

AGENDA
NOTICE OF MEETING OF THE CITY COUNCIL OF
SHAVANO PARK, TEXAS

This notice is posted pursuant to the Texas Open Meetings Act. Notice hereby given that the City Council of the CoSP, Texas will conduct a Regular Meeting on Monday, November 25, 2019 at 6:30 p.m. at 900 Saddletree Court, Shavano Park City Council Chambers for the purpose of considering the following agenda:

1. CALL MEETING TO ORDER

2. PLEDGE OF ALLEGIANCE AND INVOCATION

3. CITIZENS TO BE HEARD

The City Council welcomes “Citizens to be Heard.” If you wish to speak, you must follow these guidelines. **As a courtesy to your fellow citizens and out of respect to our fellow citizens, we request that if you wish to speak that you follow these guidelines.**

- Pursuant to Resolution No. R-2019-011 citizens are given three minutes (3:00) to speak during “Citizens to be Heard.”
- Members of the public may only speak once and cannot pass the individual’s time allotment to someone else
- Direct your comments to the entire Council, not to an individual member
- Show the Council members the same respect and courtesy that you expect to be shown to you

The Mayor will rule any disruptive behavior, including shouting or derogatory statements or comments, out of order. Continuation of this type of behavior could result in a request by the Mayor that the individual leave the meeting, and if refused, an order of removal. In compliance with the Texas Open Meetings Act, no member of City Council may deliberate on citizen comments for items not on the agenda. (Attorney General Opinion – JC 0169)

4. CITY COUNCIL COMMENTS

Pursuant to TEX. GOV’T CODE §551.0415(b), the Mayor and each City Council member may announce city events/community interests and request that items be placed on future City Council agendas. “Items of Community Interest” include:

- expressions of thanks, congratulations, or condolences;
- information regarding holiday schedules;
- an honorary or salutary recognition of a public official, public employee, or other citizen, except that a discussion regarding a change in status of a person’s public office or public employment is not honorary or salutary recognition for purposes of this subdivision;
- a reminder about an upcoming event organized or sponsored by the governing body;
- information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the governing body that was attended or is scheduled to be attended by a member of the governing body or an official or employee of the municipality or county; and
- announcements involving an imminent threat to the public health and safety of people in the municipality or county that has arisen after posting of the agenda.

5. PRESENTATIONS, COMMENDATIONS AND ANNOUNCEMENTS

5.1. Holiday Event - Mayor Pro Tem Ross

6. REGULAR AGENDA ITEMS

- 6.1. Public hearing – The purpose of the public hearing is to receive comments from members of the public regarding the for the voluntary extension of the Shavano Park, Texas city limits by the annexation of a tract of land that contains an area of approximately 1.838 acres and legally described as Lot 1814 of County Block 5938, Shavano Park Subdivision Unit-16A-1**
- 6.2. Discussion / action – Ordinance No. O-2019-016 enacting the voluntary extension of the Shavano Park, Texas city limits by the annexation of a tract of land that contains an area of approximately 1.838 acres and legally described as Lot 1814 of County Block 5938, Shavano Park Subdivision Unit-16A-1 (first reading) - City Manager**
- 6.3. Public Hearing – The purpose of the public hearing is to receive comments from members of the public regarding the proposed rezoning of three properties at the corner of Lockhill-Selma and Huebner Roads legally described as Lots 1813A, 1813B and 1814 of County Block 5938, Shavano Park Subdivision Unit-16A-1 from B-2 Business and Office District (Lots 1813A and 1813B) and A-2 Single Family Residential District (Lot 1814) to a single Planned Unit Development (PUD) zoning district with B-2 Business and Office base district with the following exceptions:**
 - Minimum Parking Requirement**
 - Allowed number of, size, electrical display and sign face size of monument signs**
 - Allowed size of wall signs**
 - Rear / Side Setback Requirements**
 - Rear / Front Landscape Buffer Requirements**
- 6.4. Discussion / action – Ordinance No. O-2019-017 rezoning of three properties at the corner of Lockhill-Selma and Huebner Roads legally described as Lots 1813A, 1813B and 1814 of County Block 5938, Shavano Park Subdivision Unit-16A-1 from B-2 Business and Office District (Lots 1813A and 1813B) and A-2 Single Family Residential District (Lot 1814) to a single Planned Unit Development (PUD) zoning district with B-2 Business and Office base district (first reading) - City Manager**
- 6.5. Public Hearing - The purpose of the public hearing is to receive comments from members of the public regarding proposed amendments to the City of Shavano Park Code of Ordinances, including changes to Chapters 36 - Zoning and 6 - Buildings and Building Regulations, to ensure building material regulations for**

residential and commercial building construction are in compliance with House Bill 2439 from the 86th Texas Legislature

- 6.6. Discussion / action – Ordinance No. O-2019-018 amending the City of Shavano Park Code of Ordinances, Chapters 36 - Zoning and 6 - Buildings and Building Regulations, to ensure building material regulations for residential and commercial building construction are in compliance with House Bill 2439 of the 86th Texas Legislature (first reading) - City Manager**
- 6.7. Public Hearing - The purpose of the public hearing is to receive comments from members of the public regarding proposed amendments to the City of Shavano Park Code of Ordinances, Chapter 36 – Zoning, expanding who can appeal administrative decisions on projects or applications to the Zoning Board of Adjustment in compliance with House Bill 2497 of the 86th Texas Legislature**
- 6.8. Discussion / action - Ordinance No. O-2019-019 amending the City of Shavano Park Code of Ordinances, Chapter 6 - Buildings and Building Regulations, to abolish the Construction Board of Appeals and Chapter 36 - Zoning, expanding who can appeal administrative decisions on projects or applications to the Zoning Board of Adjustment in compliance with House Bill 2497 of the 86th Texas Legislature (first reading) - City Manager**
- 6.9. Discussion / action - Filling the vacancy on the Citizen’s Tree Committee; consideration of Ordinance No. O-2019-020 increasing the Citizen’s Tree Committee from six to seven members; and filling the vacancy on the Citizen’s Tree Committee if the committee size increases to seven members (administrative) - City Manager**
- 6.10. Discussion / action - Resolution No. R-2019-015 Speed Hump Policy - City Manager**
- 6.11. Discussion / action - Reschedule / Cancel the Regular City Council Meeting scheduled for December 23, 2019 - City Manager**
- 6.12. Discussion / action - Resolution No. R-2019-014 Nomination to Bexar Appraisal District Board of Directors 1920-2021 - City Manager**
- 6.13. Discussion / action - Resolution R-2019-018 authorizing the submittal of a grant application to the 2019 Texas Volkswagen Environmental Mitigation Program to request funding for the replacement of the 2006 International 4200 dump truck in Fiscal Year 2019-20 - City Manager**
- 6.14. Discussion / action - City Manager 363 Review. Possible Executive Session pursuant to Texas Government Code §551.074, Personnel Matters - Mayor Pro Tem Ross**
- 6.15. Discussion / action - Amendment to the City Manager Employment Agreement - Possible Executive Session pursuant to Texas Government Code §551.074, Personnel Matters - City Manager**

7. CITY MANAGER'S REPORT

All matters listed under this item are considered routine by the City Council and will only be considered at the request of one or more Aldermen. Coincident with each listed item, discussion will generally occur.

7.1. Building Permit Activity Report

7.2. Fire Department Activity Report

7.3. Municipal Court Activity Report

7.4. Police Department Activity Report

7.5. Public Works Activity Report

7.6. Finance Report

8. CONSENT AGENDA

All matters listed under this item are considered routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired by any Alderman on any item, that item will be removed from the consent agenda and will be considered separately.

8.1. Approval - City Council Minutes, October 28, 2019

8.2. Accept - Planning & Zoning Commission Meeting Minutes, October 2, 2019

8.3. Approval - Adoption of Ordinance O-2019-013 amending the City of Shavano Park Master Zoning Plan to rezone the property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) from B-2 Business and Office District to a Planned Unit Development (PUD) zoning district including B-2 Base Zoning Category and granting a Special Use Permit for an Assisted Living Facility (CC) use (Final Reading)

8.4. Approval - Ordinance O-2019-014 amending the City of Shavano Park Code of Ordinances, Chapter 28: Subdivisions and Chapter 36: Zoning to clarify front setbacks in relation to entryway features and exterior architectural features (Final Reading)

8.5. Approval - Ordinance O-2019-015 amending the City of Shavano Park Code of Ordinances, Chapter 8, Article II Soliciting and Peddling, Section 8.24 (Hours of Solicitation) (Final Reading)

8.6. Approval - Official City Holiday Schedule

8.7. Approval - Resolution No. R-2019-016 approving the 2019 tax roll for the City of Shavano Park

8.8. Approval - Resolution No. R-2019-017 approving the EMS receivable adjustments for certain inactive outstanding accounts that have been deemed uncollectible.

9. ADJOURNMENT

Executive Sessions Authorized: This agenda has been reviewed and approved by the City's legal counsel and the presence of any subject in any Executive Session portion of the agenda constitutes a written interpretation of TEX. GOV'T CODE CHAPTER 551 by legal counsel for the governmental body and constitutes an opinion by the attorney that the items discussed therein may be legally discussed in the closed portion of the meeting considering available opinions of a court of record and opinions of the Texas Attorney General known to the attorney. This provision has been added to this agenda with the intent to meet all elements necessary to satisfy TEX. GOV'T CODE §551.144(c) and the meeting is conducted by all participants in reliance on this opinion. The Council may vote and/or act upon each of the items set out in this agenda. In addition, the City Council for the City of Shavano Park has the right to adjourn into executive session at any time during the course of this meeting to discuss any matter authorized by Texas Government Code Sections 551.071 (Consultation with Attorney); 551.072 (Deliberations related to Real Property); and Section 551.074 (Personnel Matters).

Attendance by Other Elected or Appointed Officials – NOTICE OF POTENTIAL QUORUM:

It is anticipated that members of City Council or other city board, commissions and/or committees may attend the meeting in numbers that may constitute a quorum of the other city boards, commissions and/or committees. Notice is hereby given that the meeting, to the extent required by law, is also noticed as a meeting of the other boards, commissions and/or committees of the City, whose members may be in attendance. The members of the boards, commissions and/or committees may participate in discussions on the same items listed on the agenda, which occur at the meeting, but no action will be taken by such in attendance unless such item and action is specifically provided for on an agenda for that board, commission or committee subject to the Texas Open Meetings Act.

The facility is wheelchair accessible and accessible parking spaces are also available in the front and sides of the building. The entry ramp is located in the front of the building. Sign interpretative services for meetings must be made 48 hours in advance of the meeting. Call the City Secretary at 210-493-3478 x240 or TDD 1-800-735-2989.

CERTIFICATE:

I hereby certify that the above Notice of Meeting was posted on the City Hall bulletin board on the 18th day of November 2019 at 5:00 p.m. at a place convenient and readily accessible to the general public at all times, and to the City's website, www.shavanopark.org, in compliance with Chapter 551, Texas Government Code

Zina Tedford
City Secretary

POTENTIAL FUTURE AGENDA ITEMS

No Items listed as a potential future agenda item will be considered unless listed as a regular agenda item. Alderman please contact City staff to add new or reconsider old agenda items. Pending agenda items for consideration at subsequent Council meetings may include one or more of the following:

- a. Public Hearing / Ordinance O-2019-0XX amending the City of Shavano Park Code of Ordinances, Chapter 24: Signs to clarify requirements within Sign Ordinance - December**
- b. Amendment of Records Management Ordinance (TBD'ed)**
- c. Ordinance prohibiting the use of a portable electronic device while operating a motor vehicles and creating an offense - Ald. Heintzelman (TBD'ed)**
- d. Resolution adopting City Policy - City Publications - Open**
- e. Adopt the National Neighborhood Watch Program as a city sponsored / managed program. Appoint management of the program to the Police Department with the Police Chief designated as the POC – Open**
- f. Consideration for transfer portions of Fund Balance to Capital Replacement / Improvement Fund - Annual January / February**
- g. Records Retention Policy - Annual January**
- h. Schedule the Annual City-Wide Garage Sale – Annual January**
- i. Appointment of Council Appointed Positions - Annual January**
- j. Crime Control Prevention District funding placed on ballot - January 2024**
- k. Street Maintenance Fund funding placed on the ballot - January 2022**
- l. Revisions to Employee Handbook - Annual February**
- m. Shavano Park Police Department 2017 Racial Profiling Report - Annual February**
- n. City of Shavano Park Investment Policy - Annual February**
- o. Shavano Park Commercial and Residential Development Semi-annual Presentation - Bitterblue, Inc. / Denton Communities – February / August**
- p. FY 2019 - 20 Budget Amendment (Annual February or March)**
- q. Set City Manager Annual Performance and Salary Review for April – Annual March**

- r. City Manager Annual Review / Salary for April - Annual April
- s. Annual Budget Calendar - Annual May
- t. Annual appointment of members to the Higher Education Facilities Corporation Board - Annual May
- u. Annual update on bond revenue opportunities by Bond Counsel – Annual May
- v. Approval of Financial Account Signatures - Annual June
- w. Annual Compensation Review - Annual June Workshop
- x. Shavano Park Commercial and Residential Development Semi-annual Presentation - Bitterblue, Inc. / Denton Communities – February / August
- y. City Council adoption of organizational chart - Annual August
- z. Annual Report on Republic Service Recycling and CPI Fee adjustments - Annual September
- aa. Resolution adopting the Crime Control and Prevention Budget of the City of Shavano Park Crime Control & Prevention for FY - Annual September
- bb. Ordinance approving and adopting a budget for the City of Shavano Park, Texas for the fiscal year beginning October 1, 2018 and ending September 30, 2019a - Annual September
- cc. Resolution adopting the City of Shavano Park Effective Tax Rate (Record Vote) - Annual September
- dd. Record vote to ratify the property tax rate reflected in the FY 2016-17 Budget (Record Vote) - Annual September
- ee. Selection - Boards, Commissions, and Committees - Annual September
- ff. Setting the dates for the City sponsored events (City-wide Garage Sale / Arbor / Earth Day / Independence Day / National Night Out / Holiday / Picnic in the Park) - Annual September
- gg. Disposal of City Equipment / Furniture - Annual October
- hh. Designation of City of Shavano Park Official Paper - Annual October
- ii. Adoption of Official City Holiday Schedule - Annual November
- jj. Approval of the yearly tax roll - Annual November

CITY COUNCIL AGENDA FORM

Meeting Date: November 25, 2019

Agenda item: 6.1 / 6.2

Prepared by: Bill Hill

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

6.1. Public Hearing - To receive testimony and comments from members of the public regarding the proposed annexation of a tract of land being out of Lot 1814 of the Shavano Park Unit 16A-1 subdivision that contains an area of approximately 1.838 acres and amending the official city limits map of the City of Shavano Park to reflect the voluntary annexation of the area described herein

6.2. Discussion / Action - Ordinance No. O-2019-016 providing for the voluntary extension of the Shavano Park, Texas city limits by the annexation of a tract of land being out of Lot 1814 of the Shavano Park Unit 16A-1 subdivision that contains an area of approximately 1.838 acres and amending the official city limits map of the City of Shavano Park to reflect the voluntary annexation of the area described herein (Administrative) - City Manager

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Attachments for Reference:

- 1) Ordinance O-2019-016
- 2) Service Agreement
- 3) Petition for Annexation
- 4) Minutes City Council Mtg September 22, 2014

BACKGROUND / HISTORY: On August 26th, 2014, Texas ARDMOR Properties, LP submitted a petition for annexation (attachment 3) for County Block 5938, Lot 1814 of Shavano Park Unit 16A-1. This petition was granted by City Council at the September 22, 2014 meeting (attachment 4) after a public hearing.

