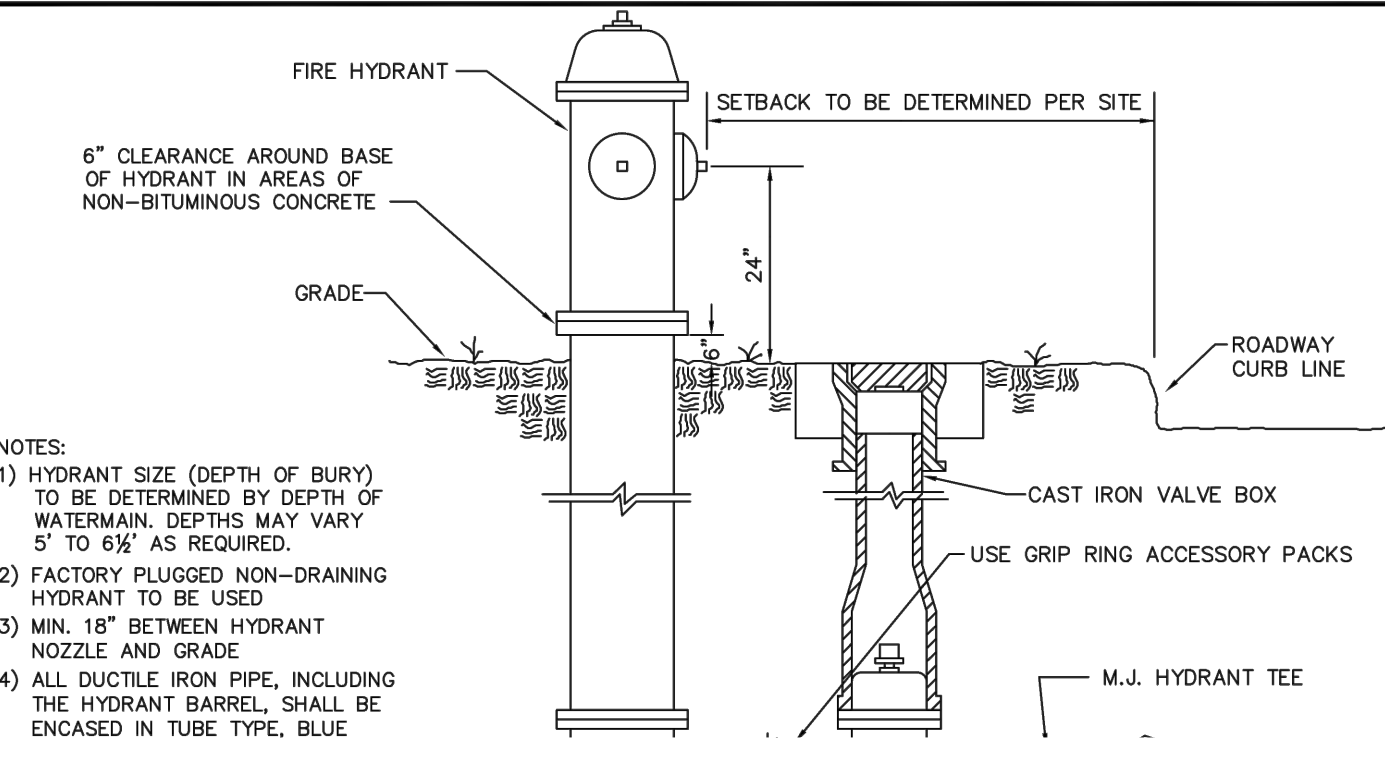
THE ABOVE SCHEDULE IS SUBJECT TO THE APPROVAL OF THE ON-SITE INSPECTOR DUE TO SOILS AND WORKING PRESSURES IN THE AREA.

- NOTES:
1. THE PORTLAND WATER DISTRICT MAY HAVE INSPECTION FEES AND REQUIRE OBSERVATION OF ALL PIPING INSTALLATION BEFORE BURIAL. REFER TO SPECIFICATIONS.
 2. FOR WATER MAIN LAYOUT, SEE UTILITY PLAN.
 3. FOR WATER MAIN TRENCH SECTION, SEE DETAIL 'A' ON THIS SHEET.
 4. REFER TO SPECIFICATIONS AND PORTLAND WATER DISTRICT STANDARDS FOR TESTING AND CHLORINATION REQUIREMENTS.
 5. ALL HYDRANTS AND VALVES TO BE EPOXY COATED, NUTS & BOLTS TO BE STAINLESS STEEL.
 6. SERVICE RODS FOR DOMESTIC SERVICE OR AIR VALVES TO BE STAINLESS STEEL.



COVER OVER PIPELINE CROWN (d)	MINIMUM WIDTH OF INSULATION	MINIMUM THICKNESS OF INSULATION
SEWER <5'	PIPE OD + 4'	1"
WATER <6'	PIPE OD + 6'	2"
STORM DRAIN <4'	PIPE OD + 8'	3"
<4'		
<5'		
<3'		
<2.5'		

F RIGID INSULATION DETAIL
N.T.S.



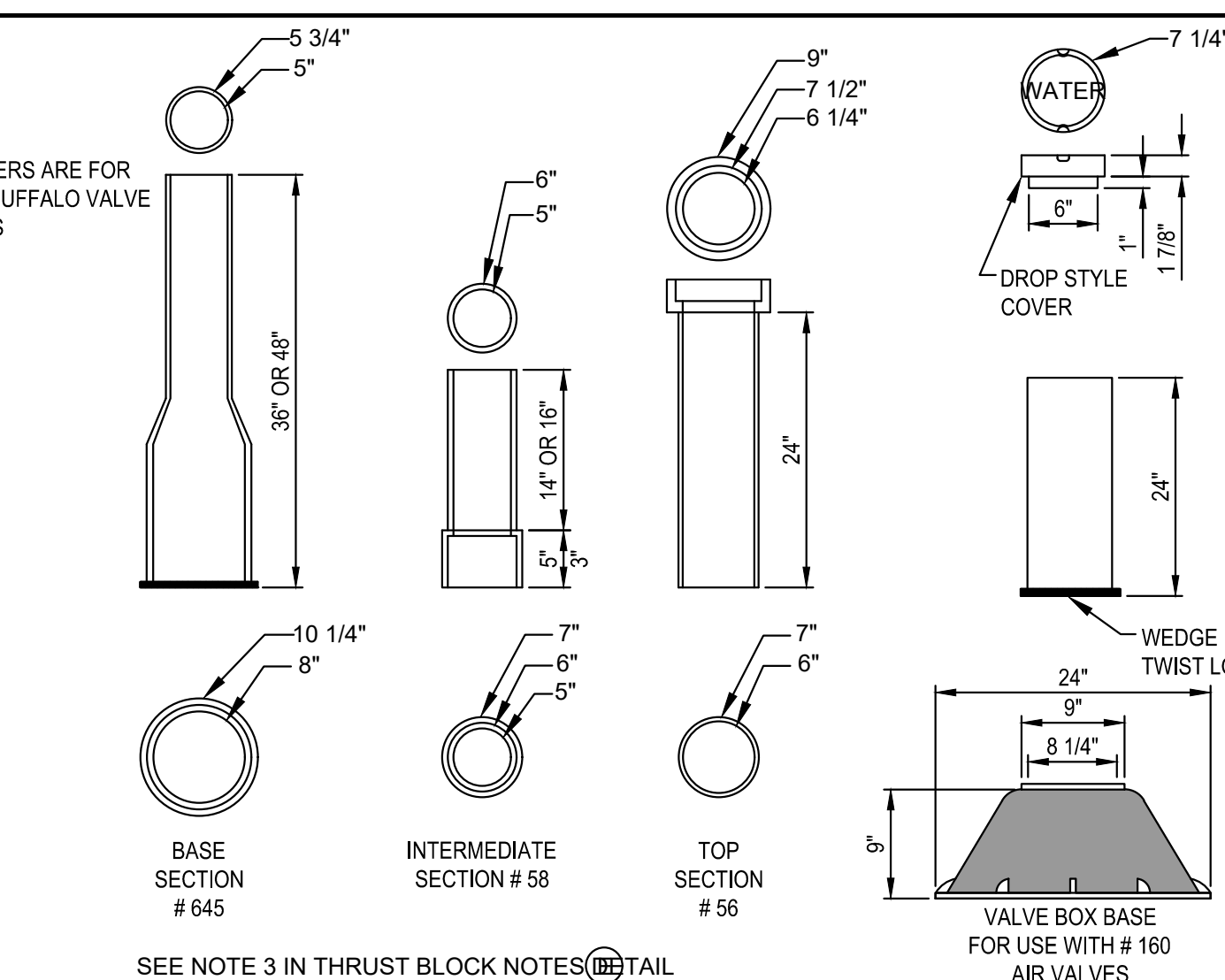
- NOTES:
- 1) HYDRANT SIZE (DEPTH OF BURY) TO BE DETERMINED BY DEPTH OF WATERMAIN, DEPTHS MAY VARY 5' TO 6 1/2' AS REQUIRED.
 - 2) FACTORY PLUGGED NON-DRAINING HYDRANT TO BE USED
 - 3) MIN. 18" BETWEEN HYDRANT NOZZLE AND GRADE
 - 4) ALL DUCTILE IRON PIPE, INCLUDING THE HYDRANT BARREL, SHALL BE ENCASED IN TUBE TYPE, BLUE

B FIRE HYDRANT INSTALLATION DETAIL
N.T.S.

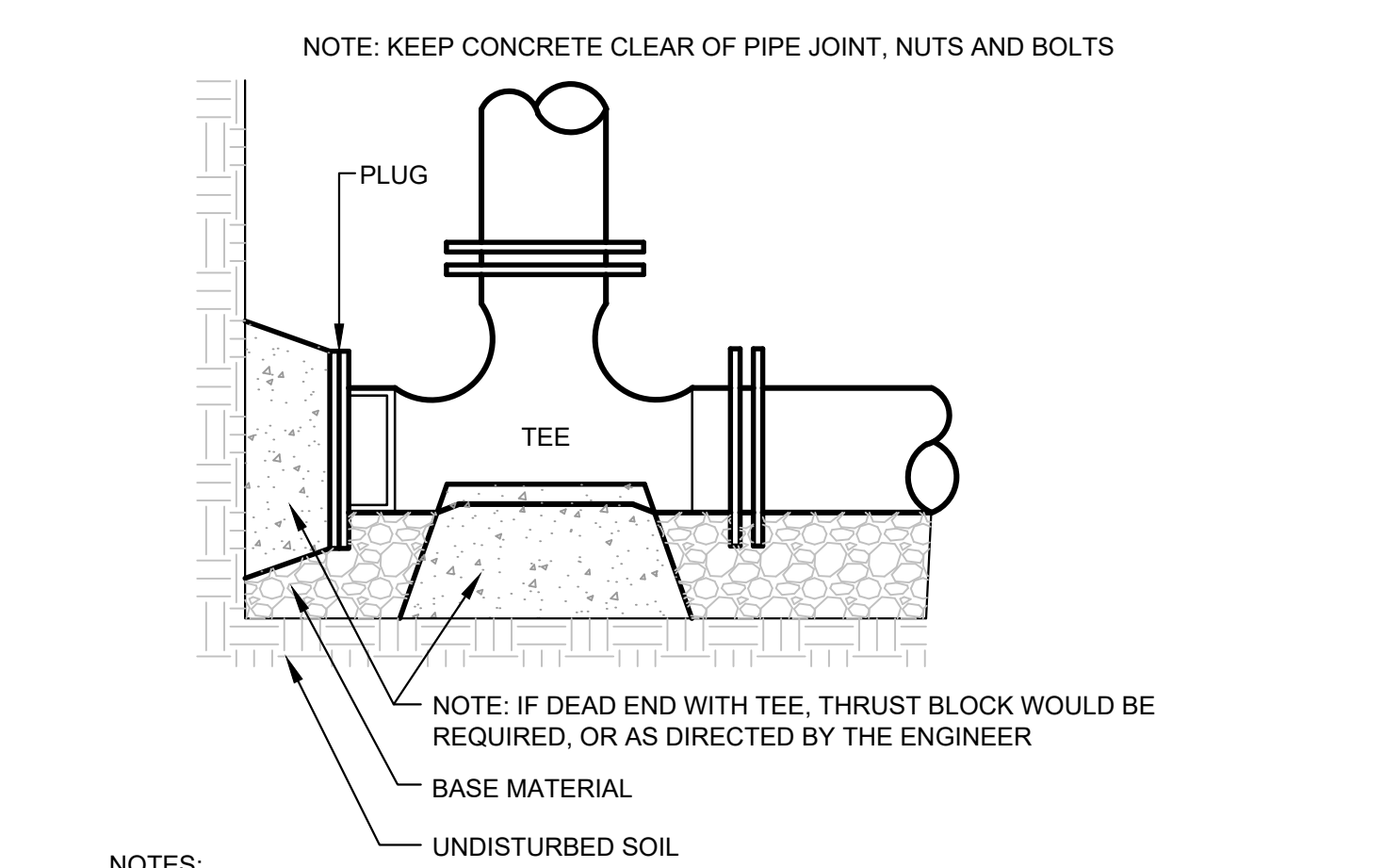
- NOTES:**
1. INSTALL POLY BARRIER BETWEEN PIPE AND ALL THRUST BLOCKS.
 2. ANY MODIFICATION TO THRUST BLOCK SIZING OR PIPE RESTRAINT REVISIONS SHALL BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO IMPLEMENTATION IN THE FIELD.
 3. ANY WORK RELATING TO WATER PIPING OR DETAILS SHALL BE IN ACCORDANCE WITH THE PORTLAND WATER DISTRICT SPECIFICATIONS.
 4. ALL RESTRAINED JOINTS MUST HAVE GRIPRING™.

G THRUST BLOCK NOTES
N.T.S.

PIPE SIZE	BEARING SURFACE REQUIRED IN SQUARE FEET				
	1/2 BEND	1/8 BEND	1/16 BEND	1/32 BEND	TEES/CAPS
6" / 8"	5.0	5.0	5.0	6.5	5.0
12"	11.5	11.5	11.5	20.0	22.0

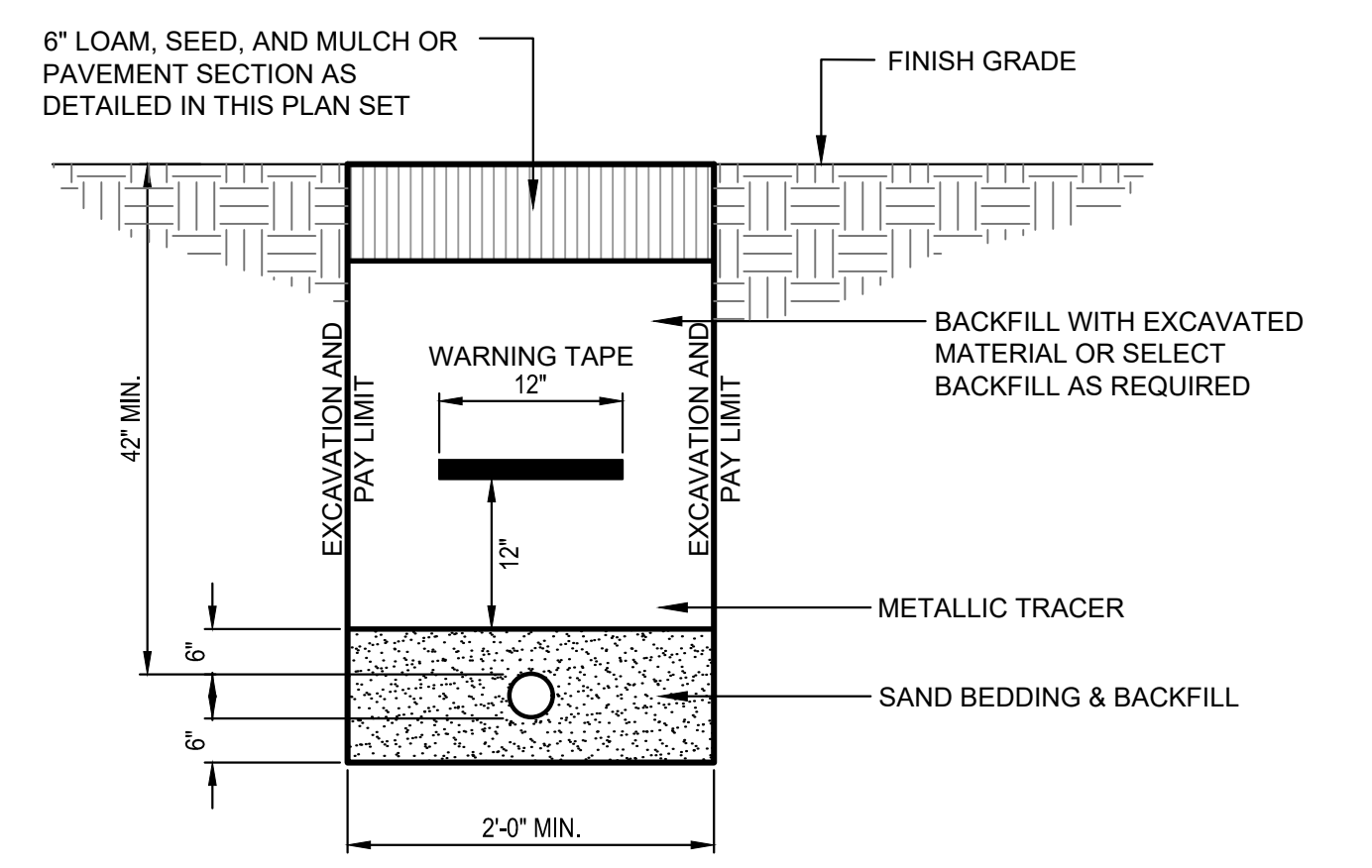


C TYPICAL VALVE BOXES
N.T.S.



- NOTES:
1. USE GRIPRINGS™ AT ALL RESTRAINED JOINTS
 2. ANY WORK RELATED TO WATER PIPING OR DETAILS SHALL BE IN ACCORDANCE WITH THE PORTLAND WATER DISTRICT SPECIFICATIONS

E STANDARD TEE BLOCKING DETAIL
N.T.S.

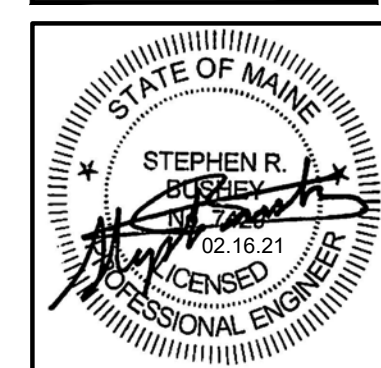


NOTE:
GAS LINE TO BE INSTALLED BY OTHERS. SITE CONTRACTOR IS RESPONSIBLE FOR EXCAVATION AND BACKFILL OF THE GAS LINE AND PLACEMENT OF THE WARNING TAPES AND TRACER.

H GAS SERVICE TRENCH SECTION
N.T.S.

OWNER OF RECORD:
SACO ISLAND VENTURES LLC
8 DOAKS LANE
MARBLEHEAD, MA 01945
YCRD BK 18023; PG 284

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LIC. #7429

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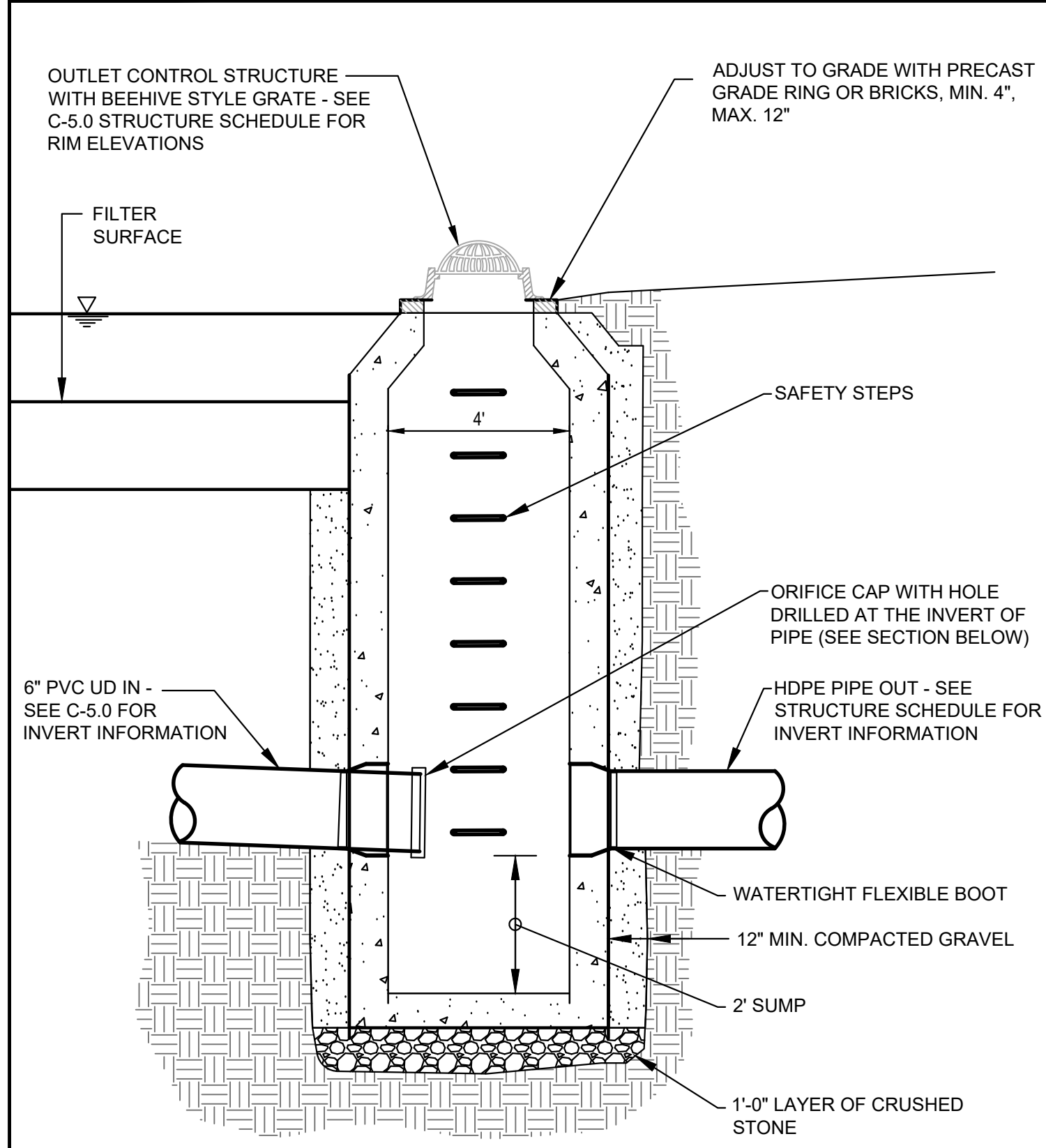
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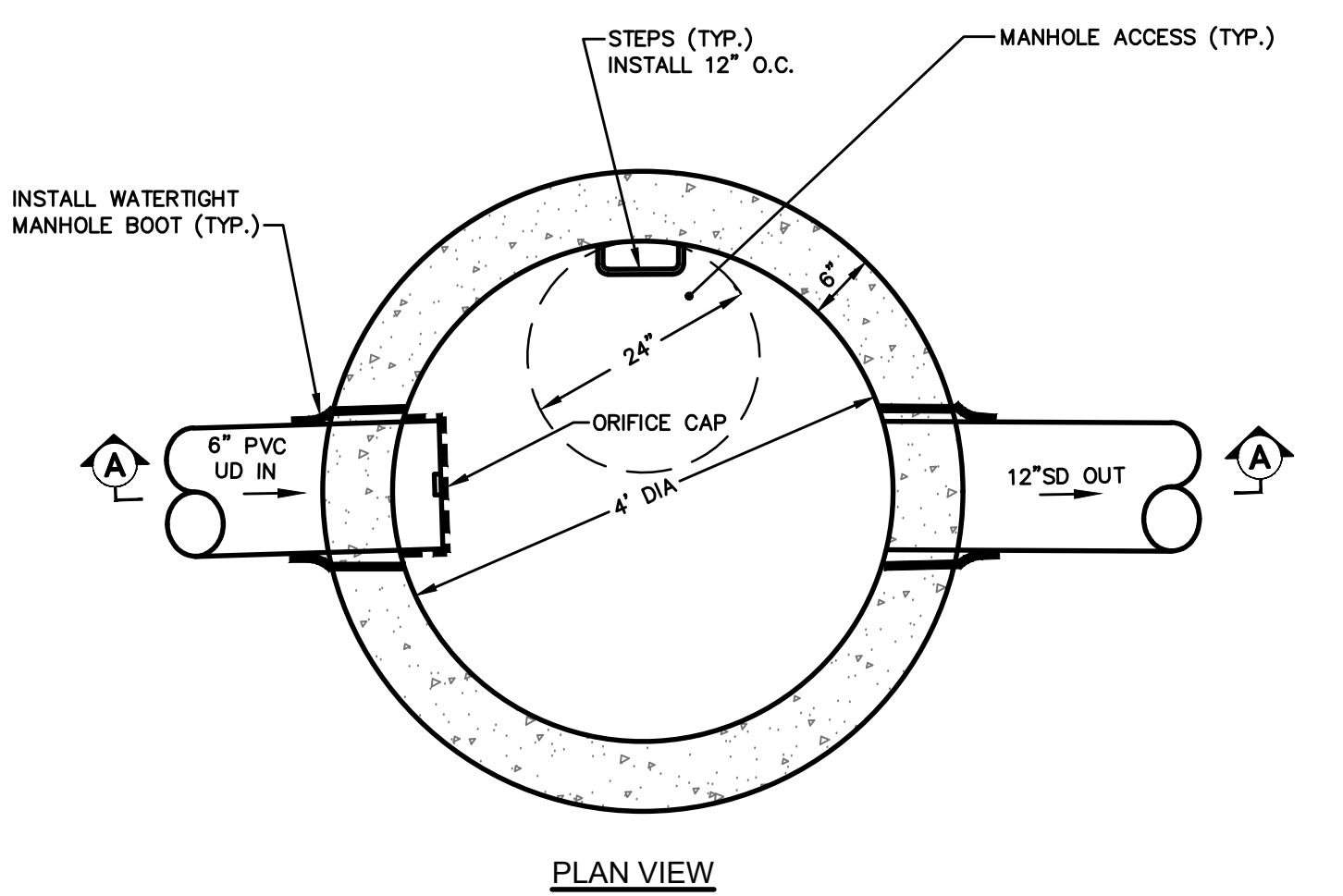
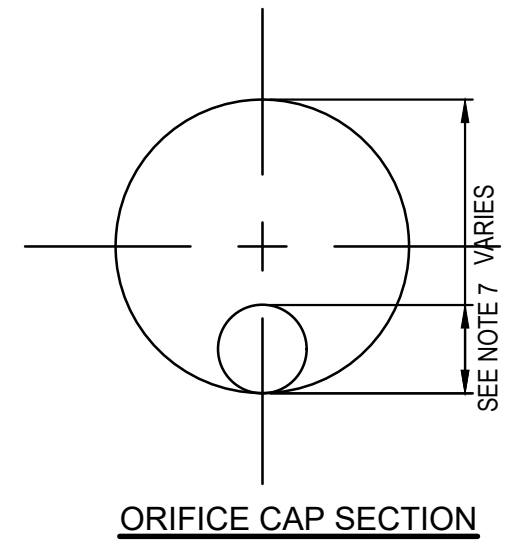
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Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

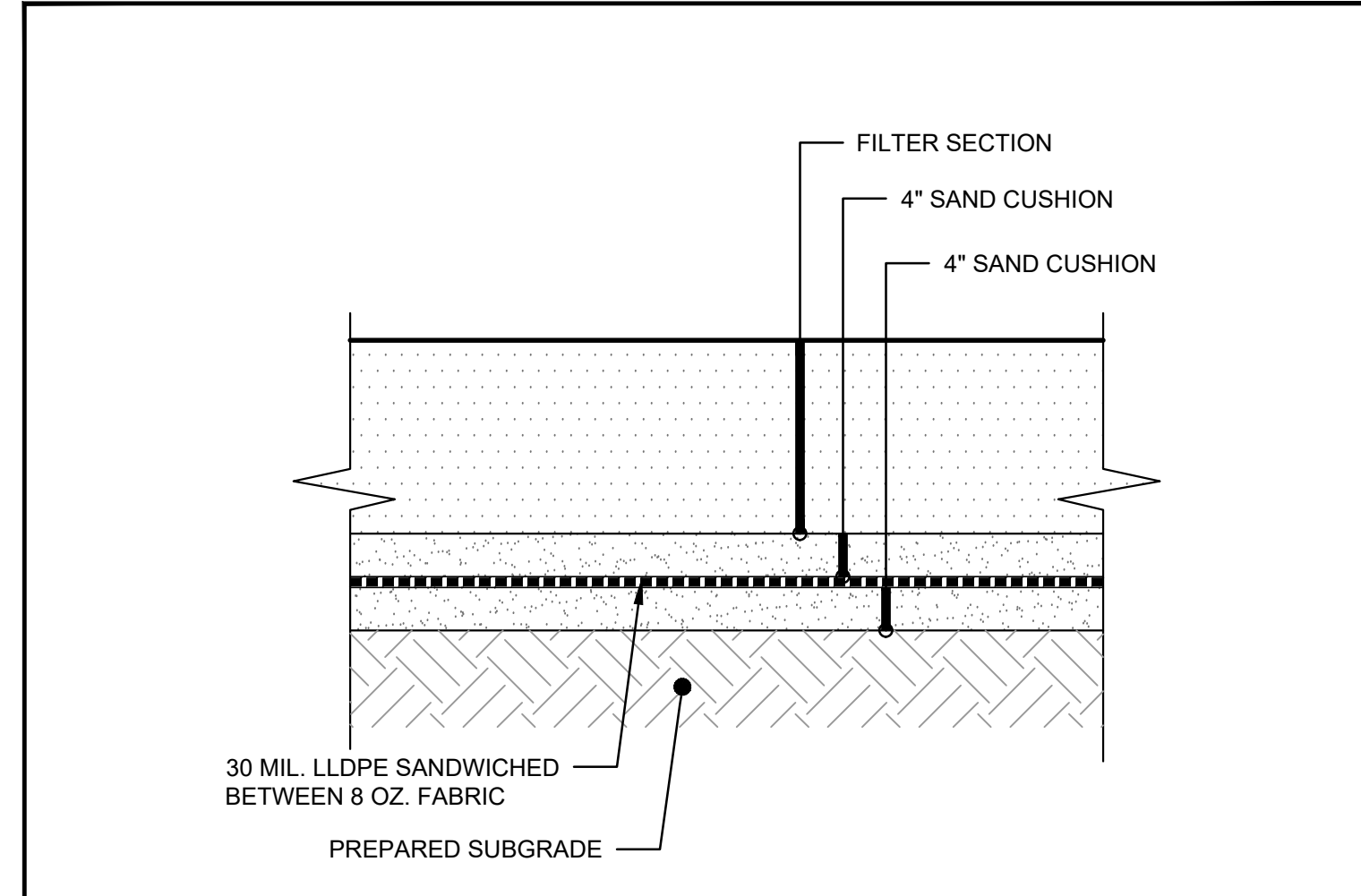
Drawing No.
C-7.3



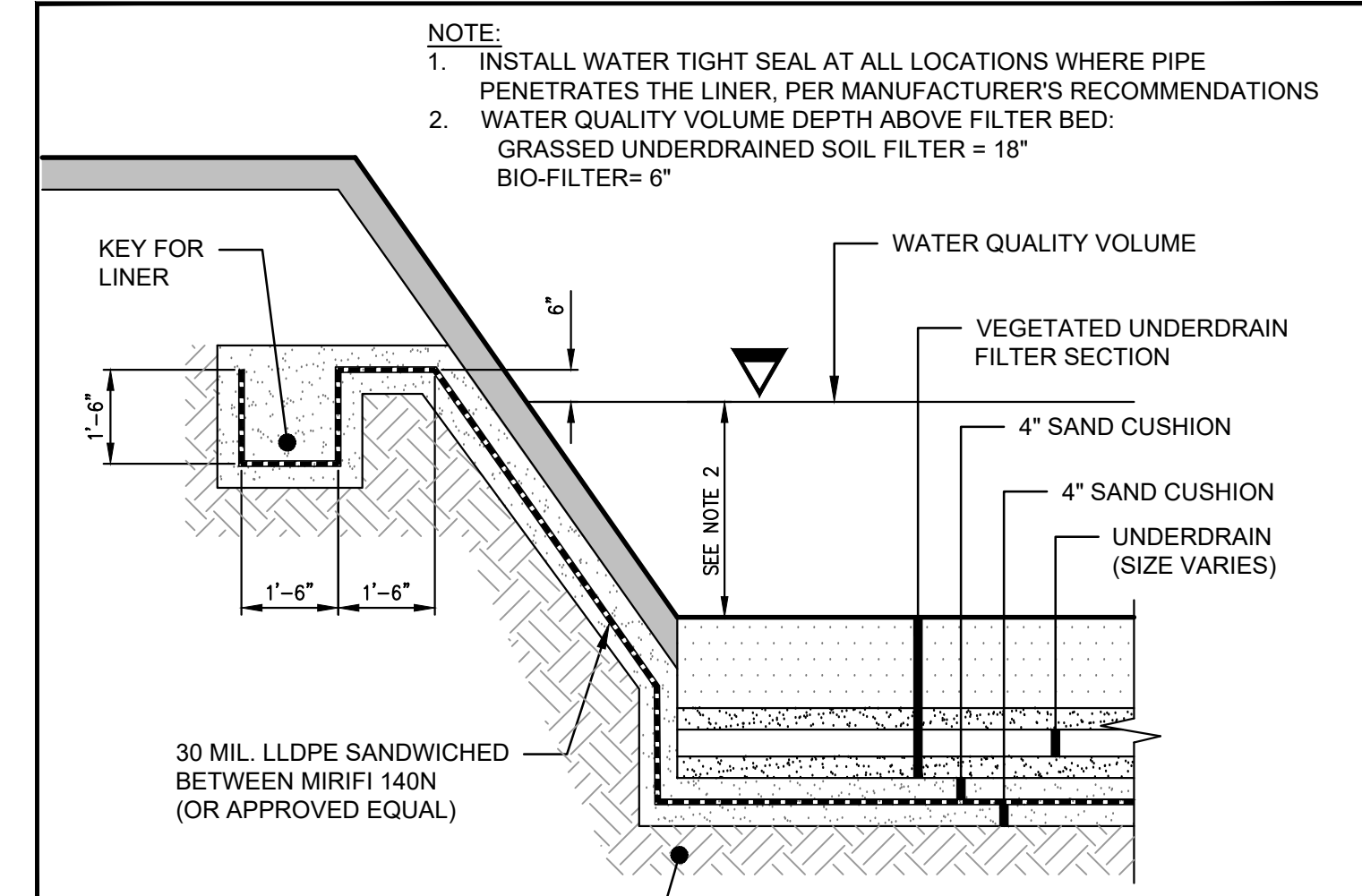
- NOTES:**
- 4000 PSI CONCRETE AT 28 DAYS.
 - DESIGNED FOR H-20 WHEEL LOADING.
 - CONFORMS TO ASTM C-478 SPECIFICATIONS.
 - REINFORCED TO 0.12 IN. SQ./L.F.
 - SHIPLAP JOINTS SEALED WITH BUTYL RUBBER.
 - ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 1'-0" OR OUTSIDE SURFACE BETWEEN HOLES. NO MORE THAN 75% OF A HORIZONTAL CROSS-SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" FROM JOINTS.
 - OCS-2 ORIFICE SIZE= 0.83" DIAM. (Ø)



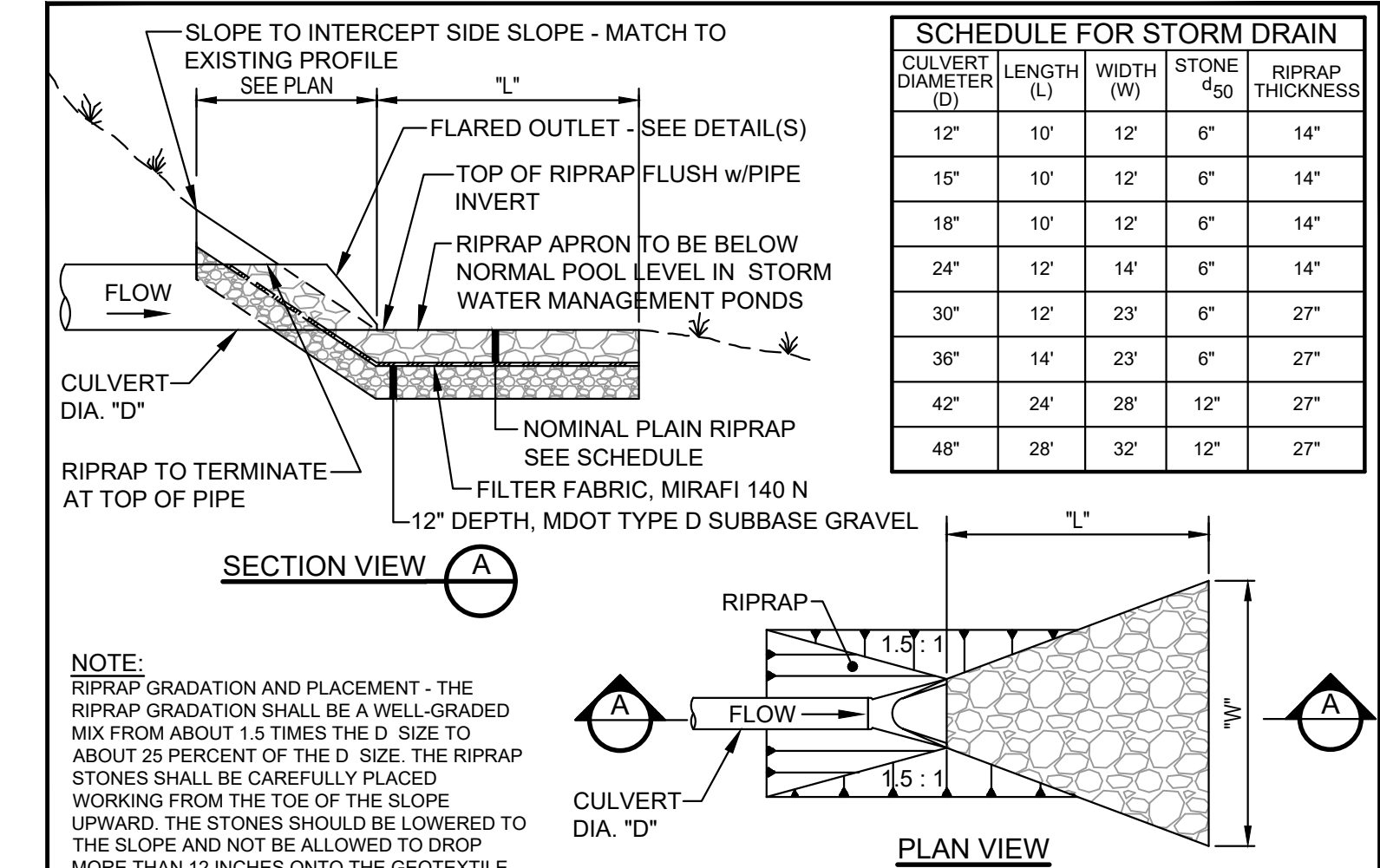
48" DIAM. OUTLET CONTROL STRUCTURE (OCS-2)
N.T.S.



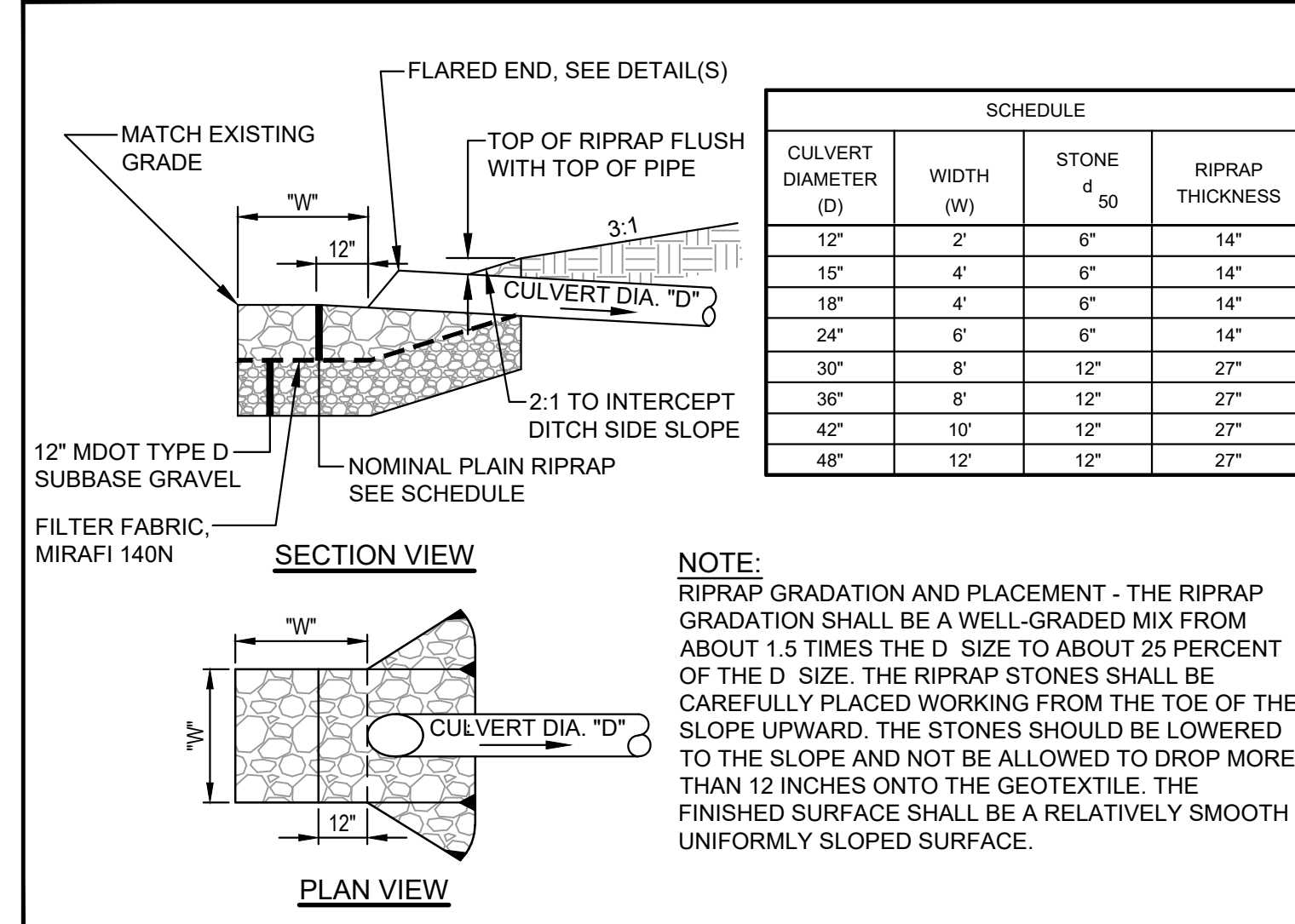
TYPICAL DETAIL IMPERMEABLE LINER UNDERDRAINED WATER QUALITY FILTER
N.T.S.



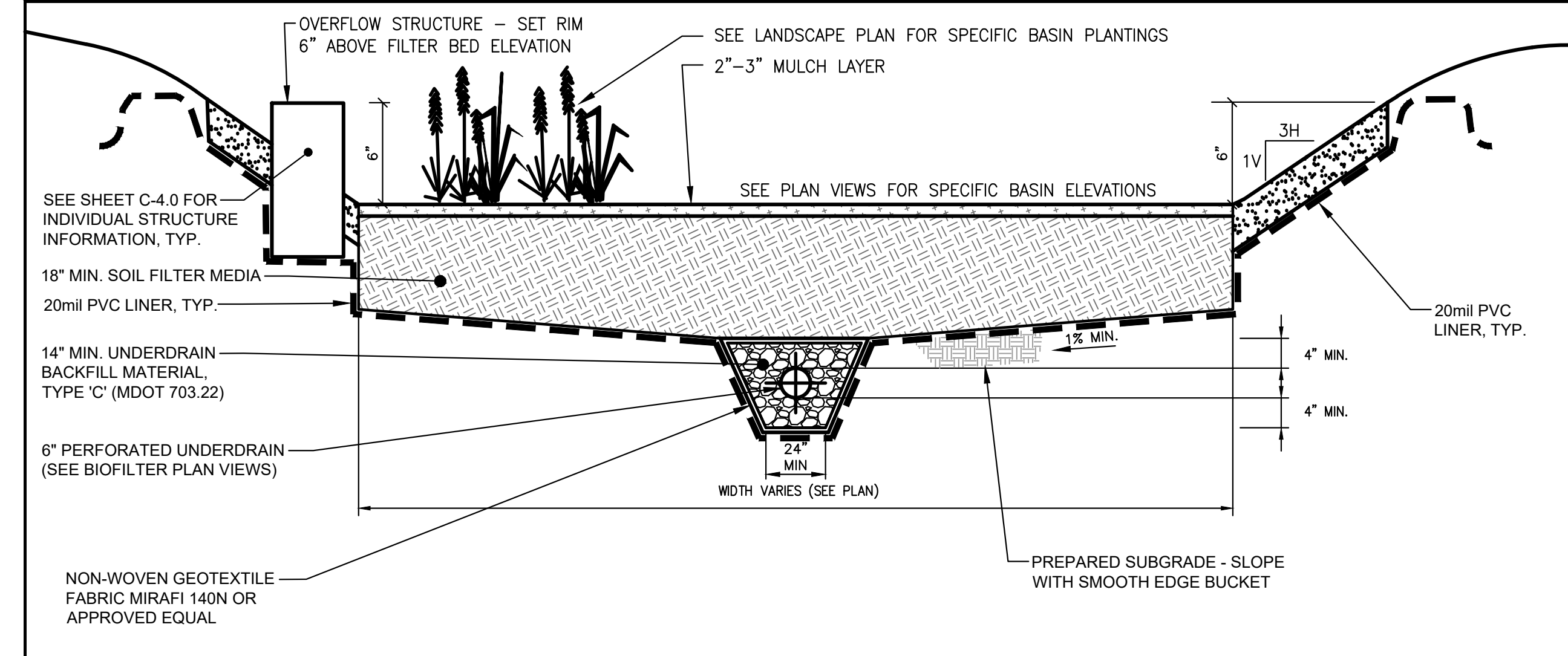
TYPICAL DETAIL LLDPE LINER SIDE SLOPE AND TOP \"KEY\"
N.T.S.



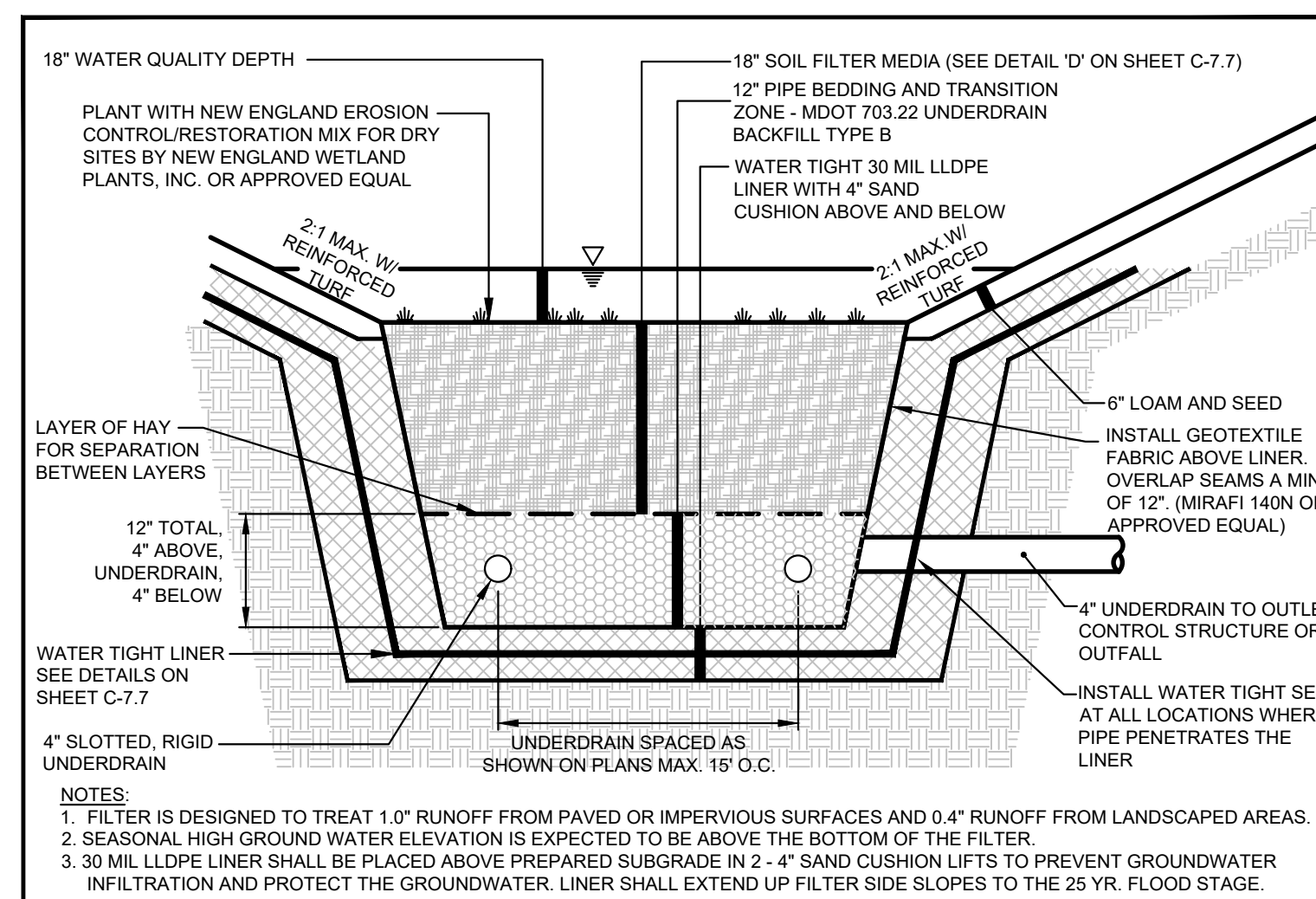
RIPRAP OUTLET APRON DETAIL
N.T.S.



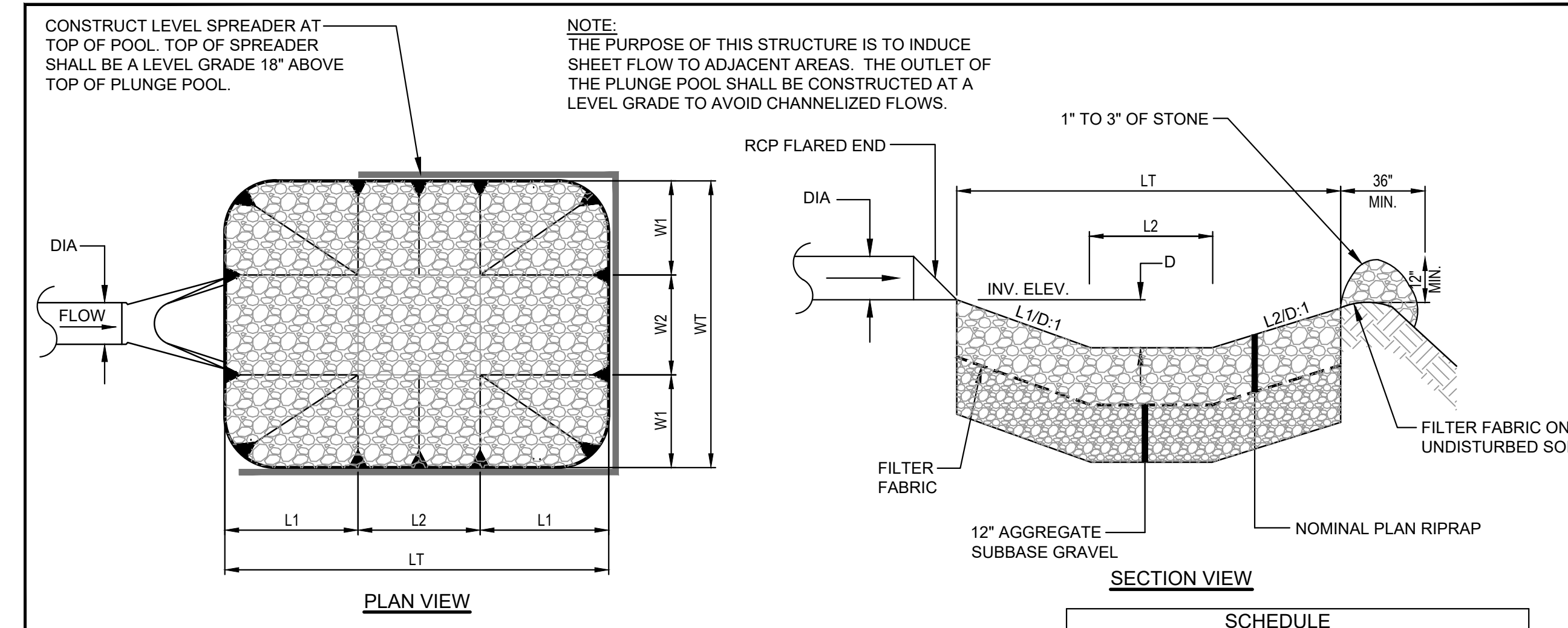
RIPRAP INLET APRON DETAIL
N.T.S.



BIORETENTION FILTER (RAIN GARDEN)
N.T.S.



TYPICAL SECTION FOR UNDERDRAINED GRASSED SOIL FILTER W/ LLDPE LINER
N.T.S.



RIPRAP PLUNGE POOL WITH LEVEL LIP SPREADER DETAIL
N.T.S.