DISCUSSION: As part of the lawsuit settlement with ARDMOR, a court order signed on May 14th directing us to consider annexation of the property specifically following LGC 43.028.

At the July 22, 2019 City Council meeting, Ordinance O-2019-006 annexing the property described in Exhibit A was approved in accordance with Texas Local Government Code Chapter 43.028 and recorded in Bexar County Courthouse on August 22nd.

Sec. 43.028. AUTHORITY OF MUNICIPALITIES TO ANNEX SPARSELY OCCUPIED AREA ON PETITION OF AREA LANDOWNERS.

- (a) This section applies only to the annexation of an area:
- (1) that is one-half mile or less in width;
 - (2) that is contiguous to the annexing municipality; and
 - (3) that is vacant and without residents or on which fewer than three qualified voters reside.
- (b) The owners of the area may petition the governing body of the municipality in writing to annex the area.
- (c) The petition must describe the area by metes and bounds and must be acknowledged in the manner required for deeds by each person having an interest in the area.
- (d) After the 5th day but on or before the 30th day after the date the petition is filed, the governing body shall hear the petition and the arguments for and against the annexation and shall grant or refuse the petition as the governing body considers appropriate.
- (e) If the governing body grants the petition, the governing body by ordinance may annex the area. On the effective date of the ordinance, the area becomes a part of the municipality and the inhabitants of the area are entitled to the rights and privileges of other citizens of the municipality and are bound by the acts and ordinances adopted by the municipality.
- (f) If the petition is granted and the ordinance is adopted, a certified copy of the ordinance together with a copy or duplicate of the petition shall be filed in the office of the county clerk of the county in which the municipality is located.

At the time of annexation, the City was unaware that HB 347 (new annexation laws) went into effect on May 24th and effectively eliminated LGC 43.028 and creating new laws. Even though we have a court order signed on May 14th directing us to consider annexation of the property specifically following LGC 43.028, the City Attorney recommends reworking the annexation to remove any future doubt concerning the validity of the annexation.

With the new LGC, there are a couple ways to annex the property. After a thorough review, annexation under LGC 43.0671 authority is the best course of action. Under LGC 43.0671, a municipality may annex an area if:

1. Each owner of land in the area requests the annexation.
2. Both the City and the property owner enter into a written agreement with the owners of land in the area for the provision of services in the area
3. The governing body of the municipality must conduct one public hearing
4. The governing body of the municipality adopts an ordinance annexing the area.

SUBCHAPTER C-3. ANNEXATION OF AREA ON REQUEST OF OWNERS

Sec. 43.0671. AUTHORITY TO ANNEX AREA ON REQUEST OF OWNERS.

Notwithstanding Subchapter C-4 or C-5, a municipality may annex an area if each owner of land in the area requests the annexation.

Added by Acts 2017, 85th Leg., 1st C.S., Ch. 6 (S.B. 6), Sec. 26, eff.
December 1, 2017.

Sec. 43.0672. WRITTEN AGREEMENT REGARDING SERVICES. (a) The governing body of the municipality that elects to annex an area under this subchapter must first negotiate and enter into a written agreement with the owners of land in the area for the provision of services in the area.

(b) The agreement must include:

(1) a list of each service the municipality will provide on the effective date of the annexation; and

(2) a schedule that includes the period within which the municipality will provide each service that is not provided on the effective date of the annexation.

(c) The municipality is not required to provide a service that is not included in the agreement.

Added by Acts 2017, 85th Leg., 1st C.S., Ch. 6 (S.B. 6), Sec. 26, eff.
December 1, 2017.

Sec. 43.0673. PUBLIC HEARING. (a) Before a municipality may adopt an ordinance annexing an area under this subchapter, the governing body of the municipality must conduct one public hearing.

(c) During the public hearing, the governing body:

(1) must provide persons interested in the annexation the opportunity to be heard; and

(2) may adopt an ordinance annexing the area.

(d) The municipality must post notice of the hearing on the municipality's Internet website if the municipality has an Internet website and publish notice of the hearing in a newspaper of general circulation in the municipality and in the area proposed for annexation. The notice for the hearing must be:

(1) published at least once on or after the 20th day but before the 10th day before the date of the hearing; and

(2) posted on the municipality's Internet website on or after the 20th day but before the 10th day before the date of the hearing and must remain posted until the date of the hearing.

The prerequisites for annexation have been met as follows:

1. each owner of land in the area requests the annexation. ARDMOR (Luv-N-Care) petitioned for annexation on August 26th, 2014.
2. both the City and the property owner enter into a written agreement with the owners of land in the area for the provision of services in the area. The service agreement between the City and Luv-N-Care was mutually approved on October 28th, 2019 (attachment 2).
3. the governing body of the municipality must conduct one public hearing. The City properly provided public notice in both the paper and on website and conducted the Public Hearing during the previous agenda item.

Approval of Ordinance O-2019-016 will annex County Block 5938 Lot 1814 of the Shavano Park Unit 16A-1 subdivision to the City of Shavano Park.

COURSES OF ACTION: Approve Ordinance No. O-2019-016 or alternatively decline and provide guidance to staff.

FINANCIAL IMPACT: N/A

STAFF RECOMMENDATION: Approve Ordinance No. O-2019-016 providing for the voluntary extension of the Shavano Park, Texas city limits by the annexation of a tract of land being out of Lot 1814 of the Shavano Park Unit 16A-1 subdivision that contains an area of approximately 1.838 acres, as depicted herein as the annexation area, located as more particularly described in the attached exhibit “A”; and amending the official city limits map of the City of Shavano Park to reflect the voluntary annexation of the area described herein (First Reading).

ORDINANCE NO. O-2019-016

PROVIDING FOR THE VOLUNTARY EXTENSION OF THE SHAVANO PARK, TEXAS CITY LIMITS BY THE ANNEXATION OF A TRACT OF LAND THAT CONTAINS AN AREA OF APPROXIMATELY 1.838 ACRES, AS DEPICTED HEREIN AS THE ANNEXATION AREA, LOCATED AS MORE PARTICULARLY DESCRIBED IN THE ATTACHED EXHIBIT "A"; AND AMENDING THE OFFICIAL CITY LIMITS MAP OF THE CITY OF SHAVANO PARK TO REFLECT THE VOLUNTARY ANNEXATION OF THE AREA DESCRIBED HEREIN.

WHEREAS, Texas Local Government Code section 43.0671 authorizes the City of Shavano Park, as general law municipality, to extend its City limit boundaries through the voluntary annexation of area adjacent to those boundaries; and

WHEREAS, Texas Local Government Code section 43.0671 provides that if a petition, signed and duly acknowledged by each and every person having an interest in land, is filed with the City and the area proposed for annexation is contiguous and adjacent to the City of Shavano Park, Texas, then the city may after a public hearing, grant the petition and annex said area by ordinance; and

WHEREAS, the owner of the property more particularly described in the attached Exhibit "A" did, of his own free will and accord, petition the City of Shavano Park to annex the approximate 1.838 acres described herein into the municipal boundaries of the City of Shavano Park; and

WHEREAS, in compliance with Texas Local Government Code Section 43.0671, the City Council, after a public hearing, granted the petition; and

WHEREAS, the Shavano Park City Council approved a Municipal Services Agreement for the subject property on October 28, 2019; and

WHEREAS, all prerequisites of state law having been complied with, the City Council desires to adopt an ordinance annexing the area.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS:

SECTION 1. The facts and recitations contained in the preamble to this ordinance are hereby found and declared to be true and correct and are incorporated by reference herein and expressly made a part hereof, as if copied verbatim.

SECTION 2. The land and territory lying outside of, but adjacent to and adjoining the City of Shavano Park, Texas, more particularly described in Exhibit 'A', attached hereto and incorporated herein by reference, is hereby added and annexed to the City of Shavano Park, Texas, and said territory, as described, shall hereafter be included within the boundary limits of said City, and the present boundary limits of said City, at the various points contiguous to the area described in Exhibits 'A' are altered and amended so as to include said areas within the corporate limits of the City of Shavano Park, Texas.

SECTION 3. The land and territory comprising approximately 1.838 acres; more particularly described as the annexation area on Exhibits 'A' are attached hereto and incorporated herein by reference, shall be part of the City of Shavano Park, Texas and inhabitants thereof shall be entitled to all of the rights and privileges as citizens and shall be bound by the acts, ordinances, resolutions, and regulations of the City of Shavano Park, Texas.

SECTION 4. The official City Limits of the City of Shavano Park shall be amended, as depicted in Exhibit "B", as attached hereto, to reflect the annexation of the subject property. Such map is attached hereto and incorporated herein as Exhibit 'B'.

SECTION 5. This ordinance shall be effective from and after its date passage.

PASSED AND APPROVED on the first reading by the City Council of the City of Shavano Park this the 25th day of November, 2019.

ROBERT WERNER, MAYOR

Attest:

ZINA TEDFORD, City Secretary

Exhibit "A"

FIELD NOTES

FOR

A 1.838 acre, or 80,050 square feet tract of land being out of Lot 1400 of the Shavano Park Unit 16A Subdivision recorded in Volume 9509, Page 209-212 of the Deed and Plat Records of Bexar County Texas, out of the McRae Survey No. 391, Abstract 482, County Block 4782 of Bexar County Texas. Said 1.838 acre tract being more fully described as follows:

COMMENCING At a found $\frac{1}{2}$ " iron rod at the most easterly return of the intersection of the northwest right-of-way line of Huebner Road and the northeast right-of-way line of Lockhill-Selma Road, the Southeast corner of the said Lot 1400;

THENCE: N $41^{\circ}50'46''$ E, along and with the northwest right-of-way line of said Huebner Road and the southeast line of said Lot 1400, a distance of 410.00 feet to a set $\frac{1}{2}$ " iron rod with yellow cap marked "Pape-Dawson" at the POINT OF BEGINNING;

THENCE: N $48^{\circ}09'14''$ W, departing the northwest right-of-way line of said Huebner Road, a distance of 204.21 feet to a set $\frac{1}{2}$ " iron rod with yellow cap marked "Pape-Dawson" for an interior angle within said Lot 1400;

THENCE: S $41^{\circ}50'46''$ W, a distance of 214.67 feet to a point;

THENCE: N $48^{\circ}16'11''$ W, a distance of 260.73 feet to a point on the northwest line of said Lot 1400, being in the southeast line of Lot 1404 of the aforementioned Shavano Park Unit 16A Subdivision;

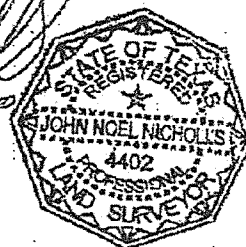
THENCE: N $47^{\circ}42'29''$ E, along and with the northwest line of said Lot 1400 and the southeast line of said Lot 1404, at 121.73 feet passing the common corner of said Lot 1404 and Lot 1405 of the Shavano Park Unit 16A Subdivision, and a total distance of 276.64 feet to a found $\frac{1}{2}$ " iron rod at the northernmost corner of said Lot 1400 and the easternmost corner of said Lot 1405, also being at a corner on the southwest line of Lot 1417 of said Shavano Park Unit 16A Subdivision;

THENCE: S $48^{\circ}09'14''$ E, along and with the northeast line of said Lot 1400 and the southwest line of said Lot 1417, at 186.94 feet, passing the common corner of Lot 1417 and Lot 1418 of said Subdivision, and a total distance of 436.22 feet to a found $\frac{1}{2}$ " iron rod on the northwest right-of-way line of the aforementioned Huebner Road;

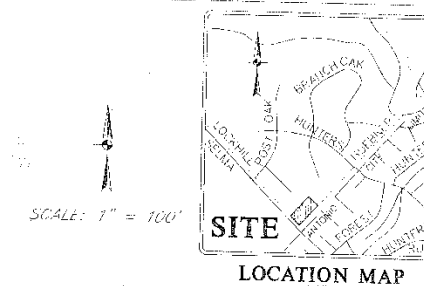
THENCE: S $41^{\circ}50'46''$ W, along and with the northwest right-of-way line of said Huebner Road a distance of 60.00 feet to the POINT OF BEGINNING and containing 1.838 acres in Bexar County, Texas. Said tract being described in accordance with a survey made on the ground and a survey map prepared by Pape-Dawson Engineers, Inc..

PREPARED BY: Pape-Dawson Engineers, Inc.
DATE: June 12, 2001
JOB No.: 9556-01
DOC.ID.: n:\survey01\1-9600\9556-01\Fnotes.doc

PAPE-DAWSON ENGINEERS, INC.



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CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	25.00'	41.83'	27.70'	31.12'	S89°45'38"W	90°51'4"
C2	25.00'	41.61'	21.85'	40.62'	N26°22'53"W	41°50'36"

GENERAL NOTE

- [illegible]

LEGEND

- ELEC. - ELECTRIC
 TELE. - TELEPHONE
 C.A.P. - CABLE
 ELM. - LASEMIL
 M.S.L. - BUSINESS
 F.H. - FORMS 1/2
 R.H. - RICHARD
 F.L.R. (P) - FLOOR
 R.H. - RICHARD
 T.P.E. - TAPES
 D.M. - DEED AND
 OF DEED
 O.P.R. - OFFICE
 OF REAL
 ESTATE
 D.R. - DEED RECORD
 COUNTY, IL

NOTES:

- [illegible]

DEVELOPER:
DENTON DEVELOPMENT
11 LYNN BATTS LN., SUITE 100
SAN ANTONIO, TEXAS 78218
PHONE: 210-828-6121

PAPE-DANSON ENGINEERS
CIVIL & ENVIRONMENTAL ENGINEERS


555 [A2] RAMPOLY, SAN ANTONIO, TEXAS 78240



CERTIFICATION OF CITY ENGINEER:

THE CITY ENGINEER OF THE CITY OF SHAVANO PARK HEARLY CERTIFIES THAT THIS SUBDIVISION PLAT CONFORMS TO ALL THE SUBDIVISION REGULATIONS OF THE CITY AS TO WHEN THE PLAT WAS FILED.

CITY ENGINEER

 NORMA J. DEL TORO
Notary Public
STATE OF TEXAS
My Comm. Exp. 12-16-2003

STATE OF TEXAS
COUNTY OF BEXAR
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN
THIS PLAN TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT.

Kirk Wood
REGISTERED PROFESSIONAL: ENGINEER


STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF THE LAND SHOWN ON THIS PLAT, AND WHOSE NAME IS SUBSCRIBED
HEREIN, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO
THE CITY OF SHAVANNA PARK, TEXAS, FOR THE USE OF THE PUBLIC FOREVER ALL
STREETS, ALLEYS, PARKS, WATER COURSES, DRAINAGE, EMBANKMENTS, AND THE WATER AND
SEWER LINES IN ALL OF THE ADDRESSAD PUBLIC PLACES AND IN ALL PUBLIC PLACES
THEREON SHOWN FOR THE PURPOSE AND CONSIDERED WATER AND SEWER LINES.

STATE OF TEXAS

COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED CLYDE R. DENSON, JR., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE ACCOMPANYING CERTIFICATE STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 25th DAY OF Dec. A.D. 2001

 SARAH E CARRINGTON
NOTARY PUBLIC
State of Texas
BEXAR COUNTY, TEXAS

NOTE:
No person shall commence the construction of any regulated activity until an Edwards Aquifer Protection Plan ("Water Pollution Abatement Plan" or "WPAP") or modification to an approved plan as required by 30 IAC 212.5 of the Texas Water Comm. or later revision thereof, has been filed with the appropriate regional TNRCC office, and the application has been approved by the executive director of the TNRCC.

REPLAT ESTABLISHING
SHAVANO PARK SUBDIVISION, UNIT-16A-1

BEING 5.000 ACRES OF LAND OUT OF LOT 1400 AS RECORDED WITH SHAVANO PARK
SUBDIVISION, UNIT-16A, IN VOLUME 9509, PAGE 209-212 OF THE DEED AND PLAT RECORDS
OF BEXAR COUNTY, TEXAS.

THIS PLAT OF SHAVANO PARK SUBDIVISION, UNIT "6A-1"
HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING & ZONING
COMMISSION OF THE CITY OF SHAVANO PARK, TEXAS, AND IS HEREBY
APPROVED BY SUCH PLANNING & ZONING COMMISSION.

DATED THIS 5th DAY OF DECEMBER, 2001.

BY: Bruce J. Brumba

BY: Brian Harrison

THIS PLAT OF SHAVANO PARK SUBDIVISION, UNIT-16A-1
HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY COUNCIL OF THE
CITY OF SHAVANO PARK, TEXAS, AND IS HEREBY APPROVED BY SUCH
CITY COUNCIL.

18th DAY OF DECEMBER A.D. 20. 01

BY: Thomas Peyton
MAYOR

BY: Brian Harrison
SECRETARY

STATE OF TEXAS
COUNTY OF BEXAR
I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM
AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY
SUPERVISION.

[Handwritten signature]

SWORN TO AND SUBSCRIBED BEFORE ME THIS 12th DAY OF December

RECEIVED
JAN 11 1960
U.S. DEPARTMENT OF AGRICULTURE
WASHINGTON, D.C.

STATE OF TEXAS
COUNTY OF BEXAR
Geoffrey D. Hulse

 Notary Public
STATE OF TEXAS
My Comm. Exp. 12-14-2003

DO HEREBY CERTIFY THAT THIS PLA[] WAS FILED FOR RECORD IN MY OFFICE, ON THE 23 DAY OF JAN, A.D. 22, AT 3:55 P. M. AND DULY RECORDED

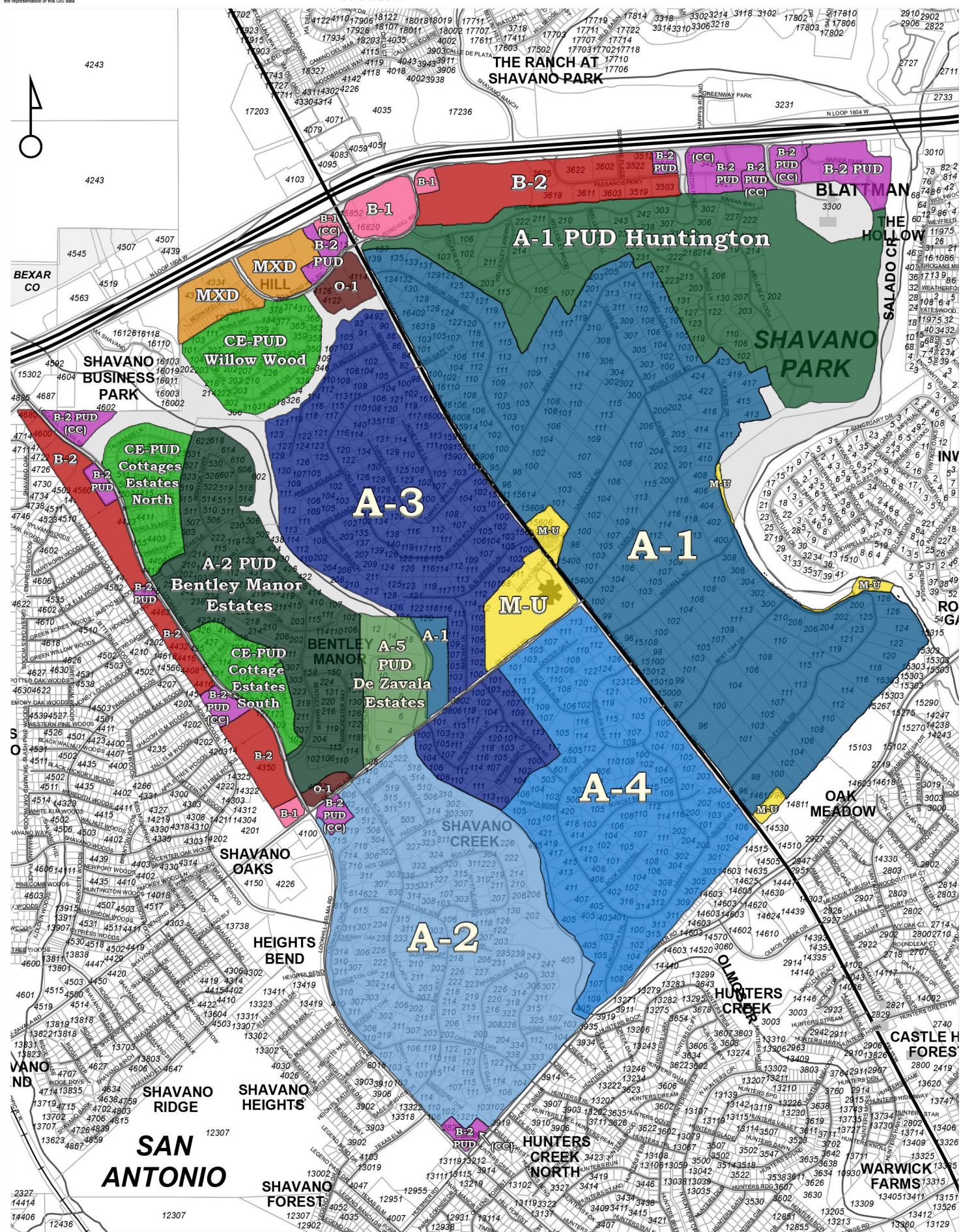
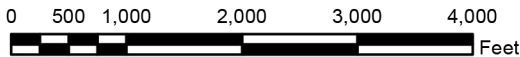
IN BOOK VOLUME 753 ON PAGE 56

IN TESTIMONY WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL OF OFFICE, THIS
24th DAY OF JANUARY, A.D. 2012.

COUNTY CLERK, BRYAN COUNTY, TEXAS
BY: Alvin Hays DEPUTY

SHAVANO PARK

08/03/2017



**MUNICIPAL SERVICES AGREEMENT BETWEEN THE
CITY OF SHAVANO PARK, TEXAS AND TEXAS ARDMOR PROPERTIES, LP**

This Municipal Services Agreement ("Agreement") is entered into on 28th day of October, 2019 by and between the City of Shavano Park, Texas, a General Law Type A municipality of the State of Texas, ("City") and Ardmore Properties, LP ("Owner").

RECITALS

The parties agree that the following recitals are true and correct and form the basis upon which the parties have entered into this Agreement.

WHEREAS, Section 43.0671 of the LGC permits the City to annex an area if each owner of land in an area requests the annexation;

WHEREAS, where the City elects to annex such an area, the City is required to enter into a written agreement with the property owner(s) that sets forth the City services to be provided for the Property on or after the effective date of annexation;

WHEREAS, Owner owns certain parcels of land situated in Bexar County, Texas, which consists of approximately 1.838 acres of land in the City's extraterritorial jurisdiction, such property being more particularly described and set forth in Exhibit A attached and incorporated herein by reference ("Property");

WHEREAS, Owner has filed a written request with the City for full-purpose annexation of the Property, identified as Petition Requesting Annexation of Area on Request of Owner signed by Paul M. Cooke, Manager of Ardmore Management, LLC on behalf of Texas Ardmore Properties dated August 26, 2014 ("Annexation Case");

WHEREAS, Defendant City of Shavano Park's Notice of Filing Rule 11 Agreement, filed May 14th, 2019 in the District Court, 407th Judicial District, Cause No. 2018-CI-21898, where the City and Owner agreed to the following: The City of Shavano Park shall consider the pending petition for annexation into the corporate limits of the City of Shavano Park.

WHEREAS, City and Owner desires to set out the City services to be provided for the Property on or after the effective date of annexation;

WHEREAS, the Annexation Case and execution of this Agreement are subject to approval by the Shavano Park City Council; and

NOW THEREFORE, in exchange for the mutual covenants, conditions and promises contained herein, City and Owner agree as follows:

1. PROPERTY. This Agreement is only applicable to the Property, which is the subject of the Annexation Case, more specifically described in Exhibit A.

2. INTENT. It is the intent of the City that this Agreement provide for the delivery of full, available municipal services to the Property in accordance with state law, which may be accomplished through any means permitted by law.

3. MUNICIPAL SERVICES. Commencing on the effective date of annexation, the City will provide the municipal services set forth below. As used in this Agreement, “providing services” includes having services provided by any method or means by which the City may extend municipal services to any other area of the City, including the City's infrastructure extension policies and developer or property owner participation in accordance with applicable city ordinances, rules, regulations, and policies.