DIA.	L1	L2	LT	W1	W2	WT	D	STONE D ₅₀	RIPRAP THICKNESS
15"	3'	2'	8'	3'	2'	8'	1'	6"	14"
24"	3'	2'	8'	3'	2'	8'	1'	6"	14"

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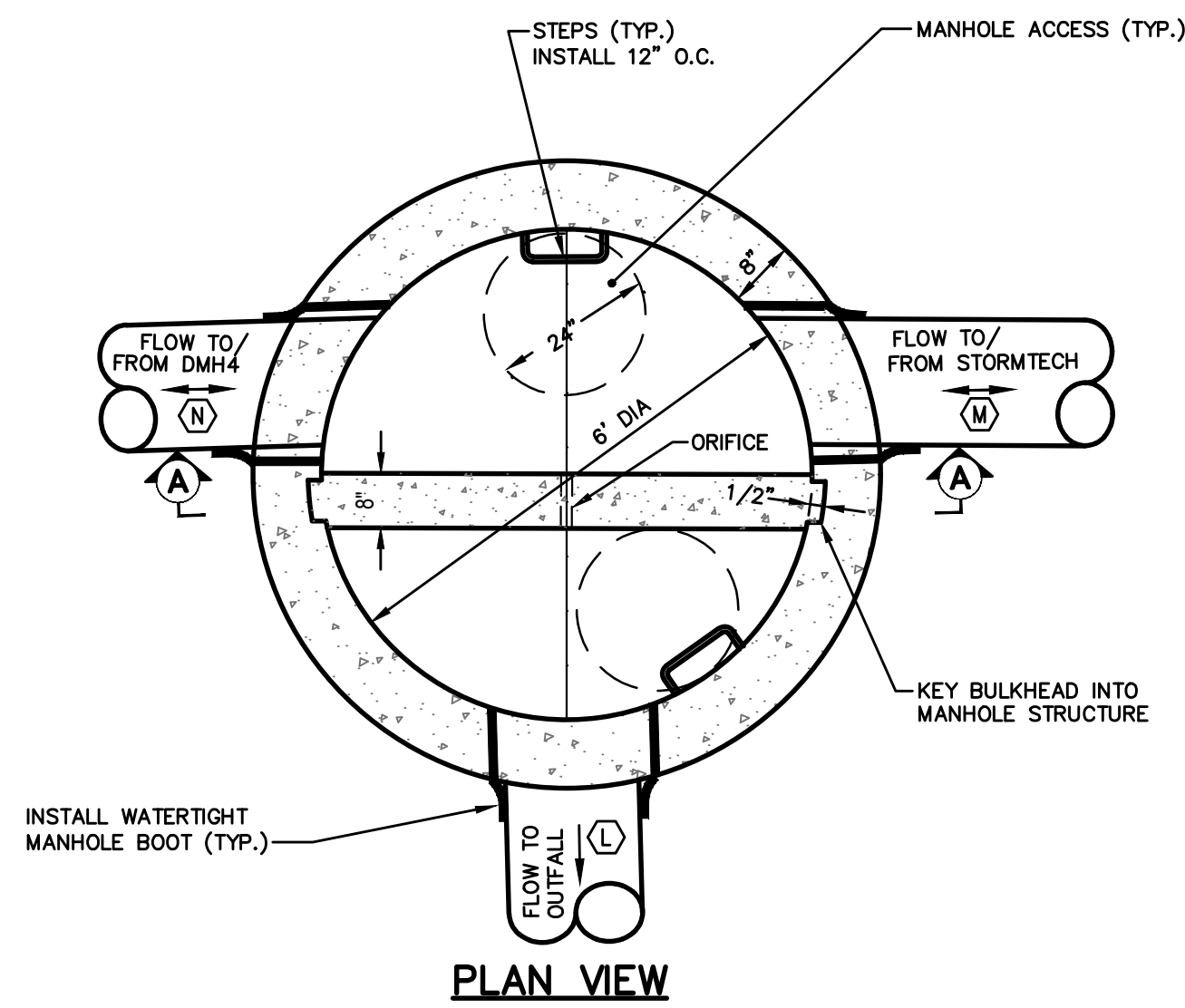
Drawing Name: **STORMWATER MANAGEMENT DETAILS**
 Project: **24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine**
 Client: **SACO ISLAND VENTURES 8 Dooks Lane, Marblehead, Mass. 01945**

OWNER OF RECORD:
 SACO ISLAND VENTURES LLC
 8 DOOKS LANE
 MARBLEHEAD, MA 01945
 YCRD BK 18023; PG 284

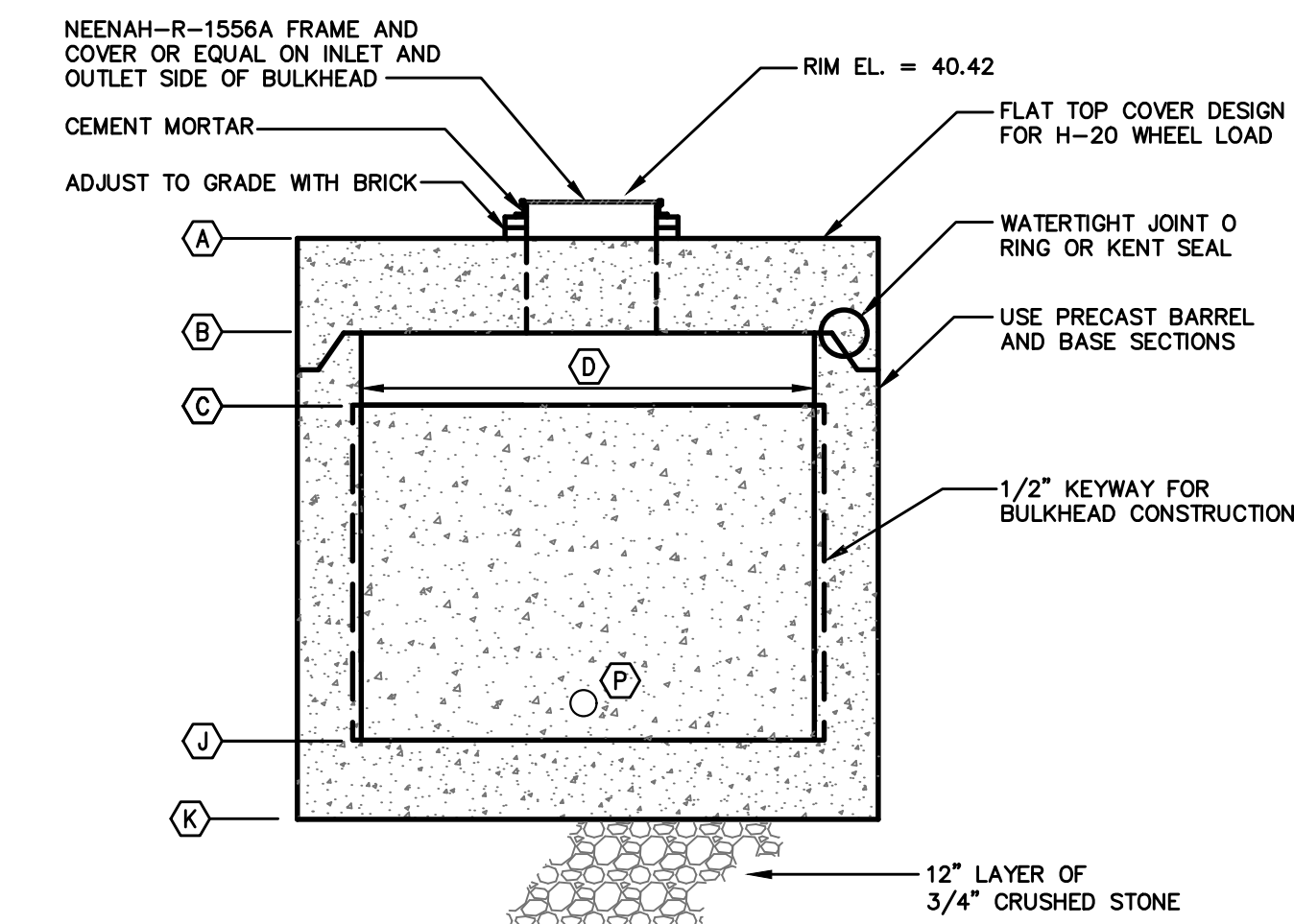
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STATE OF MAINE
 STEPHEN R. BUSHEY
 LICENSED PROFESSIONAL ENGINEER
 LIC. #7429

Drawing No. **C-7.4**



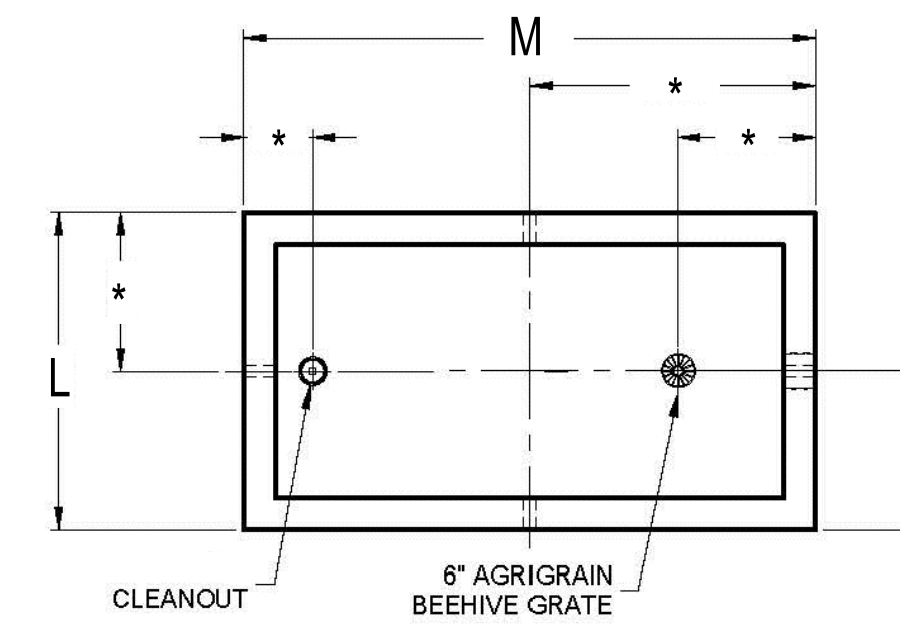
PLAN VIEW



SECTION A-A

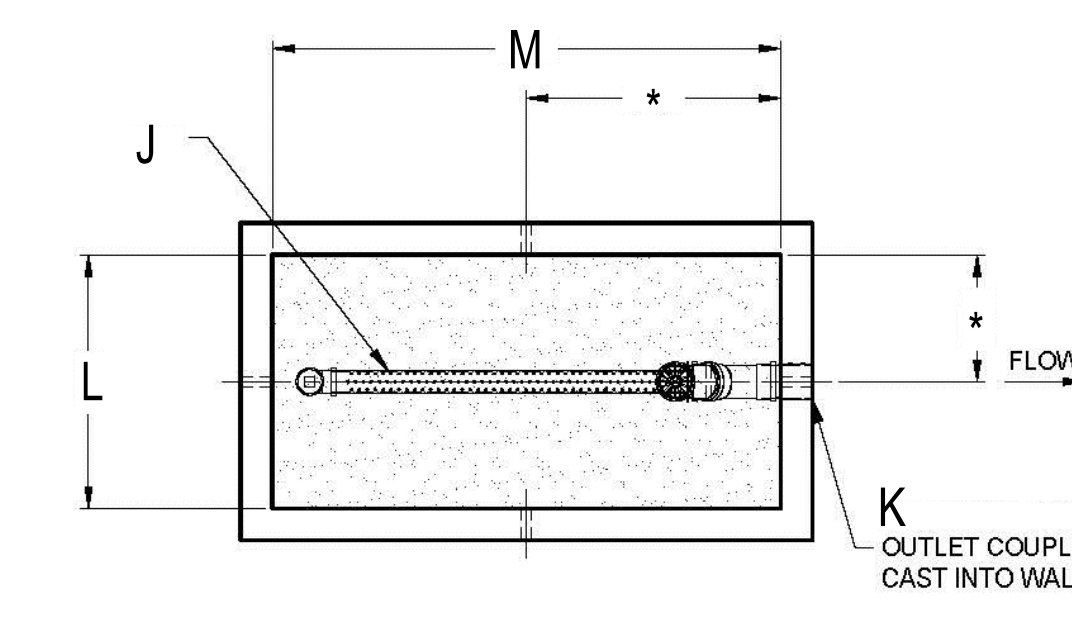
(A) OUTLET CONTROL STRUCTURE DETAILS
N.T.S.

OUTLET CONTROL STRUCTURE SCHEDULE		
ITEM DESCRIPTION	ELEVATION	
	OCS-1	
A	TOP OF STRUCTURE	20.75
B	UNDERSIDE TOP SLAB	20.08
C	TOP OF CONCRETE BULKHEAD	18.36
D	WEIR LENGTH	5.85'
J	MANHOLE INVERT	13.40
K	BOTTOM OF STRUCTURE	12.73
L	PIPE DIAMETER	18"
M	INVERT	13.90
N	PIPE DIAMETER	18"
O	INVERT	14.00
P	ORIFICE DIAMETER	1.25"
	INVERT	14.00



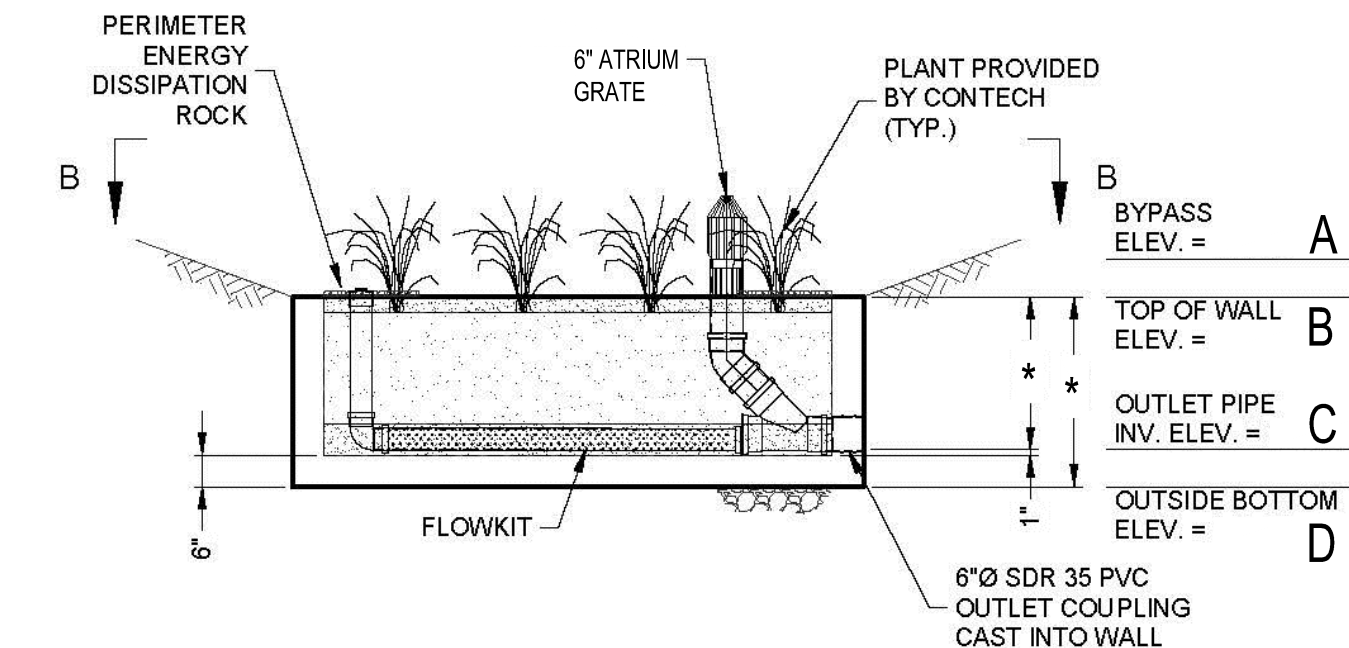
PLAN VIEW

* SEE VAULT SCHEDULE FOR DIMENSIONS, ELEVATIONS AND PIPE SIZING. COORDINATE WITH MANUFACTURER.

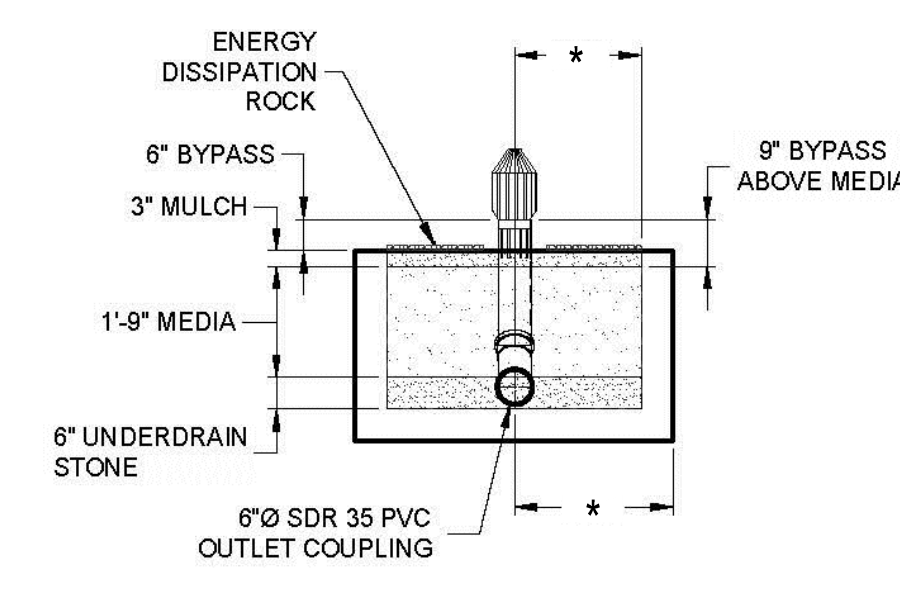


SECTION B-B

AS WITH ALL OPEN TOP BIORETENTION SYSTEMS, FILTERRA BIOSCAPE IS OPEN TO THE ATMOSPHERE WITH A MEDIA SURFACE RECESSED BELOW FINISHED GRADE. CONTRACTOR OR OWNER IS RESPONSIBLE FOR PROVIDING ANY REQUIRED SAFETY MEASURES AROUND SYSTEM PERIMETER. TO MAINTAIN AESTHETICS, REMOVAL OF HEAVY STORMWATER DEBRIS MAY BE NECESSARY BETWEEN REGULAR FILTERRA SYSTEM MAINTENANCE EVENTS.



ELEVATION VIEW

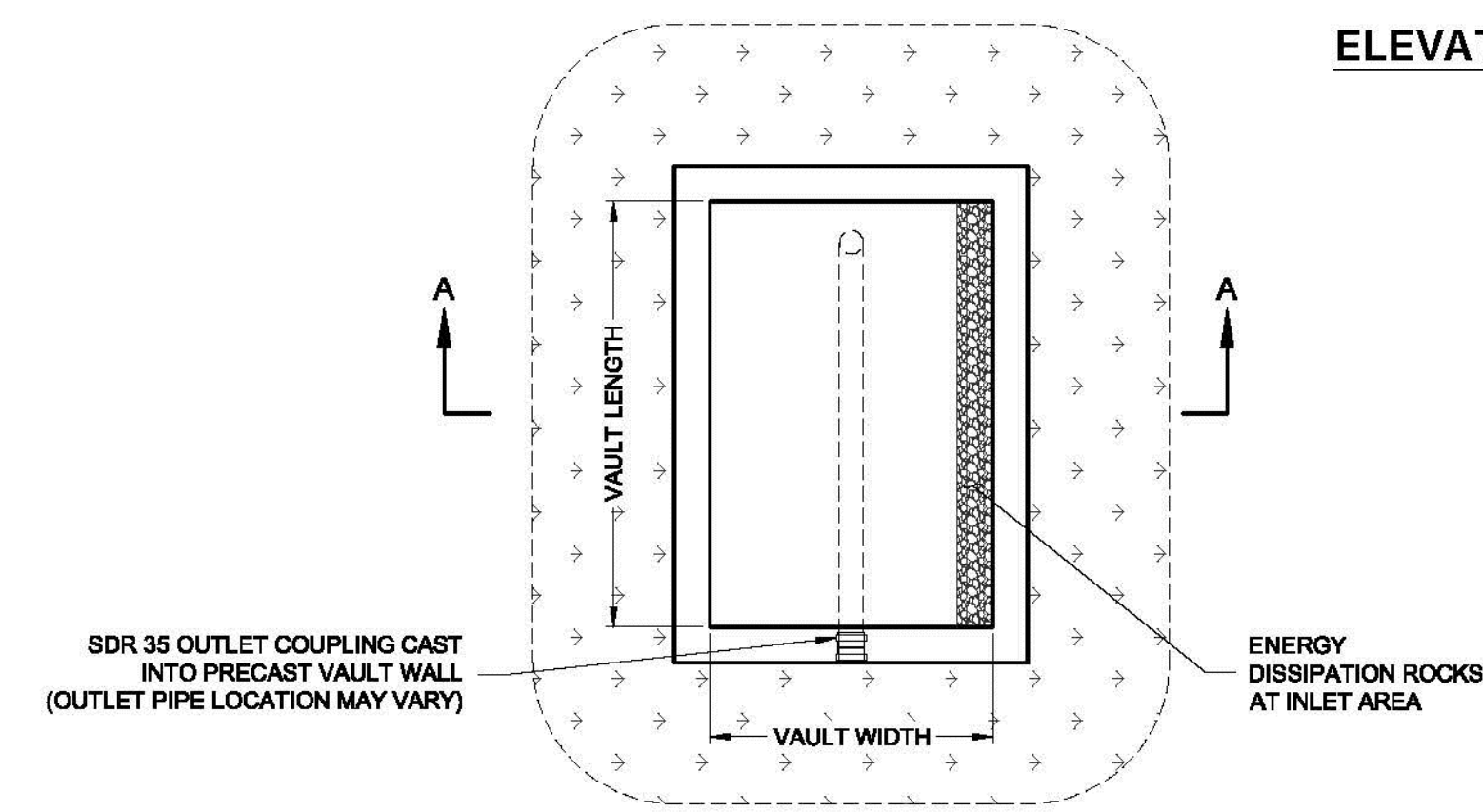


RIGHT END ELEVATION VIEW

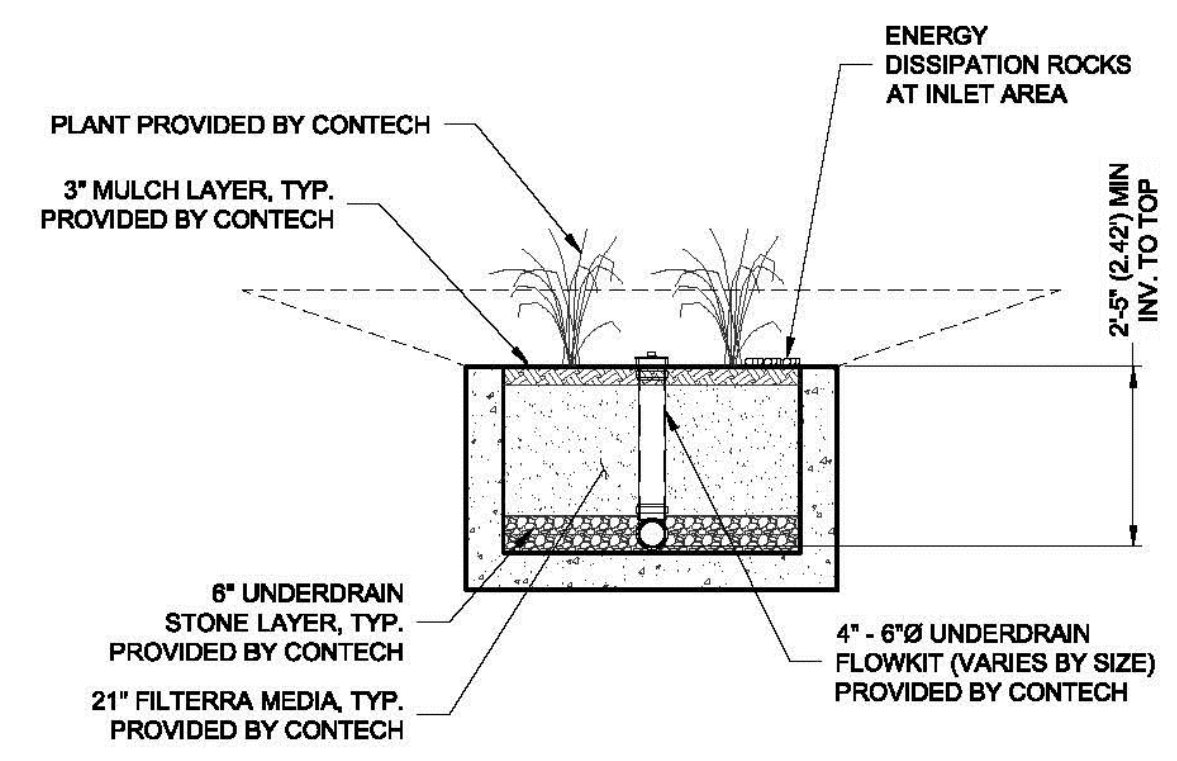
- GENERAL NOTES
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS. PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
 - FILTERRA WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET PEDESTRIAN LIVE LOAD, ASSUMING EARTH COVER OF 0' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION.
 - FILTERRA STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C857, ASTM C918 AND ACI-318 LOAD FACTOR DESIGN METHOD.
 - PLANT, MULCH, AND DISSIPATION ROCKS SUPPLIED BY CONTECH AND DELIVERED AT TIME OF SYSTEM ACTIVATION. PLANT SELECTION SHALL BE DONE BY THE ENGINEER OF RECORD IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.

- INSTALLATION NOTES
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE FILTERRA STRUCTURE. SPREADER BAR WITH SUFFICIENT CABLE IS REQUIRED FOR SAFETY AND REDUCTION OF DAMAGE TO CONCRETE STRUCTURE.
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
 - CONTRACTOR TO PROVIDE AND INSTALL INLET AND OUTLET PIPES, AS NEEDED. PVC COUPLING IS CAST-IN TO STRUCTURE WALL FOR OUTLET CONNECTION.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT FILTERRA MEDIA BAY FROM CONSTRUCTION-RELATED EROSION RUNOFF.
 - CONTECH IS RESPONSIBLE FOR ACTIVATION OF THE SYSTEM WHICH INCLUDES PLANTING OF THE SPECIFIED PLANT, MULCH INSTALLATION, AND PLACING OF DISSIPATION ROCK. ACTIVATION ONLY OCCURS WHEN THE SITE IS FULLY STABILIZED WITH FINAL PAVEMENT OR LANDSCAPING INSTALLED AND CLEANED OF CONSTRUCTION SEDIMENT.
 - CONTACT CONTECH MAINTENANCE AND FIELD OPERATIONS AT 513-645-7770 TO SCHEDULE ACTIVATION.
 - IT IS RECOMMENDED THAT ALL FILTERRA UNITS BE WATERED BY IRRIGATION LINES OR SPRINKLER SYSTEMS ON A REGULAR BASIS. FILTERRA UNITS MAY BE EQUIPPED WITH IRRIGATION HOLES FOR NEW OR EXISTING IRRIGATION LINES UPON REQUEST.

STRUCTURE WEIGHT
APPROXIMATE HEAVIEST PICK = 15,500 LBS.
STRUCTURE IS DELIVERED IN 1 PIECES
MAX FOOTPRINT = 7.0' x 13.0'



PLAN VIEW



SECTION A-A

(B) FILTERRA® BIOSCAPE VAULT DETAILS
N.T.S.

FTBSV-B CONFIGURATION				
DESIGNATION	AVAILABILITY	MEDIA BAY SIZE	VAULT SIZE (L x W)	OUTLET PIPE
FTBSV0404-B	ALL	4 x 4	4 x 4	4" SDR 35
FTBSV0604-B	N/A CA	6 x 4	6 x 4	4" SDR 35
FTBSV0606-B	ALL	6 x 6	6 x 6	4" SDR 35
FTBSV06504-B	CA ONLY	6.5 x 4	6.5 x 4	4" SDR 35
FTBSV078045-B	MID-ATL ONLY	7.83 x 4.5	7.83 x 4.5	4" SDR 35
FTBSV0804-B	N/A MID-ATL	8 x 4	8 x 4	4" SDR 35
FTBSV0806-B	ALL	8 x 6	8 x 6	4" SDR 35
FTBSV1006-B	ALL	10 x 6	10 x 6	*
FTBSV1206-B	ALL	12 x 6	12 x 6	6" SDR 35
FTBSV1307-B	ALL	13 x 7	13 x 7	*
FTBSV1406-B	CALL CONTECH	14 x 6	14 x 6	6" SDR 35
FTBSV1606-B	CALL CONTECH	16 x 6	16 x 6	6" SDR 35
FTBSV1806-B	CALL CONTECH	18 x 6	18 x 6	6" SDR 35
FTBSV2006-B	CALL CONTECH	20 x 6	20 x 6	6" SDR 35
FTBSV2206-B	CALL CONTECH	22 x 6	22 x 6	6" SDR 35

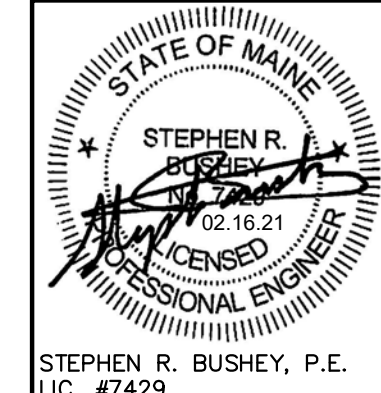
N/A = NOT AVAILABLE



FILTERRA BIOSCAPE VAULT SCHEDULE		
	FTBSV #1	FTBSV #2
VAULT TYPE	7'x13'	6'x10'
A BYPASS EL.	20.00	23.00
B TOP OF WALL/ BED EL.	19.25	22.25
C OUTLET PIPE INV. EL.	16.83	19.83
D OUTSIDE BOTTOM EL.	16.25	19.25
J UNDERDRAIN SIZE	6"	6"
K OUTLET PIPE SIZE	10"	10"
L VAULT WIDTH	7'	6'
M VAULT LENGTH	13'	10'

OWNER OF RECORD:
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8 DOAKS LANE
MARBLEHEAD, MA 01945
YCRD BK 18023; PG 284

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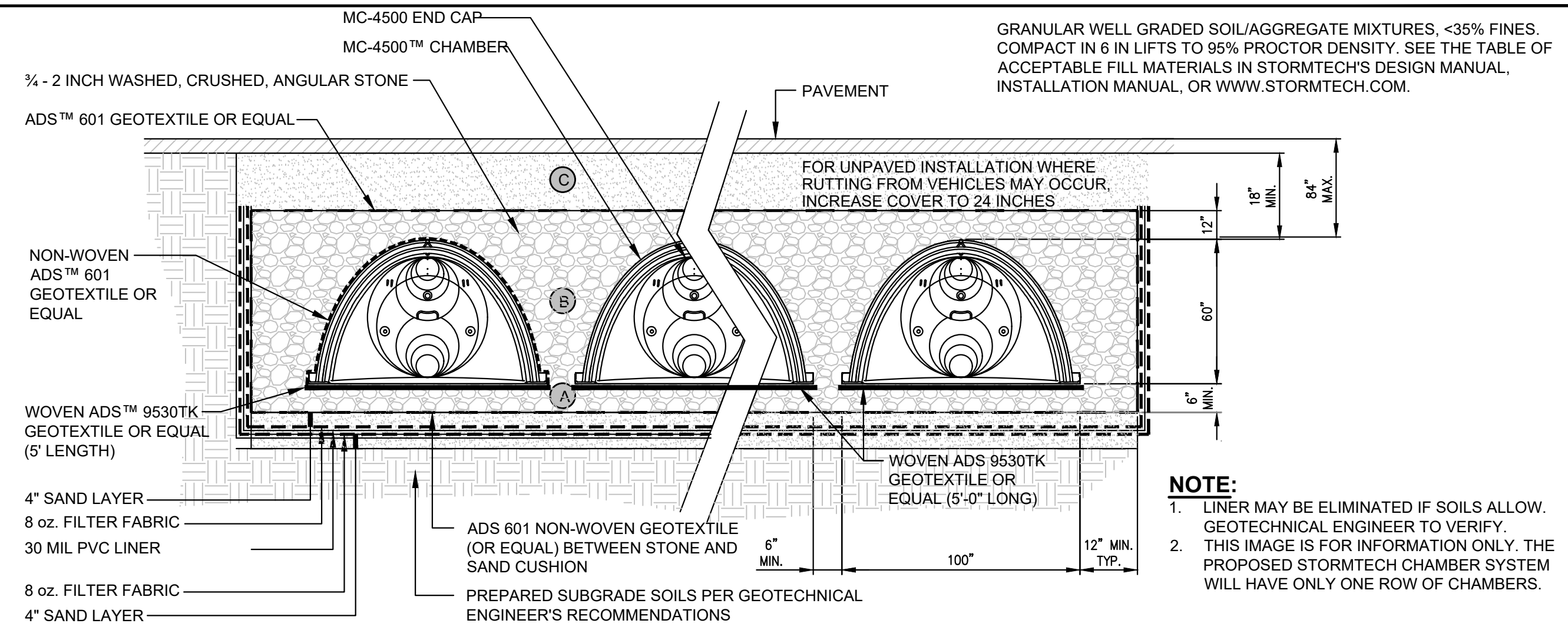
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Drawing Name:	STORMWATER MANAGEMENT DETAILS
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-7.5



(A) MC-4500 TYPICAL DETENTION SYSTEM CROSS SECTION
N.T.S.

NOTE:
1. LINER MAY BE ELIMINATED IF SOILS ALLOW. GEOTECHNICAL ENGINEER TO VERIFY.
2. THIS IMAGE IS FOR INFORMATION ONLY. THE PROPOSED STORMTECH® CHAMBER SYSTEM WILL HAVE ONLY ONE ROW OF CHAMBERS.

*SEE STORMTECH'S DESIGN MANUAL
FOR STORMTECH® INFORMATION CALL 1-888-892-2694

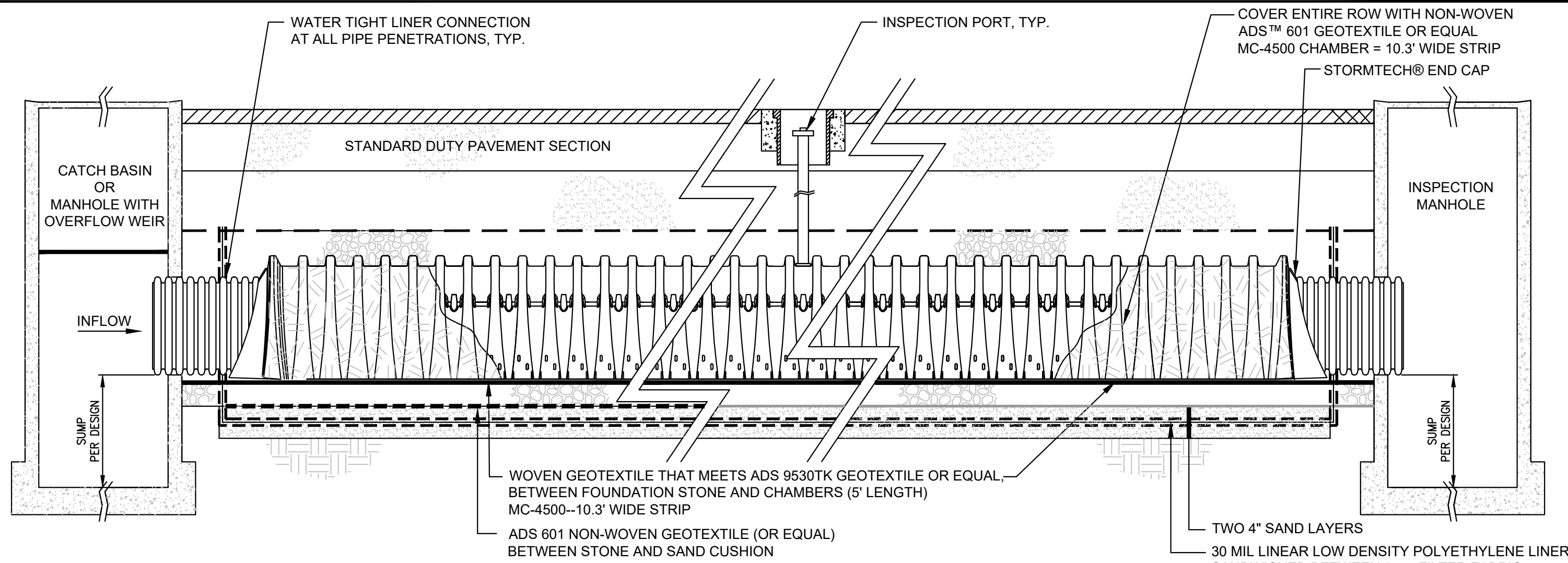
**ACCEPTABLE FILL MATERIALS
STORMTECH® SC-310™ CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION	AASHTO M145 DESIGNATION	COMPACTION/DENSITY REQUIREMENT
FILL MATERIAL FROM 18" TO GRADE ABOVE CHAMBERS	ANY SOIL/ROCK MATERIALS, NATIVE SOILS OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
(C) FILL MATERIAL FOR 6" TO 18" ELEVATION ABOVE CHAMBERS (24" FOR UNPAVED INSTALLATIONS)	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	A-1 A-2 A-3	COMPACT IN 6" LIFTS TO A MINIMUM 95% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 LBS. DYNAMIC FORCE NOT TO EXCEED 20,000 LBS.
(B) EMBEDMENT STONE SURROUNDING AND TO A 6" ELEVATION ABOVE CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	NO COMPACTION REQUIRED
(A) FOUNDATION STONE BELOW CHAMBERS	WASHED ANGULAR STONE WITH THE MAJORITY OF PARTICLES BETWEEN 1/4 - 2 INCH	3, 357, 4, 467, 5, 56, 57	N/A	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY

PLEASE NOTE: THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE WASHED CRUSHED ANGULAR. FOR EXAMPLE, THE STONE MUST BE SPECIFIED AS WASHED, CRUSHED, ANGULAR NO. 4 STONE.

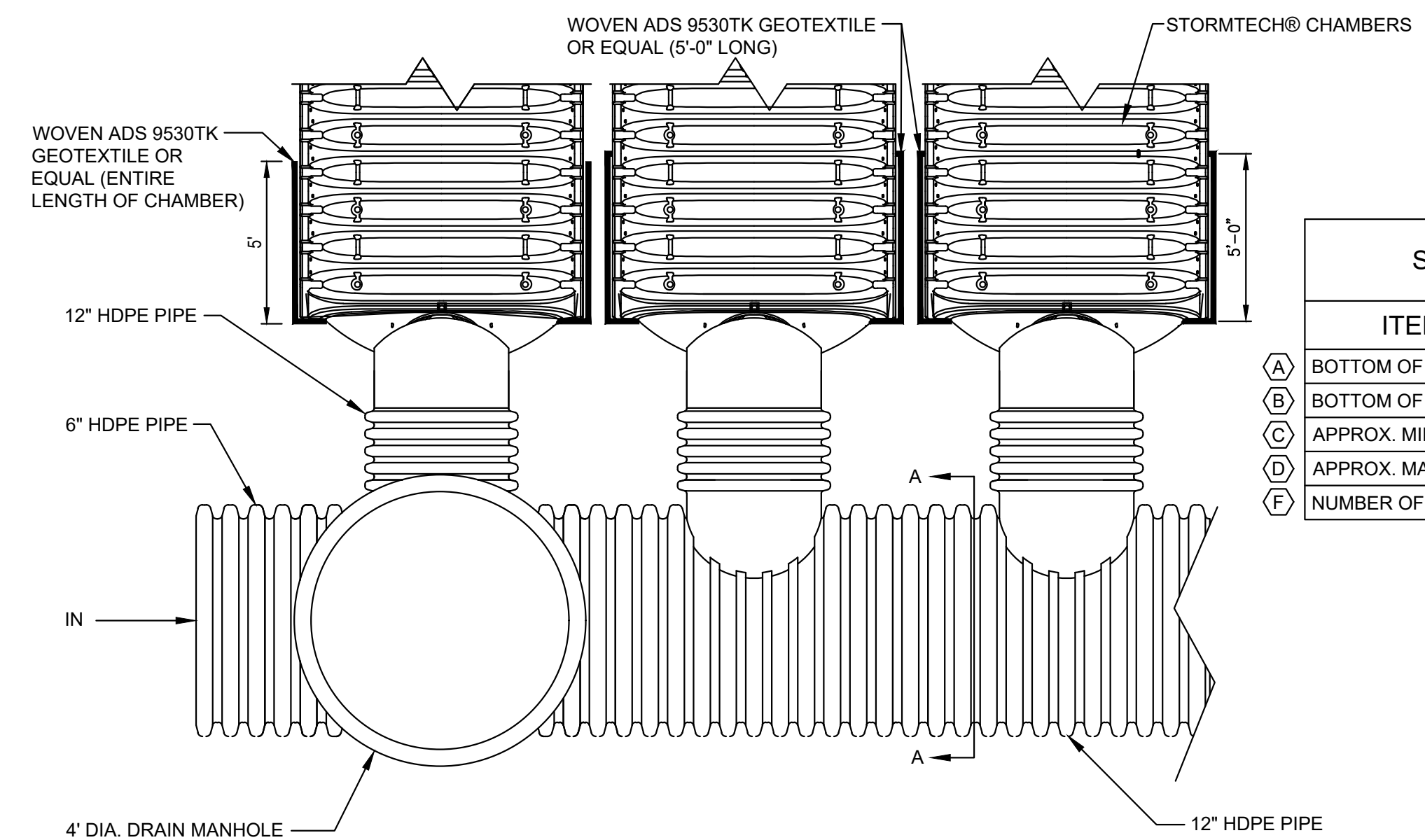
- NOTES:**
1. THE INSTALLATION OF STORMTECH® CHAMBERS SHALL BE IN ACCORDANCE WITH THE LATEST STORMTECH® INSTALLATION INSTRUCTIONS
2. THE CONTRACTOR IS ADVISED TO REVIEW AND UNDERSTAND THE INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION. CALL 1.888.892.2694 OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF THE LATEST STORMTECH® INSTALLATION INSTRUCTIONS.

(B) STORMTECH® ACCEPTABLE FILL MATERIALS
N.T.S.

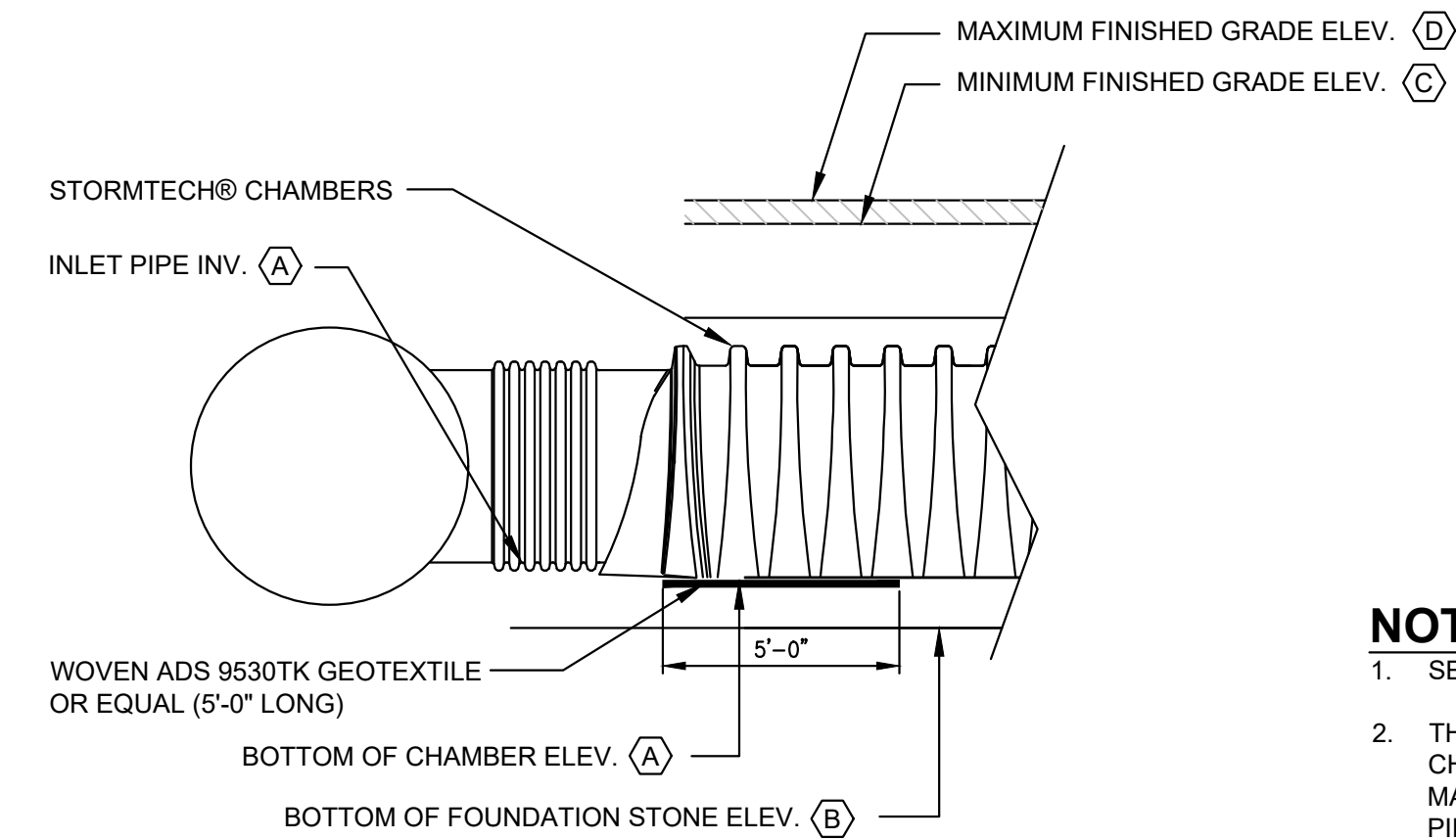


(C) STORMTECH® DETAIL
N.T.S.

FOR STORMTECH® INFORMATION CALL 1-888-892-2694



TYP. PLAN VIEW (SEE DETAIL D, THIS SHEET, FOR MANHOLE PLAN VIEWS)

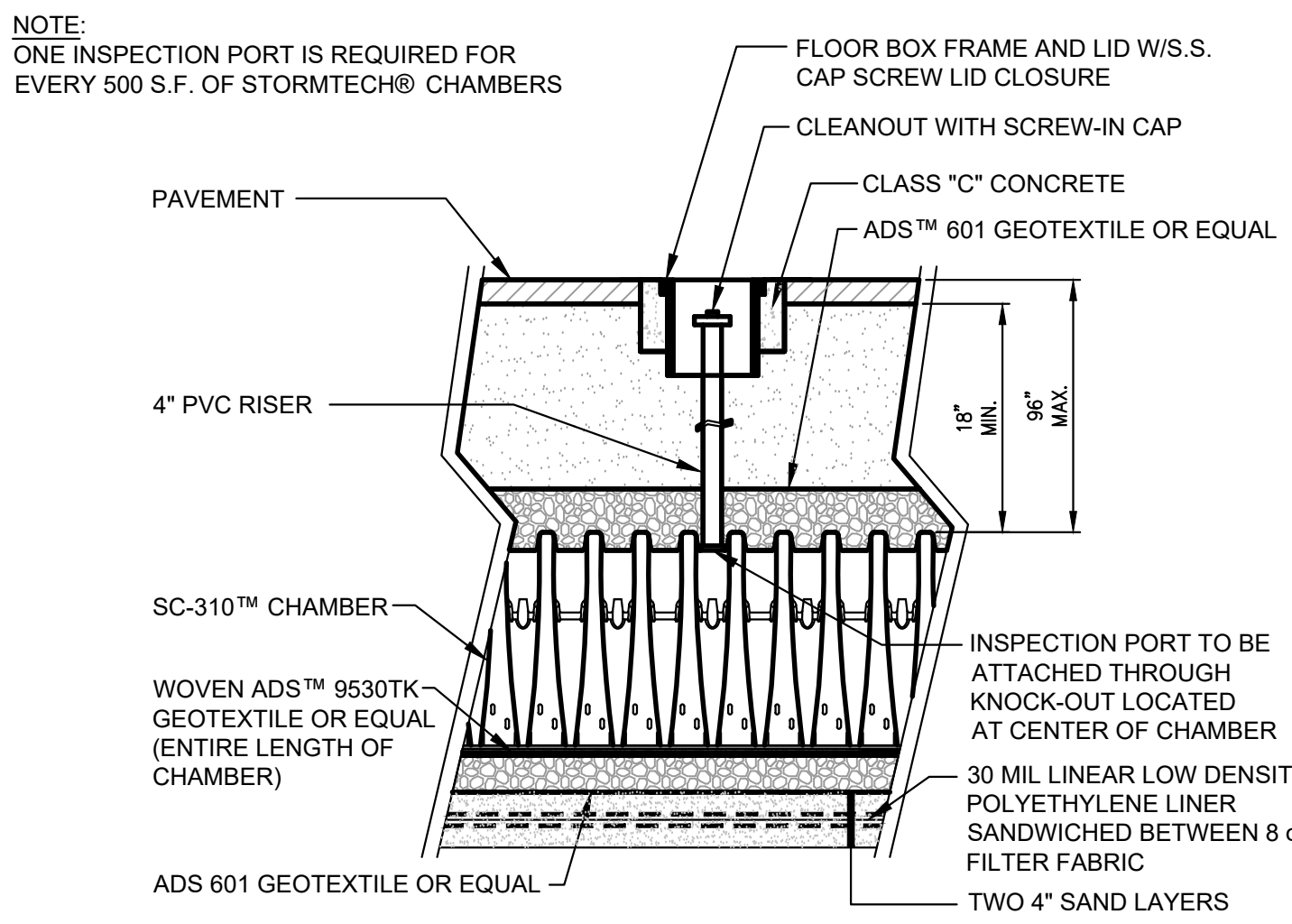


SECTION A-A

(D) STORMTECH® SYSTEM
N.T.S.

FOR STORMTECH® INFORMATION CALL 1-888-892-2694

- NOTE:**
1. SEE SHEET C-5.3 FOR STORMTECH™ SYSTEM LAYOUT & PIPE SIZING.
2. THIS DETAIL IS FOR INFORMATION PURPOSES ONLY. THE PROPOSED STORMTECH CHAMBER SYSTEM WILL HAVE ONE ROW OF CHAMBERS AND WILL NOT REQUIRE A MANIFOLD PIPE SYSTEM. SEE SHEET C-5.3 FOR LAYOUT OF CHAMBER SYSTEM AND PIPE SIZING.



**(E) STORMTECH® ISOLATOR
INSPECTION PORT DETAIL**
N.T.S.

FOR STORMTECH® INFORMATION CALL 1-888-892-2694

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MARBLEHEAD, MA 01945
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STEPHEN R. BUSHEY, P.E.
LICENSED PROFESSIONAL ENGINEER
02.16.21
LIC. #7429

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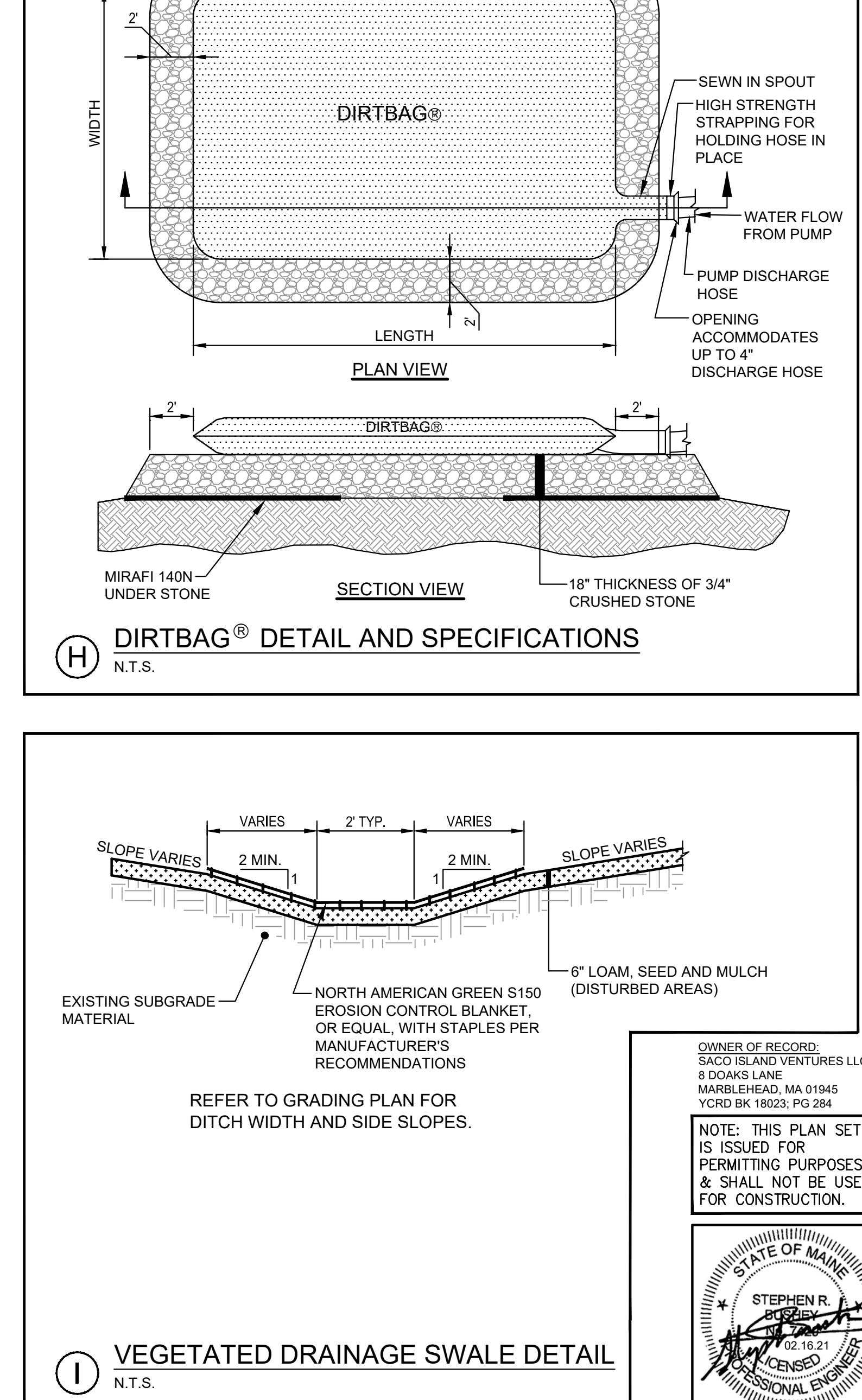
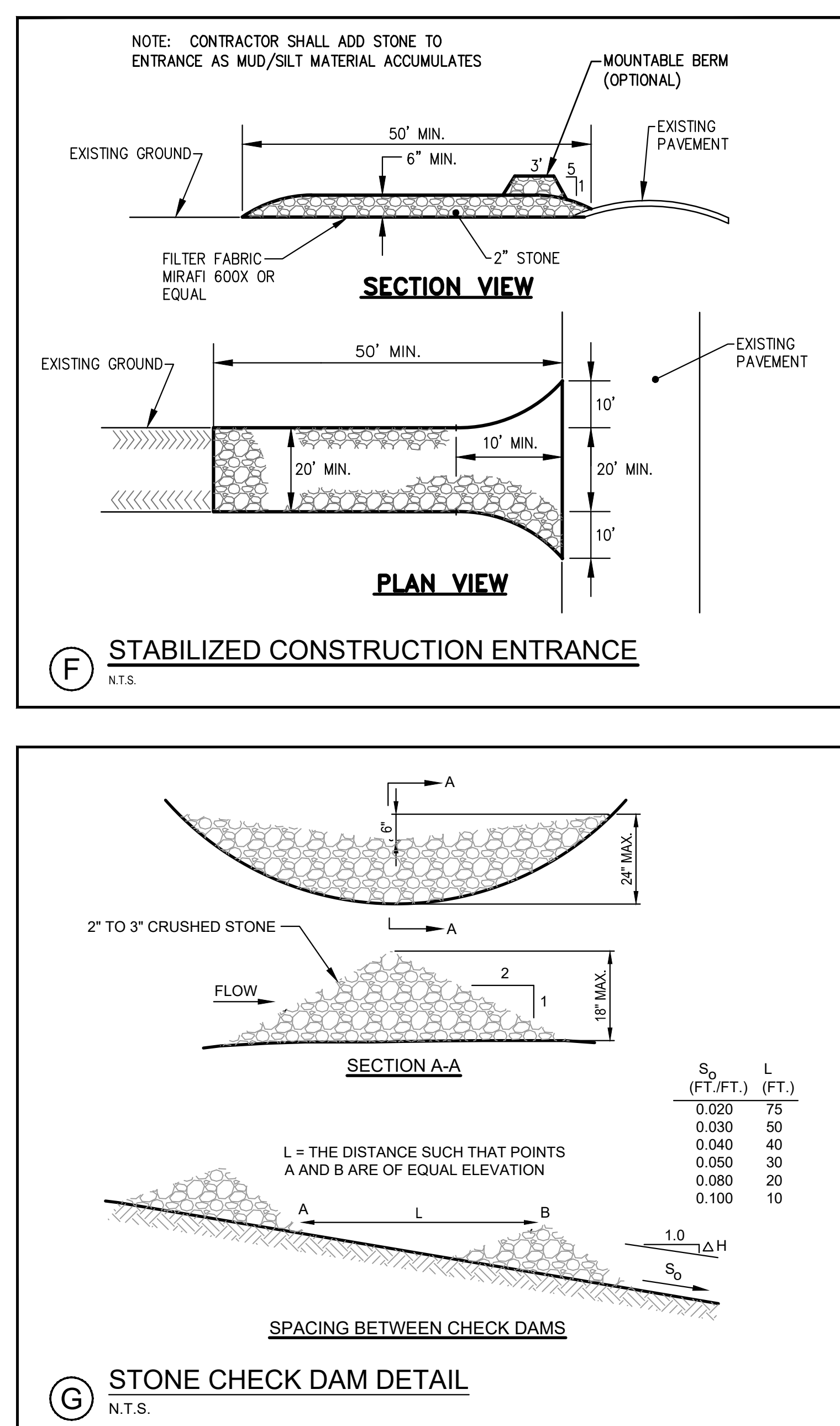
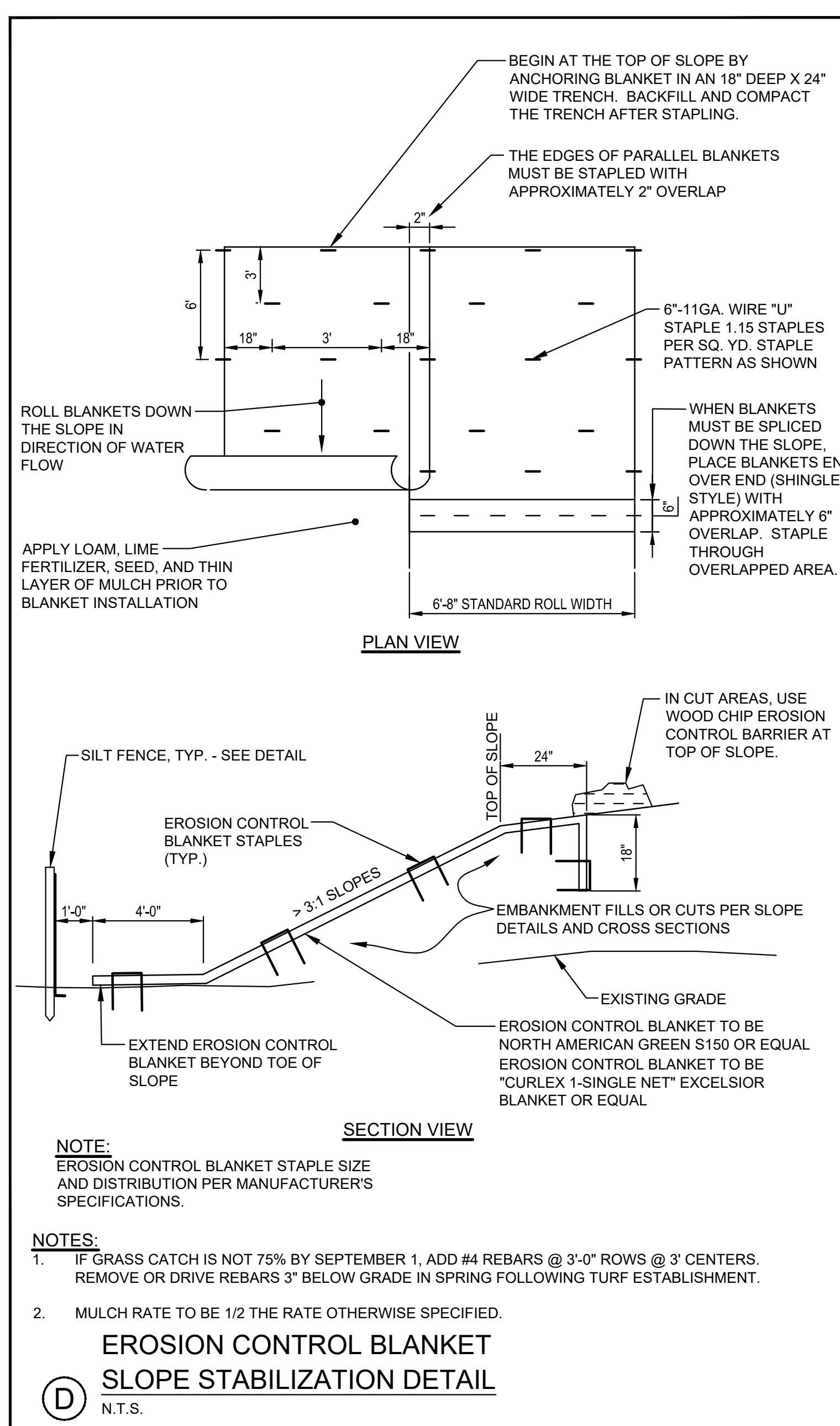
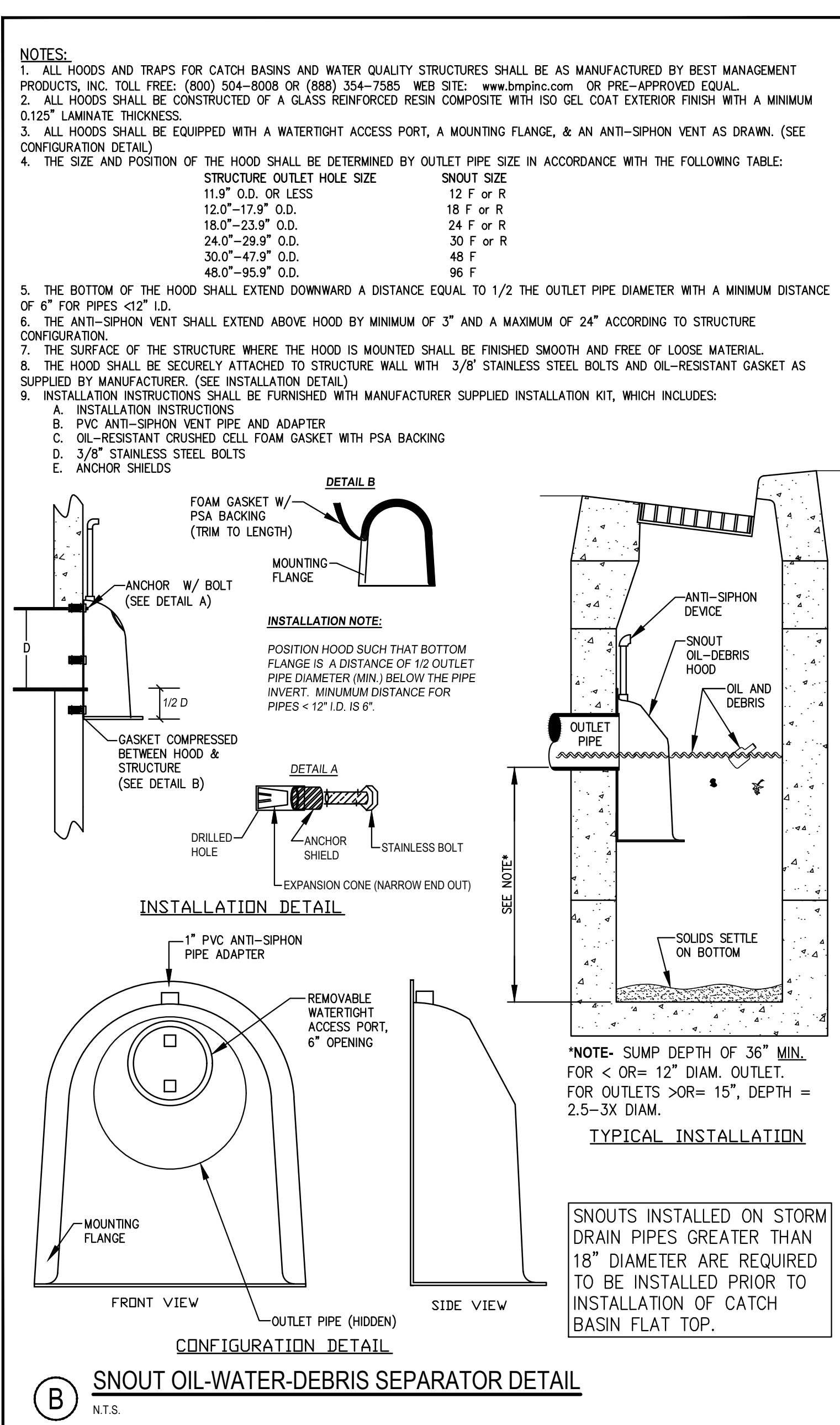
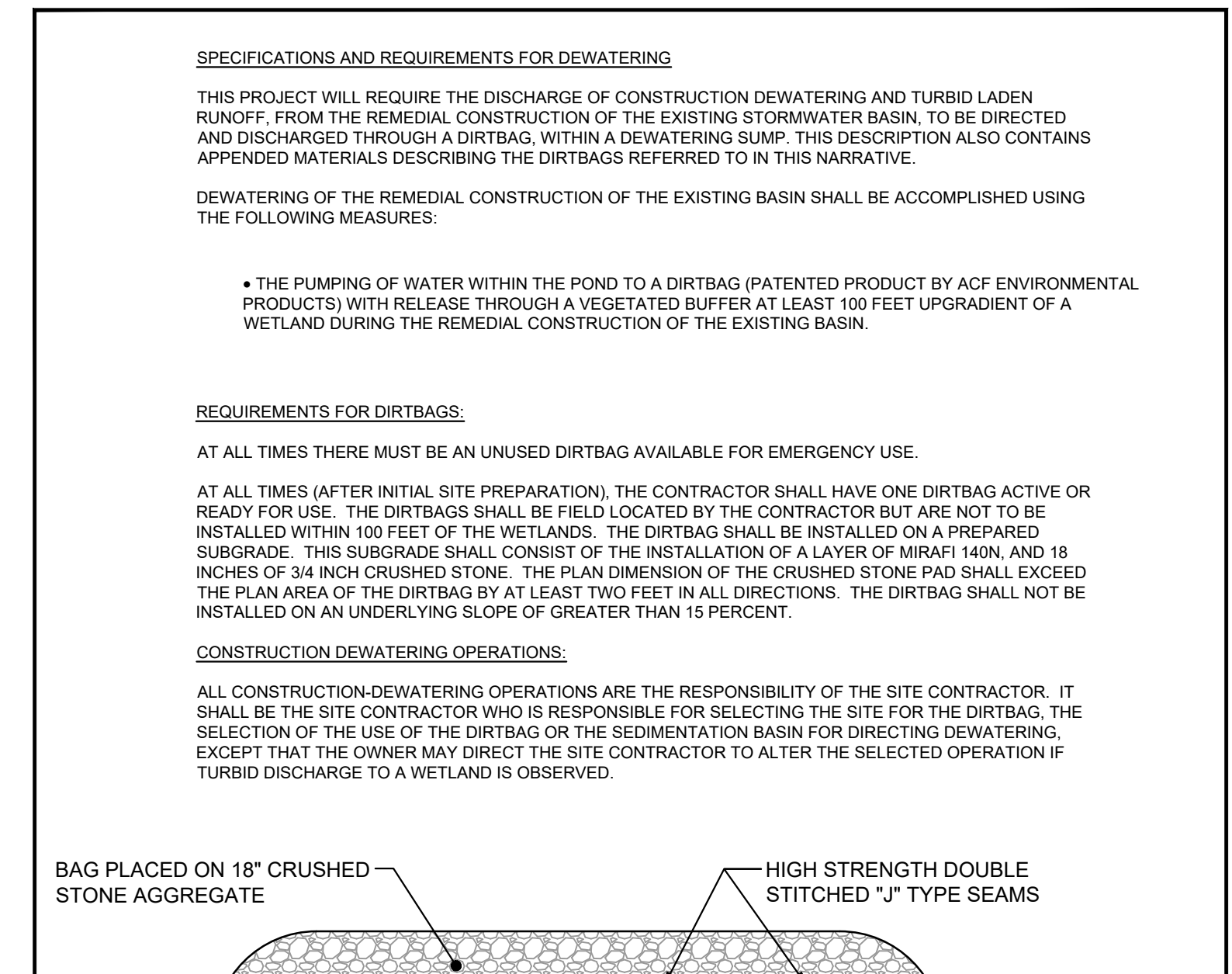
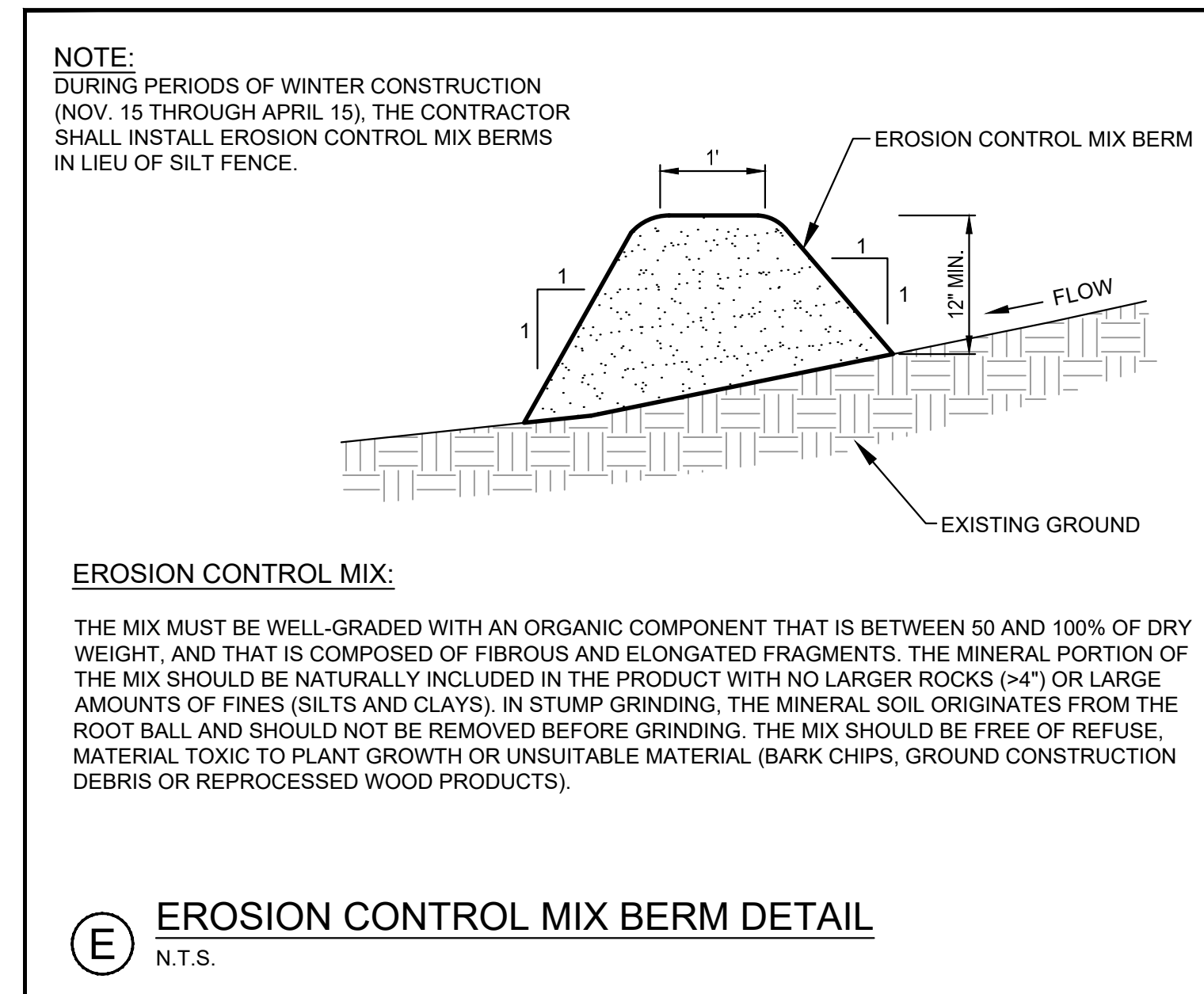
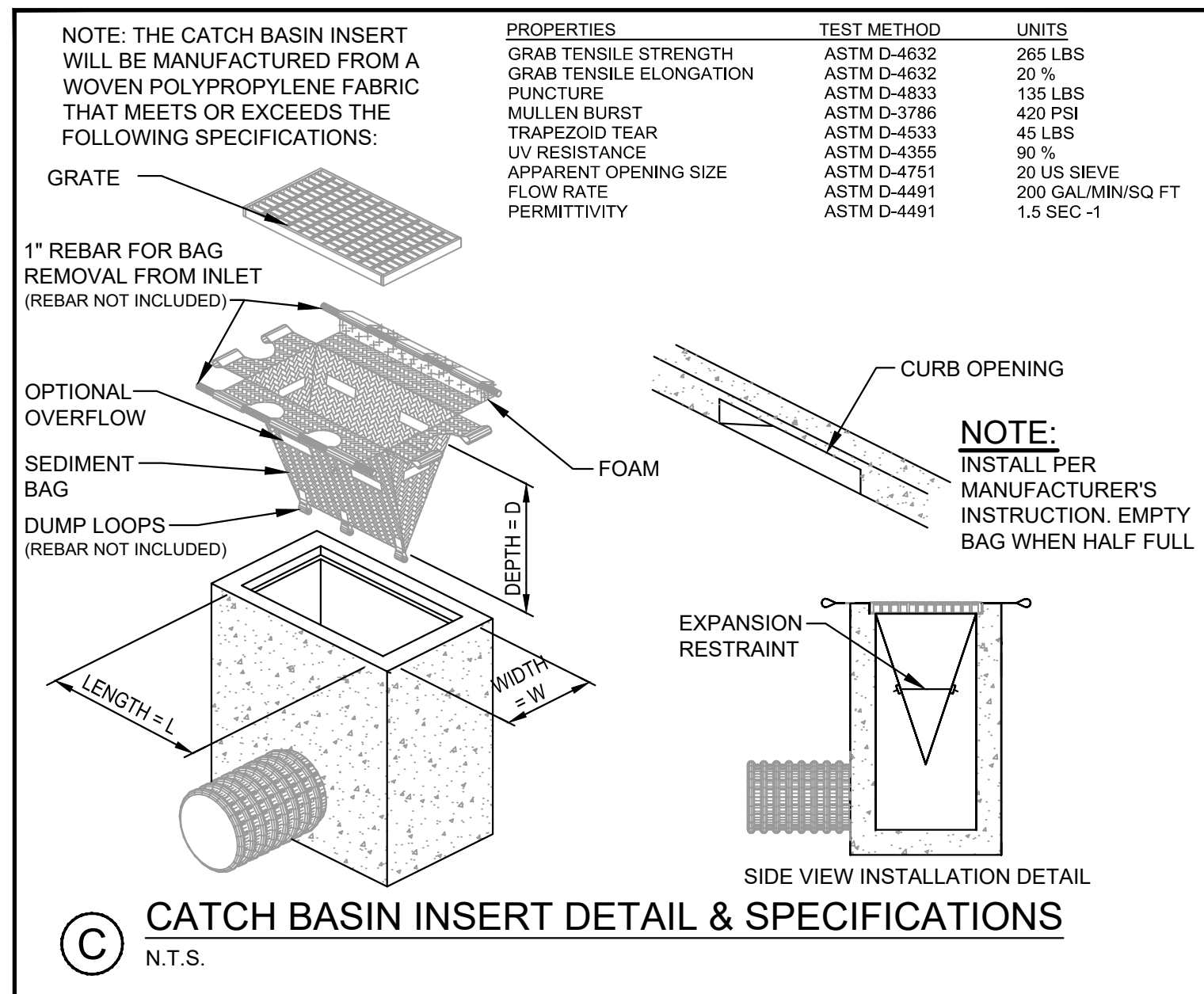
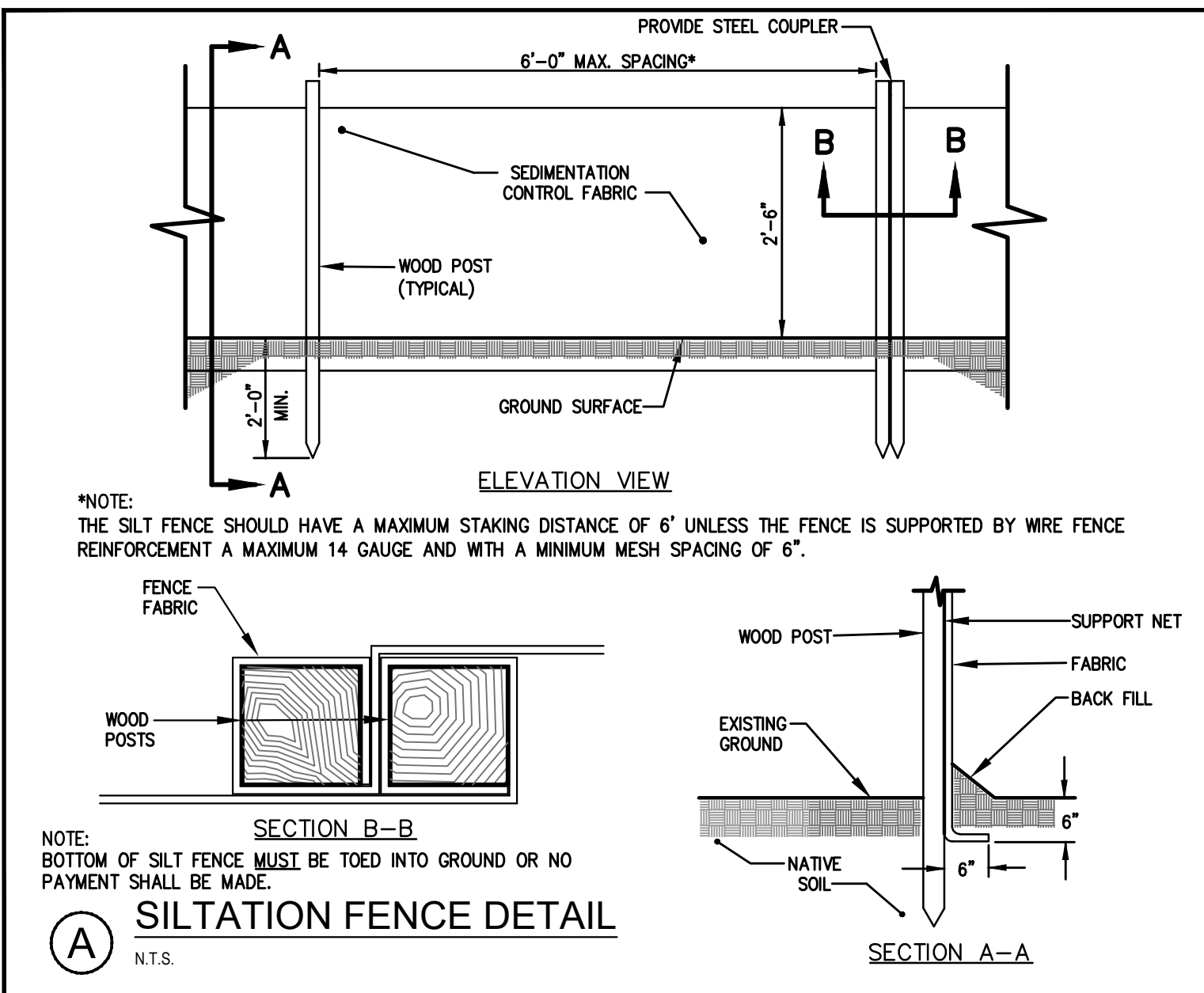
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Drawing Name:	STORMWATER MANAGEMENT DETAILS
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-7.6



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Drawing Name:	EROSION CONTROL DETAILS
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-7.7

EROSION & SEDIMENT CONTROL NOTES

Erosion/Sedimentation Control Devices

As part of the site development the contractor will be obligated to implement the following erosion and sediment control devices. These devices shall be installed as indicated on the plans or as described within this report. For further reference on these devices, see the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices.

1. Siltation fence shall be installed down slope of any disturbed areas to trap runoff-borne sediments until the site is revegetated. The silt fence shall be installed per the detail provided in the plan set and inspected immediately after each rainfall and at least daily during prolonged rainfall. The Contractor shall make repairs immediately if there are any signs of erosion or sedimentation below the fence line. If such erosion is observed, the contractor shall take proactive action to identify the cause of the erosion and take action to avoid its recurrence. Typically this requires that stabilization methods be taken. Proper placement of stakes and tying the bottom of the fabric into the ground are critical to the fence's effectiveness. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water behind the fence, the barrier shall be replaced with a stone check dam and measures taken to avoid the concentration of flows not intended to be directed to the silt fence.

Silt fence is shown by three types depending upon the timing and intent as follows:

SCHEDULE OF SILT FENCE REQUIREMENTS		
Silt Fence	Type Purpose	Time of Installation
Type 1	To trap sediment along the grading edge where the new contours nearly parallel existing contours.	At initial site preparation, prior to other work.
Type 2	To trap sediment from the work area. Install in short sections parallel to existing contour; typically occurs where proposed and existing contours form a "V" shape.	At initial site preparation, prior to other work. On occasion, this needs to be deferred until the area for the silt fence installation can be reached.
Type 3	To trap sediment along the base of proposed contours, typically in cut areas.	During construction after new grade is shaped. Time between work in area and shaping new grade to allow silt fence to be installed shall be minimized.

2. Straw or hay mulch including hydroseeding is intended to provide cover for denuded or seeded areas until revegetation is established. Mulching should be occurring several times per week when the site construction activity is high and at sufficient intervals to reduce the period of exposure of bare soils to the time limits set forth in this plan. Mulch placed on slopes of less than 10 percent shall be anchored by applying water; mulch placed on slopes steeper than 10 percent shall be covered with fabric netting as immediately after mulching as practicable and in accordance with the manufacturer's recommendations. Proposed drainage channels, which are to be revegetated, shall receive Curlex blankets by American Green selected for the slope, velocity, and whether the measure is temporary or intended to be in place for a sustained period. Mulch application rates are provided in Attachment A of this section. Hay mulch shall be available on site at all times in order to provide immediate temporary stabilization when necessary. Where necessary a window of crushed stone and/or gravel shall be placed at the top of the slope and directed to a temporary stone channel or pipe sluice to convey runoff down slopes. A dissipation device such as stone or a plunge pool should be installed at the base of the slope and sluice outlet to dissipate the energy of the water from the sluice or channel.

3. Many construction activities within 75 feet of a protected natural resource require a permit under the *Natural Resources Protection Act* prior to initiation. Whenever practicable, no disturbance activities should take place within 50 feet of any protected natural resource. If disturbance activities take place between 30 feet and 50 feet of any protected natural resource, and stormwater discharges through the disturbed areas toward the protected natural resource, perimeter erosion controls must be doubled. If disturbance activities take place less than 30 feet from any protected natural resource, and stormwater discharges through the disturbed areas toward the protected natural resource, perimeter erosion controls must be doubled and disturbed areas must be temporarily or permanently stabilized within 7 days.

4. Riprap slopes, ditch linings, stone check dams, hay bale barriers, and culvert outlet aprons are intended to and protect denuded soil surfaces or dissipate the energy and erosive forces from concentrated flows. Installation details and stone sizes are provided in the construction plan set on the erosion control detail sheets.

5. A construction entrance will be constructed at all access points onto the site to prevent tracking of soil onto adjacent local roads.

6. Stone sediment traps or hay bales and a pre-manufactured SiltSack® will be installed at catch basin inlets to prevent silt from entering the storm drain system. Installation details are provided in the plan set on the erosion control detail sheets.

7. Dirtbags™ will be required to be on site and available for construction dewatering. The use of Dirtbags™ will be required in the event that trench dewatering activities can not be discharged through a natural buffer area at least 100' in length or at the signs of any turbid discharge from the site.

8. Loam and seed is intended to serve as the primary permanent revegetative measure for all denuded areas not provided with other erosion control measures, such as riprap. Specific areas as shown on the landscape plan will receive sod. Application rates are provided in Attachment A of this section for temporary and permanent seeding in non-wetland areas.

Temporary Erosion/Sedimentation Control Measures

The following are planned as temporary erosion/sedimentation control measures during construction. The maximum disturbed area during non-winter construction shall be no more than can be stabilized the same day, up to a maximum of ten acres.

1. A crushed stone-stabilized construction entrance shall be placed at any construction access points into the site. The locations of the construction entrances shown on the drawings should be considered illustrative and adjusted as appropriate and located at any area where tracking of mud and debris onto existing roads, previously paved areas within the project, or streets is anticipated. Stone stabilized construction entrances will require the stone to be removed and replaced as it becomes covered or filled with mud and material tracked by vehicles exiting the site.

2. Siltation fence shall be installed along the downgradient side of the proposed improvement areas. The siltation fence will remain in place and properly maintained until the site is acceptably revegetated. Siltation fence is to be used along the contour of significant fill slopes as illustrated on the erosion control plan site drawings. Siltation fence needs to be checked to insure the bottom is properly keyed in and inspected after significant rains. Wood chips from clearing are often used on the construction site in front of the silt fence to provide an extra margin of safety and security for the silt fence. This practice is encouraged, provided the chips are removed or dispersed into forested areas when the fence is removed.

3. Dirtbags™ shall be installed in accordance with the details in the plan set. The Dirtbags™ function on the project is to receive any water pumped from excavations during construction. A Dirtbag™ shall be installed and prepared for operation prior to any trenching on site. When Dirtbags™ are observed to be at 50% capacity, they shall be cleaned or replaced. Stone under the Dirtbag™ shall be removed and replaced concurrently.

4. Temporary stockpiles of common excavation will be protected as follows:

- a) Temporary stockpiles shall not be located within 100 feet of the wetlands and at least 50 feet upgradient of the perimeter silt fence.
- b) Inactive stockpiles shall be stabilized within 5 days by either temporarily seeding the stockpile with a hydroseed method containing an emulsified mulch tackifier or by covering the stockpile with mulch. If necessary, mesh shall be installed to prevent wind from removing the mulch.
- c) Stormwater runoff shall be prevented from flowing into stock piles. Sediment barriers shall be installed down gradient of stockpiles.

5. Within 7 days of the cessation of construction activities in an area that will not be worked for more than 7 days, stabilize any exposed soil with mulch, or other non-erodible cover. Stabilize areas within 75 feet of a wetland or waterbody within 48 hours of the initial disturbance of the soil or prior to any storm event, whichever comes first.

For work that is conducted between November 1 and April 15 of any calendar year, all denuded areas will be covered with hay mulch, applied at five times the normal application rate, and (in areas over 10% grade) anchored with a fabric netting. The time period for applying mulch shall be limited to 5 days for all areas or immediately in advance of a predicted rainfall event.

6. Stone check dams or hay bale barriers will be installed at any evident concentrated flow discharge points during construction and earthwork operations.

7. Silt fencing with a maximum stake spacing of 6 feet should be used, unless the fence is supported by wire fence reinforcement of minimum 14 gauge and with a maximum mesh spacing of 6 inches, in which case stakes may be spaced a maximum of 10 feet apart. The bottom of the fence should be properly anchored a minimum of 6" per the plan detail and backfilled. Any silt fence identified by the owner or reviewing agencies, as not being properly installed during construction shall be immediately repaired in accordance with the installation details.

8. Storm drain catch basin inlet protection shall be provided through the use of stone sediment barriers or a pre-manufactured SiltSack® as distributed by A. H. Harrs Company, Portland, Maine. Stone sediment barrier installation details are provided in the plan set. The barriers or SiltSack® shall be inspected after each rainfall and repairs made as necessary, including the removal of sediment. Sediment shall be removed and the barrier or SiltSack® restored to its original dimensions when the sediment has accumulated to 1/2 the design depth of the barrier. Sediment shall be removed from SiltSack® as necessary. Inlet protection shall be removed when the tributary drainage area has been stabilized.

9. All slopes from 2:1 to 4:1 shall be stabilized with Erosion Control Blanket Curlex 1 by American Excelsior or equal. No slopes steeper than 2:1 shall be allowed. Slopes less than 4:1 shall be mulched or may also be covered with Erosion Control Blanket.

10. Install new and/or realigned silt fences as necessary as construction progresses.

11. Areas of visible erosion shall be stabilized with crushed stone.

12. Storm drain catch basin inlet protection shall be provided through the use of stone sediment barriers (paved areas) or hay bales (lawn areas) and a pre-manufactured SiltSack® as distributed by A. H. Harrs Company, Portland, Maine. Stone sediment barrier installation details are provided in the plan set. The barriers or SiltSack® shall be inspected after each rainfall and repairs made as necessary, including the removal of sediment.

Standards for Stabilizing Sites for the Winter

The construction of the project may be a multi-season project. For permitted winter construction, the erosion control measures are substantially more stringent due to the cold temperatures and lack of weather which aids in drying the subgrade soils through evaporation. Due to these conditions, the maximum disturbed area shall be limited to one (1) acre during winter construction. Winter construction areas shall not be considered disturbed if they are stabilized in accordance with the following standards:

1. **Standard for the timely stabilization of ditches and channels:** The contractor shall construct and stabilize all stone-lined ditches and channels on the site by November 15. The contractor shall construct and stabilize all grass-lined ditches and channels on the site by September 15. If the contractor fails to stabilize a ditch or channel to be grass-lined by September 15, then the contractor shall take one of the following actions to stabilize the ditch for late fall and winter.

i. Install a sod lining in the ditch. The contractor shall line the ditch with properly installed sod by October 1. Proper installation includes the applicant pinning the sod onto the soil with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, watering the sod to promote root growth into the disturbed soil, and anchoring the sod with jute or plastic mesh to prevent the sod strips from sloughing during water conditions.

ii. Install a stone lining in the ditch. The contractor shall line the ditch with stone riprap by November 15. The contractor shall hire a registered professional engineer to determine the stone size and lining thickness needed to withstand the anticipated flow velocities and flow depths within the ditch. If necessary, the contractor shall regrade the ditch prior to placing the stone lining so as to prevent the stone lining from reducing the ditch's cross-sectional area.

2. **Standard for the timely stabilization of disturbed slopes:** The contractor shall construct and stabilize stone-covered slopes by November 15. The contractor shall seed and mulch all slopes to be vegetated by September 15. The department will consider any area having a grade greater than 15% (10H:1V) to be a slope. If the contractor fails to stabilize all slopes to be vegetated by September 15, then the contractor shall take one of the following actions to stabilize the slope for late fall and winter.

i. Stabilize the soil with temporary vegetation and erosion control mesh. By October 1 the contractor shall seed the disturbed slope with winter rye at a seeding rate of 3 pounds per 1000 square feet and apply erosion control mats over the mulched slope. The contractor shall monitor growth of the rye over the next 45 days. If the rye fails to grow at least three inches or fails to cover at least 75% of the disturbed slope by November 15, then the contractor shall cover the slope with a layer of wood waste compost as described in item ii of this standard or with stone rip rap as described in item iv of this standard.

ii. Stabilize the slope with sod. The contractor shall stabilize the disturbed slope with properly installed sod by October 1. Proper installation includes the contractor pinning the sod onto the slope with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root growth into the disturbed soil. The contractor shall not use late-season sod installation to stabilize slopes having a grade greater than 33% (3H:1V) or having groundwater seeps on the slope face.

iii. Stabilize the slope with wood waste compost. The contractor shall place a six-inch layer of wood waste compost on the slope by November 15. Prior to placing the wood waste compost, the contractor shall remove any snow accumulation on the disturbed slope. The contractor shall not use wood waste compost to stabilize slopes having grades greater than 50% (2H:1V) or having groundwater seeps on the slope face.

3. **Standard for the timely stabilization of disturbed soil:** By September 15, the contractor shall seed and mulch all disturbed soils on areas having a slope less than 15%. If the contractor fails to stabilize these soils by this date, then the contractor shall take one of the following actions to stabilize the soil for late fall and winter.

i. Stabilize the soil with temporary vegetation. By October 1, the contractor shall seed the disturbed soil with winter rye at a seeding rate of 3 pounds per 1000 square feet, lightly mulch the seeded soil with hay or straw at 75 pounds per 1000 square feet, and anchor the mulch with plastic netting. The contractor shall monitor the growth of the rye over the next 45 days. If the rye fails to grow at least three inches or fails to cover at least 75% of the disturbed soil before November 15, then the contractor shall mulch the area for over-winter protection as described in item ii of this standard.

ii. Stabilize the soil with sod. The contractor shall stabilize the disturbed soil with properly installed sod by October 1. Proper installation includes the contractor pinning the sod onto the soil with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root growth into the disturbed soil.

iii. Stabilize the soil with mulch. All soils disturbed between November 1 and April 1 will be covered with mulch within 5 days of disturbance, prior to any predicted storm event of the equivalent of 1/2" of equivalent rainfall in a 24-hour period, or prior to any work shutdown lasting more than 35 hours (including weekends and holidays). The mulch rate shall be double the normal rate. By November 1, the contractor shall mulch the disturbed soil by spreading hay or straw at a rate of at least 150 pounds per 1000 square feet on the area so that no soil is visible through the mulch. Prior to applying the mulch, the contractor shall remove any snow accumulation on the disturbed area. Immediately after applying the mulch, the contractor shall anchor the mulch with plastic netting to prevent wind from moving the mulch off the disturbed soil.

Special Measures for Summer Construction

The summer period is generally optimum for construction in Maine but it is also the period where intense short duration storms are most common making denuded areas very susceptible to erosion, where dust control needs to be the most stringent, and where the potential to establish vegetation is often restricted by moisture deficit. During these periods the contractor must:

6. Implement a program to apply dust control measures on a daily basis except those days where the precipitation exceeds 0.25 inches;

7. Spray the mulch after anchoring with water to dampen the soil and encourage early growth. Temporary seed may be required until the late summer seeding season.

8. Mulch, cover, and moisten stockpiles of fine-grained materials that are susceptible to erosion.

9. Take additional steps needed to control fugitive dust emissions to minimize reductions in visibility and the airborne disbursement of fine-grained soils.

These measures may also be required in the spring and fall during the drier periods of these seasons.

Sedimentation Sumps

The use of shallow sediment sumps on the downgradient side of erodible stockpiles and areas where denuded conditions will be prolonged is encouraged.

Permanent Erosion Control Measures

If the area will not be worked for more than one year or has been brought to final grade, then permanently stabilize the area within 7 days by planting vegetation, seeding, sod, or through the use of permanent mulch, or riprap, or road sub-base. If using vegetation for stabilization, select the proper vegetation for the light, moisture, and soil conditions; amend areas of disturbed subsoils with topsoil, compost, or fertilizers; protect seeded areas with mulch or, if necessary, erosion control blankets; and schedule sodding, planting, and seeding so to avoid die-off from summer drought and fall frosts. Newly seeded or sodded areas must be protected from vehicle traffic, excessive pedestrian traffic, and concentrated runoff until the vegetation is well-established with 90% cover by healthy vegetation. If necessary, areas must be reworked and restabilized if germination is sparse, plant coverage is spotty, or topsoil erosion is evident.

The following permanent erosion control measures have been designed as part of the Erosion/Sedimentation Control Plan:

1. The drainage conveyance systems have been designed to intercept and convey the 10-year storm. In the case of open channels or swales, this includes the design of measures to resist scour of the channel.
2. All storm drain pipes shall have riprap aprons at their outlet to protect the outlet and receiving channel of the culverts from scour and deterioration. Installation details are provided in the plan set. The aprons shall be installed and stabilized prior to directing runoff to the tributary pipe or culvert.
3. All areas disturbed during construction, but not subject to other restoration (paving, riprap, etc.) will be loamed, limed, fertilized, mulched, and seeded. Fabric netting anchored with staples, shall be placed over the mulch in areas where the finish grade slope is greater than 10 percent. Native topsoil shall be stockpiled and temporarily stabilized with seed and mulch and reused for final restoration when it is of sufficient quality.
4. Catch basins shall be provided with sediment sumps for all outlet pipes that are 12" in diameter or greater. Catch basins have been designed with an under drain connection to allow the subbase gravel to drain and reduce frost heave and movement at the basin.

Timing and Sequence of Erosion/Sedimentation Control Measures

The following construction sequence shall be required to insure the effectiveness of the erosion and sedimentation control measures are optimized.

Note: For all grading activities, the Contractor shall exercise extreme caution not to overexpose the site by limiting the disturbed area and shall stabilize any steep slopes within 24 hours if final slope grading and stabilization will not be completed within 7 days. Any final slopes shall have the specified erosion control measures installed within 7 days of final stabilization.

1. Install crushed stone-stabilized construction entrance as shown on the Erosion and Sedimentation Control Plan.
2. Mark the grading and clearing limits and initiate clearing that will permit the contractor to access the site and install silt fence.
3. Install Type 1 siltation fence where shown on the contract drawings.
4. Establish and prepare Dirtbag™ area.
5. Construct the wet retention/detention pond and water quality filter.
6. Cover the water quality filter with a protective drainage filter fabric that can be removed after turf establishment.
7. Construct diversion and drainage channels to direct flow to the pond from the building and roadway areas.
8. Prepare area to receive excavated material recognizing the need to limit the denuded area of the site.
9. Construct the access roads to subgrade and restore the slopes.
10. Install stone and hay bale check dams at any concentrated flow discharge points.
11. Install storm drain and other utility work. Install inlet and outlet protection immediately after the installation of any culverts.
12. Place gravel in the roadways as soon as subgrade is prepared to minimize the period that the unprotected subgrade is exposed and vulnerable to erosion from runoff events.

13. Raise catch basins to grade and install inlet protection devices including the underdrain at each catch basin, the SiltSack® inside the basin and the external hay bales or stone filter.

14. Install binder pavement.

15. Loam, lime, fertilizer, seed and mulch all disturbed and denuded areas.

16. Remove all accumulated sediment from silt barriers.

17. Review stability of the site. If a catch basin is graced is achieved, remove all other temporary erosion control devices including the temporary rye in the pond, the fabric over the water quality filter, and removal of the temporary sedimentation sumps.

This sequence is applicable to both the initial and subsequent phases of the project.

Soil will be considered disturbed if it does not have an established stand of vegetation covering at least 90% of the soil surface or has not been mulched with hay applied at a rate of 230-lb/1000 sq. ft.

It is anticipated that site work may be suspended prior to winter. If so, the General Contractor shall schedule a meeting with the MeDEP, Owner, and Owner's representatives to review the site for conformance with the plans. This meeting shall be scheduled at least 10 days prior to winter shutdown. The Owner may elect to provide the Contractor with a punch list for measures to be complete before the interim shutdown. The Owner's punch list shall not obviate the Contractor's responsibility for compliance with the erosion control requirements of the project or permits.

Provisions for Maintenance of the Erosion/Sedimentation Control Features

The construction of the access road and utility infrastructure improvements to serve the development will be contracted by Saco Island Ventures. The project is subject to the requirement of a MeDEP Site Location of Development Permit, MeDEP Natural Resources permits, federal 404 wetland permits, and a MeDEP General Permit for Stormwater Pollution Prevention. This project requires Saco Island Ventures to prepare a list and designate by name, address and telephone number all individuals who will be responsible for implementation, inspection and maintenance of all erosion control measures identified within this section and as contained in the Erosion and Sedimentation Control Plan of the contract drawings. Specific responsibilities of the inspector(s) will include:

1. Execution of the Contractor/Subcontractor Certification by any and all parties responsible for erosion control measures on the site as required by the forms.

2. Assuring and certifying the Owner's construction sequence and all subcontractors are in conformance with the specified schedule of this section. A weekly certification stating compliance, any deviations, and corrective measures necessary to comply with the erosion control requirements of this section shall be prepared and signed by the inspector(s). In the event that the site work is subcontracted, this certification shall be signed by both the General and Site Work contractors.

3. In addition to the weekly certifications, the inspector(s) shall maintain written reports recording construction activities on site which include:

Dates when major grading activities occur in a particular areas.

Dates when major construction activities cease in a particular area, either temporarily or permanently.

Dates when an area is stabilized.

4. Saco Island Ventures shall be responsible for inspection of this project work site once a week and after each significant rainfall event (0.5 inches or more within any consecutive 24-hour period) during construction until permanent erosion control measures have been properly installed and the site has been stabilized. Inspection of the project work site shall be performed per MeDEP Chapter 500 Appendix B and include:

The erosion inspections shall be conducted by a qualified person who has knowledge of Erosion and Sediment Control, including all DEP standards and conditions of the stormwater orders covering the property/development.

The scope of construction inspections shall include the erosion control measures as well as all disturbed areas, material storage areas, and locations where vehicles enter and exit the site.

All construction inspections and any corrective action documentation records shall be maintained by the owner and contractor for a minimum of three years.

Identification of proper erosion control measure installation in accordance with the erosion control detail sheet or as specified in this section.

Determine whether each erosion control measure is properly operating. If not, identify damage to the control device and determine remedial measures. Repair work should be performed immediately but no later than the end of the next work day.

Identify areas that appear vulnerable to erosion and determine additional erosion control measures, which should be used to improve conditions. Implementation must be completed within 7 calendar days or prior to any storm event.

Inspect areas of recent seeding to determine percent catch of grass. A minimum catch of 90 percent is required prior to removal of erosion control measures.

Accumulated silt/seedment should be removed when the depth of sediment reaches 50 percent of the barrier height. Accumulated silt/seedment should be removed from behind silt fencing when the depth of the sediment reaches 6 inches.

SiltSacks® should be removed and replaced at least every three months and at any time where the weekly inspection reveals that siltation has significantly retarded the rate of flow through the SiltSack®.

5. If inspection of the site indicates a change should be made to the erosion control plan, either to improve effectiveness or correct a site-specific deficiency, the inspector shall immediately implement the corrective measure and notify the owner of the change.

Once construction has been completed, long-term maintenance of the drainage systems and catch basins will be the responsibility of the applicant. The catch basin sumps shall be inspected in April and October of each year. Sediment shall be removed when the depth of sediment reaches one-half the depth of the sump.

All certifications, inspection forms, and written reports prepared by the inspector(s) shall be filed with the Owner, and the Permit File contained on the project site. All written certifications, inspection forms, and written reports must be filed within one (1) week of the inspection date.

The Contractor has sole responsibility for complying with the erosion/sediment control report and shall be responsible for any monetary penalties resulting from failure to comply with these standards.

Preconstruction Conference

Prior to any construction at the site, representatives of the Contractor, MeDEP and Town officials, and the site design engineer shall arrange for and meet with the Owner to discuss the scheduling of the site construction, the designation of the responsible parties for implementing the plan. This meeting shall be scheduled by the Contractor with reasonable advance notice for all attendees. Prior to the meeting the Contractor shall prepare a detailed schedule and a marked-up site plan indicating areas and components of the work and key dates showing date of disturbance and completion of the work. If bid through a general contractor, the general contractor's superintendent shall provide a written acknowledgment that the erosion control plan has definitive dates for implementation that may supersede the building schedule. The contractor shall conduct a meeting with employees and sub-contractors to review the erosion control plan, the construction techniques which will be employed to implement the plan, and provide a list of attendees and items discussed at the meeting to the Owner. Three copies of the schedule, the contractor's meeting minutes, and marked-up site plan shall be provided to the Owner at the preconstruction meeting.

SEEDING PLAN: LAWN OR LANDSCAPE TURF

Project: 24 Unit Townhouses at Factory Island East

Site Location: Saco, Maine

Area to be seeded: TBD acres, OR M Sq. Ft.
 Instructions on preparation of soil: Prepare a good seed bed for planting method used.
 Apply lime as follows: #/acres, OR #/M Sq. Ft.
 Fertilize with _____ pounds of _____ N-P-K/ac. OR _____ pounds of organic 10-20-20 N-P-K/M Sq. Ft.
 Method of applying lime and fertilizer: Spread and work into the soil before seeding.
 Seed with the following mixture:
 35% Perennial Rye
 25% Kentucky Bluegrass
 40% Penn Lawn Tall Fescue

When using small grain as nurse crop seed it at one-half the normal seeding rate.

	Amount	Unit	# Tons, Etc.
7. Mulching instructions: Apply at the rate of _____ tons per acre OR 115 _____ pounds per M. Sq. Ft.			
8. TOTAL LIME.....	115	#/1000 sq. ft.	
9. TOTAL FERTILIZER.....	20	#/1000 sq. ft.	
10. TOTAL SEED.....	8.0	#/1000 sq. ft.	
11. TOTAL MULCH.....	115	#/1000 sq. ft.	
12. TOTAL other materials, seeds, etc.....			
13. REMARKS			

Spring seeding is recommended; however, late summer (prior to September 1) seeding can be made. Permanent seeding should be made prior to October 15 or as a dormant seeding after the first killing frost and before the first snowfall. If seeding cannot be done within these seeding dates, temporary seeding and mulching shall be used to protect the site. Permanent seeding shall be delayed until the next recommended seeding period.

Fertilizer requirements shall be subject to actual test results of the topsoil used for the project. The Contractor shall be responsible for providing topsoil test results for pH and recommended fertilizer application rates to the Owner. pH should be between 6.0 and 8.0.

Seed mixture shall be fresh, clean, new crop seed. Seed may be mixed by an appropriate method on the site or may be mixed by the dealer. If the seed is mixed on the site, each variety shall be delivered in the original containers bearing the dealer's guaranteed analysis. If seed is mixed by the dealer, the Seeding Contractor shall furnish to the Owner the dealer's guaranteed statement of the composition of the mixture and the percentage of purity and germination of each variety.

Seed shall be purchased from a recognized distributor and shall test to a minimum percentage of 95% for purity and 85% for germination.

All loam shall have compost or peat admixtures to raise the organic content to 8%.

SEEDING PLAN: EROSION CONTROL MIX

Project: 24 Unit Townhouses at Factory Island East

Site Location: Saco, Maine

Area to be seeded: TBD acres, OR M Sq. Ft.
 Instructions on preparation of soil: Prepare a good seed bed for planting method used.
 Apply lime as follows: #/acres, OR #/156M Sq. Ft.
 Fertilize with _____ pounds of _____ N-P-K/ac. OR _____ pounds of 10-20-20 N-P-K/M Sq. Ft.
 Method of applying lime and fertilizer: Spread and work into the soil before seeding.
 Seed with the following mixture:
 New England Erosion Control Seed Mix as manufactured by "New England Wetland Plants, Inc. - Amherst, MA" consisting of the following species:

	Creeping Red Fescue	Annual Rye-grass	Indian Grass
	Timothy	White Clover	
	Red Top	Little Bluestem	

When using small grain as nurse crop seed it at one-half the normal seeding rate.

	Amount	Unit	# Tons, Etc.
7. Mulching instructions: Apply at the rate of _____ tons per acre. OR 230 _____ pounds per M. Sq. Ft.			
8. TOTAL LIME.....	115	#/1000 sq. ft.	
9. TOTAL FERTILIZER.....	20	#/1000 sq. ft.	
10. TOTAL SEED.....	1	#/1000 sq. ft.	
11. TOTAL MULCH.....	230	#/1000 sq. ft.	
12. TOTAL other materials, seeds, etc.....			
13. REMARKS			

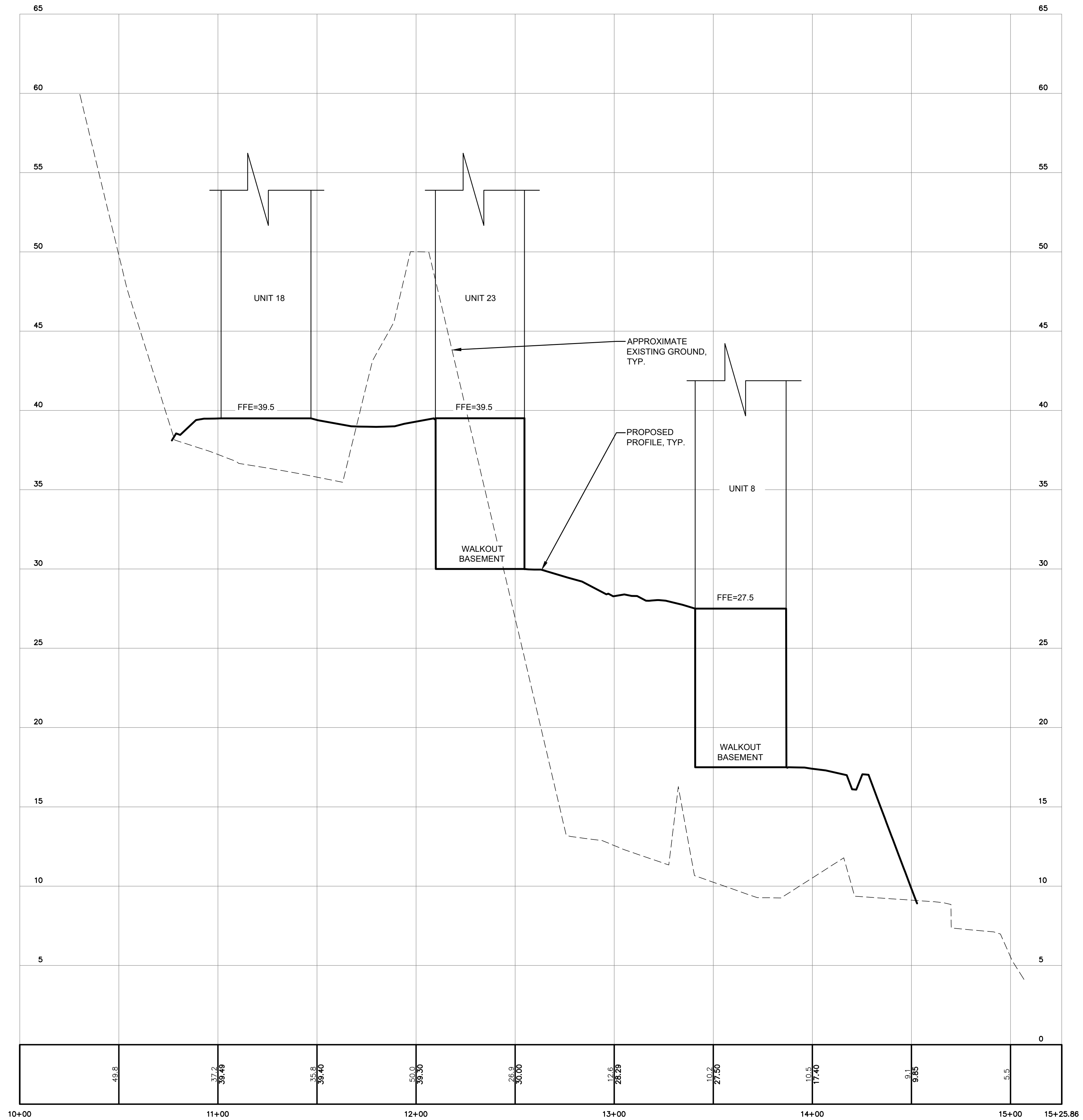
For areas with slopes >10% and fall and winter erosion control areas, mulch netting shall be used per manufacturer's specifications. Spring seeding is recommended; however, late summer (prior to September 1) seeding can be made. Permanent seeding should be made prior to October 15 or as a dormant seeding after the first killing frost and before the first snowfall. If seeding cannot be done within these seeding dates, temporary seeding and mulching shall be used to protect the site. Permanent seeding shall be delayed until the next recommended seeding period.

Fertilizer requirements shall be subject to actual test results of the topsoil used for the project. The Contractor shall be responsible for providing topsoil test results for pH and recommended fertilizer application rates to the Owner. pH should be between 5.5 and 7.5.

Seed mixture shall be fresh, clean, new crop seed. Seed may be mixed by an appropriate method on the site or may be mixed by the dealer. If the seed is mixed on the site, each variety shall be delivered in the original containers bearing the dealer's guaranteed analysis. If seed is mixed by the dealer, the Seeding Contractor shall furnish to the Owner the dealer's guaranteed statement of the composition of the mixture and the percentage of purity and germination of each variety.

Seed shall be purchased from a recognized distributor and shall test to a minimum percentage of 95% for purity and 85% for germination.

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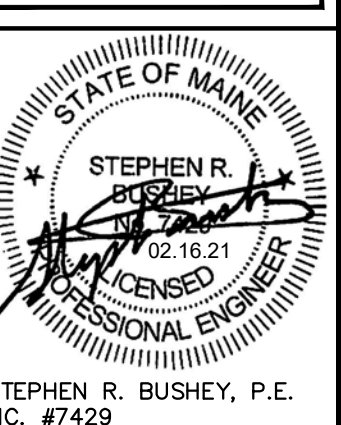


SITE CROSS SECTION A-A

SCALE: 1" = 30' HORIZ. / 1" = 3.75' VERT.

OWNER OF RECORD:
SACO ISLAND VENTURES LLC
8 DOAKS LANE
MARBLEHEAD, MA 01945
YCRD BK 18023; PG 284

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES & SHALL NOT BE USED FOR CONSTRUCTION.



Rev.	Date	Revision

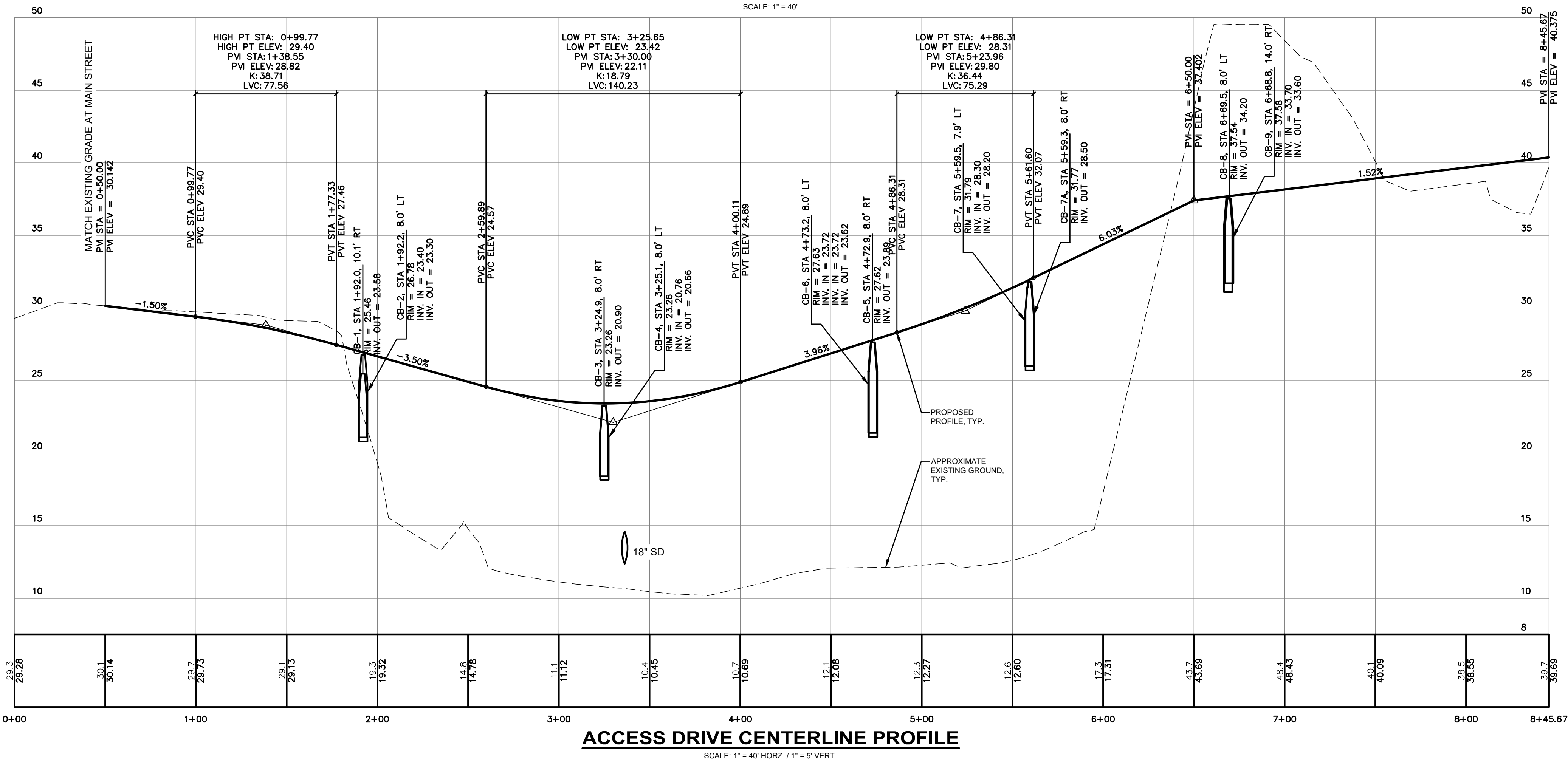
Rev.	Date	Revision
2	2021.02.16	REVISED PERMIT PLANS
1	2021.01.20	SUBMITTED TO CITY OF SACO FOR REVIEW

Design: KAB Draft: CDD Date: DEC. 2020
Checked: SRB Scale: AS NOTED Job No.: 3738.01
File Name: 373801-GRADING.dwg
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207.772.2515

Drawing Name:	SITE CROSS SECTION
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-8.0



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Rev.	Date	Revision
1	2021.01.20	SUBMITTED TO CITY OF SACO FOR REVIEW
2	2021.02.16	REVISED PERMIT PLANS

Rev.	Date	Revision
1	2021.01.20	SUBMITTED TO CITY OF SACO FOR REVIEW
2	2021.02.16	REVISED PERMIT PLANS

Design: KAB Draft: CDD Date: DEC. 2020
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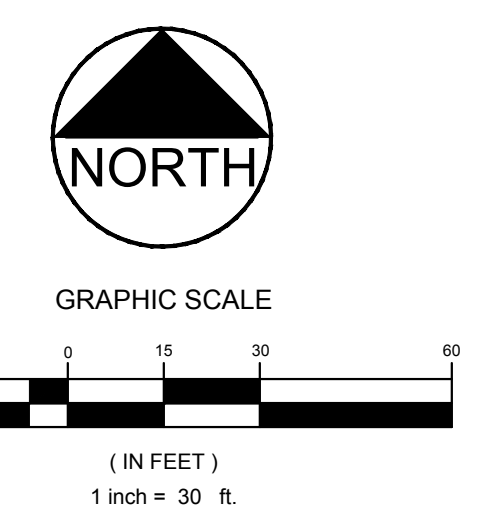
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Drawing Name:	ACCESS DRIVE PLAN & PROFILE
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.
C-8.1

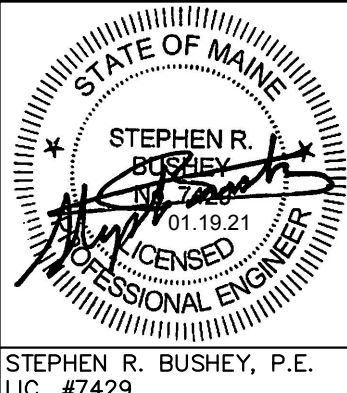


NOTES:
 THE PUMP STATION DESIGN SHALL BE PROVIDED BY THE VENDOR AND SHALL INCLUDE, BUT NOT BE LIMITED TO, DAILY AND PEAK FLOW DEMAND, PUMP SIZING / CONTROLS, ELECTRICAL REQUIREMENTS, STORAGE CAPACITY, ANTI-FLOATATION, OPERATIONS AND MAINTENANCE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS, STAMPED BY A LICENSED PROFESSIONAL ENGINEER, FOR REVIEW AND APPROVAL BY THE OWNER AND, IF NECESSARY, THE CITY OF SACO WATER RESOURCE RECOVERY DEPARTMENT.