The City of Shavano Park hereby declares the following services to be made available to the property and its owner(s):

a. Police Services

The Shavano Park Police Department will provide professional, quality police service to the property. The City of Shavano Park takes responsibility to maintain order, protect life and property, and to improve the quality of life for the property owner(s), employees and visitors.

b. Fire Services

The Shavano Park Fire Department will provide professional, quality fire prevention, suppression, emergency, and rescue services to the property. The Fire Marshal will ensure structures meet the provisions of Fire Safety Codes, and investigate fires that may occur on the property, including enforcement against acts of arson. Additionally the Fire Marshal provides fire prevention education of staff and students throughout the year.

c. Emergency Medical Services

The Shavano Park Fire Department will provide professional, quality emergency medical service to the property. The Fire Department will respond to medical emergencies upon request and based on staff availability.

d. Development Services

The Development Services Department will provide development services. This includes plan reviews, building inspections, issuing building, electrical, mechanical and plumbing permits for any new construction and remodeling, and compliance with all applicable codes, as adopted by the City, which regulate building construction within the City of Shavano Park.

e. Code Compliance Services

The Code Compliance Officer will provide Code Compliance Services. This includes ensuring compliance with applicable codes within the City of Shavano Park.

f. Environmental Health & Health Code Compliance Services

Assistance / inspections within this area will be provided by City Health Inspector and City staff.

g. City Events And Public Buildings

All services and amenities associated with the City's Events and other recreation activities at City Hall and the Municipal Tract will extend to this area.

h. Planning & Zoning

The planning and zoning jurisdiction of the City will be extended to this area.

i. Street & Drainage Maintenance

The City will provide street and drainage maintenance to public streets in the area in accordance with City standards as the area develops.

j. Traffic Engineering

The City will provide, as appropriate, street name signs, traffic control devices, and other traffic system design improvements to the area where city streets exist.

k. Sanitation/Solid Waste Collection & Disposal

The City does not directly provide municipal sanitation/solid waste collection and disposal services. However, the City has granted an exclusive franchise for these services to Republic Services.

l. Miscellaneous

All other applicable municipal services will be provided to the area in accordance with policies established by the City of Shavano Park.

It is understood and agreed that the City is not required to provide a service that is not included in this Agreement.

Owner understands and acknowledges that the City departments listed above may change names or be re-organized by the City Manager. Any reference to a specific department also includes any subsequent City department that will provide the same or similar services.

4. AUTHORITY. City and Owner represent that they have full power, authority and legal right to execute, deliver and perform their obligations pursuant to this Agreement.

5. SEVERABILITY. If any term or provision of this Agreement is held to be illegal, invalid or unenforceable, the legality, validity or enforceability of the remaining terms or provisions of this Agreement shall not be affected thereby, and in lieu of each such illegal, invalid or unenforceable term or provision, there shall be added automatically to this Agreement a legal, valid or enforceable term or provision as similar as possible to the term or provision declared illegal, invalid or unenforceable

6. INTERPRETATION. The parties to this Agreement covenant and agree that in any litigation relating to this Agreement, the terms and conditions of the Agreement will be interpreted according to the laws of the State of Texas. The parties acknowledge that they are of equal bargaining power and that each of them was represented by legal counsel in the negotiation and drafting of this Agreement.

7. GOVERNING LAW AND VENUE. This Agreement and all of the transactions contemplated herein shall be governed by and construed in accordance with the laws of the State of Texas. The provisions and obligations of this Agreement are performable in Bexar County, Texas such that exclusive venue for any action arising out of this Agreement shall be in Bexar County, Texas.

8. NO WAIVER. The failure of either party to insist upon the performance of any term or provision of this Agreement or to exercise any right granted hereunder shall not constitute a waiver of that party's right to insist upon appropriate performance or to assert any such right on any future occasion.

9. GOVERNMENTAL POWERS. It is understood that by execution of this Agreement, the City does not waive or surrender any of its governmental powers or immunities.

10. COUNTERPARTS. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original and constitute one and the same instrument.

11. CAPTIONS. The captions to the various clauses of this Agreement are for informational purposes only and shall not alter the substance of the terms and conditions of this Agreement.

12. AGREEMENT BINDS SUCCESSORS AND RUNS WITH THE LAND. This Agreement is binding on and inures to the benefit of the parties, their successors, and assigns. The term of this Agreement constitutes covenants running with the land comprising the Property and is binding on the Owner.

13. ENTIRE AGREEMENT. It is understood and agreed that this Agreement contains the entire agreement between the parties and supersedes any and all prior agreements, arrangements or understandings between the parties relating to the subject matter. No oral understandings, statements, promises or inducements contrary to the terms of this Agreement exist. This Agreement cannot be changed or terminated orally.

Executed as of the day and year first above written to be effective on the effective date of annexation of the Property.

CITY OF SHAVANO PARK

ARDMOR PROPERTIES, LP

By: Bill Hill
BILL HILL
CITY MANAGER

By: Paul M. Cook
Name: PAUL M. COOK
Title: Owner

Approved by City Council on October 28th, 2019.

ROBERT WERNER
MAYOR

Attest:

ZINA TEDFORD
CITY SECRETARY

State of Texas §
County of Bexar §

This instrument was acknowledged before me on the _____ day of _____, 2019, by Bill Hill, City Manager of the City of Shavano Park, a Texas municipal corporation, on behalf of said corporation.

By: _____

Notary Public, State of Texas

State of Texas § **County of_§**

This instrument was acknowledged before me on the _____ day of _____, 2019, by _____, _____ of [Name of individual signing, title (if any)] on behalf of said _____ [insert name of company or individual where applicable].

By: _____

Notary Public, State of Texas

After Recording Return to:

City Secretary
City of Shavano Park
900 Saddletree Court
Shavano Park, Texas 78231

PLAT

OWNER-INITIATED ANNEXATION SERVICE AGREEMENT

THIS AGREEMENT is made this 1st day of May, 1983, between the undersigned, **SHAVANO PARK SUBDIVISION, UNIT-164-1**, and the undersigned, **CITY OF BEAVER COUNTY, TEXAS**, for the purpose of annexing the land described in the plat to the City of Beaver County, Texas.

The undersigned, **SHAVANO PARK SUBDIVISION, UNIT-164-1**, hereby agrees to annex the land described in the plat to the City of Beaver County, Texas, and to pay the cost of the annexation.

The undersigned, **CITY OF BEAVER COUNTY, TEXAS**, hereby agrees to accept the annexation of the land described in the plat, and to pay the cost of the annexation.

WITNESSES:

SHAVANO PARK SUBDIVISION, UNIT-164-1

CITY OF BEAVER COUNTY, TEXAS

DEVELOPER:
DENTON DEVELOPMENT
11 LYNN BATES LN, SUITE 100
SAN ANTONIO, TEXAS 78215
PHONE: 282-8243

REPLAT ESTABLISHING:
SHAVANO PARK SUBDIVISION, UNIT-164-1

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SHAVANO PARK SUBDIVISION, UNIT-164-1

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CITY OF BEAVER COUNTY, TEXAS

DEVELOPER:
DENTON DEVELOPMENT
11 LYNN BATES LN, SUITE 100
SAN ANTONIO, TEXAS 78215
PHONE: 282-8243

REPLAT ESTABLISHING:
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SHAVANO PARK SUBDIVISION, UNIT-164-1

CITY OF BEAVER COUNTY, TEXAS

DEVELOPER:
DENTON DEVELOPMENT
11 LYNN BATES LN, SUITE 100
SAN ANTONIO, TEXAS 78215
PHONE: 282-8243

REPLAT ESTABLISHING:
SHAVANO PARK SUBDIVISION, UNIT-164-1

REPLAT ESTABLISHING:
SHAVANO PARK SUBDIVISION, UNIT-164-1

BOUNDARY DESCRIPTION

FIELD NOTES

FOR

A 1.838 acre, or 80,050 square feet tract of land being out of Lot 1400 of the Shavano Park Unit 16A Subdivision recorded in Volume 9509, Page 209-212 of the Deed and Plat Records of Bexar County Texas, out of the McRae Survey No. 391, Abstract 482, County Block 4782 of Bexar County Texas. Said 1.838 acre tract being more fully described as follows:

COMMENCING At a found $\frac{1}{2}$ " iron rod at the most easterly return of the intersection of the northwest right-of-way line of Huebner Road and the northeast right-of-way line of Lockhill-Selma Road, the Southeast corner of the said Lot 1400;

THENCE: N $41^{\circ}50'46''$ E, along and with the northwest right-of-way line of said Huebner Road and the southeast line of said Lot 1400, a distance of 410.00 feet to a set $\frac{1}{2}$ " iron rod with yellow cap marked "Pape-Dawson" at the POINT OF BEGINNING;

THENCE: N $48^{\circ}09'14''$ W, departing the northwest right-of-way line of said Huebner Road, a distance of 204.21 feet to a set $\frac{1}{2}$ " iron rod with yellow cap marked "Pape-Dawson" for an interior angle within said Lot 1400;

THENCE: S $41^{\circ}50'46''$ W, a distance of 214.67 feet to a point;

THENCE: N $48^{\circ}16'11''$ W, a distance of 260.73 feet to a point on the northwest line of said Lot 1400, being in the southeast line of Lot 1404 of the aforementioned Shavano Park Unit 16A Subdivision;

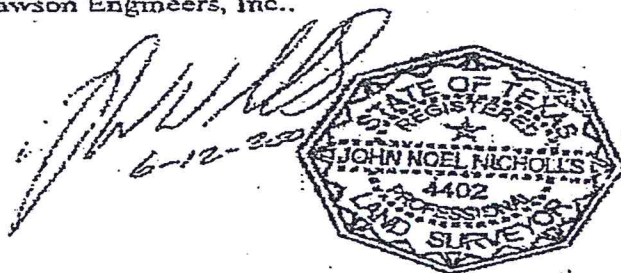
THENCE: N $47^{\circ}42'29''$ E, along and with the northwest line of said Lot 1400 and the southeast line of said Lot 1404, at 121.73 feet passing the common corner of said Lot 1404 and Lot 1405 of the Shavano Park Unit 16A Subdivision, and a total distance of 276.64 feet to a found $\frac{1}{2}$ " iron rod at the northernmost corner of said Lot 1400 and the easternmost corner of said Lot 1405, also being at a corner on the southwest line of Lot 1417 of said Shavano Park Unit 16A Subdivision;

THENCE: S $48^{\circ}09'14''$ E, along and with the northeast line of said Lot 1400 and the southwest line of said Lot 1417, at 186.94 feet, passing the common corner of Lot 1417 and Lot 1418 of said Subdivision, and a total distance of 436.22 feet to a found $\frac{1}{2}$ " iron rod on the northwest right-of-way line of the aforementioned Huebner Road;

THENCE: S $41^{\circ}50'46''$ W, along and with the northwest right-of-way line of said Huebner Road a distance of 60.00 feet to the POINT OF BEGINNING and containing 1.838 acres in Bexar County, Texas. Said tract being described in accordance with a survey made on the ground and a survey map prepared by Pape-Dawson Engineers, Inc..

PREPARED BY: Pape-Dawson Engineers, Inc.
 DATE: June 12, 2001
 JOB No.: 9556-01
 DOC. ID.: n:\survey01\1-9600\9556-01\Fnotes.doc

PAPE-DAWSON ENGINEERS, INC.



PETITION REQUESTING ANNEXATION BY AREA LANDOWNER

TO THE MAYOR AND GOVERNING BODY OF THE CITY OF SHAVANO PARK,
TEXAS:

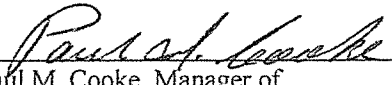
Under authority of Texas Local Government Code Chapter 43 and other applicable law, the undersigned owner(s) of the hereinafter described tract of land, which is (1) one-half mile or less in width, (2) contiguous to the city limits, and (3) vacant and without residents, or on which less than three (3) qualified voters reside, hereby petition your Honorable Body to extend the present city limits so as to include as a part of the City of Shavano Park, Texas, the property described in Exhibit "A" attached hereto and made a part hereof, and shown on plat attached as Exhibit "B" attached hereto and made a part hereof.

By signing below, we hereby certify that:

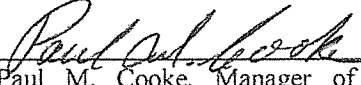
WE ARE THE TRUE AND ONLY OWNERS OF THE ABOVE DESCRIBED TRACT OF
LAND, as conveyed to us in Deeds recorded as:

1. Volume 15801, Page 2488, Official Public Records of Bexar County, Texas, and
2. Volume 15801, Page 2490, Official Public Records of Bexar County, Texas.

Texas Ardmore Properties, LP
by and through Texas Ardmore Management,
LLC, its General Partner:

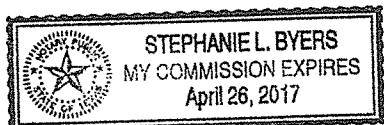

Paul M. Cooke, Manager of
Ardmore Management, LLC

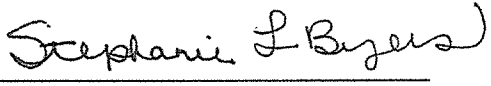
Texas Ardmore Management, LLC:


Paul M. Cooke, Manager of Texas
Ardmore Management, LLC

STATE OF TEXAS §
COUNTY OF BEXAR §

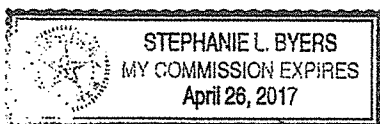
This instrument was acknowledged before me on Aug 26, 2014 by Paul M. Cooke, Manager, on behalf of Texas Ardmore Management, LLC, General Partner of Texas Ardmore Properties, LP.




Notary Public, State of Texas
My commission expires: 4/26/17

STATE OF TEXAS §
COUNTY OF BEXAR §

This instrument was acknowledged before me on Aug 26, 2014 by Paul M. Cooke, Manager, on behalf of Texas Ardmore Management, LLC.