OWNER OF RECORD:
 SACO ISLAND VENTURES LLC
 8 DOAKS LANE
 MARBLEHEAD, MA 01945
 YCRD BK 18023; PG 284

NOTE: THIS PLAN SET IS ISSUED FOR PERMITTING PURPOSES & SHALL NOT BE USED FOR CONSTRUCTION.



U:\3738.01_24_Unit Townhouse-Factory Island East-Saco, ME.Z - CAD\DWG\373801-UTILITY.dwg 1/19/2021 8:13 AM

Rev.	Date	Revision

Rev.	Date	Revision
1	2021.01.19	SUBMITTED TO CITY OF SACO FOR REVIEW

Design: KAB	Draft: CDD	Date: DEC. 2020
Checked: SRB	Scale: AS NOTED	Job No.: 3738.01
File Name: 373801-UTILITY.dwg		
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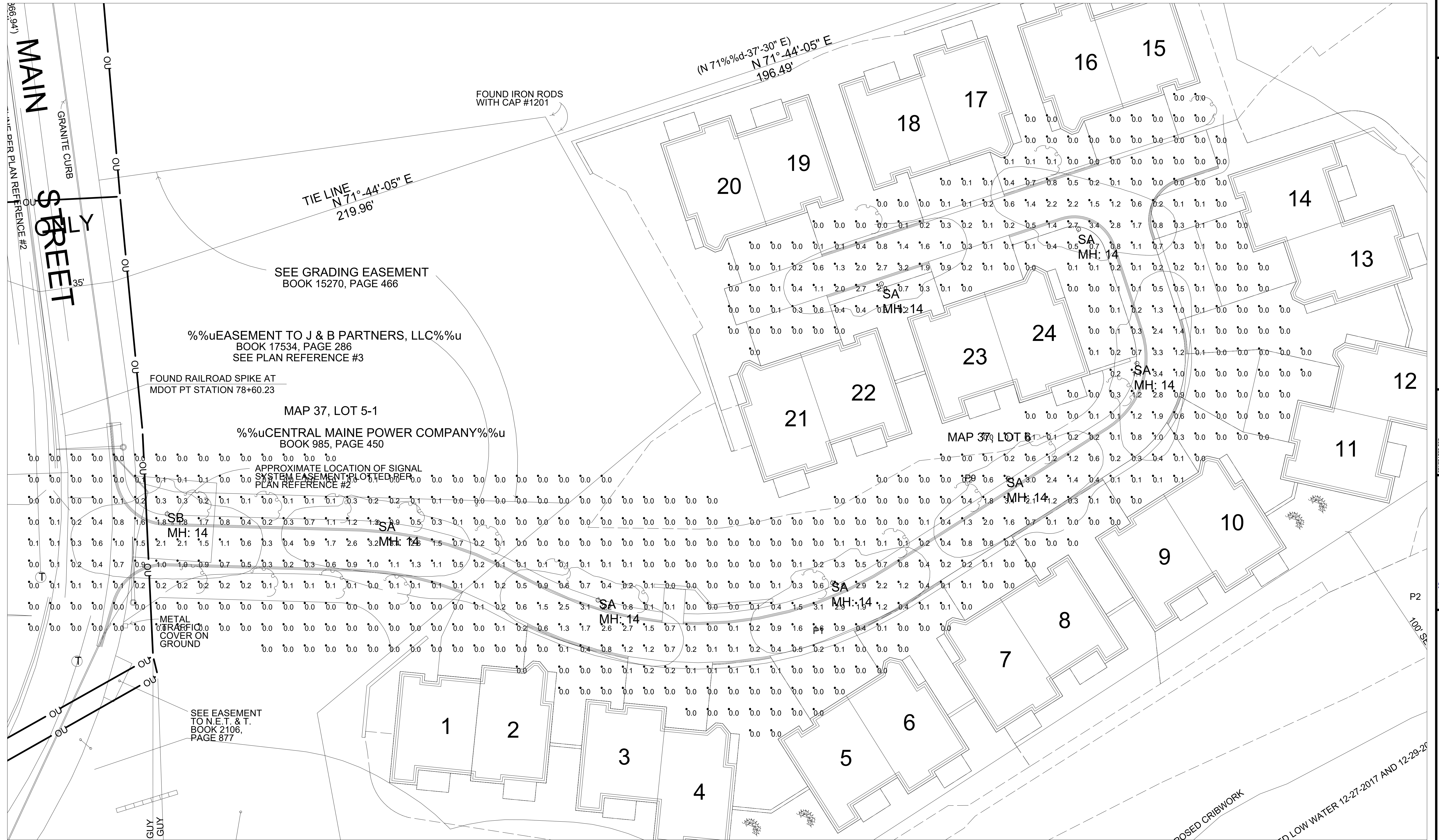
Drawing Name:	UTILITY PLAN
Project:	24 UNIT TOWNHOUSES AT FACTORY ISLAND EAST Saco, Maine
Client:	SACO ISLAND VENTURES 8 Doaks Lane, Marblehead, Mass. 01945

Drawing No.	C-4.0
-------------	-------

Luminaire Schedule (note fixture catalogue numbers are not complete)					
Type	Qty	Lum. Lumens	LLF	Lum. Watts	Description
SA	7	3788	0.900	31.52	UCM2-ANG-36L-260-3K7-2
SB	1	3709	0.900	32.37	UCM2-ANG-36L-260-3K7-3

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
SITE	0.36	3.4	0.0	N.A.	N.A.

- NOTES:
- 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 - 2) CALCULATIONS MAY OR MAY NOT SHOW THE EFFECT OF SHADOWING CAUSED BY BUILDINGS AND OBJECTS WITHIN THE CALCULATED SPACE OR IN THE SITE AREA.
 - 3) READINGS SHOWN ARE INITIAL HORIZONTAL FOOTCANDLES ON A FLAT SITE WITHOUT REFLECTIONS OR OBSTRUCTIONS UNLESS OTHERWISE INDICATED.
 - 4) THIS CALCULATION IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO SWANEY LIGHTING ASSOCIATES AND STANDARD ASSUMPTIONS OF THE SPACE AND/OR SITE.
 - 5) CONFORMANCE TO CODES AND OTHER LOCAL REQUIREMENTS AS DETERMINED BY THE AHJ ARE THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
 - 6) THIS LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
 - 7) DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY APPEAR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.



PLAN VIEW

GENERATED FOR: **GORRILL PALMER**
 SCALE: NOT TO SCALE
 DATE: 3/3/2021
 Page 1 of 1
 GENERATED BY SWANEY LIGHTING, SCARBOROUGH ME - 207-883-7100 - swaneylighting.com

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March 15, 2021

**Mr. Bob Hamblen,
City Planner
300 Main Street
City of Saco, Maine 04072**

**Subject: Saco Harborside
24 Unit Townhouse development
Factory Island East
Letter of Response #4 – Department of Public Works Comments**

Dear Bob:

Gorrill Palmer has received via email additional staff review comments from Joe Laverriere, City Engineer from the Department of Public Works dated February 26, 2021 and the peer review comments from Regina Leonard, RS Leonard Landscape Architecture dated March 4, 2021. We have reviewed these additional comments and we offer the following supporting information for your review:

Joe Laverriere, City Engineer, Comments Dated February 26, 2021:

1. Has any follow up been performed with the resource agencies as requested in their review letters?

Response: In 2018 all of the agencies had previously replied that the proposed development of the east side of the island involved no endangered species, archaeological or historic sites or items of importance to them. We recently resent agency determination letters for this project. Our office received response letters from Maine Natural Areas Program, US Fish & Wildlife, MHPO and Penobscot Tribe which are provided with this letter. The Maine IF&W Department indicated their findings were unchanged via email to the city Planner. A letter/email was received by the Penobscot Tribe inquiring if the site had been previously disturbed and if an archeological survey will be completed. We responded that the site had previously been disturbed since 1800's and was utilized for industrial and commercial purposes . We indicated further that no archaeological survey would be performed. We did receive a response from the MHPO which concluded "there will be no historic properties affected by the proposed undertaking".

2. We would concur with the applicant that stormwater quantity control is not required since surface runoff from the applicant's property will discharge directly to the Saco River, however, peak discharge rates are still required to be calculated to determine:

- capacity storm drain pipe networks;*
- flood depths of stormwater BMPs;*
- requirements for emergency spillways or overflows during larger storm events; and*
- stability analysis for emergency spillways and naturalized areas down stream of outfalls.*



Response: As shown in the Pipe Schedule on C-5.0 the storm drainage system consists of 8” to 12” diameter pipe for collection and conveyance of stormwater runoff. We have six separate small water quality treatment BMP’s across the site to capture, treat and discharge runoff to the river. A series of catch basins in the access drive will rely on a 12” conveyance system to collect 50,821 SF (1.17ac) of contributing area. The pipe capacity of a 12” pipe flowing full at 1% slope will be 3.87CFS. The attached summary table for each of the contributing drainage areas to each BMP outlines the predicted flows based on a simply Rational Method examination for a 10 yr and 25 yr storm occurrence. The stormwater BMPs have been designed in accordance with the MaineDEP BMP Manual and applicable design guides. An additional analysis will be provided under separate cover to review BMP routing and efficiency of overflow devices.

- 3. A note should be added to the plan set indicating that the owner shall be required to inspect the stormwater management system on an annual basis., perform required annual maintenance, and submit an annual report to DPW by July 15th of each calendar year. In addition, the applicant is required to execute Form 1 within Section 805 of the Zoning Ordinance prior to the start of construction and Form 2 as part of the future annual reporting effort.*

Response: A note has been added to the plan set as requested. The Applicant will execute the applicable Form-1 and Form-2 and we note that this is recommended as a Condition of Approval, below.

- 4. Provide detail for utility trench restoration work within Main Street. Temporary restoration shall include full depth placement of binder pavement thickness to match existing pavement thickness. Binder pavement placement shall be in maximum 2” thick lifts compacted. The minimum binder pavement thickness shall be 4”. The top of the binder pavement material shall match the surrounding existing roadway surface pavement. The existing pavement joint shall receive tack coat before placement of binder pavement.*

Temporary trench pavement shall be maintained until the fall of the following year.

The final pavement restoration (September 15th through October 15th of following year), the existing pavement surface area shall be milled to a depth of 1-1/2” in preparation of placement of final surface pavement course. The extent of pavement milling shall include the full intersection area as shown on Sheet C-3.0 of the plan set. The surface of the milled trench area and butt joints shall receive bituminous tack coat.

Response: A utility detail and accompanying plan notes has been added to Sheet C-7.0.

- 5. Will the site be subject to a VRAP? What are the requirements for soil handling, exposure, etc.?*

Response: The previous owners had sought coverage under the MaineDEP’s VRAP program; however, the current owner/applicant has not yet engaged the MaineDEP for an updated review and issuance of a No Action Assurance letter for this current project. The Applicant does however reserve the right to seek liability protection under the VRAP, at which time, they will coordinate with the MaineDEP to assure proper remediation and handling of contaminated materials.



6. *Are there any special or hazardous materials that will need to be handled and disposed offsite?*

Response: Previous Phase I ESA's and VRAP documentation have identified contaminated soils on the site. As previously stated, the Applicant reserves the right to seek coverage under the VRAP. Prior to commencement of site work, the Applicant will work with an environmental specialist to consult the MaineDEP's Remedial Action Guidelines for Contaminated Soils and work with the Department to ensure proper disposal of these materials in accordance with Local, State and Federal regulations, as they may be uncovered.

7. *As commented previously, previous discussions on the development of this site included the installation of a sidewalk along the easterly side of Main Street from the project entrance towards Pepperrell Square. We believe this should still be included as part for the development of the site.*

Response: The Applicant is amenable to constructing a sidewalk along the easterly side of Main Street to Pepperrell Square. However, discussions should be had between the City and Applicant as to possible cost sharing of the sidewalk as much of the sidewalk will extend beyond the project frontage on Main Street. In addition, specifics on the sidewalk design including width, surface material and curbing are needed as well as whether any temporary or permanent easements from CMP are needed to actually construct the sidewalk. Ultimately, the parties should discuss whether the applicant is only responsible to contribute funds to the effort or will they need to retain services for the design and actual construction of the work.

8. *As commented previously, vehicular and pedestrian traffic movements will likely be a significant item of discussion as this project moves forward. Traffic signalization on the project's entrance onto Main Street is critically important to how these movements will operate and function.*

The current plan indicates the project entrance onto Main Street to be an unsignalized intersection until the traffic signal is activated. This implies the traffic signal will not be in place at the completion of this project. If that is indeed the case, then:

- *From a vehicle point of view, this will result in increased difficulty for turning movements (particularly left turns out of the two opposing driveways onto Main Street) that is anticipated to result in a safety concern.*
- *From a pedestrian point of view, this will adversely impact pedestrian accommodations. Without a functional traffic signal, DPV is not supportive of the pedestrian crosswalk across Main Street as shown on the concept plan. Without this sidewalk, how will pedestrian connectivity be provided to the westerly side of Main Street?*

Has the applicant performed a signal warrant analysis?

Response: A signal warrant analysis has not been performed for this current project. We would request the final coordination and design relating to potential intersection and crosswalk improvements be provided as a condition of approval tied to the issuance of a building permit.



9. *As commented previously, final hydrant locations throughout the site shall be determined by the Saco Fire Department. It is our understanding that any new onsite fire hydrants will be private. The applicant should consult with the Saco Fire Department on requirements for future maintenance agreements for the private hydrants.*

Response: We are currently working with David Pendleton from the Saco Fire Department to ensure the final hydrant locations are satisfactory to the Fire Department. The Department replied on March 8 that the two private fire hydrants looked reasonably spaced. We have noted that access and a fire supply line will be available to the head of any future marina wharf/float assembly. We await a reply from the fire department as to the need for sprinklers in the townhouses and will comply to whatever determination the AHJ provides. We will also review and provide if necessary individual Knox boxes for each unit as suggested by Mr. Pendleton.

10. *The final design of the water distribution system shall be reviewed and approved by the Main Water Company prior to Final Approval.*

Response: We have provided confirmation of the Maine Water Company's ability to serve the project to the Planning Department via email. We will continue to review the final water distribution design with Maine Water to satisfy their requirements.

11. *The applicant should consult with the Code Enforcement Office for Flood Hazard Permit requirements associated with construction activities and fill encroachments within the 100-year flood zone.*

Response: The team will contact the CEO regarding provisions for a Flood Hazard Permit as part of the Building Permit process.

12. *Are foundation perimeter drains proposed to be installed for units 7-24? If so the locations of the foundation drains including outfall locations, should be shown on the plans.*

Response: Based on available boring log and test pit data, groundwater was encountered at depths of 3-4 feet below surface grade in locations along the south side of the property where existing grade is lowest. All buildings will have foundation drains that will discharge to daylight as shown on the plans.

13. *The total water quality storage volumes should be provided above the surface of the soil filter basins. In addition, emergency spillways and/or secondary, high level outlets should be provided above the water quality storage level with sufficient free board height to the top of berm. This will require routing larger storm event (50-year storm) through each of the BMPs.*

Response: Per the response to comment #2 above, the BMPs proposed have been designed per the MaineDEP's BMP Technical Design manual. Specifically, for the bio-filters, the water quality storage volume is permitted to be achieved by utilizing 6" of ponding above the filter bed and 6" of storage within the filter section (18" filter section accounts for 33% voids). These filters are essentially "rain gardens" that are shallow basins and are equipped with overflow standpipes 6" above the filter bed surface. An analysis of the BMP routing will be provided under separate cover.



14. *As commented previously, multiple rows of perimeter erosion control measures should be required along the edge of the Saco River. In addition, temporary sediment sumps will likely be required to effectively control sediment laden runoff water during construction. The site specific erosion control plan should include additional measures to protect the Saco River.*

Response: Two rows of erosion control berm have been added to the erosion control plan and the landscape plan will be reviewed for additional opportunity for permanent slope stabilization. These plans will be provided as part of the final erosion control plan that is currently being compiled as part of the Maine Construction General Permit.

As part of any subsequent site plan or subdivision approval, we recommend the following conditions be included:

1. *Prior to the start of construction, the applicant shall be required to execute Form 1 contained in Section 805 of the zoning ordinance and provide a recorded copy to the City.*
2. *The applicant shall be required to perform routine inspection and maintenance of the stormwater facilities as outlined in the operations and maintenance manual development specifically for the site. A copy of the annual inspection and maintenance report including inspection log(s) shall be submitted annually (by July 15th of each year) to the City Public Works Department.*
3. *The design engineer shall be required to inspect the construction and stabilization of the soil filter basins and underground storage systems to be constructed on the site in accordance with the requirements contained in Chapter 7 of the MDEP's Volume III Stormwater BMP Technical Design Manual. Inspections shall be performed as detailed in the Construction Oversight requirements contained in Section 7.1. Additionally, the contractor shall identify the location of the source of each component of the filter media and perform all testing and submittals as listed in the Testing and Submittals contained in Section 7.1.*
4. *The design of the private pump station shall meet the requirements of the WRRD. The final design data for force main hydraulic analysis, pump system head condition, pump selection and complete pump station design details shall be submitted for review and approval by the City prior to the start of construction. Any impacts of the final pump station design on the approved site plans will need to be reflected on the final site plans prior to the start of construction and may require site plan amendment.*
5. *A renewable contract with a qualified, third party agency to perform semi-annual inspection, maintenance and operation of the private pump station. The language for the renewable contract should be submitted to the City WRRD for review and approval prior to the start of construction.*
6. *All work within the public right-of-way shall be subject to the terms and conditions of a Street Opening Permit to be issued by DPW. The developer shall be responsible for applying and obtaining a Street Opening Permit prior to the start of any work within the public right-of-way.*

Response: We are in agreement with these conditions of approval. The conditions have been added to the project cover sheet to help memorialize into the documents. Final updates can be made to the plans upon final approval by the PB and issuance of the findings by the Planning Department.

RS Leonard Landscape Architecture, Landscape Peer Review Comments Dated March 4, 2021:

The Site Plan includes the development of 12 duplexes with shared driveways but no parking lots that would trigger landscaping requirements under Section 230-708. The property has no frontage on Main Street and has an easement from CMP for access



to the property. There is negligible clearing required for access into the site., and the CMP property provides buffering of the site from Main Street. The development is a residential use and does not trigger Article VIII “Good Neighbor” performance standards. The landscaping should be adjusted to provide a more diversified approach to restoration and stabilization of the riverbank under Article XI.

Response: No further response required.

230-708.C8 Buffers – *No off-street parking lots are proposed for the project.*

Response: No further response required.

203-708.C9 Landscaping – *Existing landscaping has been preserved in the lower portions of the site. Reference the Additional Notes herein.*

a.1. Parking Lots in Residential Districts – *N/A*

a.2. Large Parking Areas – *N/A*

a.3. Front Buffers – *There are no onsite parking lots, and the property has no frontage on Main Street.*

a.4. Special Route 1 Standards – *N/A*

a.5. Alternate Buffers and Screening – *N/A*

a.6. Special Main Street Standards – *N/A*

a.7. Installation, Maintenance, and Financial Guarantees – *The provisions for landscape installation and maintenance and warranties should be reflected in the plan set notes. The plant guarantee language should be adjusted as noted below and should include parameters for watering.*

- *Adjust the guarantee language in the Landscape Notes on Sheet C-1.1 related to plant performance. Swap out “shall have at least 80% healthy growth” for a higher standard, such as, “during the one-year guarantee, the contractor shall replace, in kind, any dead, diseased, or substandard plant material at no cost to the owner. All material shall conform to the current edition for the American Standard for Nursery Stock.”*
- *The performance of the erosion control and restoration mix is critical, so the plan notes should specify the minimum performance standards for the establishment of seeded areas and include watering as part of the maintenance period provisions.*

Response: The plans have been updated to address these comments.

Article VIII. Good Neighbor Performance Standards:

230-804 Exterior Lighting – *It is assumed that exterior lighting has been reviewed by others as part of the peer review.*

230-807.B Screening: Non-residential uses abutting residential districts – *N/A*

Response: No further response required.



Article XI Site Plan Review Approval Criteria:

230-1106.C Natural Features – *The existing site has been extensively developed in the past and has no significant natural features to preserve, save for the river frontage. The site grading and stormwater treatment impact most of the site.*

Response: No further response required.

230-1106.F Landscaping – *The residential development is bordered by CMP property, the river, and is buffered from Main Street by existing vegetation.*

The landscape restoration of the slopes on the southern portion of the site should be diversified to include shrub massing and additional trees to stabilize the riverbank in addition to the seeded areas.

Given the extent of invasive species on the property, the landscape plan should specify an invasive species treatment, monitoring, and management plan, including the handling/disposal of soils containing seeds, root masses, or fragments of invasive species.

Response: The landscape plan has been updated to address these comments. An invasive species treatment plan notes have been added to the landscape plan.

230-1106.G Off Site Impacts – *Some additional consideration should be given to softening the visual impacts of the site development from Mechanics Park and the Saco River.*

Response: The landscape plan has been updated to provide additional plantings along the south facing fill areas of the project.

Additional Comments:

1. *Sheet C-5.0:*
 - a. *Specify the plantings proposed for the stormwater treatment areas, including the Filterra Bioscape Vaults and bioretention filter beds (rain gardens).*
2. *Sheet C-6.0:*
 - a. *The applicant should consider substituting the Sugar Maples and Yellow Birch with species that would be more tolerant of the site conditions, such as Red Maple and Gray Birch.*
 - b. *Sheet C-6.0 Seeding Notes: Change the application rate to 35 lbs/acre per the seed mix specifications provided by New England Wetland Plants. The sloped areas that receive this mix should also be stabilized with turf reinforcement mat*

Response: Planting material has been added to the rain garden detail sheet. The seeding application rate has been increased to 35 lbs/acre.

3. *Sheet C-7.4:*
 - a. *Detail G for the Bioretention Filter references, “See landscape plan for specific basin plantings.” Provide planting information for each of the biofilters that calls out species, quantities, and condition.*



- b. Detail D for Underdrained Grassed Soil Filters should reference “New England Erosion control/Restoration Mix for Dry Sites” The nature of the soil filter material may require added watering for proper establishment, and this should be covered by the maintenance period specifications for watering.*

Response: See the updated C-5.2 plan for additional information on specific basin plantings.

4. Sheet C-7.5:

- a. Detail B for the Filterra Bioscape Vaults calls out, “plant provided by Contech.: however, Contech notes that the plant selection shall be done by the Engineer. Update the plans to specify plant species, quantity, and conditions for each of the stormwater treatment units.*

Response: The detail has been updated to clarify the plant material for the vaults.

5. Sheet C-7.8:

- a. Narrow the pH range to 6.0-7.0 for lawn areas.*
- b. Add “For Dry Sites” to specify the exact seed mix under the Seeding Plan: Erosion Control Mix. Update the species to sync with the specified mix.*
- c. Specify a compost material, either as a proprietary or performance specification. For example, animal manure is not an acceptable compost given the environmental sensitivity of the site and issues with invasive plants.*

Response: Appropriate notes have been added/updated on the plan sheets.

- 6. It appears that the applicant has chosen a more minimalist approach to restoration than described in the letter dated November 17, 2020 and accompanying the application. This raises the following questions and comments:*
 - a. Reference the comments under Article XI herein regarding the diversification of the landscape restoration plantings.*
 - b. Does the applicant intend to provide any landscaping around the duplex units?*
 - c. Alder and Birch, contrary to being characterized as invasive in the narrative, are beneficial native species that are valuable for their site stabilization and soil remediation capabilities. These species should be retained if practical.*
 - d. As noted earlier herein, the landscape plan and the approach to revegetation should be responsive to the prevalence of the invasive species on site and include provisions for management, monitoring, and maintenance of invasive plantings and soil materials.*

Response: The landscape plan provides a significant amount of new plant material and ground coverage. The proposed landscaping combined with existing vegetation provides coverage for over 3.7ac (67.3%) of the 5.5 acre site.

We look forward to your review of the accompanying materials and trust you will find the information sufficient to consider the application satisfactory to allow the Planning Board to find the application is complete and suitable to consider an approval, with conditions as suggested in this letter or otherwise developed by the Planning Department and Board.



If you have any questions with the information being submitted, please contact our office.

Sincerely,

GORRILL PALMER

A handwritten signature in black ink, appearing to read 'Kaleb Bourassa', written in a cursive style.

Kaleb Bourassa, EI
Project Engineer
kbourassa@gorrillpalmer.com

c: Ted Moore Saco Island Ventures (email)
Bernie Saulnier (email)
Paul Weinstein
Tony Sasso

Attachments:

Table 1 – BMP Outlet Rational Method
Agency Response Letters
Plan Sheets

u:\13738.01_24 unit townhouse-factory island east- sacco, melp applications\local\lor #4\lor #4 hamblen_03.15.2021_final.docx

TABLE

**Table 1 - Rational Method Stormwater BMP Outlet Pipe Sizing Computation
25-Year Storm Event**

03.09.2021

Designed By: KAB

Checked By: SRB

Structure ID	Tributary Impervious Area (sf)	Tributary Pervious Area (sf)	Total Area, A (ac)	Weighted C	25 Year Flow, Q (cfs)	Total Flow to Outlet (cfs)	Outlet Pipe Diameter (in)	Slope (ft/ft)	Flow Velocity (ft/s)	Maximum Flowing Full Capacity (cfs)
Bio-Filter #1	3,677	6,483	0.23	0.52	0.70	0.70	6	0.06	7.60	1.49
Bio-Filter #2	5,482	10,325	0.36	0.51	1.07	1.07	8	0.07	9.95	3.47
Bio-Filter #3	3,677	7,219	0.25	0.50	0.73	0.73	8	0.055	8.82	3.08
Bio-Filter #4	0	2,350	0.05	0.30	0.09	0.09	8	0.01	3.76	1.31
FBSV #1-2	44,445	34,057	1.80	0.64	6.69	6.69	18	0.01	6.46	11.41
GUSF #1	25973	15,514	0.95	0.68	3.73	3.73	12	0.027	8.10	6.36

RESPONSE LETTERS



STATE OF MAINE
DEPARTMENT OF
INLAND FISHERIES & WILDLIFE
284 STATE STREET
41 STATE HOUSE STATION
AUGUSTA ME 04333-0041

CHANDLER E. WOODCOCK
COMMISSIONER

June 1, 2018

Tim Forrester
Atlantic Environmental, LLC
135 River Road
Woolwich, ME 04579

RE: Information Request - Factory Island, Saco

Dear Tim:

Per your request received May 9, 2018, we have reviewed current Maine Department of Inland Fisheries and Wildlife (MDIFW) information for known locations of Endangered, Threatened, and Special Concern species; designated Essential and Significant Wildlife Habitats; and inland fisheries habitat concerns within the vicinity of the *Factory Island Project* in Saco.

Our Department has not mapped any Essential Habitats or inland fisheries habitats that would be directly affected by your project.

Endangered, Threatened, and Special Concern Species

Bats

Of the eight species of bats that occur in Maine, the three *Myotis* species are protected under Maine's Endangered Species Act (MESA) and are afforded special protection under 12 M.R.S §12801 - §12810. The three *Myotis* species include little brown bat (State Endangered), northern long-eared bat (State Endangered), and eastern small-footed bat (State Threatened). The five remaining bat species are listed as Special Concern: big brown bat, red bat, hoary bat, silver-haired bat, and tri-colored bat.

While a comprehensive statewide inventory for bats has not been completed, based on historical evidence it is likely that several of these species occur within the project area during migration and/or the breeding season. We recommend that you contact the U.S. Fish and Wildlife Service--Maine Fish and Wildlife Complex (Wende Mahaney, 207-902-1569) for further guidance, as the northern long-eared bat is also listed as a Threatened Species under the Federal Endangered Species Act. Otherwise, our Agency does not anticipate significant impacts to any of the bat species as a result of this project.

Significant Wildlife Habitat

Significant Vernal Pools

At this time, MDIFW Significant Wildlife Habitat (SWH) maps indicate no known presence of SWHs within the project area, which include Waterfowl and Wading Bird Habitats, Seabird Nesting Islands, Shorebird Areas, and Significant Vernal Pools. However, a comprehensive statewide inventory for

Letter to Tim Forrester
Comments RE: Factory Island, Saco
June 1, 2018

Significant Vernal Pools has not been completed. Therefore, we recommend that surveys for vernal pools be conducted within the project boundary by qualified wetland scientists prior to final project design to determine whether there are Significant Vernal Pools present in the area. These surveys should extend up to 250 feet beyond the anticipated project footprint because of potential performance standard requirements for off-site Significant Vernal Pools, assuming such pools are located on land owned or controlled by the applicant. Once surveys are completed, our Department will need to review and verify any vernal pool data prior to final determination of significance.

This consultation review has been conducted specifically for known MDIFW jurisdictional features and should not be interpreted as a comprehensive review for the presence of other regulated features that may occur in this area. Prior to the start of any future site disturbance we recommend additional consultation with the municipality, and other state resource agencies including the Maine Natural Areas Program, the Maine Department of Marine Resources, and the Maine Department of Environmental Protection in order to avoid unintended protected resource disturbance.

Please feel free to contact my office if you have any questions regarding this information, or if I can be of any further assistance.

Best regards,

A handwritten signature in blue ink, appearing to read "John Perry". The signature is fluid and cursive, with a large initial "J" and a long, sweeping underline.

John Perry
Environmental Review Coordinator



United States Department of the Interior



FISH AND WILDLIFE SERVICE

Maine Ecological Services Field Office

P. O. Box A

East Orland, ME 04431

Phone: (207) 469-7300 Fax: (207) 902-1588

<http://www.fws.gov/mainefieldoffice/index.html>

In Reply Refer To:

February 22, 2021

Consultation Code: 05E1ME00-2021-SLI-0708

Event Code: 05E1ME00-2021-E-02156

Project Name: Saco Harborside at Factory Island East - Saco, ME

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies the threatened, endangered, candidate, and proposed species and designated or proposed critical habitat that may occur within the boundary of your proposed project or may be affected by your proposed project. This species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 et seq.).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC Web site at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 et seq.), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2) (c)). For projects other than major construction activities, the Service suggests that a biological evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the Endangered Species Consultation Handbook at: <http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF>

This species list also identifies candidate species under review for listing and those species that the Service considers species of concern. Candidate species have no protection under the Act but are included for consideration because they could be listed prior to completion of your project. Species of concern are those taxa whose conservation status is of concern to the Service (i.e., species previously known as Category 2 candidates), but for which further information is needed.

If a proposed project may affect only candidate species or species of concern, you are not required to prepare a Biological Assessment or biological evaluation or to consult with the Service. However, the Service recommends minimizing effects to these species to prevent future conflicts. Therefore, if early evaluation indicates that a project will affect a candidate species or species of concern, you may wish to request technical assistance from this office to identify appropriate minimization measures.

Please be aware that bald and golden eagles are not protected under the Endangered Species Act but are protected under the Bald and Golden Eagle Protection Act (16 U.S.C. 668 et seq.). Projects affecting these species may require development of an eagle conservation plan: http://www.fws.gov/windenergy/eagle_guidance.html Information on the location of bald eagle nests in Maine can be found on the Maine Field Office Web site: <http://www.fws.gov/mainefieldoffice/Project%20review4.html>

Additionally, wind energy projects should follow the wind energy guidelines: <http://www.fws.gov/windenergy/> for minimizing impacts to migratory birds and bats. Projects may require development of an avian and bat protection plan.

Migratory birds are also a Service trust resource. Under the Migratory Bird Treaty Act, construction activities in grassland, wetland, stream, woodland, and other habitats that would result in the take of migratory birds, eggs, young, or active nests should be avoided. Guidance for minimizing impacts to migratory birds for projects including communications towers (e.g., cellular, digital television, radio, and emergency broadcast) can be found at: <http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/towers.htm> and at:

<http://www.towerkill.com>; and at:

<http://www.fws.gov/migratorybirds/CurrentBirdIssues/Hazards/towers/comtow.html>

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Tracking Number in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List
-

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Maine Ecological Services Field Office

P. O. Box A

East Orland, ME 04431

(207) 469-7300

Project Summary

Consultation Code: 05E1ME00-2021-SLI-0708

Event Code: 05E1ME00-2021-E-02156

Project Name: Saco Harborside at Factory Island East - Saco, ME

Project Type: LAND - CLEARING

Project Description: Proposed 24 Townhome Residential Project

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@43.493980699999994,-70.44584555418896,14z>



Counties: York County, Maine

Endangered Species Act Species

There is a total of 1 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

-
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Mammals

NAME	STATUS
Northern Long-eared Bat <i>Myotis septentrionalis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9045	Threatened

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

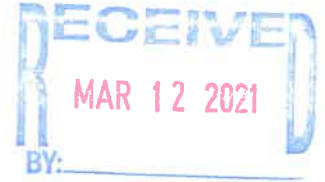


MAINE HISTORIC PRESERVATION COMMISSION
55 CAPITOL STREET
65 STATE HOUSE STATION
AUGUSTA, MAINE
04333

JANET T. MILLS
GOVERNOR

KIRK F. MOHNEY
DIRECTOR

March 8, 2021



Ms. Celina Daniell
Gorrill Palmer
707 Sable Oaks Drive
Suite 30
South Portland, ME 04106

Project: MHPC #0351-21 Saco Island Ventures LLC; Saco Harborside at Factory Island
25 Townhome Residential Development
Town: Saco, ME

Dear Ms. Daniell:

In response to your recent request, I have reviewed the information received February 23, 2021 to initiate consultation on the above referenced project in accordance with the requirements of the Maine Department of Environmental Protection.

Based on the information submitted, I have concluded that there will be no historic properties (archaeological or architectural) affected by the proposed undertaking, as defined by Section 106 of the National Historic Preservation Act.

Please contact Megan Rideout at (207) 287-2992 or megan.m.rideout@maine.gov if we can be of further assistance in this matter.

Sincerely,

Kirk F. Mohney
State Historic Preservation Officer

From: [Donald Soctomah](#)
To: [Celina Daniell](#)
Subject: Re: Saco Island - Main Street - Saco, ME
Date: Wednesday, March 10, 2021 08:15:17 PM
Attachments: [image001.png](#)
[image002.png](#)
[image002.png](#)

Ok, thanks.

On Wed, Mar 10, 2021, 5:28 PM Celina Daniell <cdaniell@gorrillpalmer.com> wrote:

Hi Donald – no we are not intending on performing an archaeological survey on the site.

Celina Daniell | Senior Technical



207.772.2515 x294 (office)

www.gorrillpalmer.com

From: Donald Soctomah <soctomah@gmail.com>
Sent: Monday, March 8, 2021 11:02 AM
To: Celina Daniell <cdaniell@gorrillpalmer.com>
Subject: Re: Saco Island - Main Street - Saco, ME

Hi Celina;

Has this site been previously disturbed?

Donald

On Mon, Feb 22, 2021 at 6:16 PM Celina Daniell <cdaniell@gorrillpalmer.com> wrote:

Attached please find a historic review of property located at 100 Main Street in Saco, ME

From: [Celina Daniell](#)
To: "[Donald Soctomah](#)"
Subject: RE: Saco Island - Main Street - Saco, ME
Date: Wednesday, March 10, 2021 05:28:00 PM
Attachments: [image001.png](#)
[image002.png](#)

Hi Donald – no we are not intending on performing an archaeological survey on the site.

Celina Daniell | Senior Technical



207.772.2515 x294 (office)

www.gorrillpalmer.com

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If you have any questions, please contact me.

Thank you,

Celina Daniell | Senior Technical



707 Sable Oaks Drive, Suite 30 | South Portland, ME 04106

207.772.2515 x294 (office)

www.gorrillpalmer.com

From: [Celina Daniell](#)
To: ["Donald Soctomah"](#)
Subject: RE: Saco Island - Main Street - Saco, ME
Date: Wednesday, March 10, 2021 04:06:00 PM
Attachments: [image001.png](#)
[image002.png](#)
[image004.png](#)
[image006.png](#)

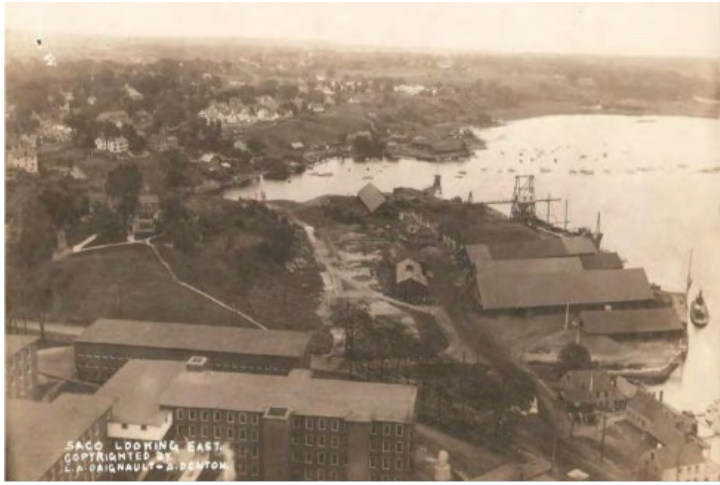
Hi Donald

The site was utilized for industrial and commercial purposes since at least the early 1800's and historic photographs are included below. Although it has not been utilized for these purposes in recent years, historic evidence shows that the site was highly industrialized over various periods of the past two centuries and there are remnants of this previous development visible today. The site's current conditions consists of mostly overgrown grounds that have filled in with invasive vegetation that covers various remnants of an industrial use past.

The previous owner received a MaineDEP permit for development in 2000 but never developed the property.

Photographs from 1915





Celina Daniell | Senior Technical



207.772.2515 x294 (office)

www.gorrillpalmer.com

From: Donald Soctomah <soctomah@gmail.com>

Sent: Monday, March 8, 2021 11:02 AM

To: Celina Daniell <cdaniell@gorrillpalmer.com>

Subject: Re: Saco Island - Main Street - Saco, ME

Hi Celina;

Has this site been previously disturbed?

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Attached please find a historic review of property located at 100 Main Street in Saco, ME

If you have any questions, please contact me.

Thank you,

Celina Daniell | Senior Technical



707 Sable Oaks Drive, Suite 30 | South Portland, ME 04106

207.772.2515 x294 (office)

www.gorrillpalmer.com

Tribal Historic Preservation Office
Passamaquoddy Tribe
PO Box 159 Princeton, Me. 04668
207-214-4051

March 8, 2021

Gorrill Palmer

Celina Daniell | Senior Technical
707 Sable Oaks Drive, Suite 30 |
South Portland, ME 04106

Re: Saco – 100 Main Street

Dear Celina;

The Passamaquoddy THPO has reviewed the following application regarding the historic properties and significant religious and cultural properties in accordance with NHPA, NEPA, AIRFA, NAGPRA, ARPA, Executive Order 13007 Indian Sacred Sites, Executive Order 13175 Consultation and Coordination with Indian Tribal Governments, and Executive Order 12898 Environmental Justice.

Do you plan on conducting an archeological survey before this area is developed?

Sincerely;

Donald Soctomah
Soctomah@gmail.com
THPO
Passamaquoddy Tribe

GVA Responses to Zoning Code §230-729 D and E

- D. (1): The Drawings submitted depict in detail all floor plans and all elevations of the residential buildings typical of those that comprise this project.
- (2): The Drawings submitted indicate typical exterior finishes, selected for durability and minimum maintenance, including fiberglass asphalt shingle roofing, prefinished aluminum gutters and downspouts, solid (cellular) PVC trim, fiber-cement lap siding, composite deck railings, aluminum clad wood windows, and fiberglass faced doors.
- (3): The Drawings submitted indicate the design of exterior windows and doors. Most windows are to be double hung operating, with the exterior in a dark green color and with simulated divided lites, in a pattern common in late 19th century New England houses. Entrance doors are to be either 6 panel design or craftsman style design, with simulated divided lite sidelites and transoms. Patio doors at the rear of units will be either vinyl or aluminum clad wood, with simulated divided lites as shown on the Drawings.
- (4): There will be no proposed accessory structures of the types suggested.
- (5): Photographs of a similar development are included in the submission.
- E. (1): The location of this isolated site adjoining a mostly industrial-commercial area of Saco provides no particular direct contextual reference for scale. The two types of buildings illustrated in the submitted Drawings include one type that is to be sited with the street entry substantially above the grade at the rear of the building, allowing for a basement walkout condition. This building appears from the street to be primarily one story with a gabled dormer above the garage. The other type is to be sited where the street grade is substantially below the grade at the rear, so the garage is at street grade, the entry is a half level above the street, and the building appears from the street to be a two story structure. We feel that overall the scale of these buildings is appropriate to their residential nature and the vicinity of the project.
- (2): As described above, from the street the height of these buildings appears to be one to two stories. Because the main roofs of these buildings slope from the ridge at the middle depth of the structure to front and rear, the apparent height from the street is much less than the actual height. For both types, the maximum height from average grade around the foundation to the main ridge will be on the order of 35 feet.
- (3): Because this development is isolated from other buildings, and is self contained with its own street, there are no adjacent buildings with which alignment might be a concern. As shown on the site Drawings submitted, the buildings will primarily be aligned with each other along the street, respecting the topography of the site. All of

the entrances to the dwellings will be directly visible from the street.

- (4): The materials used on the building exteriors are entirely residential in character as indicated on the Drawings.
- (5): The roofs of these buildings are highly articulated, with varying gable and shed dormers on both front and rear elevations, and side entrance gables. All mechanical systems will be at ground level or otherwise concealed from street view.
- (6): The Drawings indicate that all expanses of walls will be broken up with fenestration, band courses and other architectural features.
- (7): The Drawings submitted indicate the design of exterior windows and doors. Most windows are to be double hung operating, some with arch headed transoms, and some special decorative windows, all with simulated divided lites, in a pattern common in late 19th century New England houses. Doors are to be either 6 panel design or craftsman style design, with simulated divided lite sidelites and transoms. Entrance porches will be roofed and will have composition railings appropriate to the architectural design.



February 22nd, 2021

GORRILL PALMER
ATTN: Kaleb Bourassa, EI
707 Sable Oaks Drive
Suite 30
South Portland, ME 04106

Re: Ability to Serve – Factory Island East Development, Saco, Maine

Dear Mr. Bourassa,

The Maine Water Company (MWC) has received your request for an Ability to Serve Determination on behalf of your client, Saco Island Ventures, for the property located 0 Main Street, Saco, Maine for the above referenced project. The request indicates a plan at, Map 37 / Lot 006 to build twelve, 2-story townhouse duplex style units creating 24 units total. The units are expected to be 3 bedrooms. The expected flow has been presented as 6,480 gallons per day (GPD) with a peak daily demand of 11,664 GPD. The complex is proposed to be served with public water and accessed from Main Street through an access easement across an abutting parcel. The static pressure in the area is approximately **55 psi**. Based on the criteria that has been presented, MWC does have sufficient capacity in the area from the existing 12-inch unlined cast iron main on Main Street to serve this project. Additional infrastructure improvements are required at the expense of the developer to meet the overall needs of this project.

Conditions of Service

- A hydrant flow test must be conducted at the expense of the developer at the nearest hydrant and analyzed by Maine Water and the local Fire Department to ensure adequate public fire protection is available at the expense of the developer.
- Private Hydrants that are required inside of the complex must be maintained at the expense of the property owner (Property Owner Association) and approved by the local Fire Department.
- An easement for access and operation of all water service valves on this property must be signed, notarized and registered with the county registry before activation. MWC will draft and supply this document to be executed by the owner.
- If private fire protection is required, either hydrants or sprinkler systems, the developer must review appropriate capacity relative to the proposed demand at the developer's time and expense.
- Additional coordination with MWC is required before construction. Maine Water requires upfront payment for inspection and paperwork to be fully completed before any construction on waterworks materials.

Should a Customer Agreement for service not be executed within one year of the date of this letter, MWC reserves the right to reevaluate its ability to serve this project.

All work must be completed in accordance with MWC Terms and Conditions as well as material specifications. All appropriate paperwork must be completed and deposit paid prior to the start of construction. Please forward all design plan revisions as the project develops to prevent construction delays. Water service will be provided in accordance with Maine Public Utility Commission rules. If you have any additional questions, please do not hesitate to contact our office at 1-800-287-1643 or by email at Marcus.Knipp@mainewater.com. We look forward to working with you throughout design and construction.

Sincerely,
The Maine Water Company

Marcus Knipp, E.I.T.
Engineer



STATE OF MAINE
 DEPARTMENT OF TRANSPORTATION
 16 STATE HOUSE STATION
 AUGUSTA, MAINE 04333-0016

Paul R. LePage
 GOVERNOR

David Bernhardt
 COMMISSIONER

Applicant: Saco Island East, LLC, Saco Island West, LLC, Saco Mill #4, LLC and Unit 91, LLC
 Project Location: East and west side of Route 9 (Main St., Saco, Maine
 Saco Tax Map # 037. Lot # 006, 001, 001-001, 001-002, 008, 005-001
 Project: Saco Island Redevelopment
 Identification #: REG. 01-00090-B-M
 Permit Category: > 200 PCE
 Traffic Engineer: Maine Traffic Resources
 Attn: Diane Morabito, PE, PTOE
 25 Vine St.
 Gardiner, ME 04345

Pursuant to the provision of 23 M.R.S.A. § 704-A and Chapter 305 of the Department's Regulations, the Department of Transportation has considered the application of the Saco Island East, LLC, Saco Island West, LLC, Saco Mill #4, LLC and Unit 91, LLC with supportive data, agency review and other related materials on file.

PROJECT DESCRIPTION

The proposed site is located on both the eastern and western sides of Route 9/Main Street on Saco Island. The site is currently occupied by several existing buildings. Two of these buildings are currently occupied and will remain unchanged under the proposed redevelopment scenario. These two buildings are described as follows: Building # 1 – Currently contains 90 residential units and 1 commercial unit and Building # 2 – Currently all existing commercial use. The buildings and proposed uses for the redevelopment project on the western side of Main Street are as follows: Building # 4 - Will be developed into 150 residential units, 4,000 sq ft high turnover sit down restaurant, 14,650 sf of general office space and 18,650 S.F. of manufacturing space; Building # 3 - Will be developed to contain a 8,325 S.F. Brew Pub on the first floor, 8,325 S.F. of office space on the second floor, and 5 residential units on the 3rd and 4th floors; Building # 7 – Will be developed to provide 10,000 S.F. of office space. Thirty residential townhomes, arranged in duplexes, are proposed to be located on the eastern side of the site. In addition, there will be a private 69-slip marina that will be limited to the condominium owners only.

The proposed new development in buildings # 3, 4, 7 and the new residential and marina use on the east parcel are expected to generate 222 one-way trips during the weekday AM peak hour, 368 during the weekday PM and 320 during the Saturday peak hour.

Findings



PRINTED ON RECYCLED PAPER

Saco – Saco Island Redevelopment

Reg. 01-00090-B-M

Page 2 of 3

Based on a review of the files and related information, the Department approves the Traffic Movement Permit Application of the Saco Island East, LLC, Saco Island West, LLC, Saco Mill #4, LLC and Unit 91, LLC subject to the following conditions:

On-Site Mitigation

The site shall be serviced by three entrance/exits: 1) a southerly access with an ingress lane and two exit lanes (right and a through/left) this access is located directly across from the drive serving the eastern parcel, 2) The middle access which will have a single ingress and egress lanes (the egress shall be right out only, once signalization is turned on) and 3) Gooch St access shall have one ingress and a separate right and left egress lanes.

Off-Site Mitigation

Route 9/Southerly access

Signalization warrants show marginally meeting a signal. The signal can be installed but will operate in the flash mode until such time that the traffic using the intersections triggers one of the Manual on Uniform Traffic Control Devices signalization warrants. The signal can not become fully operational without written consent from the Department. Signals shall be installed on mast arms.

Route 9/Gooch St access.

Signalization warrants show marginally meeting a signal. The signal can be installed but will operate in the flash mode until such time that the traffic using the intersections triggers one of the Manual on Uniform Traffic Control Devices signalization warrants. The signal can not become fully operational without written consent from the Department. Signals shall be installed on mast arms. Signal warrant analysis is required when development is at 85 percent developed.

Main St/North St. Intersection

The applicant shall pay the City of Saco an impact fee of \$25,000 to construct radius improvements.

North St./Elm St. Intersection

The applicant shall pay the City of Saco an impact fee of \$25,000 to construct radius improvements.

Main St Corridor from Town Line to North St.

The applicant shall work with the town to implement strategies to enhance the safety of pedestrians. Solutions could include flashing ped signals, enhanced crosswalk striping and/or in-the-road pedestrian signs. The Developer is also responsible for generating a Traffic Demand Mangement strategies and implementation of those strategies.


Overall Requirements

A. Provide all necessary auxiliary signs, striping and pavement markings to implement the improvements described herein according to MaineDOT and/or National standards.

B. All plantings and signs (existing and/or proposed; permanent and/or temporary) shall be placed and maintained such that they do not block available sight distances and do not violate the State's "Installations and Obstructions" law. No signage or plantings shall be allowed within the "clear zone" if they constitute a deadly fixed object as determined by the MaineDOT.

C. If any of the supporting data or representations for which this permit is based change in any way or are found to be incorrect or inaccurate, the applicant shall request in writing from MaineDOT a decision of what impacts those changes will have on the permit. The applicant will then be required to submit those changes for review and approval and additional mitigation as a result of those changes may be required at the expense of the applicant.

D. Because the proposed project affects the State Highway and drainage systems and requires improvement to that system, the applicant must obtain approval of the design plans and coordinate work through MaineDOT's State Traffic Engineer or Assistant State Traffic Engineer, who can both be reached at (207) 624-3620 in Augusta.

By: 

Stephen Landry, P.E.
Assistant State Traffic Engineer

Date: 3/13/15



NORTH SHORE BANK

February 12, 2021

To Whom It May Concern,

I have reviewed the proposed 12 building, 24 unit condominium development located on Saco Island East and attached a schematic plan. I have worked with Mr. Moore on a number of larger developments in several jurisdictions in Massachusetts. These include but are not limited to projects in Marblehead, MA (88 Units), Reading, MA (166 Units), Lexington, MA (36 Units) and Sherborn, MA (48 Units). All these projects involve greater financial commitment than the proposed 24 unit in Saco, ME.

On every one of Mr. Moore's projects our lending institution was paid back in full timely and in accordance with all terms and conditions. We are aware of the proposed project and would welcome the opportunity to participate in financing.

Please feel free to contact me in person if you need to discuss things further. I can be reached at (978)977-7722 or via email at pfenn@northshore-bank.com.

Sincerely,

Peter Fenn

Peter D. Fenn
Senior Vice President



February 12, 2021

To Whom It May Concern,

Please be advised that Mr. Edward T. Moore is a long-standing customer of Lowell Five. Over the years Mr. Moore's relationship has included road and infrastructure financing, subdivision financing, multifamily financing, and revolving lines of credit. Mr. Moore is highly regarded by Senior Management as a highly successful and experienced real estate developer. Based on his experience we welcome the opportunity to partner with Mr. Moore on his projects.

Regarding a proposed 12-building, 24-unit project along the Saco River in Saco, ME, I have reviewed the proposed site plan and the Bank is interested in partnering with Mr. Moore on this project. Final approval and credit extension, if granted, will be subject, but not limited to, the following conditions:

1. Receipt of all required State and Town approvals;
2. Receipt and satisfactory review of a subdivision appraisal with a maximum loan to value ratio of 75% at all times;
3. An updated satisfactory credit bureau report;
4. Updated proof of liquid reserves;
5. A full application including the total loan amount requested;
6. A budget and scope of work for the proposed development;
7. Final approval by the Bank's Board Loan Committee.

Please feel free to call me with any questions you may have. My direct line is (978) 441-6468.

Best Regards,

Mark M. Katimy, SVP

Mark M. Katimy
Senior Vice President
Commercial Loan Officer

From: [Bob Hamblen](#)
To: [Steve Bushey](#); [Isabelle Oechsle](#)
Subject: FW: Your 5-29-18 Stamp of Approval
Date: Friday, February 12, 2021 4:23:11 PM

Steve, here's what the MHPC advised. So, if no Army Corps permit being sought this time, I guess you're good.

So the 2018 project included a fairly significant stabilization of the southerly, maybe southeasterly shoreline of the Island, as I recall. No such work proposed as part of this project?

Thanks.

From: Rideout, Megan M <Megan.M.Rideout@maine.gov>
Sent: Friday, February 12, 2021 3:39 PM
To: Bob Hamblen <BHamblen@sacomaine.org>
Subject: RE: Your 5-29-18 Stamp of Approval

**[CAUTION: THIS EMAIL ORIGINATED FROM OUTSIDE THE CITY OF SACO
DOMAIN]**

Bob,

The letter that was sent to our office by Atlantic Environmental in 2018 is for an Army Corps of Engineers permit for the in-water work. Army Corps would have been the lead permitting agency if the project were completely permitted.

Depending on the permitting type needed for the new proposed project, Army Corps may or may not be involved. Also, Maine DEP may have some involvement with a site location of development permit which may or may not be needed for the new project. It would be up to Army Corps or DEP to determine if the 2018 response from our office is valid for the new project.

If either one of those agencies is not involved with the permitting, then it goes to what your local ordinance and permitting needs are and therefore, would be your decision on whether or not the sign-off from 2018 is valid for this new project.

Best,

Megan M. Rideout
Review & Compliance/CLG Coordinator
Maine Historic Preservation Commission
55 Capitol Street
65 State House Station
Augusta, Maine 04333
207.287.2992

From: Bob Hamblen <BHamblen@sacomaine.org>
Sent: Friday, February 12, 2021 3:26 PM
To: Rideout, Megan M <Megan.M.Rideout@maine.gov>
Subject: RE: Your 5-29-18 Stamp of Approval

EXTERNAL: This email originated from outside of the State of Maine Mail System. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Megan, that makes sense. In this case, the MHPC had been asked for its review and approval for a multi-use project on the easterly end of Saco Island. So, as the permitting agency, would the approval granted the earlier project still be valid for a smaller, residential-only project on the site? See attachment A, p. 10. Thanks.

From: Rideout, Megan M <Megan.M.Rideout@maine.gov>
Sent: Friday, February 12, 2021 11:16 AM
To: Bob Hamblen <BHamblen@sacomaine.org>
Subject: FW: Your 5-29-18 Stamp of Approval

[CAUTION: THIS EMAIL ORIGINATED FROM OUTSIDE THE CITY OF SACO DOMAIN]

Good Morning Bob,

It would be up to the permitting agency as to whether a three-year old review is still valid, especially for a smaller but different project.

Best,

Megan M. Rideout
Review & Compliance/CLG Coordinator
Maine Historic Preservation Commission
55 Capitol Street
65 State House Station
Augusta, Maine 04333
207.287.2992

From: Mohney, Kirk <Kirk.Mohney@maine.gov>
Sent: Friday, February 12, 2021 8:15 AM
To: Rideout, Megan M <Megan.M.Rideout@maine.gov>
Subject: FW: Your 5-29-18 Stamp of Approval

Good Morning Megan,

Please respond to Bob.

Thank you.

Kirk

From: Bob Hamblen <BHamblen@sacomaine.org>
Sent: Thursday, February 11, 2021 3:46 PM
To: Mohney, Kirk <Kirk.Mohney@maine.gov>
Cc: Isabelle Oechsle <IOechsle@sacomaine.org>
Subject: Your 5-29-18 Stamp of Approval

EXTERNAL: This email originated from outside of the State of Maine Mail System. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Greetings, Kirk,

In response to a 5/5/18 request from Tim Forrester, Atlantic Environmental (attached), you indicated no concerns with the project from a historic properties perspective. That project did not go forward. Another party is moving forward with a smaller project: 24 townhouse-style units in 12 building, also on Saco Island East. Would you May 2018 response still hold valid for the current proposal?

Thanks.

**Planning and Economic
Development**

Saco City Hall
300 Main Street
Saco, Maine 04072-1538



Bob Hamblen
City Planner

BHamblen@sacomaine.org
Phone: (207) 282-3487 ext.357

To: Planning & Development Review Committee
From: Planning Department
Date: February 12, 2021
Due Date: February 19, 2021
Review Type: Site Plan & Subdivision Review
Project: Saco Island East Condos

Please provide your review about the enclosed materials. Thank you.

Reviewer:

Review Time:

Comments:



CITY OF SACO, MAINE

Saco Public Works Department
15 Phillips Spring Road
Saco, Maine 04072

Joseph A. Laverriere, P.E. – City Engineer
Telephone: (207) 284-6641
Email: jlaverriere@sacomaine.org

MEMORANDUM

TO: Robert Hamblen, Planner
DATE: March 25, 2021
RE: **Saco Island East**
Tax Map 37, Lot 5-1 and 6

The Department of Public Works (DPW) has reviewed the revised site plan application materials for the above referenced project prepared by Gorrill-Palmer Consulting Engineers, dated March 15, 2021. The following comments and recommendations have been prepared based upon our review:

1. As stated previously, we would concur with the applicant that stormwater quantity control is not required since surface runoff from the applicant's property will discharge directly to the Saco River; however, peak discharge rates are still required to be calculated to determine:
 - capacity of storm drain pipe networks;
 - flood depths of stormwater BMPs;
 - requirements for emergency spillways or overflows during larger storm events; and
 - stability analysis for emergency spillways and naturalized areas down stream of outfalls.

The recent resubmittal did provide some initial limited peak flow analysis for the 25-year storm event; however, a complete capacity and stability analysis was not provided. The resubmittal materials indicated additional analysis to be provided under separate cover. Please be advised that the City requires the 50-year storm event for capacity analysis.

2. The recent resubmittal indicates that contaminated soils will be encountered during construction that will likely be handled through a VRAP. The applicant has not yet engaged the MDEP for an updated VRAP. It is our understanding that the applicant is seeking to defer this until after Site Plan approval. If that is indeed the case, then we would recommend an additional condition of approval be included to require the VRAP and associated construction timing, sequence and details be provided to the City prior to the start of construction.
3. The applicant has indicated a willingness to extend sidewalks along the easterly side of Main Street to connect to Pepperell Square. The applicant has requested that a dialogue ensue with respect to the responsibility for engineering design, details of construction, construction implementation and costs associated. We would agree with the applicant that the City will need to be involved in the development of this sidewalk and would encourage these discussions to occur in a timely fashion to coincide with the construction of this project. It is our expectation that this sidewalk would be completed prior to occupancy of this project.
4. We have commented several times previously for the concerns on vehicular and pedestrian traffic movements at the proposed entrance onto Main Street. Traffic signalization on the project's entrance onto Main Street is critically important to how these movements will operate and function.

The current plan indicates the project entrance onto Main Street to be an unsignalized intersection until the traffic signal is activated. This implies the traffic signal will not be in place at the completion of this project. If that is indeed the case, then:

- From a vehicle point of view, this will result in increased difficulty for turning movements (particularly left turns out of the two opposing driveways onto Main Street) that is anticipated to result in a safety concern.
- From a pedestrian point of view, this will adversely impact pedestrian accommodations. Without a functional traffic signal, DPW is not supportive of the pedestrian crosswalk across Main Street as shown on the site plan. Without this sidewalk, how will pedestrian connectivity be provided to the westerly side of Main Street?

We do not agree with the applicant's request to defer the traffic signal warrant analysis and final entrance design as a condition of approval.

5. As commented previously, the applicant should consult with the Code Enforcement Office for Flood Hazard Permit requirements associated with construction activities and fill encroachments within the 100-year flood zone. If a Flood Hazard Permit is not obtained, then the grading and fill encroachments as shown on the Grading Plan is not permissible.
6. How is future maintenance access to be provided to the stormwater BMPs and stormwater outfalls along the Saco River behind units 1 through 12?

As part of any subsequent site plan or subdivision approval, we recommend the following conditions be included:

1. Prior to the start of construction, the applicant shall be required to execute Form 1 contained in Section 805 of the zoning ordinance and provide a recorded copy to the City.
2. The applicant shall be required to perform routine inspection and maintenance of the stormwater facilities as outlined in the operations and maintenance manual development specifically for the site. A copy of the annual inspection and maintenance report including inspection log(s) shall be submitted annually (by July 15th of each year) to the City Public Works Department.
3. The design engineer shall be required to inspect the construction and stabilization of the soil filter basins and underground storage systems to be constructed on the site in accordance with the requirements contained in Chapter 7 of the MDEP's Volume III Stormwater BMP Technical Design Manual. Inspections shall be performed as detailed in the Construction Oversight requirements contained in Section 7.1. Additionally, the contractor shall identify the location of the source of each component of the filter media and perform all testing and submittals as listed in the Testing and Submittals contained in Section 7.1.
4. The design of the private pump station shall meet the requirements of the WRRD. The final design data for force main hydraulic analysis, pump system head condition, pump selection and complete pump station design details shall be submitted for review and approval by the City prior to the start of construction. Any impacts of the final pump station design on the approved site plans will need to be reflected on the final site plans prior to the start of construction and may require site plan amendment.
5. A renewable contract with a qualified, third party agency to perform semi-annual inspection, maintenance and operation of the private pump station. The language for the renewable contract should be submitted to the City WRRD for review and approval prior to the start of construction.
6. All work within the public right-of-way shall be subject to the terms and conditions of a Street Opening Permit to be issued by DPW. The developer shall be responsible for applying and obtaining a Street Opening Permit prior to the start of any work within the public right-of-way.

We look forward to discussing this project further and would be happy to clarify any of our comments made within this review memo.

**Pineland**

Cumberland Hall
41 Campus Drive, Suite 101
New Gloucester, ME 04260

Portland

565 Congress Street, Suite 201
Portland, ME 04101

PEER REVIEW

Project: Factory Island East
Applicant: Saco Island Ventures
Parcel: Tax Map 37, Lot: 6
Zoning District: B-4

Design Engineer: Gorrill-Palmer
Submittal Date: February 16, 2021

March 2, 2021

Bob Hamblen
City of Saco
300 Main Street
Saco, ME 04072

Dear Bob:

Terradyn Consultants, LLC has reviewed the Site Plan application submission for the proposed Townhouses at Factory Island East located on the east side of Main Street. We have specifically reviewed the application for compliance with §230-804 of the City of Saco Zoning Ordinance, related to Exterior Lighting.

The lighting design to includes seven pole mounted lights to provide illumination of the private site access drive. No lighting is shown in the driveways and building areas.

The applicant has provided the following information to demonstrate compliance with the applicable performance standards:

- Lighting Photometric Plan showing the location of proposed light fixtures and lighting levels throughout the site.
- Catalog cut sheets for the proposed pole mounted fixtures

We offer the following comments for the Planning Board's consideration:

Comments:

1. The proposed light fixtures appear to comply with §230-804.A of the Ordinance. The applicant should provide mounting heights for the proposed fixtures.
2. The applicant should consider adding a pole mounted light fixture at the end of the access drive in the vicinity of units 19-22.

3. Will lighting be provided for the individual unit driveways? The applicant should provide information on any proposed building mounted lights and add building mounted lights to the photometric plan, if applicable.

Please contact our office with any questions regarding the information presented above.

Sincerely,

TERRADYN CONSULTANTS, LLC

A handwritten signature in black ink that reads "Michael E. Tadema-Wielandt". The signature is written in a cursive, flowing style.

Michael E. Tadema-Wielandt, P.E.
Vice President

**Planning and Economic
Development**

Saco City Hall
300 Main Street
Saco, Maine 04072-1538



Bob Hamblen
City Planner

BHamblen@sacomaine.org
Phone: (207) 282-3487 ext.357

To: Planning & Development Review Committee
From: Planning Department
Date: February 12, 2021
Due Date: February 19, 2021
Review Type: Site Plan & Subdivision Review
Project: Saco Island East Condos

Please provide your review about the enclosed materials. Thank you.

Reviewer: C Huntress

Review Time: 20 Min

Comments:

1. Street Name to be provided for consideration / review / acceptance
2. Mail box location for the units within the project site
3. Will the project have a side walk. If so should driveway intersection improvements be made to accommodate for signalization and a cross walk. Also a sidewalk should be put in on the East side of Main St connecting to where the current sidewalk ends at the Rail Road tracks. Safety concerns for pedestrians would be mitigated with these upgrades.
4. House numbering would be even numbers on the left side of the road and odd numbers on the right side of the road.
5. This site has been used by fishermen for years, What will be put into place to keep non residents out or will no resident pedestrians be allowed on site to access the water.
6. The site plan shows a maria, how will this be accessed for emergency response.
7. With no on street parking, where will guests park so as to not obstruct the driveway.

**Planning and Economic
Development**

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Bob Hamblen
City Planner

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Phone: (207) 282-3487 ext.357

To: Planning & Development Review Committee
From: Planning Department
Date: February 12, 2021
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Project: Saco Island East Condos

Please provide your review about the enclosed materials. Thank you.

Reviewer: Ryan Sommer

Review Time: 15

Comments:

After reviewing the site plans that were sent to me on 2/22 I am satisfied with the amount of trees that will be lining the street and the landscaping that is states. As I mentioned on our initial PDRC meeting with the owner and the plans is would be nice to have a walking trail that would have connected to the Riverwalk.

**Planning and Economic
Development**

Saco City Hall
300 Main Street
Saco, Maine 04072-1538



Bob Hamblen
City Planner

BHamblen@sacomaine.org
Phone: (207) 282-3487 ext.357

To: Planning & Development Review Committee
From: Planning Department
Date: February 12, 2021
Due Date: February 19, 2021
Review Type: Site Plan & Subdivision Review
Project: Saco Island East Condos

Please provide your review about the enclosed materials. Thank you.

Reviewer: H. Carter, WRRD Director

Review Time: 1 Hour

Comments:

The WRRD has reviewed this proposal. Based on previous data presented when the site was anticipated to be more densely developed, there does not seem to be concern with capacity.

However, the WRRD asks that the following conditions of approval be added:

1. Applicant to submit updated pump station and force main capacity analysis stamped by a professional engineer before issuance of building permit. See City Engineer's February 4th review memo for further details.
2. Proposed pump station shall remain private, and the Homeowners' Association shall be responsible for continual operation and maintenance of the private pump station. The HOA declaration shall include provisions for collection of assessments to ensure financial resources are available for maintenance, operation, and replacement costs. The HOA will also be required to have a renewable contract with a vendor for ongoing pump station maintenance. The HOA shall be required to enter into agreement to assure the City that the HOA shall be responsible for maintenance and operation.
3. The applicant shall submit proposed private pump station design to the WRRD, to be reviewed to the satisfaction of the WRRD before final subdivision review.
4. Each unit is subject to sewer/CSO impact fees to be paid upon building permit stage.

66 Old Orchard Road
Site Plan & Conditional Use Review

Item	Location
Planner's Review Memo	Link
Application & Supporting Materials	Link
Staff Comments	Link

**Planning and Economic
Development**

Saco City Hall
300 Main Street
Saco, Maine 04072-1538



Isabelle Oechsle
**Planning & Economic
Development Associate**

IOechsle@sacomaine.org

Phone: (207) 282-3487 ext.353

TO: Planning Board
CC: Jon Safford, Agent; Steven Trask & Wendy Fernandez, Applicants
FROM: Isabelle Oechsle, Planning & Economic Development Associate
DATE: March 30, 2021 Planning Board Meeting
RE: 66 Old Orchard Road (Map 27 Lot 83): Site Plan & Conditional Use Applications to construct a 3-unit townhouse

Overview: Applicants Steven Trask and Wendy Fernandez request site plan & conditional use review to establish a 3-unit townhouse on the lot at 66 Old Orchard Road. Use “multi-family dwellings (3-8 units)” is a conditional use in the R-2 zone. Each unit is proposed to be approximately 1,020 s.f. and are proposed to each have 2 bedrooms. It is intended that these will be condominiums for sale or rent. This proposal is a new construction with associated site improvements.

Departmental Reviews:

- Code Enforcement Department: No specific concerns with the proposal. A letter from the Code Enforcement Director was previously provided to the applicants confirming that both lots contain sufficient square footage and road frontage to satisfy the requirements of a buildable lot within the R-2 zone.
- Public Works: Joe Laverriere had previously provided comments related to this proposal, which have since been responded to by the applicant. The applicants have since provided responses to these comments in memo dated February 5, 2021. Remaining comments to be addressed are minimal and can sufficiently be addressed by the applicants through the draft conditions of approval.
- Police Department: Deputy Chief Huntress had previously expressed concerns with the parking layout and site access. He has confirmed that the applicant’s most recent response sufficiently addressed his previous comments.
- Water Resource Recovery: Emily Cole-Prescott notes that impact fees will apply to each unit, to be paid alongside building permit fees. No concerns were noted about the capacity to serve this proposal.

Application Completeness: Staff has found the application complete (see attached checklist). If the Board agrees, a suggested motion is: ***“I move to find the application for site plan & conditional use review for proposed 3-unit townhouse at 66 Old Orchard Road to be complete.”***

Public Hearing: The Board should receive public comment on the application. This public hearing has been noticed in the *Portland Press Herald* and abutter notices have been mailed to property owners within 600’ of the subject property, in accordance with ordinance requirements. A suggested motion is: ***“I move to open the public hearing.”*** After comment is received, a motion is: ***“I move to close the public hearing.”***

Discussion: Below is a review of the proposal based on the following items –

Parking: Per section 230-708, 2 off-street parking spaces are required for each unit with 2 bedrooms. In residential zoning districts, 1 additional visitor's space is also required. Applicant's plan shows a total of seven parking spaces, which meets the requirement of this section.

Site Circulation: The applicant has revised the paved area several times to provide the needed number of parking spaces and the greatest amount of site circulation. The Board may discuss the parking area and circulation with the applicant.

Traffic & Site Access: The applicants have estimated a minimal increase in the average daily traffic count in the area, based on assumption that only 6 vehicles will be coming and going from the site daily. No specific concerns have been noted by City staff in regard to site access which have not already been addressed by the applicants. The Board may wish to discuss the layout of the site further with the applicants.

Neighborhood: The area of the site is mostly residential properties, with single-family, two-family and multi-family properties being fairly prevalent.

Landscaping: A landscape plan and planting schedule were previously provided, showing some planting along the front of the property facing Old Orchard Road. The Board may find that this should be revised based on more recent submissions by the applicants.

Lighting: A photometric plan has been provided for the Board's review. The applicants are proposing one pole-mounted light and three wall-mounted fixtures.

Utilities: Site is to be served by underground utilities. Water is being proposed to be pulled in from existing 12-inch water main on Old Orchard Road, per recommendations from Maine Water Company. No concerns noted from the WRRD as far as capacity to serve. Refer to site & utility plan for full details.

Drainage, Stormwater & Environmental: Proposed development results in less than 10,000 s.f. of impervious area; therefore, formal stormwater quantity and quality control will likely not be required. However, DPW would encourage the applicant consider opportunities to install stormwater BMPs or LID measures to mitigate surface runoff from the site due to this site's location within the Goosefare Brook watershed.

The applicants have indicated that perforated piping set in crushed stone will surround the foundation perimeter in order to control foundation perimeter drainage. The applicants have indicated that, due to the topography of the site, free discharge is not possible. A sump pump will be installed under the basement slab and will discharge groundwater to the swale located on the west side of the building.

The City Engineer's comments noted that consideration should be given to grading a swale along the easterly property line to convey surface runoff towards the rear of the site and avoid surface runoff from this site being discharged towards the developed portion of the adjacent parcel. The applicants have shown this on the revised plans and are working with an abutter to secure a grading easement in order to construct the swale. Provision of this easement to the City is suggested as a condition of approval before any construction may occur.

Wetlands have been peer-reviewed by the City's consultant from Normandeau, and it was found that the wetland delineation noted accurately depicts current conditions of the site. The U.S. Army Corps of Engineers authorized the proposed wetland impacts on December 17, 2020 (see letter in packet and note on plans).

Design Review: Elevations plans were submitted so the Board may provide some general feedback about the proposal relative to design review standards. Additional information about materials may be required prior to the Board making a finding relative to this item.

Conclusion: Staff provides the draft findings and conditions for the Board's consideration:

Saco Planning Board
Draft Findings of Fact
Conditional Use Review
Multi-Family Dwelling (3-units)
66 Old Orchard Road (Map 27 Lot 83)
March 16, 2021

1. The owners are Steven Trask, 12 Oak Lane, Dayton, ME 04005, and Wendy Fernandez, 35 Madison Way, Gorham, ME 04038.
2. The applicants are Steven Trask, 12 Oak Lane, Dayton, ME 04005, and Wendy Fernandez, 35 Madison Way, Gorham, ME 04038.
3. The applicants have demonstrated right, title and interest by Warranty Deed filed on the York County Registry, Book 18243 Page 193.
4. The proposal is to construct a 3-unit townhouse, with multi-family dwellings (3-8 units) being a conditional use in the R-2 zone.
5. City and Board review is based on documentation submitted for the record, including narratives, sketches, and all application materials in the March 16, 2021 Planning Board Meeting Packet.
6. The Planning & Development Department received the application on October 2, 2020, requested additional information, and sent the application for review. The applicant submitted additional information to the City, and the Department scheduled the application for review at the March 16, 2021 Planning Board meeting. Notification letters were sent to property owners, and the meeting notice was published in *The Portland Press* in conformance with ordinance requirements.
7. The Planning Board found the application complete at its meeting on _____. At the meeting, the Board held a public hearing and received public comment about the application.
8. The Planning Board has considered the following criteria from Saco's conditional use ordinance, section 230-901, and makes the following findings:
 - 1) The proposed use will meet the definition and specific requirements set forth in this chapter and will be in compliance with applicable state or federal laws. *With the submitted application materials and applicant's responses, the proposed use meets the requirements and will be in compliance with state or federal laws.*
 - 2) The proposed use will provide adequate access to the site, and to the buildings on the site, for emergency vehicles and will not create fire safety hazards. *Applicant has revised the plan several times to attempt to improve site circulation. Concerns have not been raised by City staff regarding access to the site.*
 - 3) The proposed exterior lighting will not create hazards to motorists traveling on adjacent public streets, is adequate for the safety of occupants or users of the site and will not

- damage the value and diminish the usability of adjacent properties. *Applicant proposes lighting per plan set, with one pole-mounted fixture and three wall-mounted fixtures.*
- 4) The provisions for buffers and on-site landscaping will provide adequate protection to neighboring properties from detrimental features of the development. *The Board can discuss this item with the applicant.*
 - 5) The proposed use will not have a significant detrimental effect on the use and peaceful enjoyment of abutting property as a result of noise, vibrations, fumes, odor, dust, glare or other cause. *Based on the information submitted and subsequent information for the record, detrimental effects on the use and peaceful enjoyment of abutting properties are not anticipated.*
 - 6) The provisions for vehicular loading and unloading and parking and for vehicular and pedestrian circulation on the site and onto adjacent public streets will not create hazardous and unsafe conditions. *The applicant has provided a plan for parking and loading. There is a connecting walkway from the site to assist with pedestrian access from Old Orchard Road.*
 - 7) The proposed use will not have a significant detrimental effect on the value of adjacent properties that could be avoided by reasonable modification of the plan. *The proposed use is not anticipated to have a significant detrimental effect on value of adjacent properties.*
 - 8) The design of the site will not result in significant flood hazards or flood damage and will be in conformance with applicable flood hazard protection requirements. *Not located in such an area.*
 - 9) Adequate provision has been made for disposal of wastewater and solid waste and for the prevention of ground or surface water contamination. *The WRRD has indicated that they have sufficient sewer capacity for this project. The applicants are proposing to utilize City trash and recycling services.*
 - 10) Adequate provision has been made to control erosion or sedimentation. *The applicant will be required to control erosion and sedimentation during construction process.*
 - 11) Adequate provision has been made to handle stormwater runoff and other drainage problems on the site. *Impervious coverage does not result in 10,000 square feet or more of impervious coverage. The applicants have indicated that perforated piping set in crushed stone will surround the foundation perimeter in order to control foundation perimeter drainage. The applicants have indicated that, due to the topography of the site, free discharge is not possible. A sump pump will be installed under the basement slab and will discharge groundwater to the swale located on the west side of the building. The applicants have added a swale along the easterly property line to convey surface runoff towards the rear of the site and avoid surface runoff from this site being discharged towards the developed portion of the adjacent parcel. Applicants are working with an abutter to secure a grading easement in order to construct the swale. A copy of said easement will be provided to the City prior to the start of construction, per the conditions of approval.*
 - 12) The proposed water supply will meet the demands of the proposed use and for fire protection purposes. *Applicants have designed the site per recommendations from Maine Water, and are proposing to provide water services from existing 12-inch water main on Old Orchard Road.*
 - 13) Adequate provision has been made for the transportation, storage and disposal of hazardous substances and materials as defined by state law. *No storage of hazardous materials proposed.*
 - 14) The proposed use will not have an adverse impact on significant scenic vistas or on significant wildlife habitats that could be avoided by reasonable modification of the plan. *No significant wildlife habitats have been found on the site.*
 - 15) The use will not cause unreasonable safety hazards for pedestrians, cyclists, and operators of motor vehicles and will not result in a decrease in level of service below

LOS D at study area intersections or the project driveway during the design hour. (Levels of service are defined by the latest edition of the Highway Capacity Manual, published by the Transportation Research Board. The design hour is defined as the 30th highest hour of the year for the intersection.) However, at signalized intersections where the level of service is already below LOS D; or at signalized intersections predicted to drop below LOS D where physical improvements cannot be made to attain LOS D; or at unsignalized intersections where physical improvements cannot be made to improve the level of service to LOS D, and provided that warrants for a traffic signal are not met, or signal installation is not desirable, the Board may approve the application if it finds that an adequate level of safety can be attained through imposing conditions of approval such as upgrades in signalization, one-way driveways, prohibiting certain turning movements, construction of turning lanes, sidewalks, bicycle paths, or other improvements, or through a program of transportation demand management measures. *The use is expected to generate only minimal trips per day, with an estimated 6 vehicles coming and going from the site on a daily basis.*

- 16) Existing off-site ways and traffic facilities can safely and conveniently accommodate the increased traffic generated by the development as far away from the development as the effects of the development can be traced with reasonable accuracy. *Minimal traffic is expected to be generated by this development. Concerns have not been raised by City staff in relation to the ability of off-site roadways to handle the additional projected trips.*

Saco Planning Board
 Draft Findings of Fact
 Site Plan Review
 Multi-Family Dwelling (3-units)
 66 Old Orchard Road (Map 27 Lot 83)
 March 16, 2021

1. The owners are Steven Trask, 12 Oak Lane, Dayton, ME 04005, and Wendy Fernandez, 35 Madison Way, Gorham, ME 04038.
2. The applicants are Steven Trask, 12 Oak Lane, Dayton, ME 04005, and Wendy Fernandez, 35 Madison Way, Gorham, ME 04038.
3. The applicants have demonstrated right, title and interest by Warranty Deed filed on the York County Registry, Book 18243 Page 193.
5. The proposal is to construct a 3-unit townhouse with a footprint of 1,530 s.f., along with associated site improvements.
6. City and Board review is based on the following plans, prepared by Terradyn Consultants, revised through February 5, 2021 with the following plan sheets:
 - Sheet C-1.0 – Grading & Drainage Plan*
 - Sheet C-2.0 – Site & Utility Plan*
 - Sheet C-3.0 – Site Details*
 - Sheet P-1.0 – Photometrics & Lighting Plan*
 - A1 – Elevations*
 - A2 – First & Second Floor Plans*
 - A3 – Foundation Plan & Section*
6. Lot is 0.48 acres. Property is subject to R-2 zoning dimensional requirements, as follows:
 - Required Frontage: 75'
 - Minimum Front Yard: 25'

Side and Rear Yards: 15'
Maximum Lot Coverage: 30%
Maximum Height: 35'

7. The Planning & Economic Development Department received the original application on October 2, 2020. Since that time, City Staff has asked questions and provided review of the application, to which the applicant has responded. The application was also sent for various peer reviews. The Department scheduled the application for review at the March 16, 2021 Planning Board meeting. Notification letters were sent to property owners, and the meeting notice was published in *The Portland Press* in conformance with ordinance requirements.
8. The Planning Board found the application for site plan review complete at its _____ meeting.
9. Project is subject to conditional use review, site plan review, and applicable permits with the Code Enforcement Department. The project was also subject to approval by the Army Corps of Engineers for 2,237 s.f. of freshwater wetland impacts.
10. The submissions detailed above and the subsequent revisions are sufficient to make a determination of the completeness of the application.
11. The Planning Board makes the following findings, based on Saco's Site Plan Review approval criteria, section 230-1106:
 - a. General. The proposed use will meet the specific requirements set forth in this chapter, other local ordinances, and will be in compliance with applicable state or federal laws. *Proposed use "multi-family dwellings (3-8 units)" is a conditional use in the R-2 zone.*
 - b. Compatibility with neighboring buildings. The bulk, location, and height of proposed buildings and structures shall be compatible with neighboring properties. *Proposed building is compatible with others along Old Orchard Road, in the R-2 zone.*
 - c. Natural features. The building and other improvements shall be oriented with respect to the natural features of the site, preserve the natural landscape insofar as practical, and minimize grade changes. *The proposed application materials preserve natural features to the greatest extent practical.*
 - d. Public safety. The proposed use will provide adequate access to the site, and to the buildings on the site, for emergency vehicles at all times of the year and will not create fire safety hazards or other safety hazards. *Applicant has revised the plan several times to attempt to improve site circulation. Concerns have not been raised by City staff regarding access to the site.*
 - e. Lighting. The proposed exterior lighting will not create glare, or create hazards to motorists traveling on adjacent public streets, is adequate for the safety of occupants or users of the site, and will not damage the value and diminish the usability of adjacent properties. *Applicant has provided photometric plan for the site, in accordance with these standards.*
 - f. Landscaping. The provisions for buffers, screens and on-site landscaping will minimize the impact of detrimental features of the proposed use on neighboring property, shall define, soften, or screen the appearance of parking areas from public rights-of-way and abutting properties, and shall meet the specific requirements of §230-708 and 230-807. *Applicant has presented landscaping plan in order to satisfy requirements of this section.*
 - g. Off-site impacts. The proposed use will not have a significant detrimental effect on the use and peaceful enjoyment of abutting property as a result of noise, vibrations, fumes, odors, dust, or other cause and shall meet the standards of this chapter and other City ordinances regulating these impacts. *Based on application materials and the use proposed, off-site impacts that would have a significant detrimental effect on the use and peaceful enjoyment of abutting properties from noise, vibrations, fumes, odors, dust, or other cause have not been identified.*

- h. Vehicle circulation and pedestrian access. The provisions for vehicular loading and unloading and parking and for vehicular and pedestrian circulation on the site and onto adjacent public streets will not create hazardous and unsafe conditions and are designed in accordance with the standards of Article VII of this chapter. *The applicant has provided a plan for parking and loading. There is a connecting walkway from the site to assist with pedestrian access from Old Orchard Road.*
- i. Flood hazards. The design of the site will be in conformance with applicable flood hazard protection requirements. *Not in such an area.*
- j. Wastewater. Adequate provision has been made for disposal of wastewater. *The WRRD has indicated that they have sufficient capacity to handle this proposal.*
- k. Solid waste. Adequate provision has been made for the disposal of solid waste as required by state law and local ordinance, including provisions for recycling. *Solid waste is proposed to be handled by City trash services.*
- l. Erosion controls. Adequate provision has been made to control erosion or sedimentation, and the standards of § 230-806 shall be followed. *Erosion controls provided per plan set, reviewed to satisfaction of City Engineer.*
- m. Drainage. Adequate provision has been made to manage stormwater runoff and other drainage problems on the site, and the plan conforms with § 230-805. If the post-development runoff rate exceeds the predevelopment runoff rate, on-site mitigation measures, such as detention basins or flow restrictors, shall be required, unless it is demonstrated that the increase has no adverse impact to the downstream conditions. Adequate provision has been made for maintenance of drainage facilities. *Impervious coverage does not result in 10,000 square feet or more of impervious coverage. The applicants have indicated that perforated piping set in crushed stone will surround the foundation perimeter in order to control foundation perimeter drainage. The applicants have indicated that, due to the topography of the site, free discharge is not possible. A sump pump will be installed under the basement slab and will discharge groundwater to the swale located on the west side of the building. The applicants have added a swale along the easterly property line to convey surface runoff towards the rear of the site and avoid surface runoff from this site being discharged towards the developed portion of the adjacent parcel. Applicants are working with an abutter to secure a grading easement in order to construct the swale. A copy of said easement will be provided to the City prior to the start of construction, per the conditions of approval.*
- n. Water supply. The proposed water supply will meet the demands of the proposed use and the demands for fire protection purposes and will not cause a degradation of service in the area. *Applicants have designed the site per recommendations from Maine Water, and are proposing to provide water services from existing 12-inch water main on Old Orchard Road.*
- o. Hazardous materials. Adequate provision has been made for the transportation, storage and disposal of hazardous substances and materials, as defined by state and federal law and City ordinance. *No storage of hazardous materials proposed.*
- p. Wildlife, scenery, and unique and critical areas. The proposed use will not have an adverse impact on significant scenic vistas or on significant wildlife habitats or identified unique and critical natural areas that could be avoided by reasonable modification of the plan. *No significant wildlife habitats have been found on the site.*
- q. Traffic conditions. The use will not cause unreasonable safety hazards on public roads and will not result in a decrease in level of service below LOS D at intersections. The Board may consider a lower level of service at unsignalized intersections, provided further physical improvements cannot be made to improve the level of service, and provided that warrants for a traffic signal are not met, or signal installation is not desirable, and the Board finds that adequate provisions for safety can be attained

- through imposing conditions of approval such as restrictions including one-way driveways and/or prohibiting certain turning movements, construction of turning lanes, sidewalks, bicycle paths, or other improvements, payment of a traffic mitigation fee, or through a program of transportation demand management measures. *The use is expected to generate only minimal trips per day, with an estimated 6 vehicles coming and going from the site on a daily basis.*
- o. Utilities. The development shall not impose an unreasonable burden on sewers and storm drains, water lines or other public utilities. *The WRRD has indicated that they have sufficient capacity to service this development. Applicants have designed the site per recommendations from Maine Water, and are proposing to provide water services from existing 12-inch water main on Old Orchard Road.*
 - s. Special features of development. *None proposed.*
12. The Planning Board makes the following findings, based on Design Review Standards, Section 230-729 of Saco's City ordinance:
- a. Scale. The scale of a building is based on overall size, its mass in relation to the space around it, and its entrances, windows, walls, and roofline. The successful application of these features will result in a building that provides continuity with the existing community. When the scale of a building is visually incompatible with its site and the scale of surrounding buildings, it shall be mitigated by design strategies that lessen its visual impact so as to be visually compatible with its site and with characteristics of neighboring buildings and sites. *The scale of the proposed building is compatible with other buildings in this area.*
 - b. Height. The height of a building shall be visually compatible with the heights of buildings on neighboring sites where practicable. A sudden dramatic change in building height can have a jarring effect on the streetscape, for example, by shading its neighbors or the street. In the B-3, B-6, BP and industrial zones, and contract zone projects where proposed building height exceeds 35 feet, if a building's proposed height is 50% or higher than neighboring buildings, the applicant shall incorporate architectural features into the building's design that limit the visual impact of the proposed building. *Proposed height is 35', which meets the standards for the R-2 zone.*
 - c. Footprint and orientation.
 - (a) Desirable examples of building orientation exist in the Main Street corridor from Saco Island to the King Street/Fairfield Street intersection, and the North Street corridor from Main Street to the former Eastern rail line. These areas include a human-scaled street wall, and site elements such as clearly defined front entrances, landscaping, lighting and off-street parking located to the side or rear of buildings. Compatibility shall be determined based on the pattern of buildings and spaces along the street wall, placement of the building on the lot, and the building footprint in relation to lot size and to nearby buildings. *Parking is located to the rear of the building and entrances have been clearly defined. The buildings are compatible with the configuration of the lot and with nearby buildings.*
 - (b) Residential buildings shall be oriented so that the front of the building and primary entrance face the street and continue any existing street wall, unless the applicant can demonstrate that the circumstances of a given application merit an alternative orientation. In the case of a corner lot, the Planning Board shall indicate to the applicant which street the front of the building and primary entrance shall face. *The building has been configured so that the front of the building faces Old Orchard Road. Primary entrances are defined through the use of architectural features, including porches and box gable roofs.*
 - d. Materials. The relationship of materials and textures of the exterior of a building shall be compatible with that of buildings with which it is visually related, or that are traditionally

- used in Saco. For facades of buildings visible from a public way, preference shall be given to clapboard, brick, shingle and other materials commonly used in local architecture; however, these materials are not required. Cinder block, metal siding, stucco, and T-111-type siding are expressly discouraged but not prohibited, while recognizing that superior design practices may incorporate any or all such materials in a building that successfully meets the intent of these standards. *The Board should discuss proposed materials with the applicants in greater detail.*
- e. Roof. The shape and proportion of the roof shall be articulated so as to lend visual interest and reduce the apparent size of new buildings with a building footprint greater than 10,000 square feet. Preference shall be given to pitched roofs, while recognizing that flat roofs may be appropriate for very large buildings or downtown areas but should be offset by the use of detailed architectural elements in the upper portion of the building facade. Outside of industrial districts, the roof design shall screen or camouflage rooftop protrusions so as to minimize the visual clutter of typical rooftop installations such as air-conditioning units, exhaust vents, transformer boxes, air-handler units, dish antennas and the like. *Roof system with 12/8 pitch is proposed. No rooftop utilities are proposed.*
 - f. Walls. A wall shall not extend a length greater than 50 linear feet without an architectural feature such as a window, dormer, recessed corner, pilaster, cornice, porch or visually compatible door. Buildings shall be designed with a complex massing that includes varying rooflines, projections/recesses, or smaller additions to a main building. *No walls extend more than 50 linear feet without an architectural detail. Varying rooflines and projections / recesses are proposed.*
 - g. Windows and doors.
 - (a) Windows and doors should be visually compatible with the architectural style of the building and with local architectural styles. Multi-paned windows are a common element of the local architecture and while not required shall be encouraged. The applicant may employ the services of a licensed architect to provide design options that meet the intent of these standards. *Multi-paned windows are proposed and are visibly compatible with the architectural style of the building and with local architectural styles.*
 - (b) The primary entrance shall face the street, unless the applicant can demonstrate that the circumstances of a given application merit an alternative orientation. The entrance shall be identified through the use of architectural details that may include awnings or roofs for shelter, recessing, decorative lighting, trim or railings, in addition to pedestrian walkways connecting to parking areas and public sidewalks. *The primary entrance faces the street and is identified through the use of the following architectural features: roofs, porches, decorative lighting, and a pedestrian walkway.*
 - h. Awnings and canopies. Awnings (temporary and movable) and canopies (permanent) are encouraged but not required in order to visually integrate a series of buildings through compatible or coordinated placement and design. Awnings and canopies shall be integrated with the building facade, be human-scaled, and result in a consistent pattern through placement, size and shape. *None proposed with this application.*

Draft Findings of Fact
 Conditional Use & Site Plan Review
 Multi-Family Dwelling (3-units)
 66 Old Orchard Road (Map 27 Lot 83)
 March 16, 2021

1. All details will conform to City of Saco standards, including but not limited to City of Saco's ordinances.
2. Approval of the site plan is conditioned upon compliance by the applicant with any and all oral commitments made to city staff and/or Planning Board during course of deliberations. Approval is governed by the action taken by the Saco Planning Board for conditional use & site plan reviews.
3. All work shall be in conformance with the following plans, prepared by Terradyn Consultants, revised through February 5, 2021 with the following plan sheets:
 - Sheet C-1.0 – Grading & Drainage Plan*
 - Sheet C-2.0 – Site & Utility Plan*
 - Sheet C-3.0 – Site Details*
 - Sheet P-1.0 – Photometrics & Lighting Plan*
 - A1 – Elevations*
 - A2 – First & Second Floor Plans*
 - A3 – Foundation Plan & Section*
4. No deviations from the approved plans are permitted without prior approval from the Planning Board for major changes, and from the City Planner for minor changes. The determination of major or minor shall be made by the City Planner.
5. Before a pre-construction meeting is held:
 - a. A Letter of Credit, acceptable to the City of Saco, shall be established for 150% of the construction cost of all required improvements, including but not limited to the following: utility installation; landscaping; paving; work within ROW; road construction, drainage, loam & seed; and sediment & erosion control. To establish the amount of the Letter of Credit, the applicant shall provide the City with itemized, per unit cost estimates, and a construction schedule. This Letter of Credit shall be maintained for a period not less than three months beyond the anticipated completion of the project.
 - b. Establish a construction inspection account equal to 3% of the base cost of the performance guarantee.
 - c. Provide three hard copies of the final plans to the Planning & Economic Development Department – the plans shall be revised to include the two remaining notes from the City Engineer from review memo dated March 23, 2021. (Coordinate with the Department before providing hard copies, as electronic signatures are being used during ongoing COVID-19 pandemic).
 - d. All plans and specifications shall be provided on in AutoCAD format. The final plan shall be submitted in digital format as single composite electronic file. The plan may be submitted on disc, via e-mail, or other format acceptable to the City Planner, and shall be compatible with commonly used CAD and/or GIS software.
 - e. Applicant shall be required to execute Form 1 contained in Section 805 of the zoning ordinance and provide a recorded copy to the City Planner.
 - f. Prior to any construction activities, the applicant and contractor shall meet with the City Engineer and City Planner to review plans, inspection schedules and erosion control practices.
6. All required landscaping shall be installed before occupancy, or within six months if occupancy occurs during the winter. Financial security suitable to the city, in the form of an escrow account or an irrevocable letter of credit, equivalent to 30 percent of the value of the plantings shall be maintained for a period of 18 months after planting. All plantings shall be watered regularly during their first year and maintained permanently in good growing

condition as an effective visual screen. Shrubs or trees which die shall be replaced within one growing season with new shrubs or trees to ensure continued compliance with applicable landscaping requirements (section 230-708-3.9(f)).

7. Prior to the start of construction, the applicant shall be required to execute Form 1 contained in Section 805 of the Zoning Ordinance and provide a recorded copy to the Planning Department.
8. As-built plans shall be submitted before the final release of the Letter of Credit.
9. Stumps generated on site will be ground and either used on site for erosion control or will be hauled off-site. Stumps shall not be buried within areas shown as right-of-way on the final plan.
10. If substantial construction is not started within twelve months of this approval, the approval shall be null and void, per Section 1111 of the Zoning Ordinance. Requests for extensions can be made to the City Planner before approval has expired.
11. The applicants have indicated that they are working with an abutting property owner to secure a grading easement in order to construct the swale along the easterly property line, as recommended by the City Engineer. Prior to the start of construction, a copy of the executed and recorded grading easement on the Binette property shall be provided to the City. In the event that the easement is not secured, then the applicant shall amend the plan to accommodate site drainage and grading without impacting abutting Binette property.

66 Old Orchard Road (Map 27 Lot 83): Conditional Use & Site Plan Review Checklist		
Submission Fulfilled or Waiver Requested	For Follow Up	Requirement
Submission Fulfilled		Completed Conditional Use Application
Submission Fulfilled		Building and site plans in 3 copies, drawn to a scale of not less than one inch equals 20 feet. The building plans shall show, at a minimum, the first-floor plan and all elevations, with indication of the proposed construction material. The site plan shall include the following information:
Submission Fulfilled		A map of the site with reference to surrounding areas and existing street locations.
Submission Fulfilled		The name and address of the owner and conditional use permit applicant, together with evidence of sufficient right, title or interest in the premises to permit the applicant to undertake the use for which conditional use permit approval has been requested.
Submission Fulfilled		The names and addresses of the owners of all properties within 200 feet of the property in question when the property is located in the R-3, Business (B) or MU Zones and within 600 feet when the property in question is located in the Conservation Zone, any industrial district or the R-1, R-2 and R-4 Districts, as shown by the most-recent tax records of all municipalities in which such properties lie.
Submission Fulfilled		A plan of the area showing lot line dimensions, applicable zone or zones, and the normal high-water mark, if applicable.
Submission Fulfilled		The location of all existing and proposed buildings and structures, streets, easements, driveways, entrances and exits on the site and within 100 feet thereof.
Submission Fulfilled		All setbacks from bodies of water and lot lines.
Submission Fulfilled, will be peer-reviewed by City's wetland scientist		All existing physical features on the site and within 200 feet of the site, including streams, watercourses and existing woodlands. Soil conditions as reflected by a medium-intensity survey (such as wetlands, rock ledge, and areas of high water table) shall be shown, and the Planning Office or Planning Board may require a high-intensity soils survey where necessary. The applicant shall provide, as part of the application, a narrative and sketch sufficient to describe trees and other vegetation located on the site. The Planning Office or Planning Board may require mapping of trees proposed to be preserved as part of the site and landscaping plans presented for approval.
Submission Fulfilled		Topography showing existing and proposed contours at five-foot intervals for slopes averaging 5% or greater and at two-foot intervals for land of lesser slope. A reference benchmark shall be clearly designated. Where variations in the topography may affect the layout of buildings and roads, the Planning Office or Planning Board may require that the topographic maps be based on an on-site survey.
Submission Fulfilled		Parking, loading and unloading areas shall be indicated with dimensions, traffic patterns, access aisles and curb radii.
Submission Fulfilled		Improvements such as roads, curbs, bumpers and sidewalks shall be indicated with cross sections, design details and dimensions.
Submission Fulfilled		The location and design of existing and proposed stormwater systems, sanitary waste disposal systems and potable water supply, and methods of solid waste storage and disposal.

Submission Fulfilled, will be peer reviewed		A landscaping and buffering plan showing what will remain and what will be planted, indicating botanical and common names of plants and trees, dimensions, approximate time of planting and maintenance plans.
Submission Fulfilled, will be peer reviewed		Lighting details indicating type of fixtures, location, radius and intensity of light.
	Any signage proposed?	The location, dimensions and details of signs.
Submission Fulfilled		The proposed use of all floor area.

Site Plan Review Requirements		
Submission Fulfilled or Waiver Requested	For Follow Up	Requirement
Submission Fulfilled		A fully executed and signed copy of the application for site plan review.
Submission Fulfilled		Three (3) copies of a site plan on paper not larger than 24 by 36 inches nor smaller than 11 by 17 inches, drawn at a scale sufficient to allow review of the items listed under the approval criteria herein, but at not more than 50 feet to the inch for that portion of the total tract of land being proposed for development. Emailed electronic version to planning@sacomaine.org . The site plan shall show the following: (Amended 2/19/02)
Submission Fulfilled		owner's and applicant's name and address, names and addresses of consultants who aided in preparing the plan, if any, and the name and address of the person or company leasing the property, if applicable, and, in order to establish right, title and interest, a deed, an executed lease, option, or purchase and sale agreement;
Submission Fulfilled		names and addresses of all abutting property owners;
Submission Fulfilled		sketch map showing general location of the site within the city and north arrow;
Submission Fulfilled		boundaries of the property and of all contiguous property under the control of the owner or applicant regardless of whether all or part is being developed at this time;
Submission Fulfilled		zoning classification(s) of the property and the location of zoning district boundaries if the property is located in two or more zoning districts or abuts a different zone.
Submission Fulfilled		the location and width of all building setbacks required by the Zoning Ordinance;
Submission Fulfilled		the location and delineation of site elements, including: all existing and proposed buildings (including dimensions where appropriate), driveways, sidewalks, parking spaces, loading areas, open spaces, large trees, wetlands preservation measures and protection measures, stormwater control facilities, dumpsters and recycling facilities, etc.
Submission Fulfilled		the location and widths of nearby streets.
Submission Fulfilled		The location and delineation of natural resource areas, historic features and archaeological features of the site including, but not limited to floodplains, wetlands, open drainage courses, sand and gravel aquifers, scenic areas, significant wildlife habitats, habitat areas for rare and endangered plants and animals, deer wintering

		areas, stands of trees, stone walls, graveyards, fences, unique natural areas, historically significant structures or features, archaeologically significant features, or other important Unusual Natural Areas and site features. (Amended 2/19/02; 2/17/04-3/18/04)
	You have indicated that a drainage easement is in the works. The Board may allow this to be a condition of approval.	Copies of existing and proposed easements, covenants, or deed restrictions.
Submission Fulfilled		Copies of applicable local and state approvals and permits, provided however, that the Planning Board or in the case of minor site plans the City Planner, may approve site plans subject to the issuance of specified state licenses and permits in cases where it determines that it is not feasible for the applicant to obtain them at the time of site plan review.
Submission Fulfilled		Names and addresses and tax map and lot numbers of all property owners within six hundred (600) feet of the applicant's property if it is located in the Conservation District, any industrial district, the Resource Protection District or the R-1, R-2, and R-4 districts, or within two hundred (200) feet when the applicant's property is located in the R-3 District or any business district.
N/A		For site plans in which ten thousand (10,000) square feet of impervious surface will be created, a storm water drainage plan, prepared by a registered Maine Professional Engineer, showing: the existing and proposed method of handling storm water run-off; the direction of flow of the run-off through the use of arrows; the location, elevation, and size of all catch basins, dry wells, drainage ditches, swales, retention basins, and storm sewer engineering calculations used to determine drainage requirements based upon the 2, 10, 25 and 50 year 24 hour storm event that show the predevelopment and postdevelopment runoff rates. If the postdevelopment runoff rate exceeds the predevelopment runoff rate on-site mitigation measures, such as detention basins or flow restrictors, shall be required unless a drainage plan prepared by a Maine registered engineer demonstrated that the increase has no adverse impact to the downstream conditions.
Submission Fulfilled		Existing and proposed topography of the site at two (2) foot contour intervals, or such other interval as the Board may determine.
Submission Fulfilled		A utility plan showing provisions for water supply and wastewater disposal including the size and location of all piping, holding tanks, leach fields, and showing the location and nature of all electrical, telephone and any other utility services to be installed on the site.
	A landscape plan was submitted along with the old	A landscape plan, with a planting schedule keyed to the site plan and indicating the varieties and sizes of trees, shrubs and other plants to be planted on the site.

	layout, but should be revised based upon the new layout.	
Submission Fulfilled		A standard boundary survey by a registered land surveyor showing the location of all property lines. The Board may waive the requirement of a boundary survey when sufficient information is available to establish, on the ground, all property boundaries.
	Any proposed?	The location, size and character of all signs.
Submission fulfilled – City trash collection proposed		A waste disposal plan describing how all solid waste will be handled on site, how it will be removed from the site, the disposal facilities to which it will be transported, and, if the waste is of an unusual nature, information indicating that a suitable disposal facility will accept the waste. For businesses which use industrial chemicals and produce hazardous waste, the name, amount, and nature of all chemicals used, and the manner of disposal of all chemical, hazardous and industrial wastes.
Submission Fulfilled		A medium intensity soils map of the site. (This may be obtained at the Planning Office.) The Board may require a high intensity soils map if issues of water quality, wetlands, or other natural constraints are noted.
N/A		For projects which will create over ten thousand (10,000) square feet of impervious surface, a plan showing the methods of controlling erosion and sedimentation both during and after construction, including a written description of these methods and a schedule for implementing them in accordance with the requirements of the York County Soil and Water Conservation District.
Submission Fulfilled		An estimate of the amount and type of traffic generated daily and at peak hours. For sites that generate more than four hundred (400) vehicle trips per day, a traffic impact analysis, prepared by a registered professional engineer with experience in traffic engineering and transportation, shall be submitted. The analysis shall show, at a minimum, existing traffic volumes, proposed traffic generation, proposed access, types of vehicles expected, effect on level of service within the study area, sight lines, and accident history in the study area. The report will recommend improvements both on site and off site to meet the requirements of this ordinance.
N/A – Sewer & Water connections proposed.		A hydrogeologic assessment may be required by the Board for projects in which groundwater quality is a concern. Such instances include, but are not limited to, sites: <ul style="list-style-type: none"> A. Over a sand and gravel aquifer; B. Not served by public water or sewer; C. Where the depth to groundwater is less than 48 inches; D. In soils rated by the SCS Soil Survey as poor or very poor for subsurface septic systems; E. In coarse soils categorized as having "severe" limitations for septic systems; F. Where a septic system of over 2000 gallons per day is proposed.
		When a hydrogeologic assessment is submitted, the assessment shall contain at least the following information: <ul style="list-style-type: none"> A. A map showing the basic soil types; B. The depth to the water table at representative points throughout the lot; C. Drainage conditions throughout the project; D. Data on the existing ground water quality, from test wells in the project or from existing wells on neighboring properties;

		<p>E. A map showing the location of any subsurface wastewater disposal systems and drinking water wells within the project and within 200 feet of the project boundaries;</p> <p>F. An analysis and evaluation of the effect of the project on ground water resources. In the case of residential developments, the evaluation shall, at a minimum, include a projection of post development nitrate - nitrogen concentrations at any wells within the project, at the project boundaries, and at a distance of one thousand (1000) feet from potential contamination sources, whichever is a shorter distance. Projections of ground water quality shall be based on the assumption of drought conditions (assuming 60% of annual average precipitation).</p>
N/A		<p>If the project is subject to the stormwater quality standards of Section 805-2, a stormwater quality management plan that includes the following:</p> <p>a. A narrative describing how the site is oriented within the watershed, identifying downstream waterbodies including wetlands, and addressing the potential effects of site runoff. The narrative shall identify and discuss the stormwater treatment methods proposed to be used on the site.</p> <p>b. A plan showing relevant existing contours, proposed contours, existing and proposed subwatersheds, proposed topographic features, and existing and proposed site features including buildings and other facilities, natural and manmade drainageways, streams, channels, culverts, catch basins, and stormwater treatment facilities. The plan shall include detail drawings of the stormwater Best Management Practices proposed to be used and the location of both structural and non-structural BMPs.</p> <p>c. Calculations demonstrating that the proposed stormwater treatment facilities will meet the standards of Section 805-2.</p> <p>d. A stormwater facilities management plan which sets forth the types and frequencies of proposed maintenance activities needed to maintain the efficiency of the stormwater treatment facilities and which identifies the party that will be responsible for carrying out each maintenance activity and for submitting the Annual Maintenance Report and the proposed institutional arrangements that will assure that all maintenance occurs as proposed. (Amended 6/18/2001)</p>
Submission fulfilled		<p>A lighting plan, prepared by a qualified lighting professional, showing at least the following at the same scale as the Site Plan:</p>
		<p>The location of all buildings, landscaping, parking areas, and proposed exterior lighting fixtures;</p> <p>b. Specifications for all proposed lighting fixtures including photometric data, designation as "cut-off" fixtures, Color Rendering Index (CRI) of all lamps (bulbs), and other descriptive information on the fixtures;</p> <p>c. The proposed mounting height of all exterior lighting fixtures;</p> <p>d. Analyses and illuminance level diagrams or photometric point by point diagrams on a twenty foot grid showing that the proposed installation conforms to the lighting level standards of this ordinance together with statistical summaries documenting the average illuminance, maximum illuminance, minimum illuminance, average to minimum uniformity ratio, and maximum to minimum uniformity ratio for each parking area, drive, canopy, and vehicle sales or storage area; and</p>

		e. Drawings of all relevant building elevations showing the fixtures, the portions of the walls to be illuminated, the illuminance levels of the walls, and the aiming points for any remote light fixtures.
	Have you reached out to MEHPC and ME IF&W about this site?	Any proposed land use activity involving structural development or soil disturbance on or adjacent to sites listed on, or known by the City to be eligible to be listed on the National Register of Historic Places shall be submitted by the applicant to the Maine Historic Preservation Commission and the Saco Historical Preservation Commission (as appropriate) for review and comment prior to action being taken by the permitting authority. The permitting authority shall consider comments received from the Commissions prior to rendering a decision on the application. (Amended 2/19/02)

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Introduction:

Steven Trask and Wendy Fernandez purchased a recently divided lot which was once part of 66 Old Orchard Rd and they would like to submit their application for a permit for conditional use to build a 3-unit townhouse design on the lot. Currently, zoning will allow a 2-unit, but the land mass of the lot can support a 3-unit with the approval of the planning board. The lot was recently improved with a connection to the sewer line located across the street at the corner of Timber Oaks and Old Orchard Road at the expense of the owner. Lot fill and grading will allow the new structure's wastewater to gravity feed into the new manhole located on the premises. The water line is accessible either at the Old Orchard Rd side of the property or from the private way side off Greta Lane. The 3-unit structure will provide three, 1020 sq ft, 2 bed, 2 bath units for renters or owners. It is intended that these will be condominiums for sale or rent. Parking will be off street and in the rear of the building as seen in the site design.

Attached you will find the subdivision review packet that contains the following:

1. **Introduction**
2. **Conditional Use Application** (file:Conditional_Use_Application_Signed)
3. **Site Plan Review application** (file:Site Plan Review Application_Signed)
4. **Subdivision Review Application signed by owner** (file: Subdivision Review application_Trask)
5. **Deed** (file: Deed.pdf)
6. **Boundary Survey** (file: Boundary Survey.pdf)
7. **Location Plan 800 ft to inch** (file: 2019-326 S-Y Location Map 200 Scale)
8. **Location Plan 200 ft to inch** (file: 2019-326 S-Y Location Map 800 Scale)
9. **Topo Existing** (file: Topo Existing.pdf)
10. **The preliminary plan with all required elements** (file: 2019-326 S-Y Plot Plan 3-Unit 6-23-2020)
11. **Site Zoning Map** (file: 2019-326 S-Y Zoning Map 800 Scale)
12. **Abutters within 600 ft of proposed development** (file: Abutters_600_ft.png)
13. **Abutters mailing list** (file: abutter mailing addresses.csv)
14. **Financial verification** (file: 66-B Old Orchard Road Financing letter)
15. **Detailed plans of the 3-unit building** (3 unit – Final Plans)
16. **Verification of buildable lot** (file: Letter from Saco CEO for Buildable lot.pdf)
17. **Wetland Report – Albert Frick Associates, Inc.** (file: same name)
18. **Grading Plan** (file: C-1.0 Grading Plan.pdf)
19. **Utility Plan** (file: same name)
20. **Photometrics – 1.0** (file: same name)
21. **Waste Disposal Plan** - Town provided trash and recycling bins
22. **Landscape plan** – (file: Landscape design.pdf)
23. **Saco WRRD Multifamily Unit IWS application** (file: same name)



Conditional Use Application
Planning & Development Department
Planning Board

Application # _____

Street Address of Proposed Project: Lot @ 66 Old Orchard Rd Tax Map & Lot: 27 / 83

York County Registry of Deeds Book & Page Number: 18199 / 44 Zoning District: R-2

Applicant: Steven Trask

Applicant's Address: 12 Oak Lane, Dayton, ME

Applicant's Email & Phone #: strask21@yahoo.com / 207.774.0424

Architect/Engineer's Name: Michael Tameda-Wielandt

Architect/Engineer's Email & Phone #: mtw@terradynconsultants.com / 207.632.9010

Architect/Engineer's Address: 41 Campus Dr Suite 101, New Gloucester, ME 04260

Property Owner: Wendy Fernandez & Steven Trask

Property Owner's Email & Phone #: strask21@yahoo.com / 207.774.0424

Property Owner's Address: 12 Oak Lane, Dayton, ME

Area of Parcel: 21124 Proposed Developed Area: 1530 Proposed Height: 24'

Description of Proposal: 1 curb cut for a driveway, fill lot to grade for structure to gravity

feed to sewer connection and parking in the rear. 3 Unit townhouse- 2 bed / 2 bath units

Signature & Application Requirements: Applications are due at least three weeks in advance of Planning Board meetings, but the Department encourages applicants to plan for five weeks before a Planning Board meeting. Staff will schedule your application for a Planning Board meeting once all reviews are complete and comments have been sufficiently addressed.

Steven Trask
Signature of Owner/Applicant

9/22/2020
Date



Site Plan Review Application
Saco Planning Board Review

Application # _____

Street Address of Proposed Project: Lot @ 66 Old Orchard Tax Map & Lot: 27/83

Registry of Deeds Book & Page Number: 18199 / 44 Zoning District: R-2

Applicant: Steven Trask

Applicant's Address: 12 Oak Lane, Dayton, ME

Applicant's Email & Phone #: strask21@yahoo.com / 207.774.0424

Architect/Engineer's Name: Michael Tadema-Wielandt

Architect/Engineer's Email & Phone #: mtw@terradynconsultants.com / 207.632.9010

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Property Owner's Address: 12 Oak Lane, Dayton, ME

Area of Parcel: 21124 Proposed Developed Area: 1530 Proposed Height: 24'

Sq. Ft. of Each Proposed Structure: 1050 Proposed # of Parking Spaces: 6

Amendment to Previously Approved Plan: Yes No

Description of Proposal: 1 curb cut for a driveway, fill lot to grade for structure to gravity

feed to sewer connection and parking in the rear. 3 Unit townhouse- 2 bed / 2 bath units

Signature & Application Requirements: Applications are due at least three weeks in advance of Planning Board meetings, but the Department encourages applicants to plan for five weeks before a Planning Board meeting. Staff will schedule your application for a Planning Board meeting once all reviews are complete and comments have been sufficiently addressed.

Steven Trask
Signature of Owner/Applicant

9/21/2020
Date

(SPACE ABOVE RESERVED FOR RECORDING INFORMATION)

DLN#1002040094852

WARRANTY DEED
Maine Statutory Short Form

KNOW ALL PERSONS BY THESE PRESENTS that **Mann Enterprise, Inc.**, a Maine corporation having an address of 12 Caryn Drive, Saco, Maine 04072, for consideration paid, grants to **Wendy Fernandez**, having a mailing address of 35 Madison Way, Gorham, Maine 04038 and **Steven Trask**, having a mailing address of 208 Broadturn Road, Scarborough, Maine 04074, with **WARRANTY COVENANTS**, a certain lot or parcel of land in Saco, County of York, and State of Maine, bounded and described as follows:

A certain lot or parcel of land situated on the northerly side of Old Orchard Road in the City of Saco, County of York, and State of Maine, bounded and described as follows:

Beginning at a point on the assumed northerly sideline of Old Orchard Road at the southwesterly corner of the herein described parcel and the southeasterly corner of land now or formerly of Susan Worster (deed book 17422, Page 490), also being the southeasterly corner of a private way known as Greta Lane (formerly known as Berthiaume Drive) which is shown as lot of "Berthiaume - to be used as access" on plan entitled: "Plan of Land Surveyed for Ronald Berthiaume, Saco, Maine by Dow & Coulombe Inc., dated October 28, 1974." Recorded in the York County Registry of Deeds in Plan Book 71, Page 37;

Thence, N 14° 16' 01" W along land of said Worster 87.80 feet to the assumed southerly sideline of the Old-Old Orchard Road;

Thence, N 38° 02' 30" W continuing along land of said Worster 24.75 feet to the centerline of said Old-Old Orchard Road and land of now or formerly of John L. & Allison D. Humenick (Deed Book 16881, Page 199);

Thence, N 51° 57' 30" E along said centerline of Old-Old Orchard Road by land of said Humenick, and land now or formerly of Dennis A. & Cheryl H. Levasseur (Deed Book 2093 Page 20) a distance of 225.85 feet to land now or formerly of Patricia E. Mailman (Deed Book 16136, Page 22);

Thence, the following courses and distances along land of said Mailman:

S 38° 02' 30" E a distance of 24.75 feet to the assumed southerly sideline of said Old-Old

Maine R.E. Transfer Tax Paid

Orchard Road;

S 07° 15' 33" E a distance of 76.87 feet;

Thence, the following courses through land of the grantor;

S 84° 43' 00" W a distance of 93.87 feet;

S 05° 17' 00" E a distance of 132.11 feet to the northerly sideline of said Old Orchard Road;

Thence, S 84° 43' 00" W along the northerly sideline of said Old Orchard Road 85.00 feet to the point of beginning.