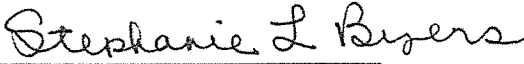

Notary Public, State of Texas
My commission expires: 4/26/17

Exhibit "A"

FIELD NOTES

FOR

A 1.838 acre, or 80,050 square feet tract of land being out of Lot 1400 of the Shavano Park Unit 16A Subdivision recorded in Volume 9509, Page 209-212 of the Deed and Plat Records of Bexar County Texas, out of the McRae Survey No. 391, Abstract 482, County Block 4782 of Bexar County Texas. Said 1.838 acre tract being more fully described as follows:

COMMENCING At a found $\frac{1}{2}$ " iron rod at the most easterly return of the intersection of the northwest right-of-way line of Huebner Road and the northeast right-of-way line of Lockhill-Selma Road, the Southeast corner of the said Lot 1400;

THENCE: N $41^{\circ}50'46''$ E, along and with the northwest right-of-way line of said Huebner Road and the southeast line of said Lot 1400, a distance of 410.00 feet to a set $\frac{1}{2}$ " iron rod with yellow cap marked "Pape-Dawson" at the POINT OF BEGINNING;

THENCE: N $48^{\circ}09'14''$ W, departing the northwest right-of-way line of said Huebner Road, a distance of 204.21 feet to a set $\frac{1}{2}$ " iron rod with yellow cap marked "Pape-Dawson" for an interior angle within said Lot 1400;

THENCE: S $41^{\circ}50'46''$ W, a distance of 214.67 feet to a point;

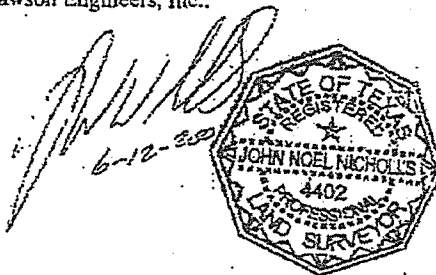
THENCE: N $48^{\circ}16'11''$ W, a distance of 260.73 feet to a point on the northwest line of said Lot 1400, being in the southeast line of Lot 1404 of the aforementioned Shavano Park Unit 16A Subdivision;

THENCE: N $47^{\circ}42'29''$ E, along and with the northwest line of said Lot 1400 and the southeast line of said Lot 1404, at 121.73 feet passing the common corner of said Lot 1404 and Lot 1405 of the Shavano Park Unit 16A Subdivision, and a total distance of 276.64 feet to a found $\frac{1}{2}$ " iron rod at the northernmost corner of said Lot 1400 and the easternmost corner of said Lot 1405, also being at a corner on the southwest line of Lot 1417 of said Shavano Park Unit 16A Subdivision;

THENCE: S $48^{\circ}09'14''$ E, along and with the northeast line of said Lot 1400 and the southwest line of said Lot 1417, at 186.94 feet, passing the common corner of Lot 1417 and Lot 1418 of said Subdivision, and a total distance of 436.22 feet to a found $\frac{1}{2}$ " iron rod on the northwest right-of-way line of the aforementioned Huebner Road;

THENCE: S $41^{\circ}50'46''$ W, along and with the northwest right-of-way line of said Huebner Road a distance of 60.00 feet to the POINT OF BEGINNING and containing 1.838 acres in Bexar County, Texas. Said tract being described in accordance with a survey made on the ground and a survey map prepared by Pape-Dawson Engineers, Inc..

PREPARED BY: Pape-Dawson Engineers, Inc.
DATE: June 12, 2001
JOB No.: 9556-01
DOC.ID.: n:\survey01\1-9600\9556-01\Fnotes.doc



PAPE-DAWSON ENGINEERS, INC.

Exhibit "B"

NOTICE TO THE PUBLIC

THE CITY OF SAN ANTONIO, TEXAS, HAS RECEIVED A REPLAT FOR THE SHAVANO PARK SUBDIVISION, UNIT-16A-1, BEING 5.000 ACRES OF LAND OUT OF LOT 183B AS RECORDED WITH BEXAR COUNTY PLAT BOOK 9553 PAGE 56.

THE CITY ENGINEER HAS REVIEWED THE REPLAT AND HAS DETERMINED THAT THE REPLAT IS IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARDS AND SPECIFICATIONS FOR REPLATS.

THE CITY ENGINEER HAS THEREFORE APPROVED THE REPLAT FOR THE SHAVANO PARK SUBDIVISION, UNIT-16A-1, BEING 5.000 ACRES OF LAND OUT OF LOT 183B AS RECORDED WITH BEXAR COUNTY PLAT BOOK 9553 PAGE 56.

THE CITY ENGINEER HAS THEREFORE APPROVED THE REPLAT FOR THE SHAVANO PARK SUBDIVISION, UNIT-16A-1, BEING 5.000 ACRES OF LAND OUT OF LOT 183B AS RECORDED WITH BEXAR COUNTY PLAT BOOK 9553 PAGE 56.

SHAVANO PARK SUBDIVISION, UNIT-16A-1

LOT 183B
CB 528
(1838 AC.)

LOT 183C
CB 528
(1832 AC.)

REPLAT ESTABLISHING
SHAVANO PARK SUBDIVISION, UNIT-16A-1

BEING 5.000 ACRES OF LAND OUT OF LOT 183B AS RECORDED WITH BEXAR COUNTY PLAT BOOK 9553 PAGE 56.

SITE LOCATION MAP

SCALE: 1" = 100'

DEVELOPER:
DENTON DEVELOPMENT
11 LYNN BATES LN, SUITE 100
SAN ANTONIO, TEXAS 78203
PHONE: 282-4242

APPROVED:

CITY ENGINEER:

CITY CLERK:

NOTARY PUBLIC:

STATE OF TEXAS
COUNTY OF BEXAR

NOTARY PUBLIC

NOTARY PUBLIC

NOTARY PUBLIC

NOTARY PUBLIC

NOTARY PUBLIC

NOTARY PUBLIC

NOTARY PUBLIC

NOTARY PUBLIC

**MINUTES
CITY COUNCIL OF
SHAVANO PARK, TEXAS
SEPTEMBER 22, 2014**

1. CALL MEETING TO ORDER

Mayor Marne called the meeting to order at 6:30 p.m.

2. PLEDGE OF ALLEGIANCE AND INVOCATION

2.1 Flag Ceremony and Pledge of Allegiance to the Flag – Boy Scout Troop 2010 –

Boy Scout Troop 2010 presented the Color Guard and followed with the Pledge of Allegiance to the Flag.

3. ROLL CALL

PRESENT:

Alderman Berrier

Mayor Pro Tem Ross

Alderman Heintzelman

Alderman Hisel

Alderman Maisel

Mayor Marne

4. CITIZENS TO BE HEARD

A number of applicants for Boards and Commissions addressed City Council regarding their willingness to serve the citizens of Shavano Park.

Two citizens addressed the Council regarding smart meters and the proposed budget.

5. CITY COUNCIL COMMENTS

City Council welcomed everyone to the meeting.

6. CONSENT AGENDA

6.1 Special City Council Meeting, August 20, 2014

6.2 City Council Meeting, August 27, 2014

6.3 Special City Council Meeting, September 9, 2014

6.4 Planning & Zoning Commission, August 6, 2014

Mayor Pro Tem Ross made a motion to approve the Consent Agenda as presented. Alderman Maisel seconded the motion.

Motion carried

7. CITY MANAGER'S REPORT – City Manager Hill

7.a Building Permit Activity Report

7.b Code Compliance Activity Report

7.c Fire Department Activity Report

7.d Municipal Court Activity Report

7.e Police Department Activity Report

7.f Public Works Activity Report

7.g Trinity Well

7.h City Monument on NW Military South City

7.i Finance Department Activity Report

City Manager Hill presented the City Manager's Report. Finance Director Feagins presented the financial reports.

Mayor Marne deviated to agenda item 9.12

9.12 Discussion / possible action – Ordinance No. O-2014-019 amending City of Shavano Park Code of Ordinances Chapter 36-1 Definitions (first reading) - City Manager

Alderman Maisel made a motion to approve Ordinance No. O-2014-019 amending City of Shavano Park Code of Ordinances Chapter 36-1 Definitions (first reading).

Mayor Pro Tem Ross seconded the motion.

Motion carried.

Mayor Marne deviated back to agenda item 8

8. PUBLIC HEARING

8.1 Public Hearing / Discussion/ possible action - Ordinance No. O-2014-018 approving and adopting a budget for the City of Shavano Park, Texas for the fiscal year beginning October 1, 2014 and ending September 30, 2015, and making appropriations for each fund and department; establishing a sinking fund for existing city financial obligations; providing for the levying and collection of a sufficient tax to pay the interest on such sinking fund obligations; repealing conflicting ordinance; providing a saving and severability clause and declaring an effective date (final reading) – City Manager

Mayor Marne opened the Public Hearing at 7:05 p.m.

Public Hearing closed at 7:06 p.m.

Mayor Pro Tem Ross made a motion to Ordinance No. O-2014-018 approving and adopting a budget for the City of Shavano Park, Texas for the fiscal year beginning October 1, 2014 and ending September 30, 2015, and making appropriations for each fund and department; establishing a sinking fund for existing city financial obligations; providing for the levying and collection of a sufficient tax to pay the interest on such sinking fund obligations; repealing conflicting ordinance; providing a saving and severability clause and declaring an effective date (final reading).

Alderman Heintzelman seconded the motion

AYES: 3 NAYS: 1 (Alderman Maisel)

Motion carried.

8.2 Public Hearing / possible action – Resolution No. R-2014- 008 approving the Crime Control & Prevention District budget for FY 2014-15

Mayor Marne opened the Public Hearing at 7:14 p.m.

Public Hearing closed at 7:15 p.m.

Mayor Pro Tem Ross made the motion to approve R-2014-008.

Alderman Hisel seconded the motion

AYES: 3 NAYS: 1 (Alderman Maisel)
Motion carried.

8.3 Public Hearing – request for annexation from Texas Ardmor Properties, LP by and through Texas Ardmor Management LLC, its General Partner owner of 1.838 acre tract of land being out of Lot 1400 of the Shavano Park Unit 16A Subdivision (13211 Huebner Rd, San Antonio, TX 78230)

Mayor Marne opened the Public Hearing at 7:16 p.m.

Public Hearing closed at 7:17 p.m.

9. REGULAR AGENDA ITEMS

9.1 Proclamation – National Night Out 2014 – Mayor Marne

Mayor Marne read the proclamation.

9.2 Recognition - Mayor Pro Tem Michele Bunting Ross and Zina Tedford, City Secretary for attending the TML Leadership Academy and being recognized as Leadership Fellows – Mayor Marne

Mayor Marne recognized Mayor Pro Tem Ross and City Secretary Tedford for their accomplishment.

9.3 Discussion / possible action – Resolution No. R-2014-009 a resolution of the City of Shavano Park, TX levying ad valorem taxes for use and support of the municipal government of the City for the fiscal year beginning October 1, 2014 and ending September 30, 2015; providing for apportioning each levy for specific purposes; and providing when taxes shall become due and when same shall become delinquent if not paid - City Manager

Alderman Maisel made the motion to approve R-2014-009 setting a total tax rate of \$0.309617 with the Maintenance & Operation rate being \$0.268916 and the Interest & Sinking rate being \$0.019188.

Mayor Pro Tem Ross seconded the motion.

Vote is as follows

Mayor Pro Tem Ross	-Yes
Alderman Heintzelman	-Yes
Alderman Hisel	-Yes
Alderman Maisel	-Yes
Mayor Marne	- present (only votes in event of tie)

9.3.A. Record vote to ratify the property tax increase reflected in the FY 2014-15 budget.

Mayor Pro Tem Ross	- Yes
Alderman Heintzelman	- Yes
Alderman Hisel	- Yes
Alderman Maisel	- Yes
Mayor Marne	- present (only votes in event of tie)

9.4 Discussion / possible action – Resignation of Alderman Todd Braulick

Mayor Pro Tem Ross made a point of order and asked this item be removed from the agenda.

9.5 Discussion / possible action – Appointment and administer Oath of Office to fill vacancy due to resignation of Alderman Todd Braulick for term ending May 2015 – City Council

Alderman Maisel made the motion to appoint Allan Berrier to fill the vacancy due to resignation of Alderman Todd Braulick for term ending May 2015.

Mayor Pro Tem Ross seconded the motion.

Motion carried.

Mayor Marne asked Mr. Berrier step to the front for the Oath of Office. Alderman Berrier joined City Council at the dais.

9.6 Update - Situation update involving Bexar Met 9-1-1 and CoSP homeowner - Police Chief

Chief Creed presented an update to City Council and will present additional information at a later date.

Mayor Marne read agenda items 9.7 – 9.10

Mayor Pro Tem Ross made a motion to approve the preliminary plats, Agenda items 9.7-9.10, as presented.

Alderman Maisel seconded the motion.

Motion carried.

9.7 Discussion / possible action - Preliminary plat of Lot 1811, a 1.8748-acre tract of land out of a 46.94-acre tract of land as conveyed to Rogers Shavano Park Unit 18/19, LTD and described in instrument recorded in Volume 10075, page 1609-1624 of the official public records of real property of Bexar County, TX – Southside of Loop 1604 west of N.W. Military (Bexar County Medical) –City Manager

9.8 Discussion / possible action - Preliminary plat of Lot 2, Block 15, a 1.000-acre tract of land out of a 58.20-acre tract of land as conveyed to Rogers Shavano Park Unit 17, LTD and described in instrument recorded in Volume 8194, page 1745-1761 of the official public records of real property of Bexar County, TX – Westside of Lockhill Selma north of De Zavala – City Manager

9.9 Discussion / possible action - Preliminary plat of Lot 3, Block 15, a 1.000-acre tract of land out of a 58.20-acre tract of land as conveyed to Rogers Shavano Park Unit 17, LTD and described in instrument recorded in Volume 8194, page 1745-1761 of the official public records of real property of Bexar County, TX – Westside of Lockhill Selma north of De Zavala – City Manager

9.10 Discussion / possible action - Preliminary plat of a road to be located from the northwest corner of Pond Hill north to Loop 1604 out of a 46.94-acre tract of land as conveyed to Rogers Shavano Park Unit 18/19, LTD and described in instrument recorded in Volume 10075, page 1609-1624 of the official public records of real property of Bexar County, TX – City Manager

9.11 Discussion / possible action - Status of litigation regarding Texas Ardmore Properties LP ET AL vs. Lockhill Ventures LLC, Case Number 2014-CI-10796. Possible Executive Session pursuant to Texas Government Code, Chapter §551.071, Consultation with Attorney – City Manager / City Attorney

The Open Meeting closed at 7:52 p.m.