Containing 21,124 square feet, more or less.

For a more particular description see "Proposed Lot" on plan entitled "Boundary Survey & Lot Division at #66 Old Orchard Road, Saco, Maine, made for Mann Enterprises, Inc.", dated November 15, 2019 by Owen Haskell, Inc. OHI Job #2019-326 S-Y, to be recorded.

Subject to a sewer easement as described as follows:

A certain lot or parcel of land situated on the northerly side of Old Orchard Road in the City of Saco, County of York, and State of Maine, bounded and described as follows:

Commencing at a capped 5/8" iron rod on the assumed northerly sideline of Old Orchard Road at the southeasterly corner of land now or formerly of Susan Worster (Deed Book 17422, Page 490), also being the southeasterly corner of a private way known as Greta Lane (formerly known as Berthiaume Drive) which is shown as lot of "Berthiaume -- to be used as access" on plan entitled "Plan of Land Surveyed for Ronald Berthiaume, Saco, Maine by Dow & Coulombe Inc., dated October 28, 1974." Recorded in the York County Registry of Deeds in Plan Book 71, Page 37;

Thence, N 84° 43' 00" E along northerly sideline of Old Orchard Road 15.00 feet to the point of beginning;

Thence the following courses and distances through the land of the grantor:

N 05° 17' 00" W a distance of 10.00 feet;

N 84° 43' 00" E a distance of 70.00 feet;

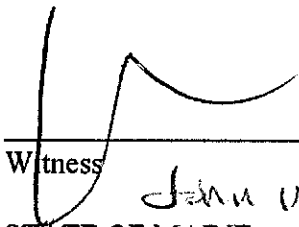
S 05° 17' 00" E a distance of 10.00 feet to the northerly sideline of said Old Orchard Road;

Thence, S 84° 43' 00" W along the northerly sideline of said Old Orchard Road 70.00 feet to the point of beginning, containing 700 square feet, more or less.

Being the same premises conveyed to Mann Enterprise, Inc., by virtue of a deed from Mann Enterprise, Inc. dated March 18, 2020 and recorded in the York County Registry of Deeds in Book 18199, Page 44. Reference is also made to a deed from Siu L. Rohner f/k/a Siu Ly Zheng Huertas to Mann Enterprises, Inc., dated November 21, 2019 and recorded in Book 18114, Page 129.

The premises are conveyed subject to any easements and restrictions of record, and together with all rights, easements, privileges and appurtenances belonging to the premises described herein.

WITNESS my hand this 8th day of May, 2020.



Witness

STATE OF MAINE
COUNTY OF CUMBERLAND

Mann Enterprise, Inc.

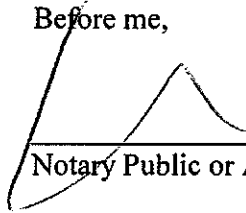
BY: 

Iskandar Busari, President

May 8, 2020

Personally appeared the above-named Iskandar Busari, President of Mann Enterprise, Inc. and acknowledged the foregoing instrument to be his free act and deed in said capacity and the free act and deed of said company.

Before me,



Notary Public or Attorney at Law

After recording return to:
Wendy Fernandez
35 Madison Way, Gorham, ME 04038

JOHN M. KIRK, III
ATTORNEY AT LAW
BAR # 9577



City of Saco

Inspection Department
Saco City Hall
300 Main Street
Saco, Maine 04072-1538

David Twomey, Asst. Code Enforcement Officer
Telephone: (207) 284-6983
Fax: (207) 282-8202
Email: dtwomey@sacomaine.org

April 24, 2020

Jon Safford
1465 Post Road
Wells, Maine 04090

RE: 66 Old Orchard Road., Saco, Maine. Tax Map 27, lot23.

Dear Jon Safford:

This letter was written in response to your request for a confirmation that the above captioned lot can be split to create two legal building lots in the City of Saco. Since sewer service has been recently extended to 66 Old Orchard Road the lot size required in chapter 230 section 410 of the City Code is reduced. The new lot created and recorded in book #18199 page #44 and the remaining lot that is shown on a recorded survey plan, book #407page #22 show that both lots contain sufficient square footage and road frontage to satisfy the requirements of a buildable lot in the R-2 zone.

If you have any questions on this or any other matter, please feel free to contact me.

Sincerely,

David Twomey
Code Enforcement Officer
City of Saco



Albert Frick Associates, Inc

Environmental Consultants

380B Main Street Gorham, Maine 04038
(207) 839-5563 FAX (207) 839-5564
www.albertfrick.com info@albertfrick.com

Brady Frick, President, SE
Albert Frick, CSS, SE
Christopher Coppi CWS, SE
Bryan Jordan, SE
Matthew Logan, SE
Sarah Frick, Office Manager

August 7, 2020

Steven Trask
128 Oak Lane
Dayton, ME 04005

RE: Wetland Delineation, 66B Old Orchard Road- Saco.

Dear Mr. Trask:

On July 22, 2020, I reviewed the above-mentioned property for wetlands. The property is characterized by an existing cleared area (meadow) fronting Old Orchard Road and a small forested area to the rear. A drainage way runs northeast along the northern property line. The property contains wetland within the meadow and at the beginning and end of the drainage way mentioned above. Wetlands were flagged in blue alphanumerically and were survey located by Owen Haskell. This plan is attached with this report.

The drainage way contained primarily non-hydric (non-wetland) soils throughout its course. According to the boundary survey, this drainage way conveys stormwater drainage from a stormwater culvert and is located within a drainage easement. Therefore, it is my opinion that this drainage way does not constitute a "river, stream or brook" per Maine DEP because the drainage way was constructed for stormwater purposes.

The wetlands on the property are eligible for DEP's wetland fill exemption (*permit not required*) under the Natural Resources Protection Act (NRPA) provided the total impact, as measured in square feet (SF), is 4,300 SF or less. Impacts include soil disturbance, filling or vegetation removal. If the project results in wetland impacts in excess of the exempt amount, a DEP permit is necessary. The Army Corps of Engineers does not allow exemptions to their wetland regulations pursuant to Section 404 of the Clean Water Act (CWA). As such, a Corps permit is necessary for any amount of wetland impact via filling or dredging.

Please contact us at 839-5563 for any additional questions or matters for further discussion.

Sincerely,

Chris Coppi CWS, LSE
Certified Wetland Scientist, NH CWS #291
Licensed Site Evaluator


The Whitman Group
3 Belmont Terrace
Gorham, Maine 04038

To whom it may concern,

Steven Trask is conditionally approved on a construction loan for 66-B Old Orchard Road, Saco, ME 04072

Kindly,

John Chamberlain
Vice President, The Whitman Group
3 Belmont Terrace
Gorham, Maine 04038
Tel (207) 749-4935

-  Hydroseed lawn
-  High bush blueberry
-  Maple Tree

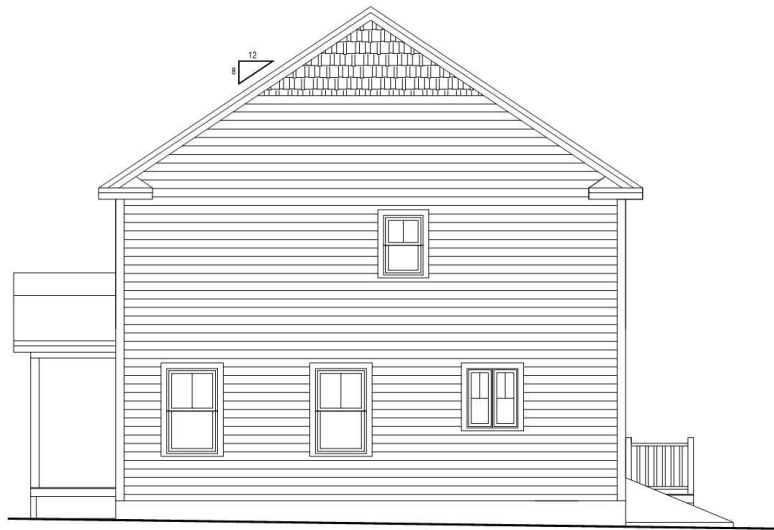




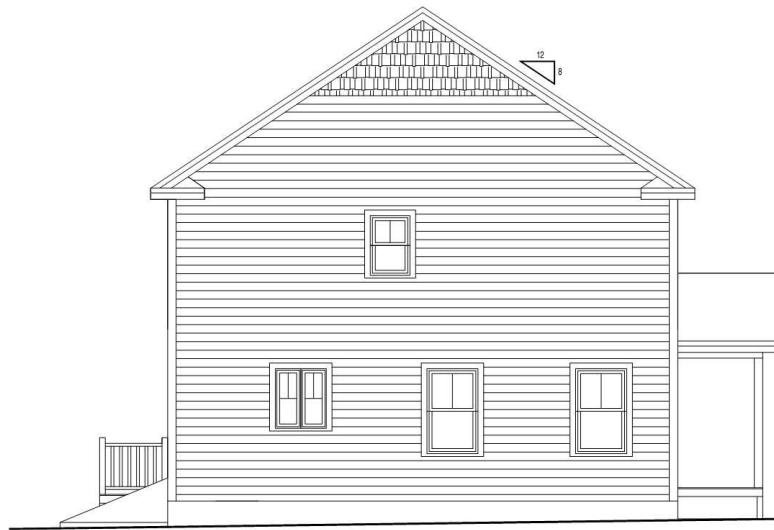
REAR ELEVATION
NTS



FRONT ELEVATION
NTS



RIGHT ELEVATION
NTS



LEFT ELEVATION
NTS

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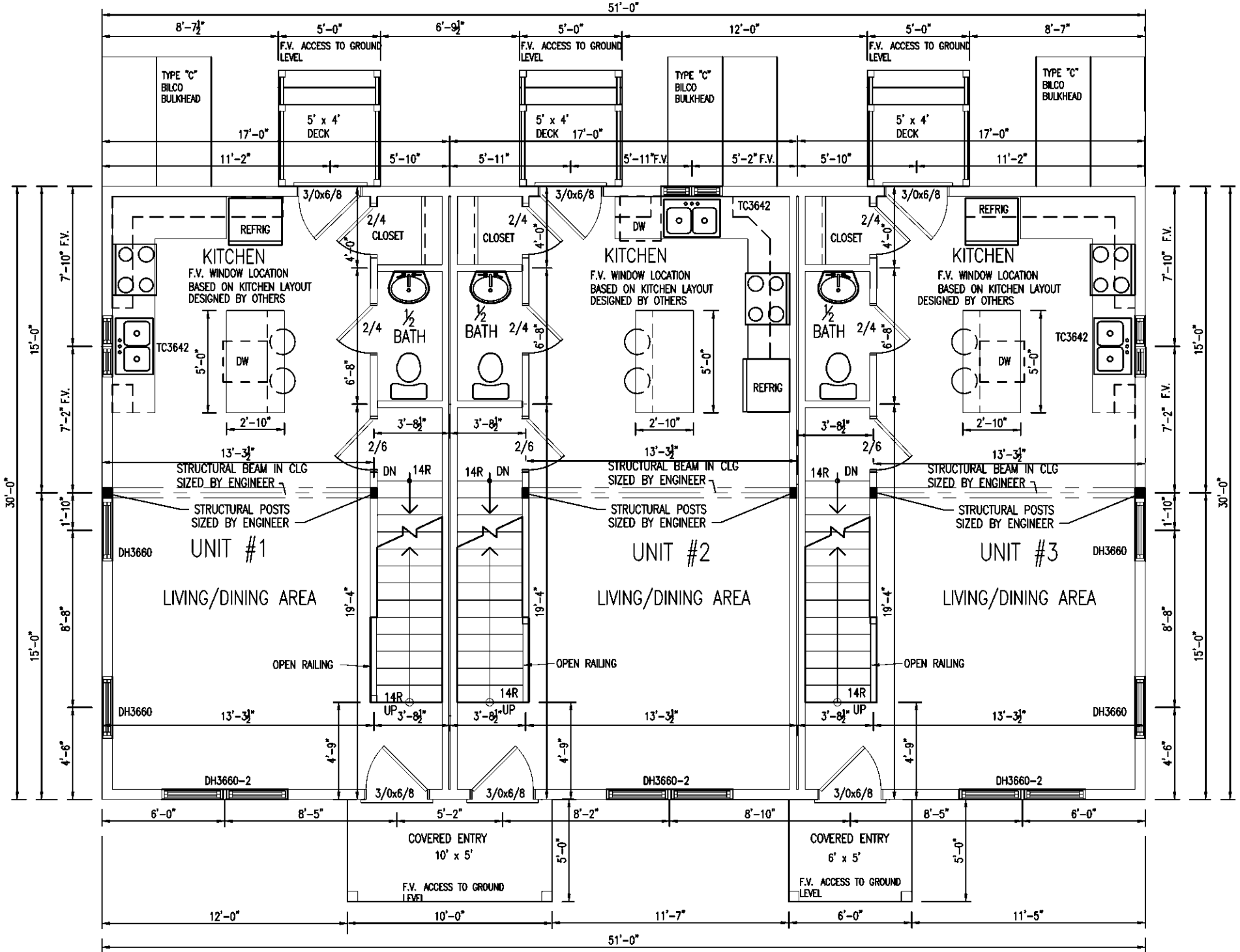
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date drawn: 3/26/20
date issued: 3/26/20
drawn by: JMG
scale: NOTED

project number	
revisions:	

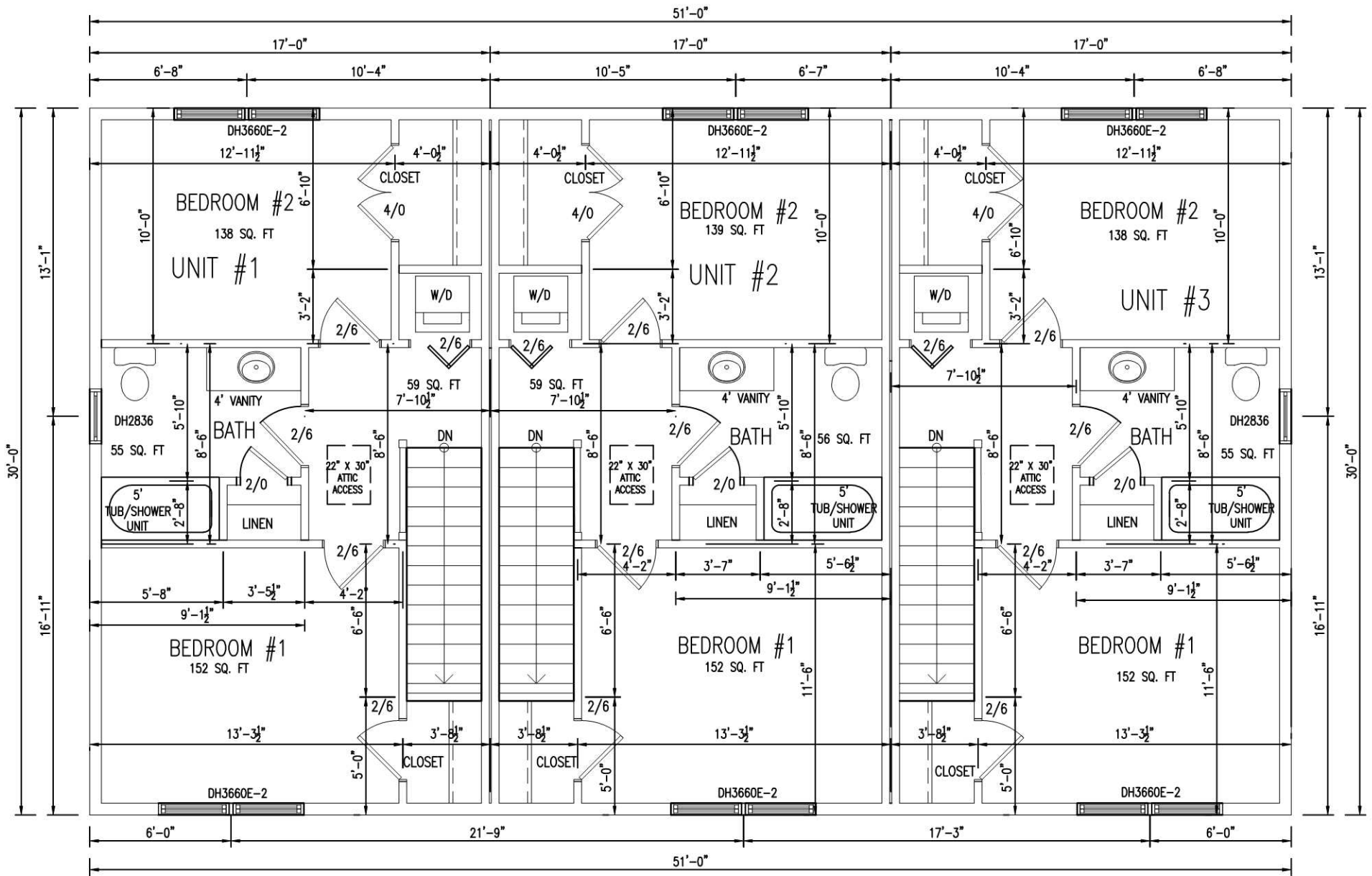
project: TRIPLEX MULTI-FAMILY UNIT
drawing title: ELEVATIONS

A1
sheet number

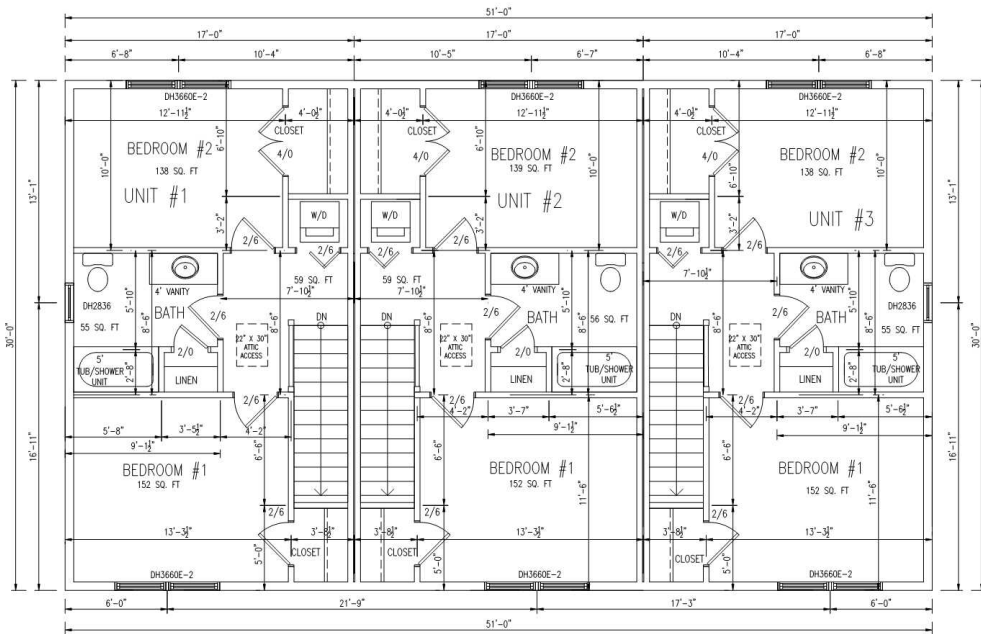


FIRST FLOOR PLAN
NTS

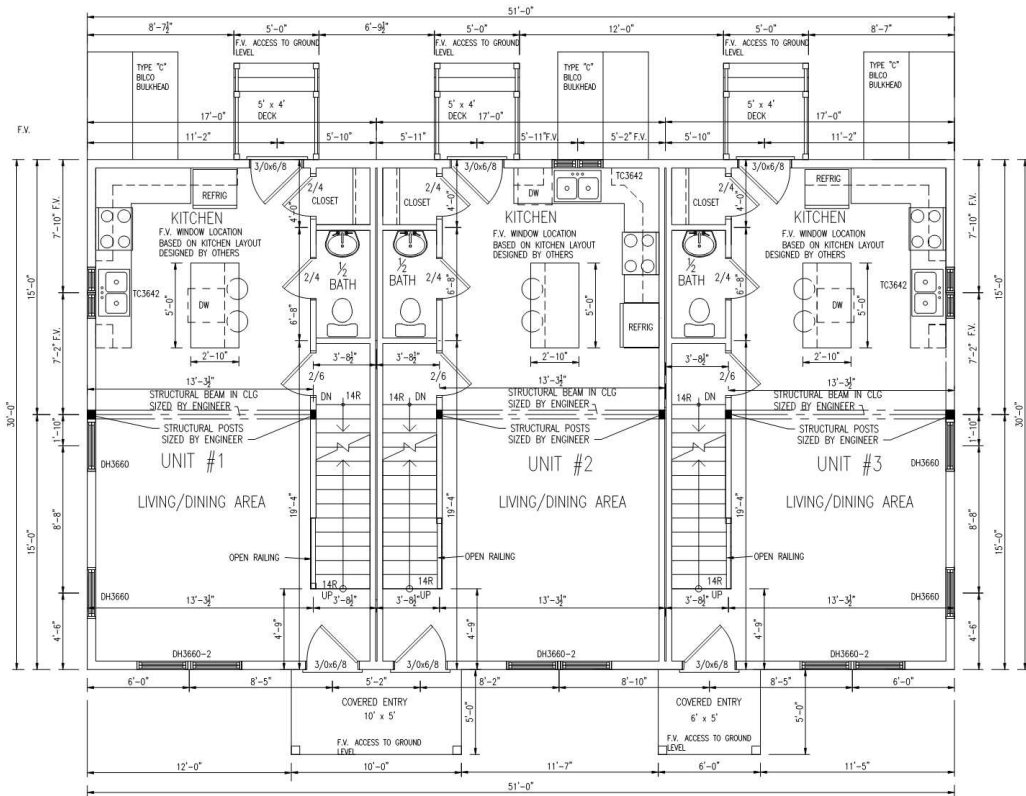
UNIT 1 = 1020 SQ. FT. TOTAL
 UNIT 2 = 1020 SQ. FT. TOTAL
 UNIT 3 = 1020 SQ. FT. TOTAL




SECOND FLOOR PLAN
 NTS



SECOND FLOOR PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"

UNIT 1 = 1020 SQ. FT. TOTAL
UNIT 2 = 1020 SQ. FT. TOTAL
UNIT 3 = 1020 SQ. FT. TOTAL

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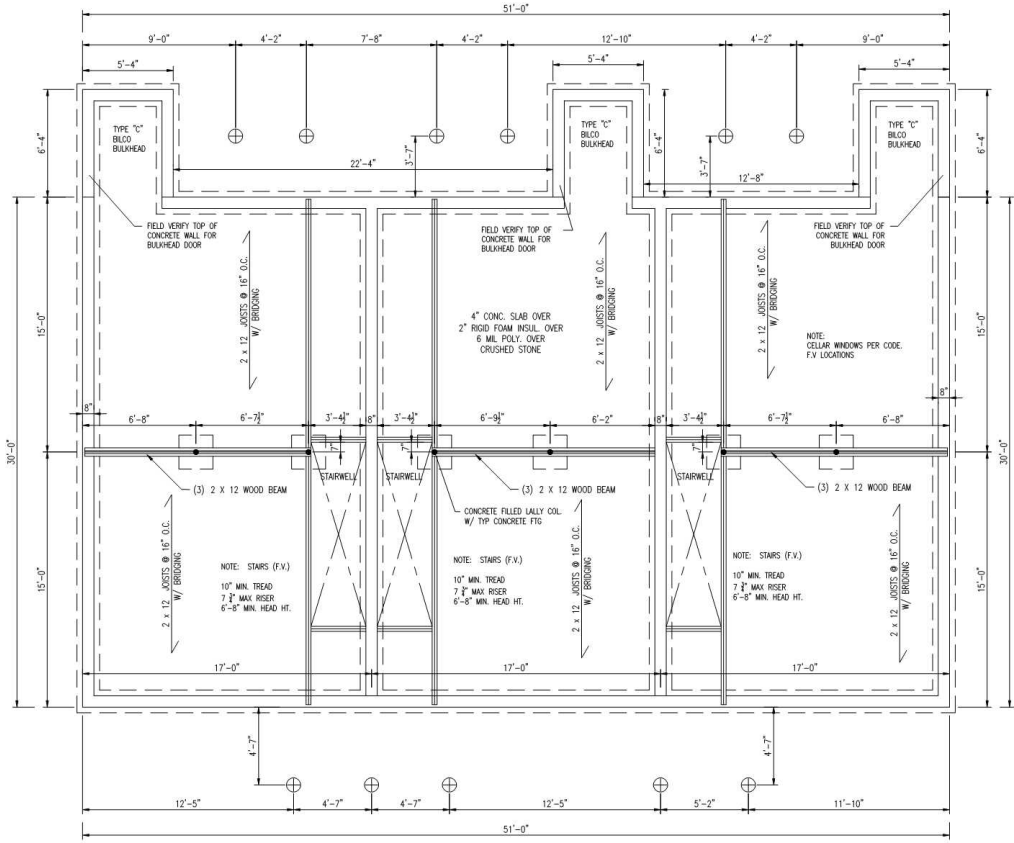
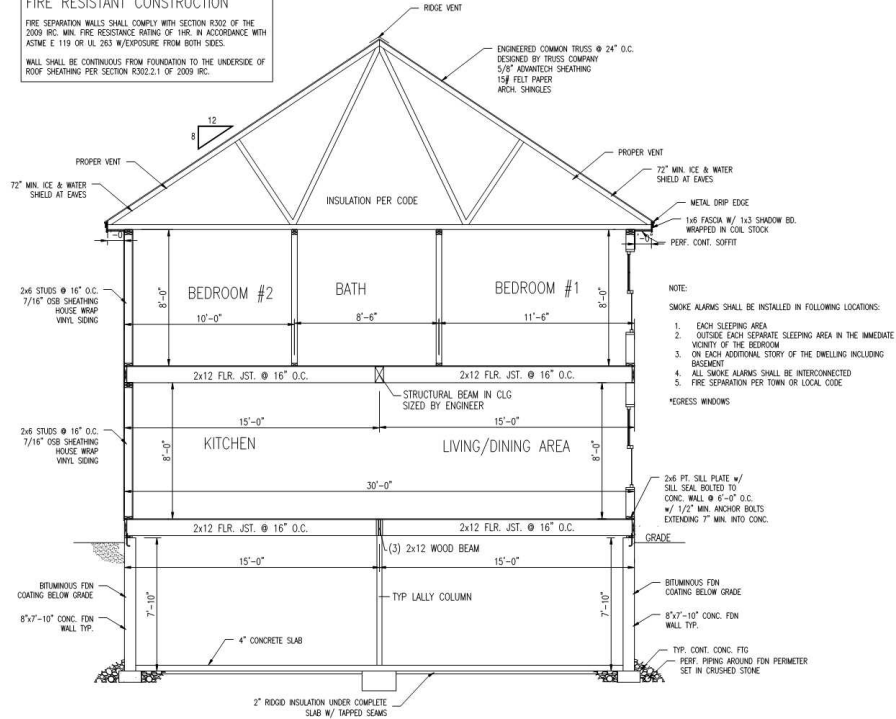
date drawn: 3/28/20
date issued: 3/28/20
drawn by: JMG
scale: NOTED

project number:
revisions:

project: TRIPLEX MULTI-FAMILY UNIT
drawing title: FIRST & SECOND FLOOR PLANS

A2
sheet number

FIRE RESISTANT CONSTRUCTION
 FIRE SEPARATION WALLS SHALL COMPLY WITH SECTION R302 OF THE 2009 IRC. MIN. FIRE RESISTANCE RATING OF 1HR. IN ACCORDANCE WITH ASTM E 119 OR UL 263 W/EXPOSURE FROM BOTH SIDES.
 WALL SHALL BE CONTINUOUS FROM FOUNDATION TO THE UNDERSIDE OF ROOF SHEATHING PER SECTION R302.2.1 OF 2009 IRC.



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date drawn: 3/28/20
 date issued: 3/28/20
 drawn by: JMG
 scale: NOTED

project number	
revisions:	

project: TRIPLEX MULTI-FAMILY UNIT
 drawing title: FOUNDATION PLAN & SECTION

A3
 sheet number



PLAN REFERENCE:

PLOT PLAN, #66 OLD ORCHARD ROAD, SACO, MAINE
 MADE FOR MANN ENTERPRISE, INC. APRIL 13, 2020
 BY OWEN HASKELL, INC.

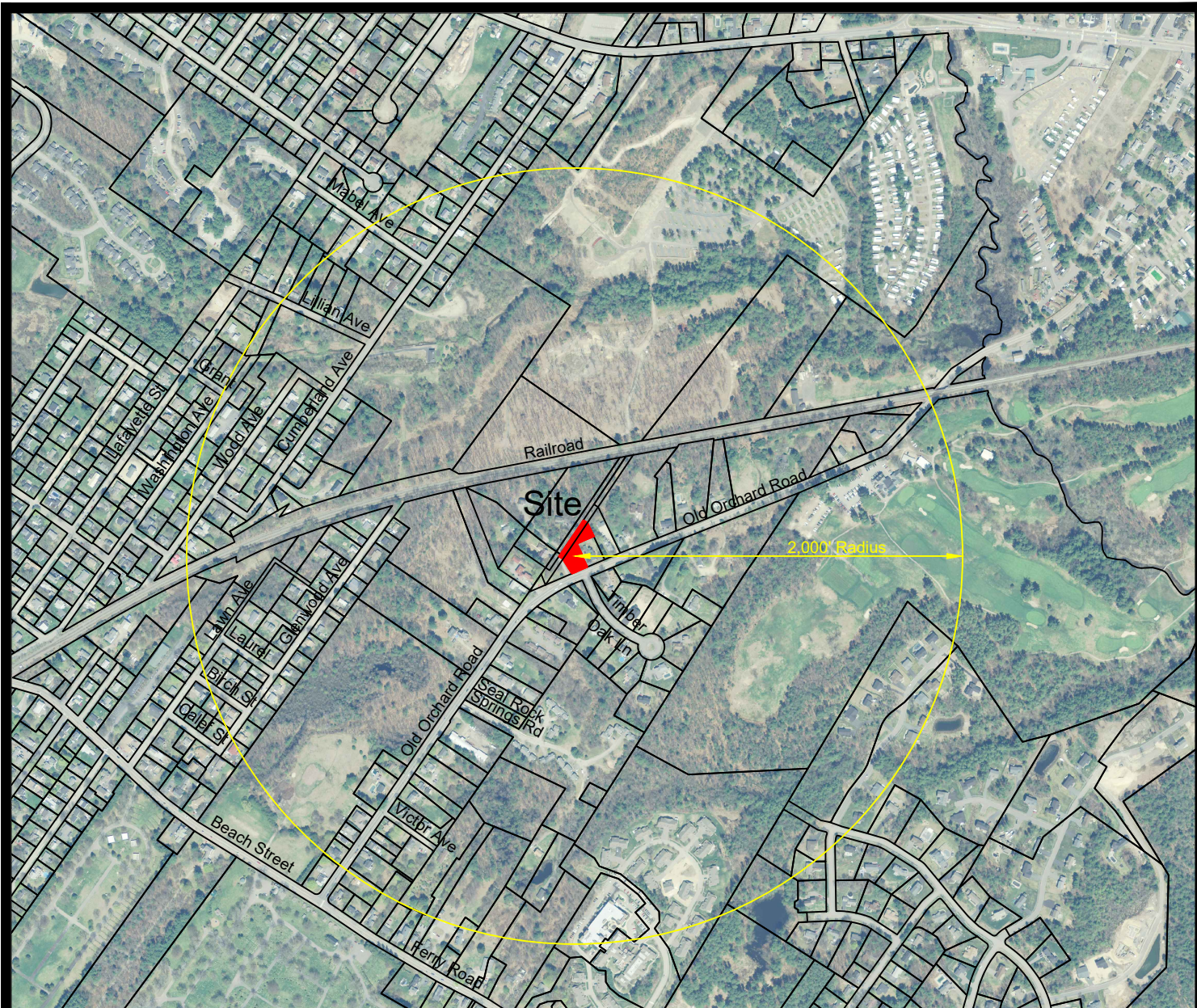
OWEN HASKELL, INC.
 390 US ROUTE 1, UNIT 10
 FALMOUTH, MAINE 04105
 TEL. (207) 774-0424

DATE: JUNE 2020
 SCALE: 1" = 200'
 OHI JOB NO. 2019-326 S-Y

Site Location Map

66 Old Orchard Road
 Saco, Maine

Made for
 Wendy Fernandez and
 Steven Trask

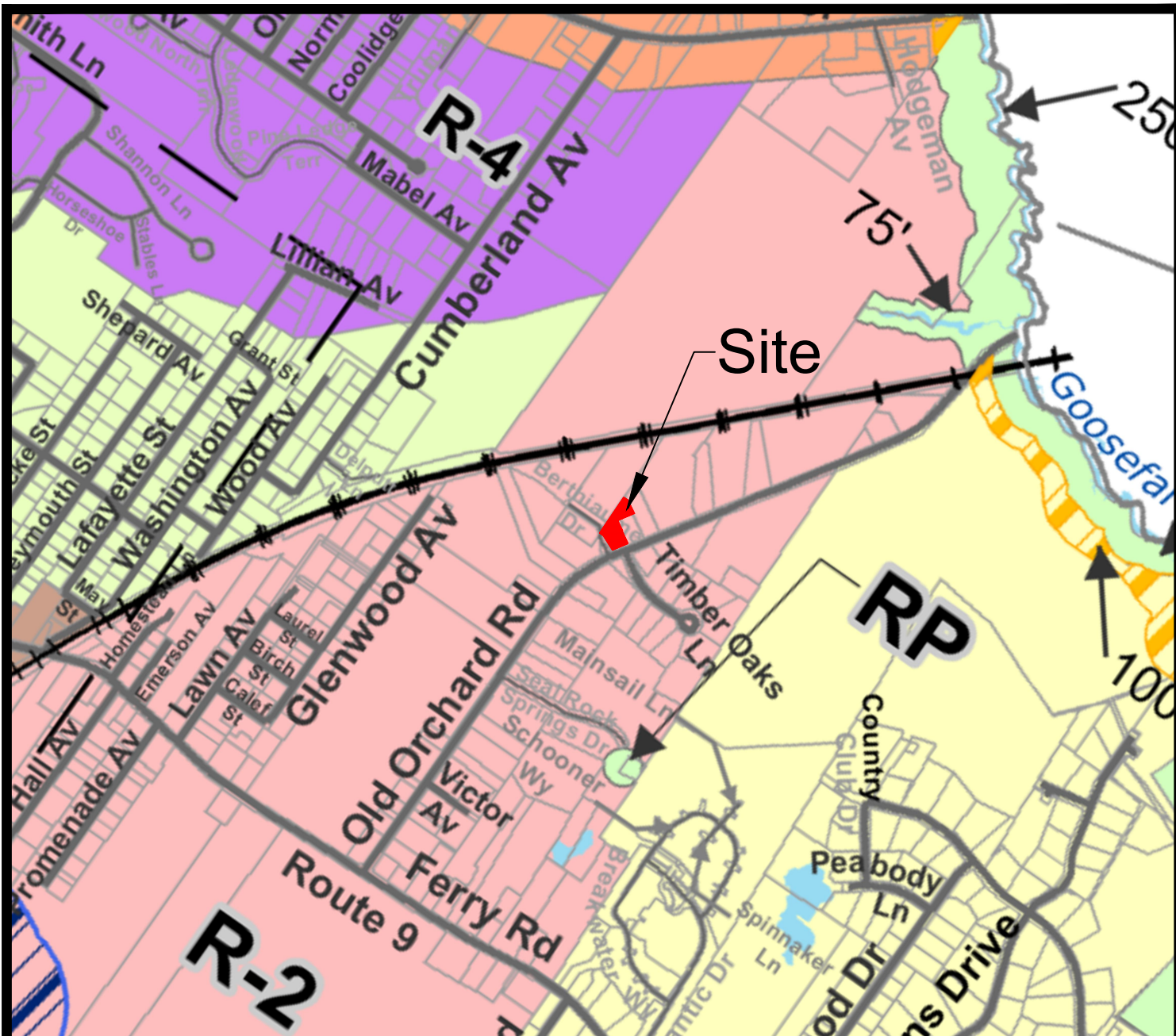


PLAN REFERENCE:

PLOT PLAN, #66 OLD ORCHARD ROAD, SACO, MAINE
 MADE FOR MANN ENTERPRISE, INC. APRIL 13, 2020
 BY OWEN HASKELL, INC.

Site Location Map
 66 Old Orchard Road
 Saco, Maine
 Made for
 Wendy Fernandez and Steven Trask

OWEN HASKELL, INC.
 PROFESSIONAL LAND SURVEYORS
 390 U.S. ROUTE ONE, UNIT 10, FALMOUTH, MAINE 04105
 DATE: 06/23/2020 | SCALE: 1" = 800' | JOB # 2019-326 SY



PLAN REFERENCE:

PLOT PLAN, #66 OLD ORCHARD ROAD, SACO, MAINE
 MADE FOR MANN ENTERPRISE, INC. APRIL 13, 2020
 BY OWEN HASKELL, INC.

Site Zoning Map
 66 Old Orchard Road
 Saco, Maine
 Made for
 Wendy Fernandez and Steven Trask

OWEN HASKELL, INC.
 PROFESSIONAL LAND SURVEYORS
 390 U.S. ROUTE ONE, UNIT 10, FALMOUTH, MAINE 04105
 DATE: 06/23/2020 | SCALE: 1" = 800' | JOB # 2019-326 SY



Pineland

Cumberland Hall
41 Campus Drive, Suite 101
New Gloucester, ME 04260

Portland

565 Congress Street, Suite 201
Portland, ME 04101

February 5, 2021

Project 2052

Bob Hamblen, City Planner
City of Saco
300 Main Street
Saco, Maine 04072

**Subject: 66B Old Orchard Road
Response to City Engineer Comments**

Dear Bob,

Our office received staff review comments for the above referenced project from Joe Laverriere, P.E., dated January 25, 2021. We have reviewed the comments and have prepared the responses presented below. For clarity, each comment is repeated in italics, followed by our response.

Comment 1: In accordance with Section 1104-1.2.d of the ordinance, the Site Plan needs to contain coordinates on at least four corners of the site for geo-referencing purposes.

Response: Four corners of the project site have been labeled with coordinates on the Site & Utility Plan (Sheet C-2.0)

Comment 2: Provide vertical datum basis for the benchmark.

Response: A vertical datum basis has been added to sheet C-2.0 Note 7.

Comment 3: Label the setback between the edge of pavement and the easterly property line.

Response: A dimension has been added from the edge of pavement to the eastern property line on Sheet C-2.0.

Comment 4: A Planning Board signature block should be added to Sheet C-2.0 of the plan set.

Response: A Planning Board signature block has been added to Sheet C-2.0.

Comment 5: What is the permitting status for the wetland impacts with ACOE?

Response: The U.S. Army Corps of Engineers authorized the proposed wetland impacts on 12/17/2020. The Authorization Letter is attached, and Note 12 referencing the approval has been added to the Site & Utility Plan.

Comment 6: A note should be added to Sheet C-2.0 of the plan set summarizing the net residential density for the site.

Response: A note has been added on Sheet C-2.0 summarizing net residential density for the site.

Comment 7: A note should be added to Sheet C-2.0 summarizing the off-street parking requirements in accordance with Table 708-2 of the Zoning Ordinance.

Response: A note has been added on Sheet C-2.0 summarizing off street parking requirements for the site.

Comment 8: The parking layout simply does not work and does not allow for adequate maneuvering space for vehicles backing into or out of several parking spaces.

Response: The parking lot has been adjusted to provide a 10' turnaround space next to the visitor parking space. Striping has been added to the end of the parking lot.

Comment 9: Has MWC reviewed and approved the proposed water service connections as shown?

Response: We have provided Maine Water Company with a revised utility plan for review. We are waiting for their response, which we will forward to the city when received.

Comment 10: Is the proposed building foundation intended to include full depth basements?

Response: The proposed building foundation will include a full depth basement.

Comment 11: What is proposed for foundation perimeter drainage and where is this intended to discharge?

Response: Perforated piping set in crushed stone will surround the foundation perimeter. Due to the topography of the site, free discharge is not possible. A sump pump will be installed under the basement slab and will discharge groundwater to the swale located on the west side of the building.

Comment 12: Has the applicant contacted the United States Postal Service to inquire about mail delivery to this site? Is a centralized mail box for delivery required for this site? If so, then the location should be shown on the plans.

Response: The United States Postal Service (USPS) has verified that the project should be served by 3 separate mailboxes located at the end of the proposed driveway. Mailbox locations have been added to the Site & Utility Plan (Sheet C-2.0).

Comment 13: The project site is located within the Goosefare Brook watershed, which is an urban impaired stream and a priority watershed within the City that is also part of a watershed management plan that has been approved by MDEP. The impervious area is anticipated to be less than 10,000 s.f.; therefore, formal stormwater quantity and quality control will likely not be required; however, we would encourage the applicant consider opportunities to install stormwater BMPs or LID measures to mitigate surface runoff from the site. There is a potential for the stormwater BMPs for this project to be eligible for funding assistance from the City through an ongoing 319 Grant with MDEP.

Response: The applicant does not wish to install stormwater BMPs on the project site.

Comment 14: Due to the close proximity of the proposed building to the zoning setback lines, the building foundation should be required to be surveyed located by a licensed surveyor prior to the start of foundation construction.

Response: A note has been added to Sheet C-2.0 requiring that the building foundation be laid out by a licensed surveyor prior to construction.

Comment 15: Plans should show location of underground electric, telephone and communication services.

Response: Underground electrical electric, telephone and communications services are shown on the revised Site & Utility Plan (Sheet C-2.0).

Comment 16: Is a pad mounted transformer required? If so, this should be shown on the site plan.

Response: It is anticipated that a pole mounted transformer will be sufficient to serve the proposed building. The applicant will coordinate with the Central Maine Power Company to verify the transformer location prior to construction.

Comment 17: What are the plans for siting mechanical or HVAC equipment? Will these be placed on concrete pads or mounted on the roof?

Response: The building will likely be heated and cooled using heat pumps with pad mounted equipment. The locations of individual pad mounted equipment have been added to the Site & Utility Plan (Sheet C-2.0).

Comment 18: Are there any plans for exterior lighting on the site?

Response: A site lighting plan has been prepared for the site. The plan includes one pole mounted light and several wall packs. A copy of the Lighting Photometric Plan (Sheet P-1.0) is attached for review.

Comment 19: Consideration should be given to grading a swale along the easterly property line to convey surface runoff towards the rear of the site and avoid surface runoff from this site being discharged towards the developed portion of the adjacent parcel.

Response: A swale has been added along the eastern property boundary as suggested. The applicant is in the process of securing a grading easement from the abutter to the east in order to construct the swale. The swale and easement are shown on the attached revised drawings. A copy of the easement will be provided to the city when it is executed.

We trust that the above responses and attached materials address the comments. Please contact me directly with additional questions or comments.

Sincerely,

TERRADYN CONSULTANTS LLC



Michael E. Tadema-Wielandt, P.E.
Vice President

Attachments:

- Revised Plan Set
- ACOE Wetland Impact permit

cc: Jon Safford
Joe Laverriere, City of Saco
Isabelle Oechsle, City of Saco



REPLY TO ATTENTION OF

DEPARTMENT OF THE ARMY
NEW ENGLAND DISTRICT, CORPS OF ENGINEERS
696 VIRGINIA ROAD
CONCORD, MASSACHUSETTS 01742-2751

MAINE GENERAL PERMITS (GPs)
AUTHORIZATION LETTER AND SCREENING SUMMARY

STEVEN TRASK
128 OAK LANE
DAYTON, MAINE 04005

CORPS PERMIT # NAE-2020-02961
CORPS GPs 8
STATE ID# exempt

DESCRIPTION OF WORK:

Place permanent fill in approximately 2,237 SF of freshwater wetland off 66B Old Orchard Road at Saco, Maine in order to construct a 3-unit residential building with associated driveway and parking. This work is shown on the attached plans entitled "SITE LOCATION USGS MAP" in one sheet dated "11/10/2020" and "GRADING & DRAINAGE PLAN C-1.0" in one sheet dated "9/8/2020".

See GENERAL CONDITIONS attached.

LAT/LONG COORDINATES: 43.500499° N -70.422647° W USGS QUAD: OLD ORCHARD BEACH, ME

I. CORPS DETERMINATION:

Based on our review of the information you provided, we have determined that your project will have only minimal individual and cumulative impacts on waters and wetlands of the United States. Your work is therefore authorized by the U.S. Army Corps of Engineers under the Federal Permit, the Maine General Permits (GPs) which can be found at: https://www.nae.usace.army.mil/Missions/Regulatory/State-General-Permits/Maine-General-Permit/ Accordingly, we do not plan to take any further action on this project.

You must perform the activity authorized herein in compliance with all the terms and conditions of the GP [including any attached Additional Conditions and any conditions placed on the State 401 Water Quality Certification including any required mitigation]. Please review the enclosed GPs, including the GPs conditions beginning on page 5, to familiarize yourself with its contents. You are responsible for complying with all of the GPs requirements; therefore you should be certain that whoever does the work fully understands all of the conditions. You may wish to discuss the conditions of this authorization with your contractor to ensure the contractor can accomplish the work in a manner that conforms to all requirements.

If you change the plans or construction methods for work within our jurisdiction, please contact us immediately to discuss modification of this authorization. This office must approve any changes before you undertake them.

Condition 45 of the GPs (page 19) provides one year for completion of work that has commenced or is under contract to commence prior to the expiration of the GPs on October 14, 2025. You will need to apply for reauthorization for any work within Corps jurisdiction that is not completed by October 14, 2026.

This authorization presumes the work shown on your plans noted above is in waters of the U.S. Should you desire to appeal our jurisdiction, please submit a request for an approved jurisdictional determination in writing to the undersigned.

No work may be started unless and until all other required local, State and Federal licenses and permits have been obtained. This includes but is not limited to a Flood Hazard Development Permit issued by the town if necessary.

II. STATE ACTIONS: PENDING [], ISSUED [], DENIED [] DATE _____

APPLICATION TYPE: PBR: __, TIER 1: __, TIER 2: __, TIER 3: __, LURC: __, DMR LEASE: __, NA: X

III. FEDERAL ACTIONS:

JOINT PROCESSING MEETING: non-screen LEVEL OF REVIEW: SELF-VERIFICATION: X PRE-CONSTRUCTION NOTIFICATION: __

AUTHORITY (Based on a review of plans and/or State/Federal applications): SEC 10 __, 404 X, 10/404 __, 103 __

EXCLUSIONS: The exclusionary criteria identified in the general permit do not apply to this project.

FEDERAL RESOURCE AGENCY OBJECTIONS: EPA N/A, USF&WS N/A, NMFS N/A

If you have any questions on this matter, please contact my staff at 978-318-8676 at our Augusta, Maine Project Office. In order for us to better serve you, we would appreciate your completing our Customer Service Survey located at: http://corpsmapu.usace.army.mil/cm_apex/f?p=136:4:0

COLIN M. GREENAN
PROJECT MANAGER
MAINE PROJECT OFFICE

FOR FRANK J. DEL GIUDICE
CHIEF, PERMITS & ENFORCEMENT BRANCH
REGULATORY DIVISION
DATE 12/17/20



**US Army Corps
of Engineers**
New England District

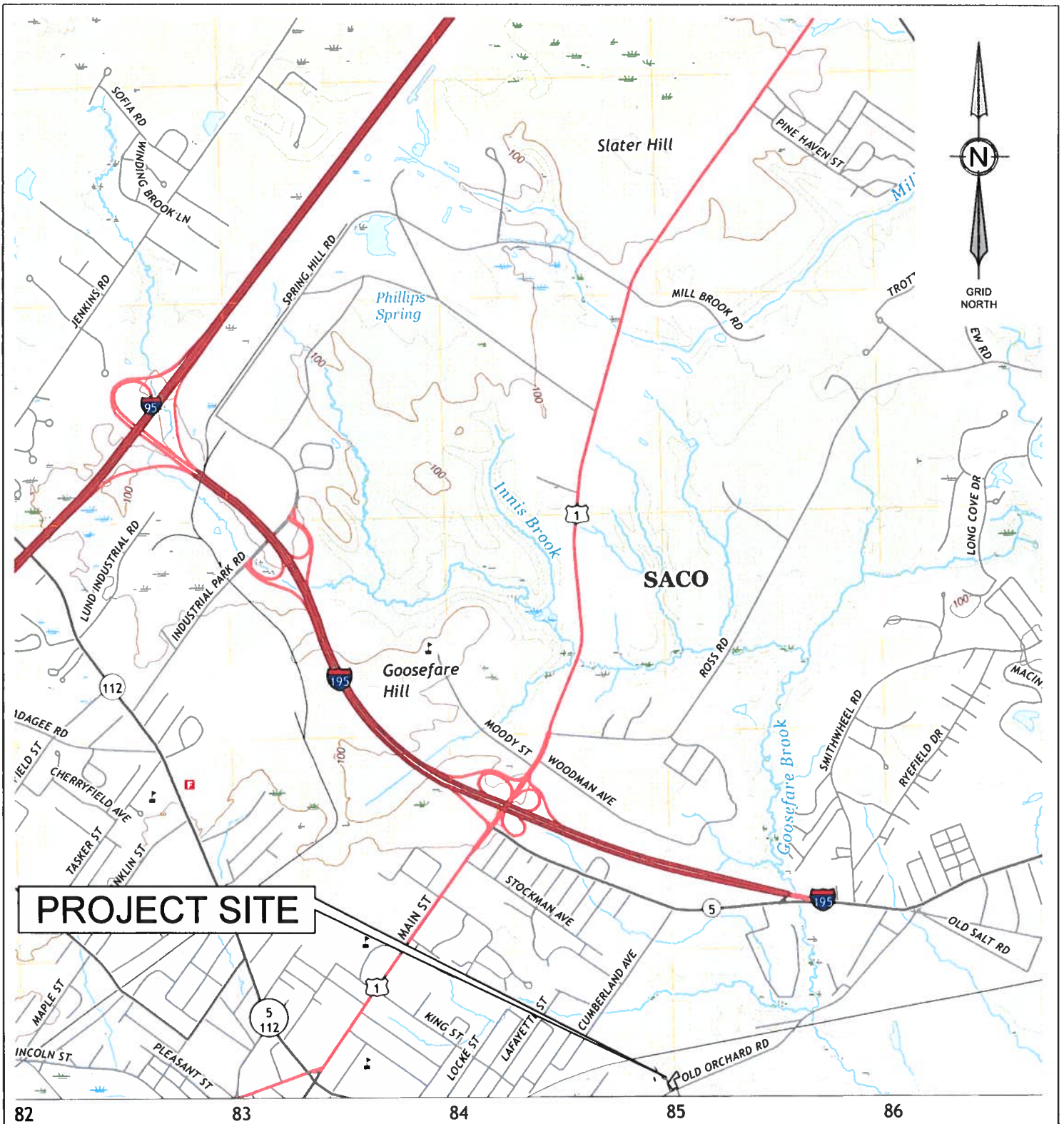
**PLEASE NOTE THE FOLLOWING GENERAL CONDITIONS FOR
DEPARTMENT OF THE ARMY
MAINE GENERAL PERMIT 8
PERMIT NO. NAE-2020-02961**

GENERAL CONDITIONS

23. Soil Erosion, Sediment, and Turbidity Controls: a. Adequate sedimentation and erosion control management measures, practices and devices, such as phased construction, installation of sediment control barriers (i.e. silt fence, vegetated filter strips, geotextile silt fences, erosion control mixes, hay bales or other devices) downhill of all exposed areas, retention of existing vegetated buffers, application of temporary mulching during construction, and permanent seeding and stabilization shall be installed and properly maintained to reduce erosion and retain sediment on-site during and after construction. They shall be capable of preventing erosion; of collecting sediment, suspended and floating materials; and of filtering fine sediment. b. Temporary sediment control barriers shall be removed upon completion of work, but not until all disturbed areas are permanently stabilized. The sediment collected by these sediment barriers shall be removed and placed at an upland location and stabilized to prevent its later erosion into a waterway or wetland. All exposed soil and other fills shall be permanently stabilized at the earliest practicable date.

33. Permit(s)/Authorization Letter On-Site. The permittee shall ensure that a copy of the terms and conditions of these GPs and any accompanying authorization letter with attached plans are at the site of the work authorized by these GPs whenever work is being performed and that all construction personnel performing work which may affect waters of the U.S. are fully aware of the accompanying terms and conditions. The entire permit authorization shall be made a part of any and all contracts and subcontracts for work that affects areas of Corps jurisdiction at the site of the work authorized by these GPs. This shall be achieved by including the entire permit authorization in the specifications for work. The term "entire permit authorization" means all terms and conditions of the GPs, the GPs, and the authorization letter (including its drawings, plans, appendices and other attachments) and subsequent permit modifications as applicable. If the authorization letter is issued after the construction specifications, but before receipt of bids or quotes, the entire permit authorization shall be included as an addendum to the specifications. If the authorization letter is issued after receipt of bids or quotes, the entire permit authorization shall be included in the contract or subcontract. Although the permittee may assign various aspects of the work to different contractors or subcontractors, all contractors and subcontractors shall be obligated by contract to comply with all environmental protection provisions contained within the entire GP authorization,

34. Inspections. The permittee shall allow the Corps to make periodic inspections at any time deemed necessary in order to ensure that the work is eligible for authorization under these GPs, is being, or has been performed in accordance with the terms and conditions of these GPs.



PROJECT SITE

SITE LOCATION USGS MAP

PROJECT:
 PROPOSED 3-UNIT DEVELOPMENT
 66B OLD ORCHARD ROAD, SACO, MAINE

PREPARED FOR:
 WENDY FERNANDEZ & STEVEN TRASK
 35 MADISON WAY
 GORHAM, MAINE 04038



PINELAND
 41 CAMPUS DRIVE, SUITE 101
 NEW GLOUCESTER, ME 04260

PORTLAND
 565 CONGRESS STREET, SUITE 201
 PORTLAND, ME 04101

207.926.5111 • info@terradyconsultants.com • www.terradyconsultants.com

PROJECT NO.	2052	SHEET	1
DATE	11/10/2020	OF	1
SCALE	1"=2,000'		

GENERAL NOTES:

- THE RECORD OWNER OF THE PARCEL IS WENDY FERNANDEZ & STEVEN TRASK BY DEED RECORDED IN THE YORK COUNTY REGISTRY OF DEEDS IN BOOK 18243, PAGE 193.
- THE PROPERTY IS SHOWN AS LOT 83 ON THE CITY OF SACO TAX MAP 27 AND IS LOCATED IN THE MEDIUM DENSITY DISTRICT (R2) ZONE.
- SPACE AND BULK CRITERIA:

RESIDENTIAL GROWTH AREA 2 ZONE	REQUIRED	PROPOSED
MIN. LOT SIZE:	7,500 SF.	21,124 SF.
MIN. STREET FRONTAGE:	75 FT.	85 FT.
MIN. FRONT YARD:	25 FT.	26 FT.
MIN. SIDE YARD:	15 FT.	16 FT.
MIN. REAR YARD:	15 FT.	77 FT.
MAX. BUILDING HEIGHT:	35 FT.	35 FT.
MAX. BUILDING COVERAGE:	30 %	7 %
- TOTAL AREA OF PARCEL: .048 Ac.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON A BOUNDARY & TOPOGRAPHIC SURVEY BY OWEN HASKELL, INC., COMPLETED IN 2020.
- BEARINGS ARE BASED ON STATE PLANE COORDINATE SYSTEM, MAINE WEST ZONE, NAVD88 PER GPS OBSERVATION.
- ELEVATIONS ARE BASED ON NAVD88 PER GPS OBSERVATION.
- PARKING CALCULATION

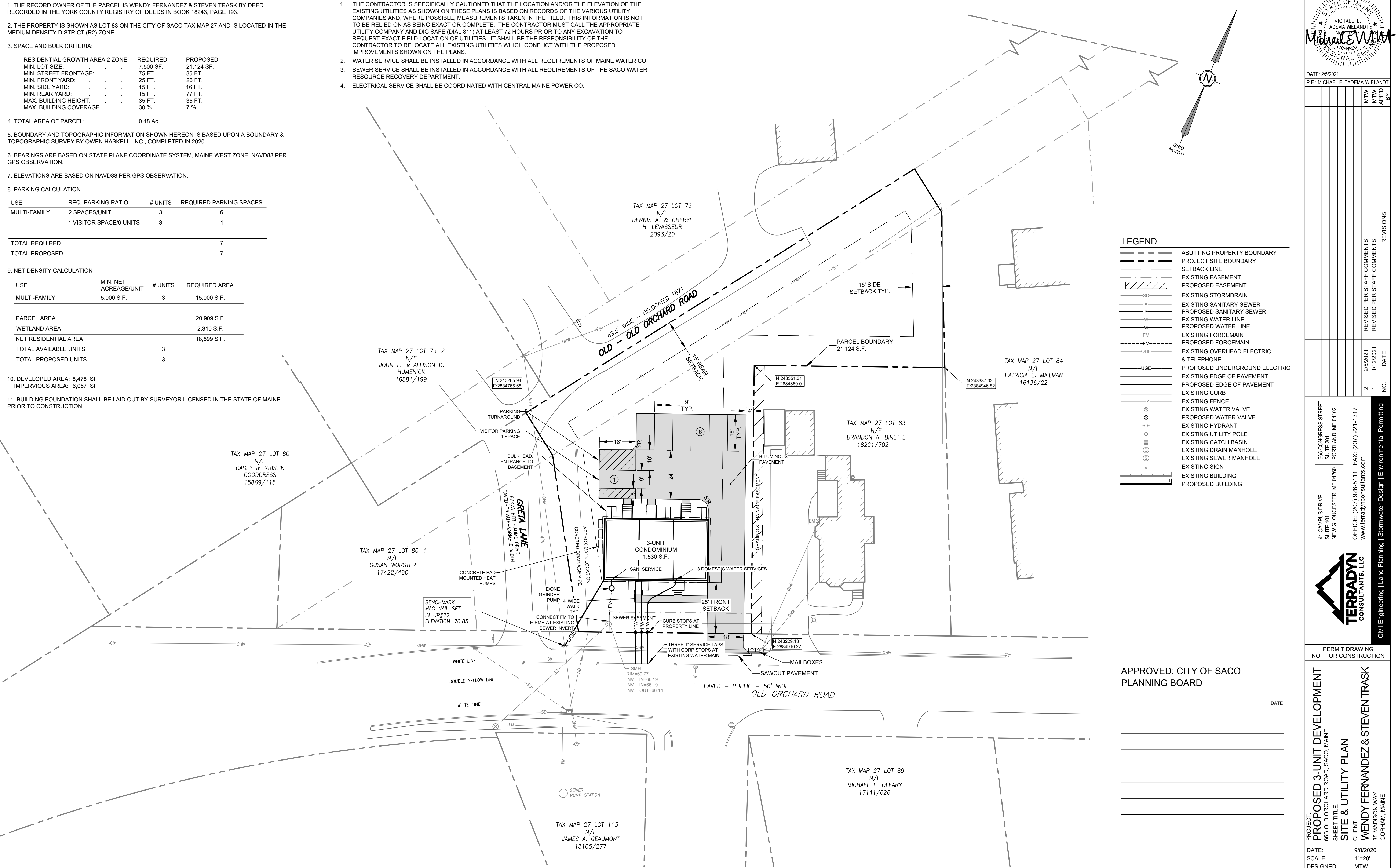
USE	REQ. PARKING RATIO	# UNITS	REQUIRED PARKING SPACES
MULTI-FAMILY	2 SPACES/UNIT	3	6
	1 VISITOR SPACE/6 UNITS	3	1
TOTAL REQUIRED			7
TOTAL PROPOSED			7
- NET DENSITY CALCULATION

USE	MIN. NET ACREAGE/UNIT	# UNITS	REQUIRED AREA
MULTI-FAMILY	5,000 S.F.	3	15,000 S.F.

PARCEL AREA: 20,909 S.F.
 WETLAND AREA: 2,310 S.F.
 NET RESIDENTIAL AREA: 18,599 S.F.
 TOTAL AVAILABLE UNITS: 3
 TOTAL PROPOSED UNITS: 3
- DEVELOPED AREA: 8,478 SF
 IMPERVIOUS AREA: 6,057 SF
- BUILDING FOUNDATION SHALL BE LAID OUT BY SURVEYOR LICENSED IN THE STATE OF MAINE PRIOR TO CONSTRUCTION.

UTILITY NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (DIAL 811) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- WATER SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH ALL REQUIREMENTS OF MAINE WATER CO.
- SEWER SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH ALL REQUIREMENTS OF THE SACO WATER RESOURCE RECOVERY DEPARTMENT.
- ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAINE POWER CO.

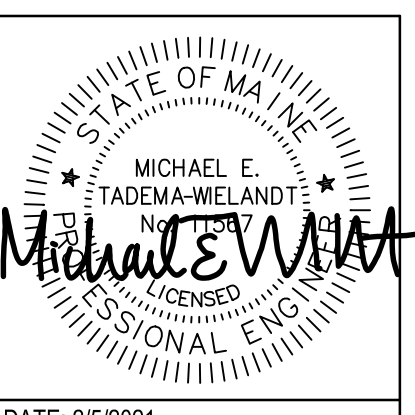


LEGEND

---	ABUTTING PROPERTY BOUNDARY
---	PROJECT SITE BOUNDARY
---	SETBACK LINE
---	EXISTING EASEMENT
---	PROPOSED EASEMENT
SD	EXISTING STORMDRAIN
S	EXISTING SANITARY SEWER
S	PROPOSED SANITARY SEWER
W	EXISTING WATER LINE
W	PROPOSED WATER LINE
FM	EXISTING FORCEMAIN
FM	PROPOSED FORCEMAIN
OHE	EXISTING OVERHEAD ELECTRIC & TELEPHONE
UGE	PROPOSED UNDERGROUND ELECTRIC
---	EXISTING EDGE OF PAVEMENT
---	PROPOSED EDGE OF PAVEMENT
---	EXISTING CURB
---	EXISTING FENCE
---	EXISTING WATER VALVE
---	PROPOSED WATER VALVE
---	EXISTING HYDRANT
---	EXISTING UTILITY POLE
---	EXISTING CATCH BASIN
---	EXISTING DRAIN MANHOLE
---	EXISTING SEWER MANHOLE
---	EXISTING SIGN
---	EXISTING BUILDING
---	PROPOSED BUILDING

APPROVED: CITY OF SACO
 PLANNING BOARD

DATE _____



DATE: 2/5/2021
 P.E.: MICHAEL E. TADEIMA-WIELANDT

NO.	DATE	REVISIONS
2	2/5/2021	REVISED PER STAFF COMMENTS
1	1/17/2021	REVISED PER STAFF COMMENTS

565 CONGRESS STREET
 SUITE 201
 PORTLAND, ME 04102

41 CAMPUS DRIVE
 SUITE 101
 NEW GLOUCESTER, ME 04280

OFFICE: (207) 926-5111 FAX: (207) 221-1317
 www.terradynconsultants.com



PERMIT DRAWING
 NOT FOR CONSTRUCTION

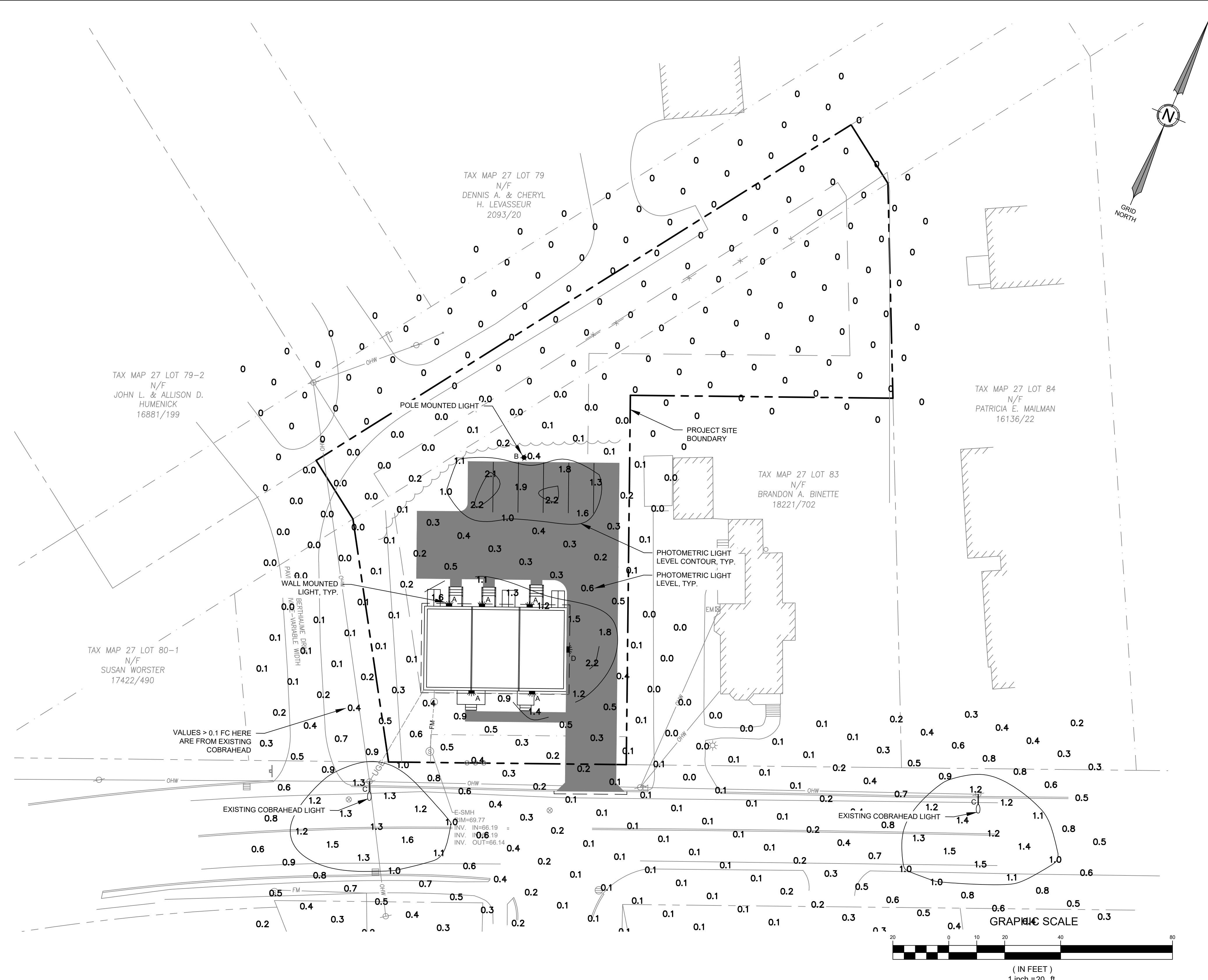
PROJECT: PROPOSED 3-UNIT DEVELOPMENT
 668 OLD ORCHARD ROAD, SACO, MAINE

SHEET TITLE: SITE & UTILITY PLAN

CLIENT: WENDY FERNANDEZ & STEVEN TRASK
 35 MADISON WAY
 GORHAM, MAINE

DATE: 9/8/2020
 SCALE: 1"=20'
 DESIGNED: MTW
 JOB NO: 2052
 FILE: 2052-BASE.dwg
 SHEET: C-2.0

Civil Engineering | Land Planning | Stormwater Design | Environmental Permitting



LIGHT FIXTURE TABLE						
LABEL	LIGHT FIXTURE	MANUFACTURER	MANUFACTURERS ID	NUMBER OF LIGHTS	MOUNTING HEIGHT	MOUNTING LOCATION
A	TYPICAL RESIDENTIAL WALL FIXTURE W/ LED BULB	PHILIPS	LED BULB_60W-E27-A19-830-FR	5	9'	WALL
B	RATIO AREA SIZE 1	HUBBELL	RAR1-80L-39-3K7-4W-BC	1	15'	POLE
C	EXISTING COBRAHEAD ON POLE	CREE LIGHTING	RSWM-A-HT-3ME-9L-30K7-UL-GY-N-X6	2	32'	EXISTING POLE
D	LNC2	HUBBELL	LNC2-18L-3K-035-3	1	10'	WALL

- NOTES:**
- LIGHTING PLAN PREPARED USING DESIGN MASTER PHOTOMETRICS SOFTWARE
 - ONLY PROPOSED LIGHTING FIXTURES AND ONE EXISTING COBRAHEAD FIXTURE ON A UTILITY POLE ARE MODELED
 - DEPRECIATION FACTOR FOR LED IS 0.90

SACO LIGHTING STANDARDS		
STANDARD	REQUIRED VALUE	PROVIDED VALUE
ACCESS DRIVE UNIFORMITY RATIO (AVE TO MIN)	< 4.1	3.37
PARKING LOT UNIFORMITY RATIO (MAX TO MIN)	< 20.1	11.0
MAX ILLUMINATION AT PROPERTY LINE FROM PROPOSED LIGHTS	0.1 FC	0.1 FC *
MAX ILLUMINATION	8.0 FC	2.4 FC
MAX POLE HEIGHT	20'	15'

* VALUES OVER THE PROPERTY LINE ALONG THE DRIVEWAY NEAR OLD ORCHARD ROAD THAT ARE GREATER THAN 0.1 FC ARE DUE TO THE EXISTING COBRAHEAD LIGHT FIXTURE MOUNTED ON A UTILITY POLE, NOT FROM PROPOSED LIGHT FIXTURES.

HUBBELL Outdoor Lighting

RATIO Series

AREA/SITE LIGHTER

FEATURES

- Low profile LED area/site luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Sine Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available

CONTROL TECHNOLOGY

SiteSync™ NX DISTRIBUTED INTELLIGENCE™ WISCAPE™

SPECIFICATIONS

CONSTRUCTION

- Rectilinear form mimics the traditional shadow box form factor keeping a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 90, 320 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI) CCT
- Zero uplight at 0 degrees of tilt
- Field rotatable optics

INSTALLATION

- Standard square arm mount, compatible with B3 drill pattern
- Optional universal mounting block for ease of installation during retrofit applications. Available as an option or accessory for square and round poles.
- Knuckle arm filler option available for 2-3/8" O.D. stems. Max tilt of 60 degrees with 4 degree adjustable increments. (Restrictions apply for 7-pin options)

ELECTRICAL

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____



RELATED PRODUCTS

• Aire • Cimarron LED • Ratio Family

CERTIFICATIONS

- UL US IP66 DLC DLC HIGH EFFICIENCY BUY AMERICAN SOLUTIONS See Certification Specifications

CONSTRUCTION (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90% power factor and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto-recovery
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C82.41.2 Category C High and Surge Location Category C3. Automatically takes fixture off-line for protection when device is compromised

CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- 7-pin ANSI C136.41-2013 photocorrel receptacle option available for twist lock photocorrel or wireless control modules (control accessories sold separately)
- 0-10V dimming leads available for use with control devices (provided by others, must specify lead length)
- SiteSync™ wireless control system is available via 7-pin See ordering information and details at: www.hubbelllighting.com/sitesync
- NX Distributed Intelligence™ available with in fixture wireless control module, features dimming and occupancy sensor
- WISCAPE™ available with in fixture wireless control module, features dimming and occupancy sensor via 7-pin

KEY DATA

Lumen Range	3,000-48,000
Wattage Range	25-340
Efficacy Range (LPW)	118-155
Fixture Projected Life (Hours)	170>60K
Weights lbs. (kg)	13.5-24 (6.1-10.9)

HUBBELL Outdoor Lighting

LNC2

SMALL LED LITEPAK

FEATURES

- 60% more lumens and increased performance than smaller LNC models
- 3000K, 4000K and 5000K as well as Amber
- Type II, III and IV distributions available for a variety of application needs
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada
- Stock versions available for fast service
- Full cut-off, neighbor friendly, IDA approved
- Optional photocorrel for additional energy savings

CONTROL TECHNOLOGY

SiteSync™

SPECIFICATIONS

CONSTRUCTION

- Rugged die-cast aluminum housing protects components and provides an architectural appearance
- Casting thermally conducts LED heat to optimize performance and long life
- Powder paint finish provides durability in outdoor environments

OPTICS

- Zero uplight distributions using individual acrylic
- LED optics provide IES type II, III and IV distributions. Optional (CS) acrylic diffuser available for reduced glare
- Prismatic reflector lens provides ~10% uplight for increased vertical footcandles and forward light projection ideal for security lighting
- L96 at 60,000hrs (Projected per IESNA TM-21-11); see table on page 3 for all values

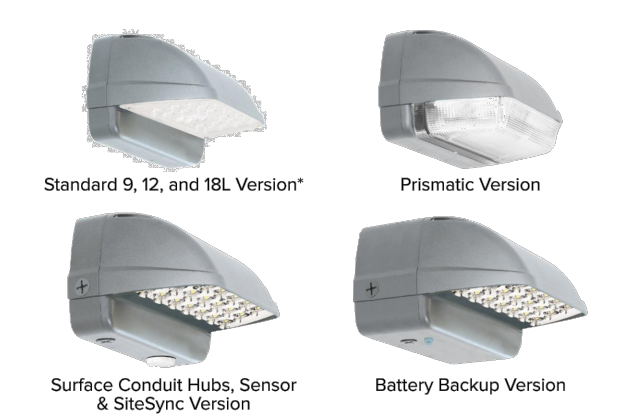
INSTALLATION

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct to box mount
- Optional 1/2" conduit hubs available (standard for sensor, SiteSync and battery versions)

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____



RELATED PRODUCTS

• LNC • INC3 • LNC4

CERTIFICATIONS

- UL US IP66 DLC DLC HIGH EFFICIENCY BUY AMERICAN SOLUTIONS See Certification Specifications

ELECTRICAL

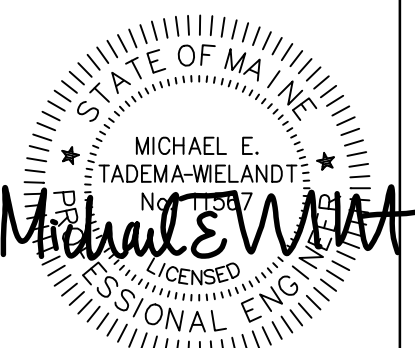
- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option in 12-0/0 configuration
- Minimum operating temperature is -40°C/-40°F (excludes 12L-035 and P15 configurations)
- Drivers have greater than .90 power factor and less than 20% Total Harmonic Distortion
- Driver RoHS and IP66
- 10kA surge protector
- 3000K CCT nominal, 4000K CCT nominal, 5000K CCT nominal (70 CRI)
- 9, 12 and 18 LED configurations available see pages 2 and 3 for electrical and photometric details

CONTROLS

- Universal button photocorrel
- Occupancy sensor options available for complete on/off and dimming control
- SiteSync pre-commissioned wireless controls (with or without sensor)
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Dual Driver and Dual Power Feed option for 18L-070 versions

KEY DATA

Lumen Range	2600-4100
Wattage Range	29-42
Efficacy Range (LPW)	85-112
Fixture Projected Life (Hours)	136>60K
Weights lbs. (kg)	9.6 (24.5)



DATE: 2/5/2021
P.E.: MICHAEL E. WADE-MIELANDT

NO.	DATE	REVISIONS
1	2/5/2021	REVISED PER STAFF COMMENTS

PROJECT: PROPOSED 3-UNIT DEVELOPMENT
668 OLD ORCHARD ROAD, SACO, MAINE

SHEET TITLE: PHOTOMETRICS LIGHTING PLAN

CLIENT: WENDY FERNANDEZ & STEVEN TRASK
36 MADISON WAY
GORHAM, MAINE

DATE: 9/8/2020
SCALE: 1"=20'
DESIGNED: ARF
JOB NO: 2052
FILE: 2052-P.dwg

SHEET **P-1.0**

From: [Corey Huntress](#)
To: [Isabelle Oechsle](#); [Joseph A. Laverriere](#)
Cc: [Bob Hamblen](#)
Subject: RE: For Your Review: 66 Old Orchard Road, Saco
Date: Monday, January 25, 2021 10:19:54 AM
Attachments: [image003.png](#)
[image004.png](#)
[image005.png](#)

Yes this seems to cover my comments.

Corey



COREY HUNTRESS, DEPUTY CHIEF OF POLICE

Saco Police Department

20 Storer Street | Saco, ME 04072

Administration 207.282.8214 | sacomaine.org

Office 207.710.2656

Follow us: [Facebook](#) | [Twitter](#) | [Instagram](#)

From: Isabelle Oechsle <IOechsle@sacomaine.org>
Sent: Friday, January 22, 2021 11:50 AM
To: Joseph A. Laverriere <JLaverriere@sacomaine.org>; Corey Huntress <CHuntress@sacomaine.org>
Cc: Bob Hamblen <BHamblen@sacomaine.org>
Subject: FW: For Your Review: 66 Old Orchard Road, Saco

Hi Joe and Corey,

I am following up regarding 66 Old Orchard Road. We received the attached plans intended to act as responses to comments previously provided by the both of you. Can you please review and let us know if these satisfy your comments?

Thank you,
Isabelle

From: Michael Tadema-Wielandt <mtw@terradynconsultants.com>
Sent: Wednesday, January 13, 2021 2:20 PM
To: Isabelle Oechsle <IOechsle@sacomaine.org>; Bob Hamblen <BHamblen@sacomaine.org>
Cc: Jon Safford <jonsafford@masiello.com>; Tonyf300 <tonyf300@aol.com>
Subject: RE: For Your Review: 66 Old Orchard Road, Saco

[CAUTION: THIS EMAIL ORIGINATED FROM OUTSIDE THE CITY OF SACO DOMAIN]

From: [Marcus Knipp](#)
To: [Isabelle Oechsle](#)
Cc: [Bob Hamblen](#)
Subject: RE: For Your Review: 66 Old Orchard Road, Saco
Date: Monday, December 28, 2020 12:43:34 PM
Attachments: [image002.png](#)
[image003.png](#)

**[CAUTION: THIS EMAIL ORIGINATED
FROM OUTSIDE THE CITY OF SACO
DOMAIN]**

Hello Isabelle,

Thank you for sending this my way and please accept my apologies for the delay in my response.

There is plenty of capacity in this area for the three units as shown on the provided plan set. Maine Water would potentially allow a connection off of either the 4-inch main on Greta Lane, and the 12-inch cast iron main on Old Orchard Road, however our preference definitely would be with the 12-inch main on Old Orchard Road (especially if sprinklers are required as the demand load is much larger and local hydraulics would benefit being served from the larger main). This keeps things much cleaner for the utility where our assets are only installed in the public right of way and we would not need to secure easements for operation of our shut off valves installed near or on the private drive that is Greta Lane.

We require individual taps for each service/meter unless the building owner wanted to 'master' meter the entire building. In the master meter case, the HOA or Condo Association would be responsible for the bill, but if the owner wanted to keep everything separate, they would be looking at 3 individual 1-inch service taps for this location. If sprinklers are required, one single sprinkler line could potentially serve the entire building, but that would again result in the association paying the private fire protection bill.

Would you like an official letter drafted stating Maine Water has capacity to serve this project, or is this sufficient for the planning board requirements?

Thanks again and I look forward to working with you on future projects,
Marcus

Marcus Knipp, E.I.T.
Engineer



93 Industrial Park Road
Saco, ME 04072
[Office: 207-294-6943](tel:207-294-6943)
[Cell: 207-468-2089](tel:207-468-2089)

From: Isabelle Oechsle <IOechsle@sacomaine.org>
Sent: Wednesday, November 18, 2020 4:58 PM
To: Marcus Knipp <Marcus.Knipp@MaineWater.com>
Cc: Bob Hamblen <BHamblen@sacomaine.org>
Subject: For Your Review: 66 Old Orchard Road, Saco

Please note: THIS EMAIL ORIGINATED FROM AN EXTERNAL SOURCE.

Hi Marcus,

I hope that you're doing well. The City of Saco has received an application to construct a 3-unit multi-family building. Units are proposed to have 2 bedrooms and 2 baths, with water being pulled either from Old Orchard Road or from private way Greta Lane. You may already be familiar with this project, as the applicants indicated that their engineer may be reaching out to you. In any case, we are forwarding to you for your review. Does Maine Water have the capacity for these 3 units? Also, are you able to recommend which access may be better (off of Old Orchard or off of Greta)?

Thanks for any assistance that you can provide!

Best,



ISABELLE V. OECHSLIE

Planning & Economic Development Associate
300 Main Street | Saco, ME 04072

t 207.282.3487 ext. 353 | sacomaine.org

Follow us: [Facebook](#) | [Twitter](#) | [Instagram](#)

Memorandum

November 2, 2020

TO: Isabelle Oechsle
FROM: Benjamin Griffith, Wetland Scientist, Normandeau Associates, Inc.
SUBJECT: 66 Old Orchard Road Road, Wetland Delineation Peer Review

Normandeau Associates conducted a review on Friday October 17, of the wetland delineation performed by Albert Frick Associates at the proposed subdivision at 66 Old Orchard Road in Saco, ME. The majority of the site consists of meadow dominated by goldenrods (*Solidago* spp.). There is a small forested area along the northern edge of the lot, dominated by honeysuckle (*Lonicera* sp.) and European buckthorn (*Rhamnus cathartica*). There is a small constructed drainage flowing through the closed canopy and a small wetland at the head of the drainage. The review of the delineated wetland boundaries included an examination of the vegetation, soils, and hydrology to determine accuracy according to the guidelines contained in the 2012 regional supplement to the U.S. Army Corps of Engineers Wetland Delineation Manual.

Normandeau finds that the wetland delineation accurately depicts the current conditions at the site within the proposed project area. No alterations to the wetland boundaries as depicted on the provided plan set are needed.

Please contact me at bgriffith@normandeau.com at (603) 637-1136 if you have any questions.

Regards,



Benjamin Griffith, Wetland Scientist
Normandeau Associates, Inc.

**Planning and Economic
Development**

Saco City Hall
300 Main Street
Saco, Maine 04072-1538



Bob Hamblen
Interim City Planner
BHamblen@sacomaine.org
Phone: (207) 282-3487 ext.357

To: Planning & Development Review Committee
From: Planning Department
Date: October 26, 2020 (revision)
Due Date: October 9, 2020
Review Type: Site Plan & Conditional Use Review
Project: 66 Old Orchard Road

Please provide your review about the enclosed materials. Thank you.

Reviewer:

Review Time:

Comments:



CITY OF SACO, MAINE

Saco Public Works Department
15 Phillips Spring Road
Saco, Maine 04072

Joseph A. Laverriere, P.E. - City Engineer
Telephone: (207) 284-6641
Email: jlaverriere@sacomaine.org

MEMORANDUM

TO: Robert Hamblen, Planner
DATE: March 23, 2021
RE: **66 Old Orchard Road – Revised Site Plan
Tax Map 27, Lot 83**

The Department of Public Works (DPW) has reviewed the revised site plan application materials for the above referenced project prepared by Terradyn Consultants, LLC, dated February 5, 2021 and received March 23, 2021. The following comments and recommendations have been prepared based upon our review:

1. The ACOE wetland permitting note added to sheet C-1.0 should also be added to sheet C-2.0.
2. The location of the building foundation perimeter drain discharge should be shown on the plans.
3. If the grading easement is not secured prior to approval, then we would recommend the following condition of approval:

Prior to the start of construction, a copy of the executed and recorded grading easement on the Binette property shall be provided to the City. In the event that the easement is not secured, then the applicant shall amend the plan to accommodate site drainage and grading without impacting abutting Binette property.

We look forward to discussing this project further and would be happy to clarify any of our comments made within this review memo.

PEER REVIEW LIGHTING

PEER REVIEW COMMENTS 03-24-2021:

Documents submitted

Drawings C-1.0, C-2.0, C-3.0 and P-1.0

Drawing P-1.0

Product Data for TYPE B & TYPE D

PEER REVIEW COMMENTS 03-24-2021: Conclusions based on review of the submitted documents.

Project is classified as multifamily housing.

Project area is 20,909 square feet

Project site appears to be flat.

Project abutters are all residential

§ 230-804. Exterior lighting. [Amended 10-15-2001]

All new or revised exterior lighting, including the replacement or modification of existing lighting, shall be designed to provide only the minimum lighting necessary to ensure adequate vision, safety, and comfort and to not cause glare beyond the limits of the property boundaries. In addition, new or revised lighting serving nonresidential uses and multifamily housing shall conform to the following standards:

PEER REVIEW COMMENTS 03-24-2021: Project is classified as a new multifamily housing

- A. Lighting fixtures. All exterior lighting fixtures and installations for nonresidential uses, other than outdoor sports and recreational fields and courts, and for multifamily housing uses that are located outside the right-of-way of a public street shall meet the following standards:
- (1) Lighting fixtures mounted on masts or poles shall be cutoff fixtures.

PEER REVIEW COMMENTS 03-24-2021: Need to have photometric report submitted to confirm compliance.

Floodlighting or other directional lighting may be used for supplemental illumination of vehicle sales or storage areas or other exterior sales display areas, provided that the floodlights are installed no higher than 12 feet above ground level, are aimed to avoid direct brightness being seen from adjacent streets or properties, and utilize lamps with an initial lumen rating not exceeding 39,000 lumens.

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"PROPOSED 3-UNIT DEVELOPMENT"
66B OLD ORCHARD ROAD, SACO MAINE
5 PAGES MARCH 24, 2021

PEER REVIEW COMMENTS 03-24-2021: No floodlighting was submitted. Project is in compliance.

The City shall have the right to inspect the completed lighting installation and, if floodlights are used, to require that the floodlights be re-aimed or fitted with face louvers if necessary, to control direct brightness or glare.

- (2) Except for ornamental lighting fixtures that utilize lamps with initial lumen ratings not exceeding 8,500 lumens, wall-mounted building lights shall include full face shielding consisting of either a solid panel or full-face louvers. Exposed lamps, reflectors or refractors shall not be visible from any part of the fixture except the bottom, light-emitting surface.

PEER REVIEW COMMENTS 03-24-2021: TYPE A fixture description on drawing is for the lamp only. Need product data for lamp and fixture to determine compliance.

- (3) Light fixtures located on or within canopies shall be recessed into the ceiling of the canopy so that the lamp, reflector, or lens is not visible from public streets and so as to limit the direction of light as required for a "cutoff fixture." Refractors or diffusing panels that are dropped below the canopy ceiling surface are not permitted.

PEER REVIEW COMMENTS 03-24-2021: There appear to be no fixtures recessed mounted in ceilings. Project is in compliance with this requirement.

- (4) The maximum light fixture height for pole-mounted or mast-mounted light fixtures shall be 20 feet for areas with less than 20,000 square feet of area, 25 feet for areas with 20,000 to 80,000 square feet of area, and 30 feet for areas larger than 80,000 square feet.

PEER REVIEW COMMENTS 03-24-2021: TYPE B fixture is a pole mounted luminaire 15'-0" above grade. Project area appears to be just over the 20,000 square feet classification. Project is in compliance with the 15'-0" mounting height.

The maximum light fixture height for building-mounted light fixtures shall be the upper limit of the vertical building face.

PEER REVIEW COMMENTS 03-24-2021: TYPE D fixture is wall mounted at

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PEER REVIEW
"PROPOSED 3-UNIT DEVELOPMENT"
66B OLD ORCHARD ROAD, SACO MAINE
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10'-0" above grade. Project is in compliance with this paragraph.

- (5) Lamps in exterior light fixtures shall be incandescent, metal halide, or high-pressure sodium. Low-pressure sodium lights may be used only in industrial zones. This provision shall not prohibit the use of fluorescent lamps in internally lighted signs where such signs are otherwise permitted.

PEER REVIEW COMMENTS 03-24-2021: Project is NOT in compliance with this paragraph due to the use of LED sources.

- (6) Period or historical fixtures that do not meet the requirements of this section may be used as an alternative to conventional lighting, provided that, if the fixtures are not cutoff fixtures, the maximum initial lumens generated by each fixture shall not exceed 2,000 for incandescent lamps, and 8,500 for metal halide lamps if the lamp is internally recessed within the fixture or is shielded by internal louvers or refractors. The mounting height of period or historical fixtures shall not exceed 15 feet above the adjacent ground.

PEER REVIEW COMMENTS 03-24-2021: Project has no period or historical submitted fixtures. Type A fixtures need to be evaluated to see if this criteria applies to their use on the project.

B. Illumination standards for nonresidential uses and multifamily housing.

- (1) The illumination of access drives shall provide for a uniformity ratio of not more than 4:1 (ratio of average to minimum illuminance).

PEER REVIEW COMMENTS 03-24-2021: drawing P-1.0 under "SACO LIGHTING STANDARDS" "PROVIDED VALUE ACCESS DRIVE UNIFORMITY ": states compliance with requirement. Illustrate on drawing the calculation points used for compliance calculations, without contribution from the two City of Saco cobra-head streetlight

The illumination of parking lots and vehicle sales areas shall provide for a uniformity ratio of not more than 20:1 (ratio of maximum to minimum illuminance).

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PEER REVIEW COMMENTS 03-24-2021: drawing P-1.0 under "SACO LIGHTING STANDARDS" "PROVIDED VALUE PARKING LOT UNIFORMITY ": states compliance with requirement. Illustrate on drawing calculation points used for compliance calculations, without contribution from the two City of Saco cobra-head streetlight

- (2) The maximum illumination level within access drives, parking lots and sales areas shall be not more than 8.0 footcandles measured at the ground surface.

PEER REVIEW COMMENTS 03-24-2021: Based on drawing P-1.0 project appears to be in compliance.

- (3) The maximum illumination level at the property line of a nonresidential or multifamily housing use with abutting properties in a residential district (including the B-7 District) shall be not more than 0.1 footcandle.

*PEER REVIEW COMMENTS 03-24-2021: Cannot determine compliance due to values are not provided at the actual property line.
Calculation points need to be to 2 decimal places rather than 1 decimal place.
What is the spacing between points?
What is the spacing of the calculation points?
Are fences required between properties?
How important is meeting the letter of this requirement?*

- (4) Areas directly under canopies shall be illuminated so that the uniformity ratio (ratio of average to minimum illuminance) shall be not greater than 3:1 with an average illumination level of not more than 20 footcandles.

PEER REVIEW COMMENTS 03-24-2021: There are no canopies indicated project is in compliance.

Areas of access drives, parking lots, sales display areas, etc., which are adjacent to canopies shall taper down in illumination level from the illumination level permitted under the canopy to the maximum illumination level permitted for the access drive, parking lot, or sales display area adjacent to the canopy within a horizontal distance equivalent to the height of the canopy.

PEER REVIEW COMMENTS 03-24-2021: Does not apply since there are no

J & M LIGHTING DESIGN, INC.
PEER REVIEW
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canopies.

- (5) The maximum illumination levels and uniformity ratios for areas other than parking lots, access drives, sales areas, and canopies shall be compatible with the overall lighting of the project and shall be specifically approved by Planning Department staff or the Planning Board.

PEER REVIEW COMMENTS 03-24-2021: This project has two City of Saco cobra-head luminaires mounted at per drawing P-1.0 at 32'-0" assumed height above pavement. Will the City of Saco Planning Staff or the Planning Board accept illumination levels contributed to the project as a basis for compliance? Project should be resubmitted only with the luminaires on the actual property.

*PEER REVIEW COMMENTS 03-24-2021: Software used to generate illumination plan is subject to the accuracy of the photometric file used.
Provide pdf's of each of the photometric files for review to ensure they meet the deprecated cut-off or full cut-off criteria.
Are all values illustrated on the same horizontal plane? It appears steps are indicated where TYPE A luminaires are located.
Are the generic TYPE A luminaires included in the lighting plan? If they are I need a product data sheet on the fixture and a PDF of the photometric file used.*

PEER REVIEW COMMENTS 03-24-2021: Aesthetic review of the wall mounted fixture TYPE D. There is nothing in the ordinance about the light illuminating vertical surfaces. The TYPE D luminaire appears to be a deprecated term "full-cut-off" directing the light towards the ground. At 10'-0" mounting height the light directly under the fixtures could be very bright visually when viewed from a butter's properties off the site. The first section of the ordinance states: "comfort and to not cause glare beyond the limits of the property boundaries." Glare is not defined.

PEER REVIEW COMMENTS 03-24-2021: Provide lumen ratings for each luminaire to determine compliance.

PEER REVIEW COMMENTS 03-24-2021: TYPE B luminaire supply direction of rotatable optics and tilt used for the lighting plan. How does city of Saco know fixture installed will comply with the options on the submitted permit set of drawings?

372 Main Street
Request for Rezone

Item	Location
Planner's Review Memo	Link
Request & Supporting Materials	Link
Staff Comments	Link



Memorandum

To: Planning Board
From: City Planner Bob Hamblen
Re: 372 Main Street, Rezoning Request
Date: Meeting of March 30, 2021

A. Summary of Proposal

- October 2019 – Planning Board makes recommendation to rezone the parcel in question, 372 Main Street, from Medium Density Residential (today's R-1b) to High Density Residential (today's R-3).
- April 14, 2020 – Planning Board reaches a consensus to maintain the existing zoning of MDR/R-1b for the parcel.
- Jan. 11, 2021 – City Council adopts a new zoning map that will, on April 11, 2021, become in effect, that maintains the zoning of the parcel in question as MDR.
- This evening's meeting will be with owner Josh Waterhouse dba JW Group, LLC. This is Josh's latest effort to seek a rezoning to the higher density zoning. This would enable the applicant to increase the number of units within the Multi-Family Dwelling from 6 to ten.
- The Board's task is to arrive at a recommendation to the City Council, which will ultimately make a decision as to the requested rezoning.

B. Current Status of Property

The building is a 5 unit multi-family dwelling in the R-1b zone, on a 0.7 acre parcel with 125 feet of frontage on Main St. It is a nonconforming use, as multi-family dwellings are not an allowed use in the R-1b zone. Frontage and minimum lot size exceed the minimum requirements of 100 feet and 10,000 s.f., respectively.

If the zoning remains at R-1b, no additional units would be possible. When the zoning becomes Medium Density Residential, then Multi-Family Dwellings of 3-8 units would be possible, at a density of 5,000 s.f. per unit. Six units would be possible for the 30,492 s.f. parcel.

If the parcel is rezoned to High Density Residential, Multi-Family Dwellings of 3-8 unit buildings, and more than 8-unit buildings will each be a conditional use. The minimum lot area per dwelling unit will be 3,000 s.f., so up to 10 units would be possible, an increase from the 7 units that would be possible if the zone change were approved under current, R-3 requirements, at 4,000 s.f. minimum lot area per units.

C. Lot and Yard Requirements (Public water and sewer serviced)

	<u>MDR</u>	<u>R-1b</u>	<u>HDR</u>	<u>R-3</u>
Minimum lot area	7,500 s.f.	10,000 s.f.	6,000 s.f.	6,000 s.f.
Min. lot area/DU	5,000 s.f.	N/A	3,000 s.f.	4,000 s,f,
Street frontage, min.	75 ft.	100 ft.	75 ft.	75 ft.
Setbacks				
Front	25 ft.	25 ft.	5 ft.	15 ft.
Side/Rear	10 ft.	15 ft.	10 ft.	10 ft.
Lot Coverage, max.	35%	30%	45%	40%
Height, max.	35 ft.	35 ft.	50 ft.	35 ft.

D. Abutting and Nearby Properties

<u>Nearby Lots</u>	<u>Lot Size</u>	<u>Current Use</u>	<u>Zone</u>
21 North St. Map 39 L 228	0.54	Two-Family	HDR
15 North St Map 39 Lot 229	0.28 acre	Single Family	HDR
11 North St Map 39 Lot 230	0.15	Single Family	MDR
146 Elm St Map 39 Lot 231	0.25	4-Unit	MDR
374 Main St Map 39 L 233	0.76	Office	MDR
378 Main St Map 39 L234	0.75	Single Family	MDR

E. Comprehensive Plan

The 2018 Update addressed the Downtown Development Area, including Mr. Waterhouse's property and beyond. Some of the policies, goals and recommendations that may have a bearing on this proposal:

Section 4A: Housing Goals, Policies and Strategies

Local Goals:

- To provide a diversity of housing to meet the needs of a wide range of residents.
- To assure that as new housing is built in the City, there continues to be a supply of affordable housing available to meet the needs of lower and moderate income households.
- To maintain the existing housing stock in the City and assure that it provides safe and sanitary housing.
- To discourage sprawl by encouraging residential development at greater densities in the downtown and adjacent neighborhoods.

Pursuant to these goals, the City's policies with respect to housing are:

1. The City should continue to provide for the construction of both single family and multifamily housing in a variety of locations at densities that are appropriate for the type of housing and the location. The Future Land Use Plan outlines these areas.
2. To further refine Policy 1, the City should consider an array of methods to attract and construct housing that is not limited to single-family detached. These methods include but are not limited to: public-private partnerships, allowing micro-apartments and tiny houses where appropriate, and adopting form-based code zoning in certain areas of the downtown.
3. The City should continue to allow housing for the elderly to be built at higher densities than other types of housing in recognition of the lower impact and established need that this type of housing has in the community.
4. The City should continue to work with nonprofit organizations and private developers to expand the supply of housing that is affordable to lower and moderate income households. The City should consider offering economic and/or regulatory incentives for such affordable housing developments and, if appropriate, continue using contract zoning and similar techniques to allow case-by-case consideration of proposals for new affordable housing. Another approach to consider is introducing form-based zoning for some downtown neighborhoods.
5. To assure that existing neighborhoods surrounding the downtown area remain desirable places to live, the City should continue to balance the construction of or conversion to multifamily housing with the predominantly single and two-family pattern of existing development in some older neighborhoods. In addition, the City should consider ways to ensure that certain existing, currently non-conforming, neighborhood markets can remain in their established residential neighborhoods while protecting the neighborhoods from other commercial uses that are incompatible.
6. The City should continue to work to maintain and upgrade the City's older housing stock and downtown neighborhoods. The City should continue to seek state funding to provide financial assistance to property owners to maintain and improve their property and to upgrade the infrastructure such as weatherization and similar programs. The current efforts of the Code Enforcement Office and Fire Department to regularly inspect multifamily buildings should continue. In addition, the City should actively enforce City codes in these neighborhoods to assure

that the quality of the housing stock does not diminish and that any problem properties are addressed in a timely manner.

7. The City has recently approved an eighty unit multi-family dwelling that calls for less than one parking space per unit, a significant departure from established parking standards in Saco. The City should monitor the extent to which this proposal, which included both on- and off-site parking and an emphasis on alternatives to auto ownership on the part of tenants, is successful. If it is, the City should consider relaxing or re-writing the standards for parking and other regulations governing housing development in downtown neighborhoods to ensure that these requirements do not adversely affect development proposals.

8. The City should continue to provide for the construction of a wide range of housing at a variety of densities and types to assure that a diversity of people can continue to live in and be attracted to living in Saco. The City should influence development to include the facilities, support services and amenities that appeal to diverse age groups, and attract and maintain residents of all ages.

Section 6A: Land Use Goals, Policies and Strategies

Land Use - Implementation Strategies

- Change the building code to allow for smaller units in multi-family developments.
- Evaluate and encourage higher densities in the downtown area through support of smaller unit sizes or by moving toward no density requirements at all.

F. Discussion and Recommendation

Staff believes that the Board should seriously consider every opportunity for encouraging greater residential density in the downtown area. If neighbors to a given proposal do not respond negatively, then the Board might consider that as tacit approval. No input to date from abutters.

The property is located in the Historic Preservation District. One year ago, the HPC reviewed and approved proposed renovations to the building that will be implemented once the rezoning issue has been settled. An investment in this building in this location is a positive thing for the whole corner.

If the rezoning is successful, the applicant would see the PB again for conditional use and site plan review. Note that the subject property directly abuts the R-3/HDR zoning district at its rear property line, and a portion of its side (southerly) property line. The subject property abuts both 15 and 21 North Street, each of which are in the R-3/HDR zone.

Anticipating the charge of “spot zoning,” staff would argue that a zone change as requested here is not that. A couple of ways of looking at spot zoning from an on-line search:

<https://legal-dictionary.thefreedictionary.com/Spot+Zoning>

spot zoning. n. a provision in a general plan which benefits a single parcel of land by creating a zone for use just for that parcel and different from the surrounding properties in the area. Example:

in a residential neighborhood **zoned** for single family dwellings with a minimum of 10,000 square feet, the corner service station property is **zoned** commercial.

Also, from the Michigan State University Extension, 2016:

One illegal form of rezoning is spot zoning. This practice gets its name from the appearance of small spots of different zoning districts on a zoning map that otherwise has large contiguous areas in the same zoning district around the spots. To be considered a spot zone, the property, in most cases, must meet the following four criteria:

- The area is small compared to districts surrounding the parcel in question.
- The new district allows land uses inconsistent with those allowed in the vicinity.
- The spot zone would confer a special benefit on the individual property owner not commonly enjoyed by the owners of similar property.
- The existence of the spot zone conflicts with the policies in the text of the master plan and the future land use map.

Zone changes in Saco, in staff's experience, have been few and far between. This one would seem to benefit not only the applicant, but also the property and neighboring properties, and the downtown area inasmuch as it would provide another example of encouraging and providing for greater residential density in a location where the City's comprehensive plan says it belongs.

If the Board is in agreement, then a suggested motion: **“I move that the Board forward a positive recommendation to the City Council for the rezoning of the parcel at 372 Main Street from R-1b/Medium Density Residential to R-3/High Density Residential.”**

If the Board does not support the rezoning, then a suggested motion: **“I move that the Board forward a negative recommendation to the City Council for the rezoning of the parcel at 372 Main Street from R-1b/Medium Density Residential to R-3/High Density Residential.”**

**Planning & Economic
Development**

Saco City Hall
300 Main Street
Saco, Maine 04072



**Isabelle Oechsle
Planning & Economic
Development Associate**

IOechsle@sacomaine.org
Phone: (207) 282-3487 ext.353

March 18, 2021

Re: Request to rezone 372 Main Street from Medium Density Residential to High Density Residential

To whom it may concern:

This letter is to make you aware that the Planning Board will be hearing a request to rezone 372 Main Street from Medium Density Residential (MDR) to High Density Residential (HDR) on the January 11, 2021 adopted zoning map. The Board will hold a public hearing on this request during their meeting on March 30, 2021. A map showing the proposed lot for rezoning is included on the reverse.

In effort to follow the Center for Disease Control and Prevention guidelines regarding COVID-19, this public hearing will be held remotely, via Zoom. Instructions about how to access the remote meeting are included on the enclosed agenda. You may attend the hearing remotely and will have the opportunity to speak about the proposed changes during the hearing.

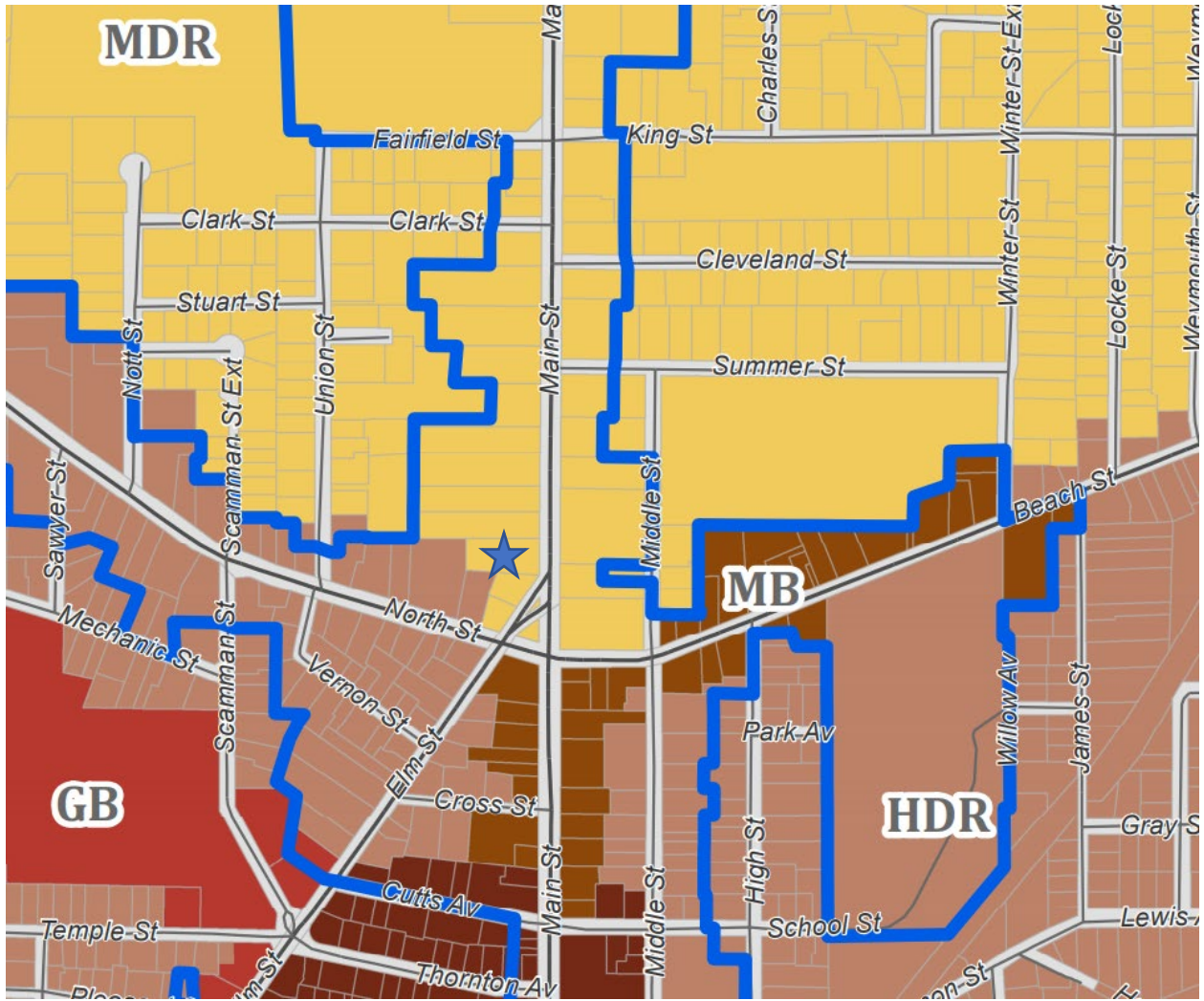
You may submit written documentation about the application in advance of the hearing, either via regular mail or email. Mailed correspondence should be sent to the City of Saco, ME attn: Planning, 300 Main Street, Saco, ME 04072. Emailed correspondence should be sent to Planning@sacomaine.org. Correspondence will need to be received by 4PM on the date of the hearing in order to be considered by the Planning Board. Staff will read any written correspondence received into the record during the hearing. Information received after the public hearing has closed will not be considered by the Planning Board and will not be part of the application record.

Also enclosed is the agenda, which provides details and instructions to access the meeting. Please feel free to contact the Planning & Economic Development Department with any questions.

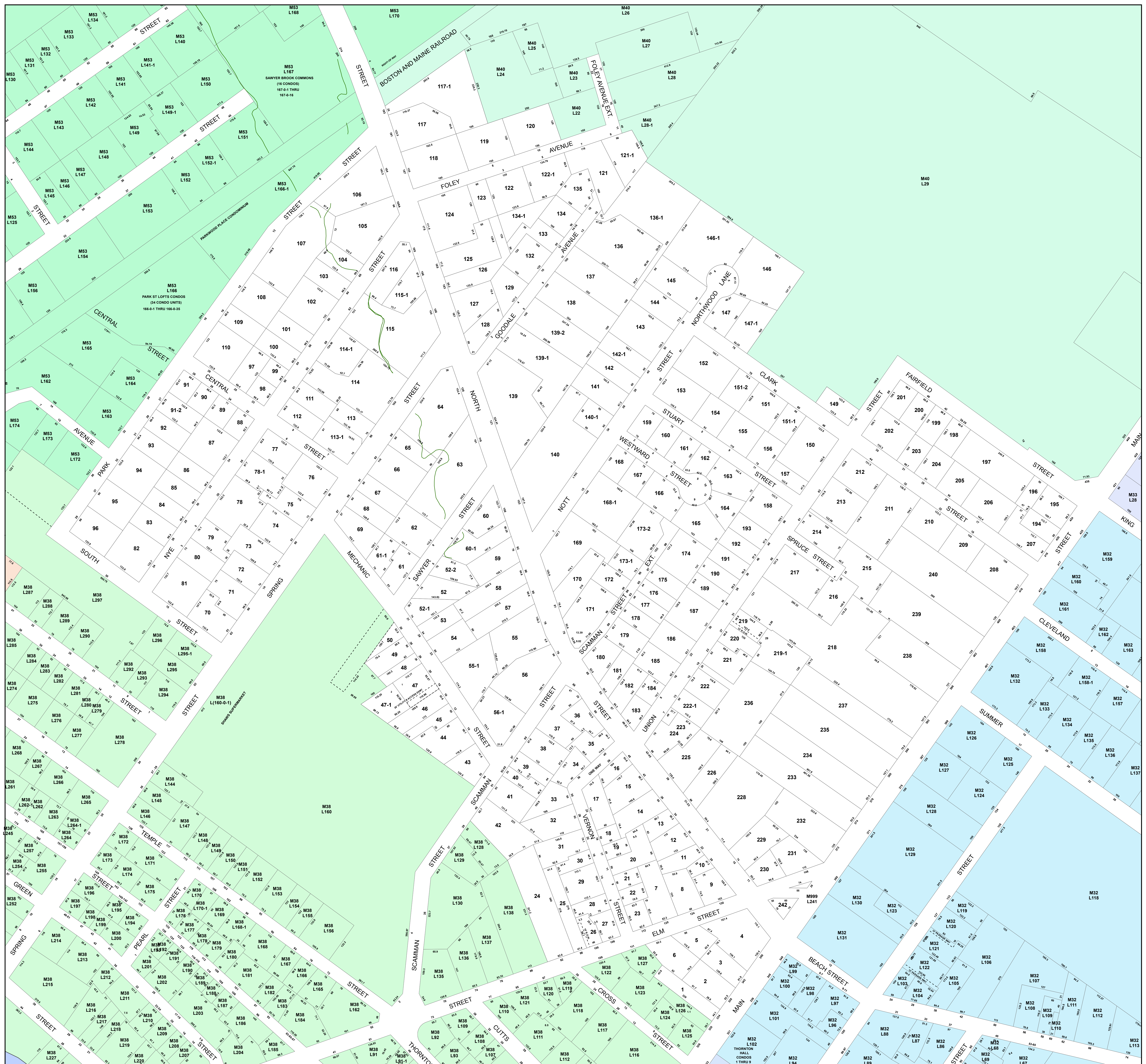
Sincerely,

A handwritten signature in purple ink that reads "Isabelle V Oechsle". The signature is written in a cursive style.

Isabelle V. Oechsle
Planning & Economic Development Associate

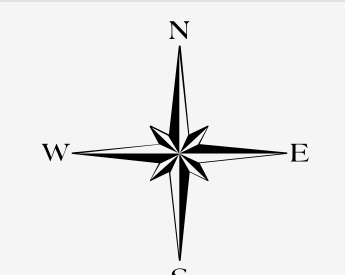


★ 372 Main Street is the starred lot on the above map.



- Misc
- Condo
- - - Easement/ROW
- Hook
- Hydro
- Bordering Towns
- - - Private ROW
- Railway

THIS MAP IS PREPARED FOR THE INVENTORY OF REAL PROPERTY WITHIN THE CITY OF SACO AND IS COMPILED FROM RECORDED DEEDS, PLATS, TAX MAPS, SURVEYS, PLANIMETRIC MAPS, AND OTHER PUBLIC RECORDS AND DATA. USERS OF THIS TAX MAP SHOULD BE AWARE THAT PRIMARY INFORMATION SOURCES SHOULD BE CONSULTED FOR VERIFICATION OF THE INFORMATION CONTAINED ON THIS MAP. THE CITY OF SACO ASSUMES NO LEGAL RESPONSIBILITY FOR THE INFORMATION CONTAINED HEREIN, BEYOND ITS USE IN THE CITY'S ASSESSMENT FUNCTION.



Map as of April 1, 2014

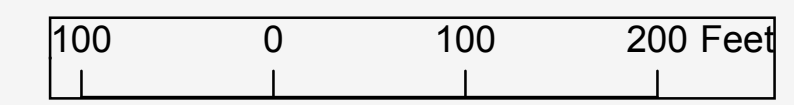


Scale: 1 inch = 100

CITY OF SACO

YORK COUNTY, MAINE

Tax Map
Number 39



Joshua Waterhouse
JW Group, LLC
506 Ferry Rd.
Saco, ME 04072
February 10, 2021

City of Saco
Saco City Council
300 Main St.
Saco, ME 04072

Subject: 372 Main Street Saco, Maine

Dear City of Saco:

I am writing in reference to the property we own located at 372 Main Street. In reviewing the proposed dimensional standards of the zoning changes to be adopted, I would like to request its inclusion into the High-Density District (HDR). Currently the proposed use would be in the MDR district limiting the number of residential units the building could have. Below is my reasoning and opinion for why the HDR vs. the MDR zone will not affect traffic as well as why this property is perfectly suited to be included in the HDR zone. This opinion is reinforced by the "Economic Development Market Analysis and Action Plan" accepted by the City earlier this year.

The Planning Board and Historic Preservation Committee have been in favor of this property's inclusion into the HDR zone in past meetings. The Planning Board, in October of 2019, stated they would include this property in the HDR zone during public hearing. Staff has been a proponent of its inclusion and we have also met with the Historic Preservation Committee to gain their approval of improvements to the building as well as their favorability in the rezoning for the property.

I have included a site map and survey of the property in its current use. As shown, the property has existing parking to accommodate 10+ residential apartments or condos that would be consistent with the City's Comprehensive Plan. The lot size is .7 acres with ~7500 sqft+ of potential living space in the current structure. I believe this property would be a benefit to the City and its goals moving forward.

Current Parking:

The current paved parking area would allow for 26+ parking spaces on site. This does not include extra paved area we plan to remove during the re-construction process. The current onsite parking area is large enough to accommodate 10+ residential units when counting unit size and visitor spaces. The parking area is this size due to a large doctors office occupying the space since at least the 1950's.

Traffic in past years when the doctor's office occupied the space would have been significantly more when comparing to residential units. Patients would be entering and exiting the property multiple times throughout the day vs. owners / tenants living at the property entering and exiting much less. Current trends show that people leave their home less and when they do it is through multiple means.