Open Meeting reconvened at 8:27 p.m.

No action was taken on this item.

9.13 Discussion / possible action - City Council policies and ordinances regarding appointments to Boards, Commissions, Committees, Task Forces, etc. - Mayor Pro Tem Bunting Ross

Mayor Pro Tem Ross stated that she had requested this item be placed on the agenda for discussion. Discussion followed. No action was taken on this item.

9.16 Discussion / possible action – Appointments to Boards and Commissions – City Council

Water Advisory Committee –

Mayor Marne appointed T. Lee Powers to serve as Chairman

Alderman Hisel appointed Andrew Walters

Alderman Heintzelman appointed Margaret Kautz

Board of Adjustments

Appointed by the Mayor and confirmed by the City Council

Richard Miller

James McLendon

Salvador Belmares – Alternate

Charles Brame – Alternate

Investment Committee

Alderman Maisel made a motion to appoint George Fillis to the Investment Committee.

Mayor Pro Tem Ross seconded the motion.

Motion carried.

Planning & Zoning Commission

Mayor Pro –Tem Ross made a motion to appoint the following to the Planning & Zoning Commission:

Albert Aleman

Kathy Fandel

David Jauer

Konrad Kuykendall

Alderman Maisel seconded the motion.
Motion carried.

9.14 Discussion / possible action - Regarding the process for Citizen Review of the Municipal Tract Feasibility Study - Mayor Pro Tem Bunting Ross

Mayor Pro Tem Ross made a motion to move this item to the next Regular City Council meeting.
Alderman Maisel seconded the motion.
Motion carried.

9.15 Discussion / possible action - Use and allocation of STP-MM grant funds from VIA – City Manager

City Manager Hill presented City Council with an update on this item.

9.17 Discussion / possible action – Video recording of Council meetings – City Manager

City Manager Hill presented a short briefing on this item. It was the consensus of City Council that City Manager Hill solicit proposals based on courses of action 1 and 2...

9.18 Discussion / possible action – Acceptance or rejection of petition for annexation from Texas Ardmor Properties, LP by and through Texas Ardmor Management LLC, its General Partner owner of 1.838 acre tract of land being out of Lot 1400 of the Shavano Park Unit 16A Subdivision (13211 Huebner Rd, San Antonio, TX 78230). Possible Executive Session pursuant to Texas Government Code, Chapter §551.071, Consultation with Attorney – City Manager / City Attorney

Alderman Maisel made a motion to accept the petition for annexation.
Mayor Pro Tem Ross seconded the motion.
Motion carried.

10. ADJOURNMENT

Mayor Pro Tem Ross made a motion to adjourn the meeting.
Alderman Maisel seconded the motion.
The meeting adjourned at 9:26 p.m.

A. David Marne, Mayor

Zina Tedford
City Secretary

CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 6.3 / 6.4

Prepared by: Curtis Leeth

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

6.3. Public Hearing – The purpose of the public hearing is to receive comments from members of the public regarding the proposed rezoning of three properties at the corner of Lockhill-Selma and Huebner Roads legally described as Lots 1813A, 1813B and 1814 of County Block 5938, Shavano Park Subdivision Unit-16A-1 from B-2 Business and Office District (Lots 1813A and 1813B) and A-2 Single Family Residential District (Lot 1814) to a single Planned Unit Development (PUD) zoning district with B-2 Business and Office base district with the following exceptions:

- Minimum Parking Requirement
- Allowed number of, size, electrical display and sign face size of monument signs
- Allowed size of wall signs
- Rear / Side Setback Requirements
- Rear / Front Landscape Buffer Requirements

6.4. Discussion / action – Ordinance No. O-2019-017 rezoning of three properties at the corner of Lockhill-Selma and Huebner Roads legally described as Lots 1813A, 1813B and 1814 of County Block 5938, Shavano Park Subdivision Unit-16A-1 from B-2 Business and Office District (Lots 1813A and 1813B) and A-2 Single Family Residential District (Lot 1814) to a single Planned Unit Development (PUD) zoning district with B-2 Business and Office base district - City Manager

X

Attachments for Reference:

- a) 6.3a Ordinance O-2019-017
- b) 6.3b Exhibit A
- c) 6.3c Sign Pictures (Fischer / Luv-n-Care)
- b) 6.3d Advanced Smile PUD Request
- c) 6.3e Advanced Smile Site Plan
- d) 6.3f Fischer Neighborhood Market PUD Request
- e) 6.3g Fischer Neighborhood Market Site Plan
- f) 6.3h Luv-n-Care PUD Request
- g) 6.3i Luv-n-Care Site Plan

BACKGROUND / HISTORY: All three properties at vicinity of Huebner and Lockhill Selma have non-conforming use and are in need of rezoning. On July 17, 2019 the City received a

rezoning request from B-2 to B-2 PUD from Fischer Neighborhood Market (Lot 1813B). The City has since been working with all three property owners to rezone this property in one action. On October 15, 2019 the City received a rezoning request from Luv-n-Care (Lot 1814) from A-2 to B-2 PUD. On October 18, 2019 the City received a rezoning request from Advanced Smile Care (Lot 1813A) from B-2 to B-2 PUD. This proposed rezoning ordinance will rezone three properties to a B-2 PUD.

All three have been built and have been operating within Shavano Park and all three have non-conforming uses that exist. Luv-N-Care was built in 2000 and the property was recently annexed into the City of Shavano Park. As a newly annexed property, the Shavano Park Code of Ordinances automatically zones all annexed property by default to A-2 Residential. The property should undergo a rezoning action to be consist with its current use.

Advance Smile was built and the property was annexed into the City of Shavano Park in 2014. In 2015, the property was rezoned to B-2. At the time, the City considered rezoning the property into a PUD to account for non-conforming uses, but did not due to the concerns related to all three properties.

The property of Fischer's Neighborhood Market was originally annexed in 2014 and the structures were built in 2016. In 2015, the property was rezoned to B-2. At the time, the City considered rezoning the property into a PUD to account for non-conforming uses, but did not due to the concerns related to all three properties.

The construction of office or commercial buildings on all three properties would have significant challenges in meeting the City's setback and landscaping requirement.

DISCUSSION:

Below are the properties and requested exceptions:

Advanced Smile Care:

1. Side Setback
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 side setback requirement of 25 feet.
 - b. Allow side setback of 18 feet.
2. Rear Setback
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 rear setback requirement of 100 feet.
 - b. Allow rear setback of 68 feet.
3. Rear Landscape Buffer
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 rear landscape buffer requirement of 30 feet.
 - b. Allow rear landscape buffer of 0 feet.

Fischer's Market

1. Rear setback
 - c. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 rear setback requirement of 15 feet.
 - d. Allow rear setback of 13 feet.
2. Rear Landscape Buffer
 - c. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 rear landscape buffer requirement of 15 feet.
 - d. Allow rear landscape buffer of 13 feet.
3. Wall Signs on Multi-tenant building
 - a. Exception from Chapter 24, Article I, Sec. 24-5(4)(a) aggregate sign size limitation of 50 square feet per wall.
 - b. Allow two 125 square feet wall signs – one per wall.
4. Monument Sign Face
 - a. Exception from Chapter 24, Article I, Sec. 24-10(4)'s monument sign face size limitation of 50 square feet.
 - b. Allow monument sign face size of 75 square feet.
5. Number of Monument Signs
 - a. Exception from Chapter 24, Article I, Sec. 24-10(3)'s limitation of two monument signs for a nonresidential lot fronting two streets.
 - b. Allow up to three monument signs. The monument sign at the south west corner with **Shavano Park displayed shall be limited to non-commercial messages and any change in display requires City Council approval. (P&Z requirement)**

Luv-N-Care

1. Side setback:
 - c. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 side setback requirement of 25 feet.
 - d. Allow side setback of 14 feet.
2. Rear Setback:
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 rear setback requirement of 100 feet.
 - b. Allow rear setback of 7 feet.
3. Rear Landscape Buffer
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 rear landscape buffer requirement of 30 feet.
 - b. Allow rear landscape buffer of 7 feet.
4. Front Landscape Buffer:
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 zoning front landscape buffer requirement of 40 feet.
 - b. Allow front landscape buffer of 0 feet.
5. Parking Ratio:
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 zoning Parking Stall Ratio requirement from 1:200 square feet.
 - b. Allow up to 1:334 square feet parking stall ratio.
6. Monument Signs with Electric Display: Exception to allow one monument sign per entrance with electric display that otherwise conforms to the City's monument sign regulations under Chapter 24 of the City of Shavano Park Code of Ordinances.

- a. The Monument Signs with Electric Display shall meet the following additional limitations:
 - All lighting of the monument signs shall comply with the outdoor sign lighting requirements of the City's Dark Sky regulations under Chapter 14 of the City of Shavano Park Code of Ordinances.
 - The electric display of the monument signs shall not display off-premises commercial messages other than for the business located at Lot 1814, County Block 5938, Shavano Park Subdivision Unit 16A-1.
 - The electric display of the monument sign shall be limited to 32 square feet in size. (P&Z Requirements)

All requests for exceptions to the B-2 Zoning District are currently existing with either no apparent issues or no available remedies except two – detailed below.

1) **Fischer's Monument Signs.** Nooner's original sign permit and request was for 75 square feet of sign facing. This would allow for properly sized signage for gas sales and to allow additional signage for the tenant. This permit request was denied as the exception had not been approved in the original Development Agreement. The existing monument sign was built to comply with the City's monument regulations (sign face is 50 square feet), with the idea that they would secure approval in the future to build the remaining signage. The monument base was built with an extension so that, in the future, the owner could expand the sign facing to allow additional signage for the tenant (current tenant is Tri-County Meat Market). This PUD request letter asks for City Approval to expand this sign face up to 100 sq ft. Their actual requirement for approval is only 75 sq ft and therefore staff has drafted the exceptions for approval at 75 sq ft instead of 100 sq ft sign. See attached photo in the PUD request.

2) **Luv-N-Care.** Requests approval for the use of digital signage on their existing monument signs. They cite the challenges associated with communicating messages regarding current and planned activities. They cite the positive feedback and example that the City of Shavano Park is using at the City Hall monument.

Additional Discussion:

Fischer's Wall Signs. Staff also notes that the Fischer's PUD request is asking for approval of a wall sign up to 125 sq ft. The total signage area of the existing signs is approximately 85 sq ft, but the City's ordinance requires the sign area to be measured using the longest and widest points of the sign. This equates to $17.57' \times 7' = 124.25$. Also, the 50 sq ft limitation applies to multi-tenant buildings with more than one entrance. Had the building only one entrance, the building would be authorized a total sign area of 120 sq ft.

Number of Fischer's Monument Signs. Fischer's PUD request is asking for approval of three monument signs. This is because in addition to the two monument signs authorized for

advertising the store, a third City of Shavano Park monument exists – built by the Nooner’s as a welcome enhancement to the City.

Staff can address the remaining exceptions during the meeting.

On October 23, 2019, staff provided paper notice and mailed notices to all properties within 500 feet as required by the City of Shavano Park Code of Ordinances and state law in prep for the P&Z. At the November 6, 2019 Planning & Zoning Commission meeting the Commission recommended approval of the rezoning request but added the following conditions (in red):

For Fischer’s request for 3 monument signs:

5. Number of Monument Signs
 - c. Exception from Chapter 24, Article I, Sec. 24-10(3)’s limitation of two monument signs for a nonresidential lot fronting two streets.
 - d. Allow up to three monument signs. **The monument sign at the south west corner with Shavano Park displayed shall be limited to non-commercial messages and any change in display requires City Council approval.**

For Luv-n-Care’s request for two monument signs with electric display:

6. Monument Signs with Electric Display: Exception to allow one monument sign per entrance with electric display that otherwise conforms to the City’s monument sign regulations under Chapter 24 of the City of Shavano Park Code of Ordinances.
 - a. **The Monument Signs with Electric Display shall meet the following additional limitations:**
 - i. **All lighting of the monument signs shall comply with the outdoor sign lighting requirements of the City’s Dark Sky regulations under Chapter 14 of the City of Shavano Park Code of Ordinances.**
 - ii. **The electric display of the monument signs shall not display off-premises commercial messages other than for the business located at Lot 1814, County Block 5938, Shavano Park Subdivision Unit 16A-1.**
 - iii. **The electric display of the monument sign shall be limited to 32 square feet in size.**

On November 6, 2019, staff provided paper notice and mailed notices to all properties within 500 feet as required by the City of Shavano Park Code of Ordinances and state law in prep for the City Council meeting.

COURSES OF ACTION: Approve rezoning request by adopting Ordinance O-2019-017 as presented, propose further amendments; or alternatively decline and provide further guidance to staff.

FINANCIAL IMPACT: N/A

MOTION REQUESTED: Approve Ordinance No. O-2019-017 rezoning of three properties at the corner of Lockhill-Selma and Huebner Roads legally described as Lots 1813A, 1813B and 1814 of County Block 5938, Shavano Park Subdivision Unit-16A-1 from B-2 Business and Office District (Lots 1813A and 1813B) and A-2 Single Family Residential District (Lot 1814) to a single Planned Unit Development (PUD) zoning district with B-2 Business and Office base district (first reading).

ORDINANCE NO. O-2019-017

AN ORDINANCE REZONING THREE PROPERTIES AT THE CORNER OF LOCKHILL-SELMA AND HUEBNER ROADS LEGALLY DESCRIBED AS LOTS 1813A, 1813B AND 1814 OF COUNTY BLOCK 5938, SHAVANO PARK SUBDIVISION UNIT-16A-1 FROM B-2 BUSINESS AND OFFICE DISTRICT (LOTS 1813A AND 1813B) AND A-2 SINGLE FAMILY RESIDENTIAL DISTRICT (LOT 1814) TO A SINGLE PLANNED UNIT DEVELOPMENT (PUD) ZONING DISTRICT WITH B-2 BUSINESS AND OFFICE BASE DISTRICT; PROVIDING FINDING OF FACT; PROVIDING EFFECTIVE DATE; AUTHORIZING THE CITY MANAGER TO NOTE THE CHANGE ON THE OFFICIAL ZONING MAP OF THE CITY; REPEALING AND SEVERABILITY CLAUSES; PROVING A TEXAS OPEN MEETINGS ACT CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Shavano Park seeks to promote orderly land use and development within the City of Shavano Park ("City"); and

WHEREAS, Chapter 211 of Texas Local Government Code empowers the City Council of the City of Shavano Park to enact zoning regulations and provides for their administration, enforcement and amendment; and

WHEREAS, the City Council of the City of Shavano Park may authorize the creation of a planned unit development ("PUD") under Chapter 36, Section 40 of the City's Code of Ordinances; and

WHEREAS, pursuant to Texas Local Government Code Section 51.001, the City has general authority to adopt an ordinance or police regulation that is for the good government, peace or order of the City and is necessary or proper for carrying out a power granted by law to the City; and

WHEREAS, the City Council of the City of Shavano Park has complied with notice of a public hearing as required by the Code of Ordinances of the City of Shavano Park and Chapter 211 of the Local Government Code; and

WHEREAS, in keeping with the spirit and objectives of the area, the City Council has given due consideration to all components of said proposed zoning change and the recommendations of the Planning and Zoning Commission concerning recommended requirements, conditions and safeguards necessary to protect adjoining property; and

WHEREAS, the City Council specifically finds that the requirements specified herein are rationally related to protecting the public purposes of lessening congestion in the streets, securing the safety of its citizens from fire, panic, and other dangers, promoting the health and the general welfare of its citizens; preventing the overcrowding of land, and avoiding undue concentration of population; and

WHEREAS, the City Council finds that it is necessary and proper for the good government, peace or order of the City of Shavano Park to adopt this Ordinance.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS:

SECTION I

THAT the Zoning Map of the City of Shavano Park is hereby amended by rezoning Lots 1813A, 1813B and 1814 of County Block 5938, Shavano Park Subdivision Unit-16A-1 from B-2 Business and Office District (Lots 1813A and 1813B) and A-2 Single Family Residential District (Lot 1814) to a single Planned Unit Development (PUD) zoning district with B-2 Business and Office base district, as more particularly described in the attached Exhibit "A"; and

SECTION II

THAT the Planned Unit Development (PUD) zoning district with B-2 Business and Office base district shall adopt the following development standard exceptions for Lot 1813A, County Block 5938, Shavano Park Subdivision Unit-16A-1:

1. Side Setback
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 side setback requirement of 25 feet.
 - b. Allow side setback of 18 feet.
2. Rear Setback
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 rear setback requirement of 100 feet.
 - b. Allow rear setback of 68 feet.
3. Rear Landscape Buffer
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 rear landscape buffer requirement of 30 feet.
 - b. Allow rear landscape buffer of 0 feet.

SECTION III

THAT the Planned Unit Development (PUD) zoning district with B-2 Business and Office base district shall adopt the following development standard exceptions for Lot 1813B, County Block 5938, Shavano Park Subdivision Unit-16A-1:

1. Rear setback
 - c. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 rear setback requirement of 15 feet.
 - d. Allow rear setback of 13 feet.
2. Rear Landscape Buffer
 - c. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 rear landscape buffer requirement of 15 feet.
 - d. Allow rear landscape buffer of 13 feet.
3. Wall Signs on Multi-tenant building
 - a. Exception from Chapter 24, Article I, Sec. 24-5(4)(a) aggregate sign size limitation of 50 square feet per wall.
 - b. Allow two 125 square feet wall signs – one per wall.
4. Monument Sign Face
 - a. Exception from Chapter 24, Article I, Sec. 24-10(4)'s monument sign face size limitation of 50 square feet.
 - b. Allow monument sign face size of 75 square feet.
5. Number of Monument Signs
 - a. Exception from Chapter 24, Article I, Sec. 24-10(3)'s limitation of two monument signs for a nonresidential lot fronting two streets.
 - b. Allow up to three monument signs. The monument sign at the south west corner with Shavano Park displayed shall be limited to non-commercial messages and any change in display requires City Council approval.

SECTION IV

THAT the Planned Unit Development (PUD) zoning district with B-2 Business and Office base district shall adopt the following development standard exceptions for Lot 1814, County Block 5938, Shavano Park Subdivision Unit-16A-1:

1. Side setback:
 - c. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 side setback requirement of 25 feet.
 - d. Allow side setback of 14 feet.
2. Rear Setback:
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 rear setback requirement of 100 feet.

- b. Allow rear setback of 7 feet.
- 3. Rear Landscape Buffer
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 rear landscape buffer requirement of 30 feet.
 - b. Allow rear landscape buffer of 7 feet.
- 4. Front Landscape Buffer:
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 zoning front landscape buffer requirement of 40 feet.
 - b. Allow front landscape buffer of 0 feet.
- 5. Parking Ratio:
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 zoning Parking Stall Ratio requirement from 1:200 square feet.
 - b. Allow up to 1:334 square feet parking stall ratio.
- 6. Monument Signs with Electric Display: Exception to allow one monument sign per entrance with electric display that otherwise conforms to the City's monument sign regulations under Chapter 24 of the City of Shavano Park Code of Ordinances.
 - a. The Monument Signs with Electric Display shall meet the following additional limitations:
 - All lighting of the monument signs shall comply with the outdoor sign lighting requirements of the City's Dark Sky regulations under Chapter 14 of the City of Shavano Park Code of Ordinances.
 - The electric display of the monument signs shall not display off-premises commercial messages other than for the business located at Lot 1814, County Block 5938, Shavano Park Subdivision Unit 16A-1.
 - The electric display of the monument sign shall be limited to 32 square feet in size.

SECTION V CUMULATIVE CLAUSE

That this ordinance shall be cumulative of all provisions of the City of Shavano Park, Texas, except where the provisions of this Ordinance are in direct conflict with the provisions of such Ordinance, in which event the conflicting provisions of such Ordinance are hereby repealed.

SECTION VI SEVERABILITY

That it is hereby declared to be the intention of the City Council of the City of Shavano

Park that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinances, since the same would have been enacted by the City Council without incorporation in this ordinance of any such unconstitutional phrases, clause, sentence, paragraph or section.

**SECTION VII
PROPER NOTICE AND MEETING**

It is hereby officially found and determined that the meeting at which this Ordinance was adopted was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government

**SECTION VII
EFFECTIVE DATE**

This ordinance shall be effective upon passage and publication as required by State and Local law.

PASSED AND APPROVED on the first reading by the City Council of the City of Shavano Park this the 25th day of November, 2019.

PASSED AND APPROVED on the second reading by the City Council of the City of Shavano Park this the _____ day of _____, 2019.

ROBERT WERNER, MAYOR

Attest:

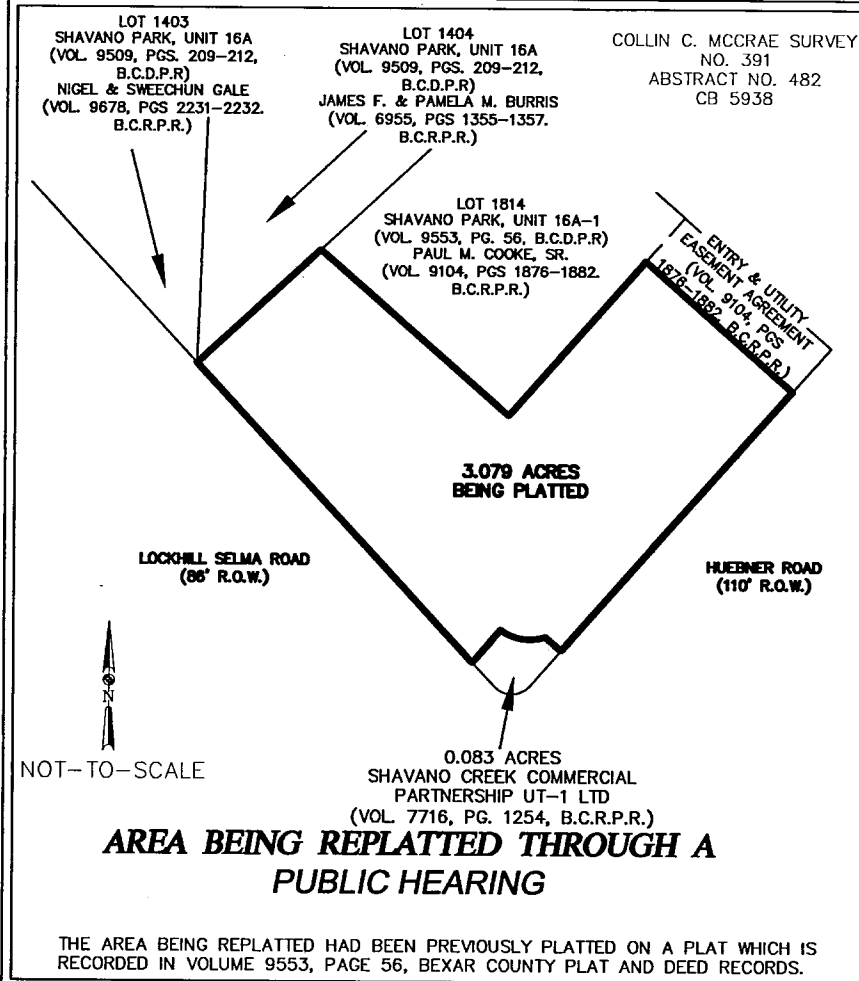
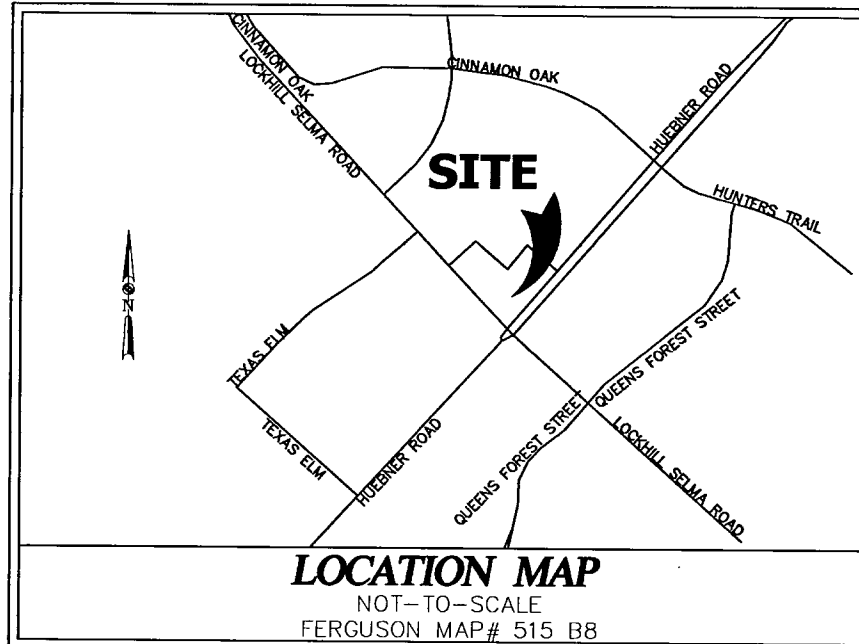
ZINA TEDFORD, City Secretary

Doc# 20130049008 Fees: \$72.00
9/3/12/2013 2:12PM # Pages 4
Recorded in the Official
Public Records of Bexar County
GERARD C. RICKHOFF COUNTY CLERK

Book 9652 Page 128 4pgs

P12-20130049008-4

RECORDER'S MEMORANDUM
AT THE TIME OF RECORDATION THIS
INSTRUMENT WAS FOUND TO BE INADEQUATE
BECAUSE OF ILLICITABLE REPRODUCTION
PHOTO COPY, DISCOLORED PAPER, ETC.



LINE TABLE - FOUND				
LINE	LENGTH	BEARING		
L1	27.71'	S48°43'40"E		
L2	21.73'	N49°15'49"W		
L3	44.81'	S40°41'28"W		
LINE TABLE - RECORD				
LINE	LENGTH	BEARING		
L1	27.70'	S48°43'40"E		
L2	21.70'	N49°15'49"W		
L3	44.71'	S41°18'56"W		

CURVE TABLE - FOUND				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
CT	49.28'	50.46'	55°57'13"	47.34' N81°03'41"W
CURVE TABLE - RECORD				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
CT	49.29'	50.46'	55°58'20"	47.36' N80°33'59"W

LEGEND

- FOUND 1/2" IRON ROD WITH A YELLOW "PAPE-DAWSON" CAP
- FOUND 1/2" IRON ROD WITH A "BPI" CAP
- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH A RED "MATKIN HOOVER ENG." PLASTIC CAP
- FOUND PK NAIL
- SET MAG NAIL
- RECORD PER VOLUME 9553, PAGE 56 B.C.D.P.R.
- RECORD PER VOLUME 14204, PAGE 2083 B.C.O.P.R.
- B.C.O.P.R. BEXAR COUNTY OFFICIAL PUBLIC RECORDS
- B.C.D.P.R. BEXAR COUNTY DEED & PLAT RECORDS
- B.C.R.P.R. BEXAR COUNTY REAL PROPERTY PUBLIC RECORDS

SURVEYOR NOTES:
1. BASIS OF BEARING: TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, 4204, NAD83, GRID COORDINATES.
2. COORDINATES SHOWN HEREON ARE ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, 4204 (NAD83). COORDINATES ARE IN GRID.