Bedroom Number:

Limiting the subject property to the MDR zone would allow for 6 residential units based on zoning and lot size. Due to this the units themselves would increase in size thus becoming all 3+ bedroom units. The number of bedrooms total in this scenario would end up being 18+ bedrooms allowing for a substantial number of people living in the building. The square footage of the building would create exceptionally large units all having multiple bedrooms and spacing.

By increasing the density of the building to the HDR zone it would increase the number of units but decrease the total number of bedrooms in the structure. In our current plan, the number of bedrooms with 8 units is 13. The plan would be for a mix of one- and two-bedroom units. Decreasing the number of units does not specifically mean the number of occupants in a structure will be limited.

Comprehensive Plan:

Increasing density for the property would be in line with the Comprehensive Plan's main emphasis, "discouraging sprawl by encouraging residential development at greater densities in the downtown." This property would allow downtown focus housing options consistent with goals of the city to have affordable properties with parking within walking distances of the downtown. It also would incorporate reconstruction of an existing property in the third level while upgrading all mechanicals in the property including fire alarm and suppression systems, electrical, plumbing, insulation, heating, and cooling.

Including 372 Main Street in the HDR zone would encompass the goals set forth in the Comprehensive Plan established in 2018 by:

- increasing the density of residential units in existing buildings,
- allowing for parking downtown,
- preventing development sprawl,
- revitalizing an existing building in need of upgrades,
- "turn underutilized upper building stories into apartments",
- creating affordable housing local to walking the downtown area.

Downtown Area:

The trend toward walkability in communities continues to increase especially with younger generations. Many analysts have pointed out that there is a large trend in our country toward lower car use, increased mass transit, ride sharing, uber and lyft. Across the country there has been a trend toward

revitalization of downtown communities for Millennials to retirees choosing homes in denser, more urban settings with utilities nearby and lower property maintenance than owning a home outside of downtown. 372 Main fits in perfectly with this trend.

In addition to walkability more and more people are working from home rather than having to go into a traditional office setting. The ability to work from home is a large reason why we are seeing people move out of big cities and to more desirable areas to live. This trend toward working from home decreases the number of times someone would be entering and exiting a property such as 372 Main. The greater densities on Main Street allow for walkability, proximity to the downtown, being able to work from home, lower property maintenance which are all great reasons for the HDR zone.

Entrance and Exit from the Property:

The traffic issue with this property is caused by the intersection of Elm and Main Streets. It would be reasonable to have a sign at the exit of the property stating, "Right Turn Only." This would alleviate cars trying to cross the intersection. This is an issue with any property located on a four-lane road and not specific to this property.

In the past the line where cars stop for the red light used to be before the driveway entrance to 372 Main. This was moved closer to the red light in recent years. I am unsure why this was moved but cars stop near the driveway entrance for the property. In my own experience it has not been difficult entering and exiting the property as cars are stopping there for the red light anyway. By cars stopping at this area exiting and entering the property has not been an additional challenge when compared to anywhere else on Main Street. In fact, you could argue it is easier since cars are stopping here to exit the property.

We have also increased visibility from the property so that it is easier to see coming out of the driveway. We will be increasing this further as we gained approval from the Historic Preservation Committee to remove the overgrown shrubs and trees on the property. This has greatly increased visibility and made the property safer. Entering and Exiting the property has not been an issue for myself or my sub-contractors since we have owned the property.

Main Street Visibility:

The re-development of 372 Main Street allows for a downtown property to increase density, with ample parking, decreasing development sprawl, but most important it will revitalize a Main Street property in great need of repair. The property has been neglected for a number of years causing a blemish for our Main Street. The re-development of 372 Main will allow the building to shine once again, providing a beautiful place for people to live with the ability to enjoy all that Saco has to offer now and the future.

The "Economic Development Market Analysis and Development Plan," recently accepted by the City sites numerous examples of how a higher density in the downtown area will benefit the City in the future. Increasing density in existing buildings in need of repair will create multiple opportunities for

the City. Redevelopment and investment in a building such as this attracts additional investment into Main Street Saco, a potential of businesses relocating to Main Street and attracting professionals looking to work in the downtown area. The “Economic Development Market Analysis and Development Plan” recommends a lot of the ideas I have for downtown Saco specifically with regards to the redevelopment of 372 Main Street.

I have lived in Saco most of my life and see the huge potential that Saco has. I have made it one of my personal goals to improve some of the structures in Saco that are in great need of repair. We have already accomplished this at multiple properties in Saco. When 372 Main is complete it will be a property everyone can be proud of and hopefully will attract additional investment in the downtown for businesses and professionals looking to walk to work.

I hope the Council will see my vision in revitalizing this property and allow the property to be included in the HDR zone. I am happy to answer any questions or concerns regarding the property and our plan.

Thank you very much for your consideration in this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Joshua Waterhouse". The signature is written in a cursive style with a large initial "J" and a long vertical line extending downwards from the end of the signature.

Joshua Waterhouse

JW Group, LLC

From: [Joseph A. Laverriere](#)
To: [Bob Hamblen](#)
Subject: RE: 372 Main Street
Date: Monday, February 8, 2021 8:07:48 AM

In talking with Pat, the previous discussions from DPW about this property had to do with the utility pole that services this property. First comments would be to either 1.) have removed/eliminated or 2.) an easement be provided to allow for either A.) relocation of the pole/guy anchor or B.) widening of the sidewalk and relocation of guy anchor.

Our preference would be for 1 or 2A.

Joseph Laverriere, P.E.

City Engineer
City of Saco
15 Phillips Spring Road
Saco, Maine 04072
Email: jlaverriere@sacomaine.org
Phone: 207.284.6641
Fax: 207.282.8212

From: Bob Hamblen <BHamblen@sacomaine.org>
Sent: Wednesday, February 3, 2021 10:15 AM
To: Joseph A. Laverriere <JLaverriere@sacomaine.org>
Subject: FW: 372 Main Street

Joe, seems to me that 372 Main has been on DPW's radar for a while, back when Dr. Faucette still owned it. Any comments welcome.

From: joshuawaterhouse@yahoo.com <joshuawaterhouse@yahoo.com>
Sent: Wednesday, February 3, 2021 9:43 AM
To: Bob Hamblen <BHamblen@sacomaine.org>; Isabelle Oechsle <IOechsle@sacomaine.org>
Subject: 372 Main Street

[CAUTION: THIS EMAIL ORIGINATED FROM OUTSIDE THE CITY OF SACO DOMAIN]

Hi Bob and Isabelle,

Hope you made it through the storm alright yesterday!

I have been speaking with Councilors MacPhail & Burman regarding having the 372 Main Street property included in the HDR zone. They are in favor of having the property be included in the HDR. I was asked to draft a letter in response to the traffic associated with the property, attached is a copy. Councilor Burman recommended having you review it to see if I needed to add anything to it and then send over to Director Clavette to start a contract zone

process. I am unsure the process needed but trying to follow the advice I have received. Please let me know if you are able to review this and any guidance you may have would be much appreciated.

Thanks very much!

Joshua C. Waterhouse JW Group LLC (207) 229 8007 joshuawaterhouse@yahoo.com

Park North 10th Amendment

Item	Location
Planner's Review Memo	Link
Application & Supporting Materials	Link
Staff Comments	Link

**Planning and Economic
Development**

Saco City Hall
300 Main Street
Saco, Maine 04072-1538



Bob Hamblen, City Planner

bhamblen@sacomaine.org

Phone: (207) 282-3487 ext.357

Memorandum

To: Planning Board
From: City Planner Bob Hamblen
Re: Park North, 10th Subdivision Plan Amendment
Tax Map 63, Lot 6; Map 64, Lot 6-1; and Map 62, Lot 1
DEP Order #L-23647-39-A-N/L-23647-TE-C-
Date: Meeting of March 30, 2021

A. Overview

Applicant Park North Development, LLC proposes to amend the Park North subdivision plan with a few amended lot configurations:

- Divide the former Lot MA-1 in order to create three single family lots: R-36, R-37 and R-38. Lot MA-1 is the original location of the community center.
- Rename the former lot CA-1 to Lot MA-1, the new location of the community center.
- Divide the former Lot CA-2, on the eastern side of Waterfall Drive, to create the Roaring Rock Road right of way as well as Lots CA-1 and CA-2. Roaring Rock Road is or will be built to City standards and offered for acceptance. Lot CA-2 is home to 7 two-family dwellings. Lot CA-1 will have 3 two-family dwellings built on it, rather than the 12 units originally approved.

The applicant has included a list of Park North subdivision plan amendments that go back to February 2008.

When a subdivision plan is proposed for amendment, we turn to Sec. 7.1 of the Subdivision Regulations:

7.1 PROCEDURE An applicant for a revision to a previously approved plan shall, at least three weeks prior to a scheduled meeting of the Board, request to be placed on the Board's agenda and submit a written statement explaining the proposed revisions. If the revision involves the creation of additional lots or dwelling units, the procedures for preliminary plan and final plan approval shall be followed. If the revision involves only minor modifications of the approved plan, without the creation of additional lots or dwelling units, the procedures for final plan approval shall be followed.

So, the 10th amendment request will be subject to both preliminary and final subdivision review, as new lots are proposed to be created.

B. Determination of Completeness

Proposed methodology: the Park North subdivision plan was approved in January 2008, accompanied by a Determination of Completeness, Findings of Fact and Conditions of Approval (attached). In that the application for the overall subdivision was found to be complete by the Board, staff believes that “credit” should be given for that, and that a resubmission of all information required for the initial plan is not necessary at this time.

The amended plan showing the lot division, relabeling, and creation of a new street are adequate, staff believes, for the Board to be able to find the application for amending the approved plan, complete. If the Board is in agreement, then a suggested motion: **“I move that the Board find the materials submitted in support of the proposed amendments to the Park North subdivision plan to be complete.”**

C. Public Hearing

Amendments to subdivisions are subject to notification of abutters, legal advertisements, and a public hearing. When the Board is ready to open a public hearing, a suggested motion: **“I move that the Board open the public hearing.”** And when the public hearing has been completed, a suggested motion to either suspend or close the public hearing: **“I move that the Board suspend (close) the public hearing.”**

D. Discussion

Staff has asked for an update on various aspects of the combined Park North and Cascade Falls subdivision. We have posed several questions to Mr. Chamberlain, who has provided the following information:

- a. **What’s the latest on the 4 items the Council wanted complete before they allow Tradesmen and Contractors uses to be available for Park North?** 2 items have been done for a while, the trail is 95% complete and bridge will be built in the next 4 weeks. The sidewalk That Monkey Trunks was supposed to build but never made to is being reviewed by DOT for approval. We are hoping this will happen by end of May.
- b. **What’s the latest on PNCZ 3, as in how many units of what types have been built to date? How many approved units remain to be built?** I don’t know what you mean by this location, if you mean the current residential section then of the 96 units 42 are built with probably 12-16 more to happen this year. Zone 3 is my current 68 apartments and the 30 unit age restricted apartments by avesta
- c. **What’s in store for 2021 at Park North?** More homes, condos, and hoping to start 3 Eastview Parkway lots this year.
- d. **With removal of the Monkey Trunks equipment, any plans for that parcel?** There are no plans as of now.
- e. **What’s the status of the TMP. Required improvements happening in 2021?** For my part, the construction drawings are being done and soon to be submitted. If we get back in time the work that we are responsible for might happen this fall.
- f. **What’s the situation with the day care? Did you build and lease that bldg.?** We own it and lease to them.
- g. **Progress report on the 72 unit apartment building?** The building is currently being framed. It won’t be ready for tenants in 2021.

- h. **How about Zone 4 – is a start on development on the calendar yet?** There are no plans as of today
- i. **How about eventual City streets within the project – plans for requesting acceptance for anything yet?** We expect that to happen in 22 and 23
- j. **How about streetlights – is installation and powering up scheduled for 2021?** Yes we are working with Marcell to get everything approved but yes should be this year.

E. Conclusions and Draft Motion

The amendments as proposed are minor in nature. See Joe Laverriere's comments, attached. A couple of other departments have weighed in, asking that an updated plan set be provided by the applicant, which would incorporate all amendments to date – a good suggestion.

The Findings of Fact and Conditions of Approval dating back to January 2008 remain in effect, as does the contract zone agreement, as amended.

If the Board agrees that this is ready for consideration of a preliminary plan approval, then a suggested motion: **“I move that the Board grant approval for the preliminary plan for the 10th amended subdivision plan for Park North, based on the amended plan submitted and the Findings of Fact and Conditions of Approval dated Jan. 8, 2008.”**



December 18, 2020
05082

Bob Hamblen, City Planner
City of Saco
300 Main Street
Saco, ME 04072-1538

Tenth Amendment of Park North and The Cascades Subdivision
Park North Development, LLC

Dear Bob:

On behalf of Park North Development, LLC, Sebago Technics, Inc. is pleased to submit the enclosed plans and associated documentation for the Tenth Amendment of Park North and The Cascades Subdivision. A summary of the approval history for this project is attached for reference.

This amendment proposes to: divide former Lot MA-1, located on Maneta Drive, to create three single family lots (R-36, R-37 and R-38); to rename former lot CA-1, located on the west side of Waterfall Drive, to Lot MA-1; and to divide former Lot CA-2, located on the eastern side of Waterfall Drive, to create the Roaring Rock Road right-of-way, Lot CA-1 and Lot CA-2.

We look forward to meeting with the Planning Board at their next regularly scheduled meeting to discuss the proposed amendment in more detail. Upon review of the enclosed submission, please call with any questions or if you require additional information.

Thank you for your consideration.

Sincerely,

SEBAGO TECHNICS, INC.

A handwritten signature in black ink that reads "Richard L. Meek".

Richard L. Meek, P.E.
Senior Project Engineer

RLM/rm
Enc.

cc: Elliott Chamberlain, Park North Development, LLC



December 17, 2020
05082

Subdivision Approval History
Park North & the Cascades, Saco
Park North Development, LLC

Original approval: Approved February 5, 2008 recorded in the York County Registry of Deeds February 11, 2008 in plan book 327 pages 45-50.

1. First Amended Subdivision: Approved February 5, 2008 recorded in the York County Registry of Deeds February 12, 2008 in plan book 328 pages 1-6.
Changes:
 - Added Lot C-5
2. Second Amended Subdivision: Approved November 25, 2008 recorded in the York County Registry of Deeds November 26, 2008 in plan book 333 pages 48-50 and plan book 334 pages 1-3.
Changes:
 - Revised the 250' inland waterfowl/wading habitat area.
3. Third Amended Subdivision: Approved January 23, 2009 recorded in the York County Registry of Deeds January 26, 2009 in plan book 335 pages 7-12.
Changes:
 - Added Lot C-6
4. Fourth Amended Subdivision: Approved 2009 recorded in the York County Registry of Deeds July 22, 2009 in plan book 338 pages 19-24.
Changes:
 - Added Lots C4A, C4B and 22.
 - Incorporated easements associate with pump station, Lot C1, Lot C5 and Lot C6.
 - Corrected building setback in Lot 19.
 - Added Cascade Contract Zone, Parcel 4: Space and Bulk criteria.
5. Fifth Amended Subdivision: Approved May 13, 2014 recorded in the York County Registry of Deeds May 16, 2014 in plan book 367 pages 27-28.
Changes:
 - Revised Lot 17 in the P.N.C.Z. #3 and the lots within the P.N.C.Z. #4.
6. Sixth Amended Subdivision: Approved November 5, 2014 recorded in the York County Registry of Deeds November 12, 2014 in plan book 372 pages 36-37.
Changes:
 - Eliminated Lot 20.
 - Revised Street names.
7. Seventh Amended Subdivision: Approved October 26, 2018 recorded in the York County Registry of Deeds October 31, 2018 in plan book 398 pages 10-12.
Changes:

- Reconfigured Lot MA-3, MA-4 and R-18.
 - Combined Open Space 1, Lots CA-3, CA-4 and CA-5 into Lot CA-3.
 - Split Lot 18 to create Lot 18 and 24.
8. Eighth Amended Subdivision: Approved November 20, 2018 recorded in the York County Registry of Deeds December 12, 2018 in plan book 398 pages 43-44.
Changes:
- Reconfigured Lots 2-15 into Lots 2-9
9. Ninth Amended Subdivision: Approved September 17, 2019 recorded in the York County Registry of Deeds October 28, 2019 in plan 405 page 12.
Changes:
- Divided Lot C5 to Create Lot C5, C5-1 and C5-2
10. Tenth Amended Subdivision:
Proposed Changes:
- Divide former Lot MA-1 to create Lots R-36, R-37 and R-38.
 - Rename former Lot CA-1 to Lot MA-1.
 - Divide former Lot CA-2 to create Roaring Rock Road right-of-way Lot CA-1 and Lot CA-2.

**Planning & Economic
Development**

Saco City Hall
300 Main Street
Saco, Maine 04072-1538
Phone: (207) 282-3487



Bob Hamblen
Interim City Planner
BHamblen@sacomaine.org
Denise M. Clavette
Director
DClavette@sacomaine.org

TO: Applicant
FROM: Bob Hamblen, Interim City Planner
Denise M. Clavette, Director
RE: Planning & Economic Development Application & Process Requirements

On behalf of the City of Saco's Planning & Economic Development Department, we want to thank you for your interest in being a part of Saco's smart growth and development. Our Department is here to discuss potential projects and help explain the standards to navigate the processes of development in Saco. We are people-focused and strive to provide the best level of customer service to our applicants.

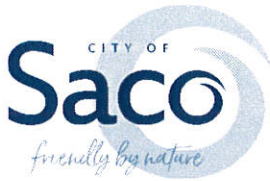
Planning & Development Review Committee (PDRC): The City hosts meetings two (2) times a month to review conceptual development plans for feedback about the City's regulations and ordinance standards. This is often considered the first step in the review process. To be added to an upcoming PDRC meeting, please contact the Department by emailing: Planning@sacomaine.org. To review the PDRC's meeting schedule and deadline requirements, please see the Planning section of the website: www.sacomaine.org.

Submission Requirements: To assist with assembling your application, the attached checklist is provided. We look forward to answering any questions about the requirements. Please keep in mind that the Department only accepts complete applications.

Timeline: The ordinances require that applications be submitted at least three (3) weeks before the Planning Board meeting. However, Saco has adopted a streamlined staff review process that allows many of the initial questions and standards to be reviewed by City Staff. Therefore, we encourage you to plan for a five-week review process before the Planning Board meeting, as this will ensure time for both staff review and applicant responses. To review the Planning Board's meeting schedule and deadlines, please see the Planning section of the website: www.sacomaine.org.

For your reference, attached are the following documents:

- Application
- Submission Requirements Checklist



Subdivision Review Application
Planning & Development Department
Planning Board

Application # _____

Street Address of Proposed Project: Waterfall Dr., Maneta Dr., Roaring Rock Rd. Tax Map & Lot: 63, 64, 62 6, 6.1, 1

York County Registry of Deeds Book & Page Number: 13817, pg 172-173 14436, pg. 83-85 15023, pg. 731-736 Zoning District: P.N.C.Z. Parcels 1-4 C.C.Z. Parcels 1-4

Applicant: Park North Development, LLC (Elliott Chamberlain)

Applicant's Address: 1022 Portland Rd., Saco, ME 04072

Applicant's Email & Phone #: elliott@chamberlainhomes.com 207-450-5205

Architect/Engineer's Name: Richard Meek, P.E. c/o Sebago Technics, Inc.

Architect/Engineer's Email & Phone #: rmeek@sebagotechnics.com 207-200-2075

Architect/Engineer's Address: 75 John Roberts Rd., Suite 4A, South Portland, ME 04106

Property Owner: Park North Development, LLC (Elliott Chamberlain)

Property Owner's Email & Phone #: elliott@chamberlainhomes.com 207-450-5205

Property Owner's Address: 1022 Portland Rd., Saco, ME 04072

Area of Parcel: ~300 Acres Proposed Developed Area: T.B.D. Proposed Height: varies

Description of Proposal: Tenth Amendment to Subdivision Plan- refer to attached letter.

Signature & Application Requirements: Applications are due at least three weeks in advance of Planning Board meetings, but the Department encourages applicants to plan for five weeks before a Planning Board meeting. Staff will schedule your application for a Planning Board meeting once all reviews are complete and comments have been sufficiently addressed.

Elliott Chamberlain
Signature of Owner/Applicant

12-17-20
Date

Subdivision Review Checklist

Article 5: Submission Requirements

Applicant	City staff	Submission Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	The Department requires three hard copies and one electronic copy (PDF) of the following list of items sent to: Planning@sacomaine.org .
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Two location plans of the subdivision and neighboring areas within at least a 2000 foot radius at scales of 800 feet to the inch and 200 feet to the inch, showing right of way lines of all proposed streets in the subdivision and their location in relation to existing streets and readily identifiable as to locus on the Zoning Map of Saco, Maine, as most recently amended.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>The preliminary plan must be a contact print of an original drawing in permanent black ink on mylar, or other reproducible, stable based transparent originals. It must be clearly designated as "preliminary plan," drawn at the scale not less than one inch equals 100 feet. Sheets shall be 24" by 36" and plans shall be prepared by an engineer, architect, landscape architect, or land surveyor registered in Maine. Surveyed plans shall be stamped and signed. If multiple sheets are used, they must be accompanied by an index sheet as a cover showing the entire subdivision.</p> <p>The preliminary plan shall be prepared using the following standards:</p> <ol style="list-style-type: none"> a. Projection shall be Maine State Plane West. b. Vertical Datum shall be NAD 83. c. Units shall be measured in feet. d. Coordinates shall be shown on at least four corners of the site plan. Coordinates shall be referenced to the Maine State Coordinate System.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	The preliminary plan shall contain the following information: Subdivision name, boundaries, acreage, tax map and lot numbers, date and graphic scale, and a magnetic and true north arrow.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Name and address of record owner, subdivider, and engineer, surveyor, firm, and/or individual who prepared the plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	An actual field survey of the boundary lines of the tract, giving complete descriptive data by bearings and distances, made and certified by a registered land surveyor.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Boundary lines of adjacent land and names of owners as determined from most recent tax list.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	Location, name, and present width of each street and public or private way bounding, approaching or within 500 feet of the subdivision, and any easements within or adjacent to the subdivision.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	Locations and outlines of all existing buildings and significant site features such as stone walls, fences, large trees (24 inch diameter breast height) or wooded areas, rock ridges and outcroppings, cemeteries, water courses, wetlands and water bodies on the site. Wooded areas, watercourses, wetlands

		and water bodies within 200 feet of the site shall also be identified, when possible.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	Topography with two-foot contours of existing and proposed grades to include the demarcation of wetlands, 100-year flood elevations, and flood hazard areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	The location, direction, and length of every proposed street line, lot line and boundary line established on the ground, the location of temporary markers adequate to enable the Board to locate the layout in the field, and the names of proposed streets.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Lot lines with dimensions, zoning setback lines, and the area of each lot in square feet and acres, and lot numbers.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Locations of existing and proposed monuments, hydrants and the location and size of public utility facilities, sewers, culverts, drains, and water pipes.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Park, open, recreation, or common areas within a subdivision and a plan of any formal recreation area.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	A plan for the management of surface drainage waters, including existing waterways and the proposed disposition of water from proposed subdivision to new or existing subsurface drainage systems with sufficient capacity to dispose of the storm flows.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	Locations and species of proposed street trees and/or wooded areas to be retained within the sidelines of each street, and other no-cut areas.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	Street plans and profiles showing the percent slope of each grade, and the radius, length, point of curvature and point of tangency of each curve.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	Street plans and profiles showing proposed centerline grades and existing ground grades at fifty (50) foot stations. All existing and proposed elevations shall be based on the U.S.C. & G.S. Datum.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	Location of all of the following proposed improvements unless specifically waived in writing by the Board: proposed monuments, parking areas, street lights, sidewalks, street signs, all utilities above and below ground, curbs, gutters, street trees, storm drainage, and all easements, service buildings and structures, and dumpsters.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	Erosion control plan showing the placement of all berms, silt fences, hay bales, sedimentation ponds and other erosion control devices, detention ponds, to the standards of the "Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices," by the Cumberland County Soil and Water Conservation District and the Maine Department of Environmental Protection, latest revision.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	Areas within or adjacent to the proposed subdivision which have been identified as high or moderate value wildlife habitat by the Maine Department of Inland Fisheries and Wildlife or within the Comprehensive Plan. If any portion of the subdivision is located within an area designated as a critical natural area by the Comprehensive Plan or the Maine Natural Areas Program, the plan shall indicate appropriate measures for the preservation of the values which qualify the site for such designation.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	The location of any identified historic and/or archaeological resources together with a description of such features.

amendment
to previously
approved plans

<input checked="" type="checkbox"/>	<input type="checkbox"/>	Verification of subdivider's legal right, title, or interest in the property (deed or purchase and sale agreement)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A copy of the deed upon which the survey was based. A copy of all easements, covenants, and restrictions applying to the area proposed to be subdivided.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	Proposed arrangements for water supply as required by the Maine Water Company, and a letter from the water company stating that the water supply is adequate to serve the subdivision.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	Proposed arrangements for storm drainage, with supporting data and design analysis, including plans and profiles showing location and size of drain lines and culverts, catch basins and manholes, and such other information as may be required to define the drainage provisions, stamped by an engineer registered in Maine, and an operating and maintenance plan for any detention basins.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	A copy of that portion of the county Soil Survey covering the subdivision superimposed on a copy of the plan. When the medium intensity soil survey shows soils which are questionable for the uses proposed, the Planning Board may require the submittal of a high intensity soil survey.
<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	An estimate of the amount and type of traffic to be generated daily and at peak hours. For developments involving 40 or more parking spaces or projected to generate more than 200 vehicle trips per day, a traffic impact analysis, prepared by a traffic engineer, shall be submitted. The analysis shall show, at a minimum, the expected average number of vehicle trips per day, peak-hour volumes, access conditions at the site, distribution of traffic, types of vehicles expected, effect upon the level of service of the street giving access to the site, neighboring streets which may be affected, the intersection(s) nearest to the site and other intersections which may be affected, and recommended improvement to maintain the level of service on the road.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	The names, addresses and tax map and lot numbers of owners of record of adjacent property, including any property directly across an existing street from the subdivision, and (B) the names, addresses and tax map and lot numbers of owners of record of all property within 600 feet of the subdivision.
<input type="checkbox"/> amendment	<input type="checkbox"/>	Description of how proposed open space will be owned and managed.
<input type="checkbox"/> N/A	<input type="checkbox"/>	When sewage disposal is to be accomplished by subsurface disposal systems, test pit analyses prepared by a Licensed Site Evaluator shall be provided. A map showing the location of all test pits dug on the site shall be submitted. (The plumbing inspector must be notified before test pits are dug.)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proof of financial and technical capacity as described in Article 8.7 and 8.8.
<input type="checkbox"/> amendment	<input type="checkbox"/>	A letter from Maine Water stating that it can serve the proposed development
<input type="checkbox"/> T.B.D.	<input type="checkbox"/>	The anticipated amount of land to be covered by buildings and structures expressed in square feet and as a percentage of the site and lots.
<input type="checkbox"/> T.B.D.	<input type="checkbox"/>	The anticipated amount of land to be covered by buildings, pavement, and other impervious coverage expressed in square feet, percentage of site, and percentage of lot.

<input type="checkbox"/> amendment to previously approved plans	<input type="checkbox"/>	<p>If the project is subject to the stormwater quality standards of section 10.12.4, a stormwater quality management plan that includes the following:</p> <ol style="list-style-type: none"> a. A narrative describing how the site is oriented within the watershed, identifying downstream waterbodies including wetlands, and addressing the potential effects of site runoff. The narrative shall identify and discuss the stormwater treatment methods proposed to be used on the site. b. A plan showing relevant existing contours, proposed contours, existing and proposed subwatersheds, proposed topographic features, and existing and proposed site features including buildings and other facilities, natural and manmade drainageways, streams, channels, culverts, catch basins, and stormwater treatment facilities. The plan shall include detail drawings of the stormwater Best Management Practices proposed to be used and the location of both structural and non-structural BMP's. c. Calculations demonstrating that the proposed stormwater treatment facilities will meet the standards of Section 10.12.4. <p>A stormwater facilities management plan which sets forth the types and frequencies of proposed maintenance activities needed to maintain the efficiency of the stormwater treatment facilities and which identifies the party that will be responsible for carrying out each maintenance activity and for submitting the Annual Maintenance Report and the proposed institutional arrangements that will assure that all maintenance occurs as proposed.</p>
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Waiver Requests

If you are asking for a waiver, please indicate the type of waiver and the reason for the waiver request. Waiver requests are reviewed uniquely to each project, so the request should clearly demonstrate the unique aspect of the project.

Waiver Request #1: Section-_____:

Waiver Request #2: Section-_____:

Waiver Request #3: Section-_____:

Waiver Request #4: Section-_____:

Waiver Request #5: Section-_____:

PERSONAL REPRESENTATIVE'S DEED

099460

KNOW ALL MEN BY THESE PRESENTS, THAT I, DANIEL FREUND, duly appointed and acting Personal Representative of the Estate of Doris O. Boothby, Cumberland County Probate Court Docket No. 2000-0399, having given notice to each person succeeding to an interest in the real property described below at least ten (10) days prior to the sale, by the power conferred by the Probate Code, and every other power, for consideration paid grants to PRESTON PROPERTIES, LLC which has a mailing address of: 1022 Portland Road, Saco, ME 04072 the real property in Saco, York County, Maine, described as follows:

A one-half undivided interest in common (meaning and intending to convey the entire interest of the Grantor) in and to a certain lot or parcel of land located on the ^{eastern} ~~western~~ side of the Portland Road, also known as U.S. Route No. 1, in the City of Saco, County of York and State of Maine bounded and described on Exhibit A attached hereto.

IN WITNESS THEREOF, I, Daniel Freund, acting in my capacity as Personal Representative have hereunto set my hand and seal this 24th day of the month of December, 2003.

SIGNED, SEALED AND DELIVERED IN PRESENCE OF

ESTATE OF DORIS O. BOOTHBY

[Signature]
WITNESS

By: [Signature]
Daniel Freund,
Personal Representative

STATE OF MAINE
COUNTY OF CUMBERLAND

December 24, 2003

Then personally appeared the above named Daniel Freund and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said Estate. Before me.

[Signature]
Notary Public/Attorney at Law

Robert S. Hank
Printed Name

MAINE R.E. TRANSFER TAX PAID

Exhibit A - Property Description

A certain lot or parcel of land, together with the buildings thereon, situated partly in Saco in the County of York and State of Maine and partly in Scarborough, in the County of Cumberland and State of Maine, said premises being situated on the easterly side of U. S. Route 1, at the intersection of the Saco-Scarborough town-lines, part of said premises being in said Saco and part in said Scarborough, bounded on the westerly side by said U.S. Highway No. 1; on the northerly side by land of Arthur Burnham and heirs of Ralph Leary; on the easterly side by land now or formerly of Milliken heirs and on the southerly side by land of George Harmon heirs.

Excepting that portion of the above premises located in the Town of Scarborough, County of Cumberland, and State of Maine, described in the following deeds:

1. Frances L. Sylvester to Cleve A. Worster and Susan J. Worster dated June 23, 1995, recorded in the Cumberland County Registry of Deeds in Book 11980, Page 225;
2. Donald E. Boothby and Doris O. Boothby to Frances L. Sylvester dated January 22, 1999, recorded in said Registry of Deeds in Book 14496, Page 285;
3. Frances L. Sylvester to Cleve A. Worster and Susan J. Worster dated Noyember 3, 1999, recorded in said Registry of Deeds in Book 15161, Page 242; and
4. Frances L. Sylvester to Cleve A. Worster and Susan J. Worster dated May 18, 2000, recorded in said Registry of Deeds in Book 15479, Page 183.

Further excepting that portion acquired by the State of Maine by virtue of Layout and Taking dated July 14, 1999, recorded in the York County Registry of Deeds in Book 9627, Page 3

RECEIVED YORK S.S.

2003 DEC 24 AM 11:40

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2/19/01*

BY 14436
Received York ME 0083 - 0085
04/20/2005 3:48 PM
Debra L. Anderson
Register of Deeds

QUITCLAIM DEED WITH COVENANT

Maine Statutory Short Form

Know all men by these presents that, Navillus II, Inc., a Florida Corporation with a business in the State of Maine with a mailing address of P.O. Box 254, Raymond, Maine 04071, for consideration paid, grants to Park North Development, LLC, a Maine Limited Liability Company of Saco, County of York and State of Maine with a mailing address of 1022 Portland Road, Saco, Maine 04072 the receipt whereof it does hereby acknowledge, does hereby grant unto the said Park North Development, LLC, its successors and assigns forever, with quitclaim covenants the real property located in Saco, York County, Maine, bounded and described as follows:

A certain multisided, irregularly-shaped lot or parcel of land with all the buildings and improvements thereon, situated in Saco, in the County of York and State of Maine and extending into Old Orchard Beach in said County with road frontage on the southwesterly side of U.S. Highway Number One, once known as the road leading from Saco to Portland, the perimeter bounds and approximate acreage of said certain lot as given verbatim in the hereafter referenced recorded title source deed given in 1913 by George H. Harmon to Edna C. Harmon, being as follows:

Northwesterly by said Saco-Portland Road, land now or formerly of William H. Littlefield, land now or formerly of David A. Esty, land now or formerly of Elizabeth A. Bryant, land now or formerly of Octavia Hearn and land now or formerly of the heirs of George H. Boothby;

Northeasterly by land now or formerly of David A. Esty, land now or formerly of the heirs of George H. Boothby, land now or formerly of the heirs of Benjamin Milliken and land formerly of H.A.G. & B.F. Milliken;

Southeasterly by land now or formerly of John P. Milliken, land now or formerly of H.A.G. & B.F. Milliken, land now or formerly of the heirs of Benjamin Milliken and land formerly of H.A.G. & B.F. Milliken;

Southwesterly by land formerly of H.A.G. & B.F. Milliken, land formerly of Loren Foss, land now or formerly of Walter F. Johnson and land now or formerly of William H. Littlefield. Said farm contains nearly two hundred acres of land and descended to me from my late father, Ephraim Harmon by his Will.

MAINE R.E. TRANSFER TAX PAID

Meaning and intending to convey and hereby conveying the same premises as described in Quitclaim Deed Without Covenant from Fleet Bank of Maine to Navillus II, Inc. dated June 10, 1993 and recorded in the York County Registry of Deeds in Book 6580, Page 143 and also Quitclaim Deed With Covenant from Merreal Corp. formerly known as MIM II Real Estate Corporation to Navillus II, Inc. dated June 9, 1993 and recorded in York County Registry of Deeds Book 6580, Page 146.

Excepting and reserving from this parcel the land situated in Old Orchard Beach, County of York and State of Maine as described in the following deeds:

Warranty Deed from Navillus II, Inc. to Edward J. Sullivan dated January 31, 1995 and recorded in the York County Registry of Deeds Book 7330, Page 59 which property was later conveyed back to Navillus, II, Inc. by Warranty Deed of Brian E. Sullivan to Navillus II, Inc. dated December 26, 1995 and recorded in the York County Registry of Deeds Book 7686, Page 343 and by Warranty Deed of Edward J. Sullivan to Navillus II, Inc. dated December 26, 1995 and recorded in York County Registry of Deeds Book 7686, Page 345.

The following parcels of land being reconveyed back out as described in the following deeds:

Warranty Deed from Navillus II, Inc. to Normand Berube Builders, Inc. dated May 8, 1997 and recorded in York County Registry of Deeds Book 8258, Page 139;

Warranty Deed from Navillus II, Inc. to Brian E. Sullivan dated August 12, 1997 and recorded in York County Registry of Deeds Book 8390, Page 242;

Warranty Deed from Navillus II, Inc. to Richard Townsend and Debra J. Townsend dated September 11, 2000 and recorded in York County Registry of Deeds Book 10212, Page 237.

Also excepting and reserving that portion of the property as described in Notice of Layout and Taking by the State of Maine Department of Transportation dated July 14, 1999 and recorded in York County Registry of Deeds Book 9627, Page 3.

This conveyance is made subject to municipal zoning and land use ordinances, utility easements of record, and real estate taxes payable to the Municipality of Saco, Maine for the current fiscal year.

In witness whereof, I, Brian Sullivan duly authorized President of Navillus II, Inc., have hereunto set my hand and seal this 14 day of April, 2005.

Signed, sealed and delivered
in presence of

Lawrence R Sawyer
Witness

Brian Sullivan Navillus II, Inc.
By: Brian Sullivan
Its: President

State of Maine
Cumberland, ss.

April 14, 2005

Then personally appeared before me the above named Brian Sullivan, the duly authorized President of Navillus II, Inc., and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said Grantor corporation.

My commission expires:

Lawrence R Sawyer
Notary Public/Maine Attorney at Law
Lawrence R Sawyer
Printed name

P.O. BOX 4843
PORTLAND ME 04112-4843

END OF DOCUMENT

QUITCLAIM DEED WITH COVENANT

RICHARD L. AUBE and MARIE A. AUBE, both of 10 Watchic Crossroad, Standish, Maine, 04084, FOR CONSIDERATION PAID, grant to PARK NORTH DEVELOPMENT, LLC, a Maine limited liability company with a mailing address of 1022 Portland Road, Saco, Maine 04072, with QUITCLAIM COVENANT, certain real property, together with any improvements thereon, located at 941 Portland Road and Cascade Road in Saco and Old Orchard Beach, York County, Maine and more particularly described on Exhibit A attached hereto and made a part hereof.

The conveyance herein is made subject to all easements, covenants, restrictions and agreements of record as of March 30, 2006, to the extent applicable, and made subject to the terms and conditions of a certain "Deed of Vacation" from the State of Maine, acting by and through the Commissioner of its Department of Transportation to Richard L. Aube and Marie A. Aube dated July 14, 2005, and recorded in the York County Registry of Deeds in Book 14964, Page 767.

IN WITNESS WHEREOF, Richard L. Aube and Marie A. Aube, have caused this instrument to be signed and sealed this 29th day of November, 2006.

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF

TH Hanson

GRANTOR

Richard L. Aube
Richard L. Aube

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF

TH Hanson

GRANTOR

Marie A. Aube
Marie A. Aube

STATE OF MAINE
CUMBERLAND, SS.

November 29, 2006

Personally appeared before me the above-named Richard L. Aube, and acknowledged the foregoing instrument to be his free act and deed.

TH Hanson
Notary Public

Print Name

STATE OF MAINE
CUMBERLAND, SS.

November 29, 2006

Personally appeared before me the above-named Marie A. Aube, and acknowledged the foregoing instrument to be her free act and deed.

TS Harrison
Notary Public Attorney
Tom S. Harrison
Print Name

EXHIBIT A

A certain lot or parcel of land, with the buildings thereon, situated in the City of Saco, in the County of York and State of Maine, bounded and described as follows:

BEGINNING at a stone monument set in the ground on the southeasterly side of the Portland Road, so-called, and the northeasterly side of the Cascade Road, so-called, said monument being 53.28 feet southeasterly from the center line of Station 151+08.91 as shown "Maine State Highway Commission Right of Way Map Showing Federal Aid Project No. F-01-1 (15)" recorded in the York County Registry of Deeds in Plan Book 31, Page 25; thence N 29° 22' 11" E by said Portland Road 42.20 feet to a stone monument set in the ground; thence N 50° 59' E by said Portland Road 415.88 feet to a stone monument set in the ground; thence by said Portland Road and by a regular curve deflecting to the right having a radius of 10,706 feet, a chord distance of 40 feet, more or less, the above three courses being by the taking line of said Highway Commission; thence northwesterly about 4 feet to the southeasterly side line of said Portland Road as laid out by the County Commissioners in 1933; thence northeasterly by the southeasterly sideline of said road as laid out by the County Commissioners in 1933 about 555 feet to land now or formerly of Claude Ayer; thence S 19° 05' E by said Ayer land and by the old fence 3,169 feet, more or less, to an iron pipe driven into the ground and land known as the Wardwell Home lot, nor or formerly owned by one Townsend; thence S 71° 50' W by said Wardwell Home land 142.97 feet to an iron pipe driven into the ground; thence N 20° 25' W by said Wardwell Home lot 163.35 feet to a point; thence about S 52° 25' W by said Wardwell Home lot about 462 feet; thence about S 37° 30' E by said Wardwell Home lot to the line dividing the City of Saco and the Town of Old Orchard Beach; the last five courses refer to the 1966 Magnetic Meridian; thence southwesterly by said town line to the northeasterly side of said Cascade Road as shown on "Maine State Highway Commission Right of Way Map State Highway A-9" dated November, 1947, recorded in said Registry of Deeds in Plan Book 23, Page 25; thence northwesterly by said northeasterly side of said road, as shown on said Plan, to the southeasterly end of that part of said road shown on "Maine State Highway Commission Right of Way Map State Highway 9 Federal Aid Project No. F09-1(3)" dated October, 1958, recorded in said Registry of Deeds in Plan Book 31, Page 17; thence N 61° 38' E by said southeasterly end of said last above mentioned Project 10 feet to a granite stone set in the ground opposite State 25+00 as shown on said last mentioned Plan; thence N 28° 22' W by said northeasterly side of said road, as shown on said last mentioned Plan, 84.41 feet to a granite stone set in the ground; thence northwesterly by said road, as shown on said last mentioned Plan, it being by a regular curve deflecting to the right having a radius of 2814.93 feet, a chord distance of 588.49 feet to a granite stone set in the ground; thence N 16° 22' W by said road, as shown on said last mentioned Plan, 827.48 feet to a granite stone set in the ground; thence northwesterly by said road, as shown on said last mentioned Plan, it being by a regular curve deflecting to the left having a radius of 1687.28 feet, a chord distance of 780.60 feet to a granite stone set in the ground; thence N 43° 07' W by said road, as shown on said last mentioned Plan, 173.82 feet to the point of beginning. The last four courses and distances are from said State Highway Commission Plan.

Excepting from the above described premises the Millikens Mills Road, so-called, which extends from said Cascade Road northeasterly through said land known as the Wardwell Home lot, also subject to a right of way of the New England Telephone and Telegraph Company along the

southeasterly end of said property.

Together with all its right, title and interest, if any, in and to the land situated in the Town of Old Orchard Beach, in said County of York, which lies southeasterly of the above described lot and extends from said town line southeasterly to the eastern division of the Boston & Maine Railroad and lying between said Wardwell Home lot and said Cascade Road.

This conveyance is made subject to the rights of the public, if any, in and to the presently untravelled portions of the "Old Cascade Road", so-called, and in the premises conveyed by Cascade Improvement Company to the State of Maine by deed dated November 3, 1930 and recorded in said Registry of Deeds in Book 810, Page 336. Said premises are also conveyed subject to certain slope and drainage rights taken by the State of Maine along portions of the Portland Road and Cascade Road by condemnation proceedings dated August 22, 1958, recorded in said Registry of Deeds in Book 1387, Page 77, and being amended by condemnation proceedings dated May 20, 1959 and recorded in said Registry of Deeds in Book 1398, Page 528 and 532.

Also conveying, to the extent not already described above, the lots and parcels of land shown on the Tax Maps of the City of Saco as Map 48, Lot 4 and the Tax Maps of the Town of Old Orchard Beach as Map 103, Block 2, Lot 1.

For Grantor's source of title, reference is made to a deed from James Truman et al to Richard L. Aube and Marie A. Aube dated March 18, 1985 and recorded in the York County Registry of Deeds.

Together with two parcels of land referenced in a certain "Deed of Vacation" from the State of Maine, acting by and through the Commissioner of its Department of Transportation, under and pursuant to the provisions of 23 M.R.S.A. § 61, to Richard L. Aube and Marie A. Aube dated July 14, 2005, recorded in the York County Registry of Deeds in Book 14964, Page 767 and described as follows:

Parcel 1

BEGINNING at a point in present northeasterly line of State Highway "9" (Cascade Road) as established by a Notice of Layout and Taking recorded November 10, 1958 at the York County Registry of Deeds in Book 1387, Page 77, at its intersection with the southwesterly line of the Cascade Road prior to 1930, said point being fifty (50) feet northeasterly from and as measured along a line normal to the State Highway "9" Base Line at about Sta. 6+90;

THENCE southeasterly and southerly along the southwesterly line of the Cascade Road prior to 1930, about five hundred (500) feet to the present northeasterly line of State Highway "9" (Cascade Road), said point being fifty (50) feet northeasterly from and as measured along a line at right angles to the State Highway "9" Base Line at about Sta. 11+45;

THENCE N 16° 22' W, along the present northeasterly line of State Highway "9" (Cascade Road), about one hundred (100) feet to a point in the southwesterly line of the Cascade Road as

described in Warranty Deed of Cascade Improvement Company to the State of Maine, dated November 3, 1930 and recorded at the York County Registry of Deeds in Book 810, Page 336, said point being fifty (50) feet northeasterly from and as measured along a line at right angles to the State Highway "9" Base Line at about Sta. 10+45;

THENCE northerly and northwesterly along the said southwesterly line of the Cascade Road as acquired from said Cascade Improvement Company, as the same shall run, about three hundred nine (309) feet to a point in the present northeasterly line of State Highway "9" (Cascade Road), said point being fifty (50) feet northeasterly from and as measured along a line normal to the said State Highway "9" Base Line at about Sta. 7+46;

THENCE northwesterly along the present northeasterly line of State Highway "9" (Cascade Road), being a curved line fifty (50) feet northeasterly from and concentric with the said base line, about fifty-eight (58) feet to the POINT OF BEGINNING, and containing about 0.41± Acres, more or less.

Parcel 2

BEGINNING at a point in the present northeasterly line of State Highway "9" (Cascade Road) as established by said Notice of Layout and Taking referenced in Parcel 1 above, at its intersection with the easterly line of the Cascade Road as acquired from said Cascade Improvement Company, said point being fifty (50) feet northeasterly from and as measured along at right angles to the said State Highway "9" Base Line at about Sta. 13+20;

THENCE N 16° 22' W along the present northeasterly line of said State Highway "9" (Cascade Road), about twenty-four (24) feet to a point in the easterly line of the Cascade Road prior to 1930, said point being fifty (50) feet northeasterly from and as measured along at right angles to the said State Highway "9" Base Line at about Sta. 12+96;

THENCE northerly along the easterly line of the Cascade Road prior to 1930, about forty-one (41) feet to the intersection of the easterly line of the Cascade Road as acquired from said Cascade Improvement Company;

THENCE southerly along the easterly line of the Cascade Road as acquired from said Cascade Improvement Company, about sixty-four (64) feet to the POINT OF BEGINNING, and containing about 245 square feet, more or less.

RESERVING TO the State of Maine from the above parcel of land the perpetual right to enter upon said parcel of land to maintain any highway slopes and drainage facilities or installations that may exist.

SUBJECT TO all utility easements and installations located on the above described premises, including those shown on the herein referred to Right-of-way Map, and to those rights which any utility enjoys over the subject premises for maintenance, location or relocation of poles and other installations.

FOR REFERENCE see the first and second parcels described in a warranty deed dated November 3, 1930 from the Cascade Improvement Company to the State of Maine, recorded in Volume 810 at Page 336 of the records of the Registry of Deeds for the County of York, State of Maine, presently located in Alfred, Maine.

6pg -> Kelly, Remmel, + Zimmerman
P.O. Box 597 - Portland, ME.
04112-0597

End of Document

Map-Lot	Grantee	Co-Grantee	Mailing	City	State	Zip
48021000001	STEVENSON GARY C	TARPON TOWERS II LLC	1001 3RD AVE W - SUITE 420	BRADENTON	FL	34205
49001000000	MAINE STATE OF		STATE HOUSE STATION 22	AUGUSTA	ME	4333
62021000000	STEVENSON GARY C		955 PORTLAND RD	SACO	ME	4072
63003000000	AQUA MANAGEMENT LLC		980 PORTLAND RD	SACO	ME	4072
63003001000	MITCHELL SHERRY	CONSIGLIO PAMELA	115 US RT 2 SOUTH	ALBURGH	VT	5440
63004000000	BARBERA MICHAEL A	BARBERA VERONICA H	992 PORTLAND RD	SACO	ME	4072
63006000001	CITY OF SACO		300 MAIN ST	SACO	ME	4072
63006001000	NORTHEAST CREDIT UNION		P.O. BOX 1240	PORTSMOUTH	NH	3802
63006002000	AVESTA CASCADE BROOK LP		307 CUMBERLAND AVE	PORTLAND	ME	4101
63006003000	CASCADE FALLS APARTMENTS LLC		1022 PORTLAND RD	SACO	ME	4072
63006003001	GAVETT PETER A	GAVETT FELICIA E	8 MANETA DR	SACO	ME	4072
63006003002	POLK GREGORY A	POLK MARGARET R	10 MANETA DR	SACO	ME	4072
63006003003	PEABBLES, PRESTON E.		12 MANETA DR.	SACO	ME	4072
63006003032	DYER DAVID A	DYER JUDITH R	8 QUARRY LN	SACO	ME	4072
63006005000	DAVID E STEARNS	ANNE M STEARNS	1 QUARRY LN	SACO	ME	4072
63006005000	DONAHUE LOUISE M		10 ROARING ROCK RD	SACO	ME	4072
63006005000	BELL WILLIAM A	TAGUE K BARBARA	11 QUARRY LN	SACO	ME	4072
63006005000	WILFAND BARRY	TRUSTEE WILFAND REVOCABLE TRUST	15 QUARRY LN	SACO	ME	4072
63006005000	MONTGOMERY MARLISE S		17 QUARRY LN	SACO	ME	4072
63006005000	PERRY G LEROY	PERRY LEONA JOY	2 ROARING ROCK RD	SACO	ME	4072
63006005000	SNELL GARY L	SNELL SANDRA E	3 QUARRY LN	SACO	ME	4072
63006005000	ALEXANDER DONNA M		4 ROARING ROCK RD	SACO	ME	4072
63006005000	MCKENNEY JOANNE T		6 ROARING ROCK RD	SACO	ME	4072
63006005000	CORRY STEVEN E	TETREAULT LYNNE M	8 ROARING ROCK RD	SACO	ME	4072
63006005000	ROSSI FRANK A	ROSSI KATHLEEN D	881 BRAEMAR PLACE	THE VILLAGES	FL	32162
63006005000	FLOOD PATRICK S A	FLOOD MARJORIE C	9 QUARRY LN	SACO	ME	4072
63006006000	SIMARD JOAN B		19 CHANNEL COVE LN	BIDDEFORD	ME	4005
63006006000	GALLANT JOHN F	GALLANT SUE P	3 CREEKS EDGE DR	SACO	ME	4072
63006006000	STEBBINS JANET J		5 CREEKS EDGE DR	SACO	ME	4072
63006006000	ROBERTSON CYNTHIA B		7 CREEKS EDGE DR	SACO	ME	4072
63006006000	DIROBBIO MICHAEL	DIROBBIO MARYANN	9 CREEKS EDGE DR, UNIT 9	SACO	ME	4072
63006007001	CASCADE FALLS APARTMENTS LLC	LIABILITY CO	1022 PORTLAND RD	SACO	ME	4072
63007000000	MKM REALTY TRUST LIMITED		198 SACO AVE	OLD ORCHARD BEACH	ME	4064
63007001000	TK ENTERPRISES LLC		636 ROUTE 1	SCARBOROUGH	ME	4074
63008000000	ROBINSON CALVIN C III	ROBINSON AMY	5 PAQUATANEE PL	BIDDEFORD	ME	4005
63008001000	MKM REALTY TRUST LIMITED	LIABILITY CO	198 SACO AVE	OLD ORCHARD BEACH	ME	4064
63009000000	ROBERGE CONSTRUCTION INC		PO BOX 18	BIDDEFORD	ME	04005-0018
63011000000	STEVENSON ROBERT	C/O GARY STEVENSON	965 PORTLAND RD P O BOX 300	SACO	ME	4072
64001000000	JACQUES JAY W	JACQUES KATRINA	1009 PORTLAND RD	SACO	ME	4072
64002000000	JACQUES FLOYD		1015 PORTLAND ROAD	SACO	ME	04072-0108
64003000000	1017 PORTLAND RD SACO LLC		10 PINE POINT RD	SCARBOROUGH	ME	4074
64004000000	GLAUDE MICHAEL JR		1019 PORTLAND RD #4	SACO	ME	4072
64005000000	ACETO ANTHONY J		C/O MAINWAY LANDSCAPING & EXC 1021 PORTLAND RD	SACO	ME	4072
64006000000	LOWE INVESTMENTS		18 WEBSTER WAY	SCARBOROUGH	ME	4074
64006001000	IRA HYUNDAI INC		C/O BIBEAU & COMPANY INC 340 FOREST	PORTLAND	ME	4101
64006002001	MAINE STATE OF DEPT OF DEFENSE	VETERANS AND EMERGENCY MANAGEMENT	117 STATE HOUSE STATION	AUGUSTA	ME	4333
64007000000	WALTERS JOHN L		47 MAST HILL RD	SACO	ME	4072
64009000000	BERUBE NORMAND BUILDERS		1040 PORTLAND RD	SACO	ME	04072-9676
64009001000	LAGASSE CHAD		1038 PORTLAND RD #19	SACO	ME	4072
64009001000	HAYES MICHELLE	HAYES ELIZABETH	1038 PORTLAND RD #1	SACO	ME	4072

64009001000	WILDES THOMAS J	WILDES DIANE D	1038 PORTLAND RD #16	SACO	ME	4072
64009001000	PLANTE LORY L		1038 PORTLAND RD #17	SACO	ME	4072
64009001000	ONEILL ERIC		1038 PORTLAND RD #2	SACO	ME	4072
64009001000	SYLVESTRE EVELYN L	SYLVESTRE RAYMOND D	1038 PORTLAND RD #20	SACO	ME	4072
64009001000	DYMENT WILLIAM JR		1038 PORTLAND RD #21	SACO	ME	4072
64009001000	GIARRATANO TINA		1038 PORTLAND RD #22	SACO	ME	4072
64009001000	MOODY ERIC		1038 PORTLAND RD #6	SACO	ME	4072
64009001000	GRENIER KRISTINE E	BROWNE JASON A	1038 PORTLAND RD LOT 3	SACO	ME	4072
64009001000	WHITE DARREN		1038 PORTLAND RD LOT 9	SACO	ME	4072
64009001000	COUNTRY VILLAGE INC		198 SACO AVE	OLD ORCHARD BEACH	ME	4064
64009001000	HEIKKINEN MARK		73 SOUTH ST	BIDDEFORD	ME	4005
64009001000	SMITH KENNETH E	SMITH LISA A	P O BOX 1292	SACO	ME	04072-1292
64010000000	SOUTHERN MAINE STORAGE LLC		1030 PORTLAND RD	SACO	ME	4072
64010001000	WEINSTEIN KING H		198 SACO AVE	OLD ORCHARD	ME	4064
64011000000	PRESTON PROPERTIES LLC		1022 PORTLAND RD	SACO	ME	4072
64012000000	1016 PORTLAND ROAD LLC		38 ALEWIFE COVE	CAPE ELIZABETH	ME	4107
64012001000	PRESTON PROPERTIES LLC		1022 PORTLAND RD	SACO	ME	4072
64013000000	BRICKS CABINS LLC		2 FIERO DR	OLD ORCHARD BEACH	ME	4064
64014000000	LEARY JAMES H	LEARY EDNA M	269 FLAGPOND RD	SACO	ME	04072-9674



CITY OF SACO, MAINE

Saco Public Works Department
15 Phillips Spring Road
Saco, Maine 04072

Joseph A. Laverriere, P.E. – City Engineer
Telephone: (207) 284-6641
Email: jlaverriere@sacomaine.org

MEMORANDUM

TO: Robert Hamblen, Planner
DATE: January 15, 2021
RE: **Park North – 10th Amended Subdivision
Tax Map 64, Lot 6**

The Department of Public Works (DPW) has reviewed the 10th amended subdivision plan application materials for the above referenced project prepared by Sebago Technics, Inc., dated December 18, 2020 with supplemental materials dated January 6, 2021. The following comments and recommendations have been prepared based upon our review:

General:

1. DPW does not object to the proposed request to turn Roaring Rock Road into a public street as opposed to a private road provided the development within Lot CA-1 is duplex units are shown on the 10th amended subdivision plans.

Subdivision Plan

1. Was there a ninth amended subdivision plan? This is labeled the tenth amended subdivision plan, but the note on the plan states that the tenth amended subdivision plan is amending the eighth amended subdivision plan.
2. A drainage easement needs to be provided across the southwesterly corner of Lot CA-2 for the portion of 24" stormdrain between CB-4 and CB45 that extends outside of the proposed public right-of-way for Roaring Rock Road. The easement should extend 15' beyond the centerline of the storm drain pipe.

Roaring Rock Road Plan & Profile Sheet

1. Are the existing underground utilities based upon as-built locations? This needs to be confirmed. This should include the locations of the utility stubs (sewer, water, storm drain, etc.) that were intended to serve the original multifamily buildings planned for Lot CA-1. The goal is to ensure the plans accurately reflect existing utility stubs for re-use and avoid unnecessary utility trenching into Roaring Rock Road.
2. It should be noted that there is an existing electrical transformer within the proposed driveway to the duplex at approximately Sta 2+25 right that is not shown on the plan. This electrical transformer will need to be relocated as part of this redesign.
3. There are a number of water valves within the Roaring Rock pavement surface that do not seem to align with the water main location as shown. These valves should be shown on the plan along with associated lines.

4. There is an existing catch basin behind the roadway at approximately Sta 2+25 right that is not shown on the plan. It appears this catch basin will no longer be needed, but this should be confirmed.
5. Utility service stubs have not been shown for the three new lots R-36 through R-38 along Maneta Drive that are being created as part of the 10th Amended Subdivision Plan. Updated plans for this portion of Maneta Drive need to be provided showing utility extension and service stubs for each of these lots along with driveway curb cut locations.
6. Street lights should be shown on either end of Roaring Rock Road as previously discussed with the developer.

We look forward to discussing this project further and would be happy to clarify any of our comments made within this review memo.