STATE OF TEXAS
COUNTY OF BEXAR

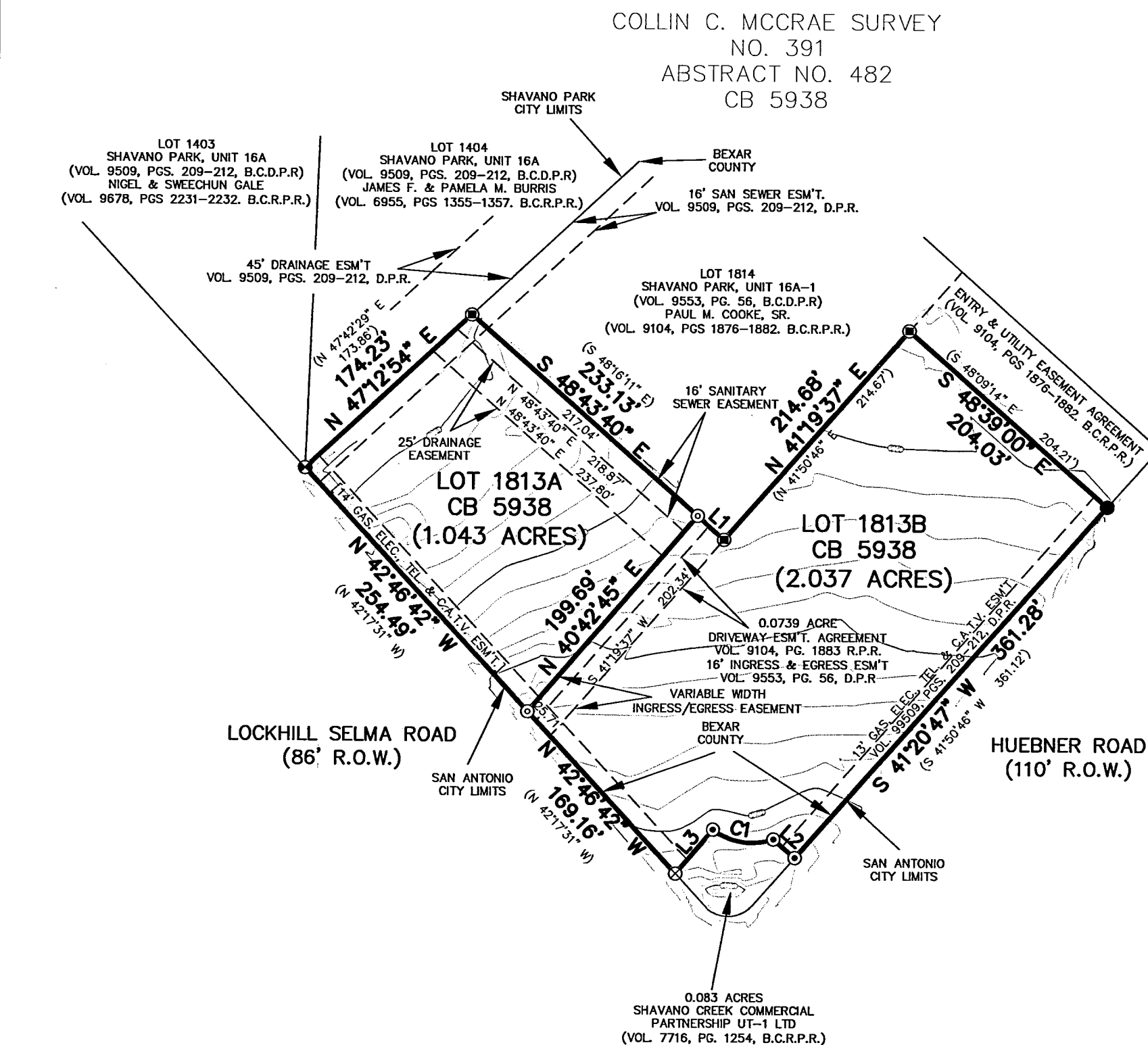
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT.

MATTHEW B. MCCORMICK
REGISTERED P.E. #35797
MATKIN HOOVER ENGINEERING & SURVEYING

SHARI W. MARCELL
MY COMMISSION EXPIRES
January 18, 2016

G.P.S. NOTES:
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE BOARD) IS HEREBY DEDICATED THE EASEMENTS AND RIGHT-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THERETO. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
2. ANY CPS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
4. CONCRETE DRIVEWAY APPROACHES AND STEPS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR UNDERGROUND ELECTRIC AND GAS FACILITIES.
5. ROOF OVERHANGS ARE ALLOWED WITHIN FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN FIVE (5) FOOT WIDE EASEMENTS.

BUILDING SETBACK NOTES:
1. THE PLATTED PROPERTY IS CURRENTLY NOT WITHIN THE CITY OF SHAVANO PARK CITY LIMITS AND THEREFORE IS NOT ZONED PER THE SHAVANO PARK CODE OF ORDINANCES. THE APPROPRIATE BUILDING SETBACKS SHALL BE APPLIED TO THE PROPERTY UPON BUILDING PERMIT APPLICATION AND SUBSEQUENT ANNEXATION TO THE CITY. THE BUILDING SETBACKS SHALL BE DETERMINED BASED ON THE PROPOSED LAND USE AND THE REQUIREMENTS AND REGULATIONS OF THE CITY OF SHAVANO PARK CODE OF ORDINANCES.



GENERAL NOTES:
NO STRUCTURE, FENCES, WALLS, OR OTHER OBSTRUCTIONS OF ANY KIND SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE CITY ENGINEER. THE CITY OF SHAVANO PARK AND BEXAR COUNTY PUBLIC WORKS DEPARTMENT SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
TCEQ - EDWARDS AQUIFER RECHARGE ZONE NOTE:
THIS SUBDIVISION IS WITHIN THE EDWARDS AQUIFER RECHARGE ZONE, NO PERSON SHALL COMMENCE THE CONSTRUCTION OF ANY REGULATED ACTIVITY UNTIL AN EDWARDS AQUIFER PROTECTION PLAN ("WATER POLLUTION ABATEMENT PLAN" OR "WPAP") OR MODIFICATION TO AN APPROVED PLAN AS REQUIRED BY 30 TAC 213.5 OF THE TEXAS ADMINISTRATIVE CODE, OR LATEST REVISION THEREOF, HAS BEEN FILED WITH THE APPROPRIATE REGIONAL TCEQ OFFICE, AND THE APPLICATION HAS BEEN APPROVED BY THE EXECUTIVE DIRECTOR OF THE TCEQ.
SAWS IMPACT FEE NOTE:
WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR WASTEWATER SERVICE.
SAWS WASTEWATER EDU NOTE:
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDU'S) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE SAN ANTONIO WATER SYSTEM UNDER THE PLAT NUMBER ISSUED BY THE DEVELOPMENT SERVICES DEPARTMENT.

OWNER/DEVELOPER:
M2G STONE OAK LTD.
MILAM REAL ESTATE CAPITAL, LLC
9601 MCALLISTER FREEWAY, SUITE 1160
SAN ANTONIO, TX 78257

PLAT ESTABLISHING LOT 1813A & 1813B SHAVANO PARK SUBDIVISION UNIT 16A-1

BEING A TOTAL OF 3.080 ACRES, ESTABLISHING LOT 1813A & 1813B, CB 5938, SAID 3.080 ACRE TRACT ALSO BEING THAT CERTAIN 3.079, CB 5938, ACRE TRACT OF LAND, RECORDED IN VOLUME 14204, PAGES 2083-2087, OFFICIAL RECORDS, BEXAR COUNTY, TEXAS.

SCALE: 1" = 100'
DATE: 09/17/2012
JOB NO.: 12-4125

MATKIN HOOVER
ENGINEERING & SURVEYING
8 SPENCER ROAD SUITE 100
BOERNE, TEXAS 78006
OFFICE: 830.249.0000 FAX: 830.249.0099
TEXAS REGISTERED ENGINEERING FIRM #004512
CIVIL ENGINEERS SURVEYORS LAND PLANNERS
CONSTRUCTION MANAGERS CONSULTANTS

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF LAND SHOWN ON THIS PLAT, AND WHOSE NAME IS SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE CITY OF SHAVANO PARK, TEXAS, FOR THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINAGE EASEMENTS, AND THE WATER AND SEWER LINES IN ALL OF THE AFORESAID PUBLIC PLACES AND ALL OTHER PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

TY THAGGARD, MANAGING PARTNER
MILAM REAL ESTATE CAPITAL, LLC
9601 MCALLISTER FREEWAY, SUITE 1160
SAN ANTONIO, TX 78257

STATE OF TEXAS
COUNTY OF BEXAR

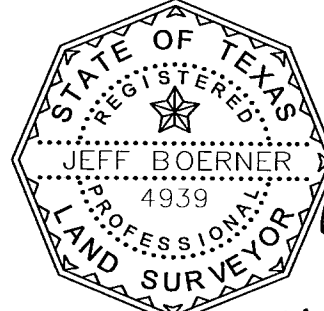
BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED Shari W. Marcell, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 12 DAY OF February A.D. 2013.

SHARI W. MARCELL
MY COMMISSION EXPIRES
January 18, 2016

Shari W. Marcell
NOTARY PUBLIC BEXAR COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY SUPERVISION.



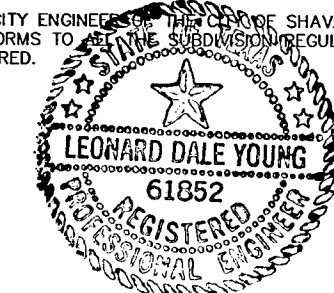
JEFF BOERNER, RPLS # 4939
MATKIN HOOVER ENGINEERING & SURVEYING

SWORN TO A SUBSCRIBED BEFORE ME THIS 9 DAY OF February A.D. 2013.

SHARI W. MARCELL
MY COMMISSION EXPIRES
January 18, 2016

Shari W. Marcell
NOTARY PUBLIC

CERTIFICATION:
THE CITY ENGINEER OF THE CITY OF SHAVANO PARK HEREBY CERTIFIES THAT THIS SUBDIVISION PLAT CONFORMS TO THE SUBDIVISION REGULATIONS OF THE CITY AS TO WHICH HIS APPROVAL IS REQUIRED.



LEONARD DALE YOUNG
61852
CITY ENGINEER

SWORN TO A SUBSCRIBED BEFORE ME THIS 12 DAY OF March A.D. 2013.

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF BEXAR

I, Gerard Rickhoff, COUNTY CLERK OF SAID COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE 12th DAY OF March A.D. 2013 AT 2:12P.M. AND DULY RECORDED THE 12th DAY OF March A.D. 2013 AT 2:12P.M. IN THE RECORDS OF DEED AND PLAT OF SAID COUNTY, IN BOOK VOLUME ON PAGE 128.

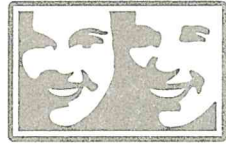
IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS DAY 12th OF March A.D. 2013 AT 2:12P.M.



COUNTY CLERK, BEXAR COUNTY, TEXAS
BY: Edna Cruz Mosley DEPUTY







ADVANCED SMILE CARE

Sedation • Cosmetic • General Dentistry

October 18, 2019

Mr. Bill Hill
City Manager
City of Shavano Park
900 Saddletree Court
Shavano Park, Texas 78231

RE: 3829 Lockhill-Selma Road, Shavano Park, TX 78230, County Block 5938, Lot 1813A, Shavano Park Subdivision Unit-16A-1 Rezoning Request

Mr. Hill,

Attached hereto is our requesting consideration of the proposed rezoning of County Block 5938, Lot 1813A, Shavano Park Subdivision Unit-16A-1 located at 3829 Lockhill-Selma Road within the City of Shavano Park, Texas. The requested re-zoning would change the subject development's current zoning of "B-2 Business and Office" to "B-2 Planned Unit Development."

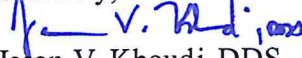
The proposed re-zoning request is made to obtain approval of exceptions to the following items outlined within the City of Shavano Park, Texas Code of Ordinances:

Chapter 36. - ZONING, ARTICLE VI, Table No. 6 Other District Setbacks and Other Limitations:

1. Minimum side setback - Exception to reduce side building setback from 25 ft to 18 ft.
2. Minimum rear setback - Exception to reduce rear building setback from 100 ft to 68 ft.
3. Minimum rear landscape buffer – Exception to rear landscape buffer to reduce from 30 ft to 0 ft.

Should there be questions or the requirement of any additional information, please feel free to contact our office.

Sincerely,


Jason V. Kboundi, DDS

JASON V. KBOUDI, DDS, PA
AND ASSOCIATES

3829 Lockhill-Selma Rd. • San Antonio, TX 78230 • 210.366.3606 • www.advancedsmilecare.com

A 1.043 ACRE TRACT OUT OF A 3.080 ACRE TRACT OF LAND, LOT 1813A, COUNTY BLOCK 5938, SHAVANO PARK SUBDIVISION UNIT 16A-1 RECORDED IN VOLUME ## PAGE ##, DEED AND PLAT RECORDS, BEXAR COUNTY, TEXAS

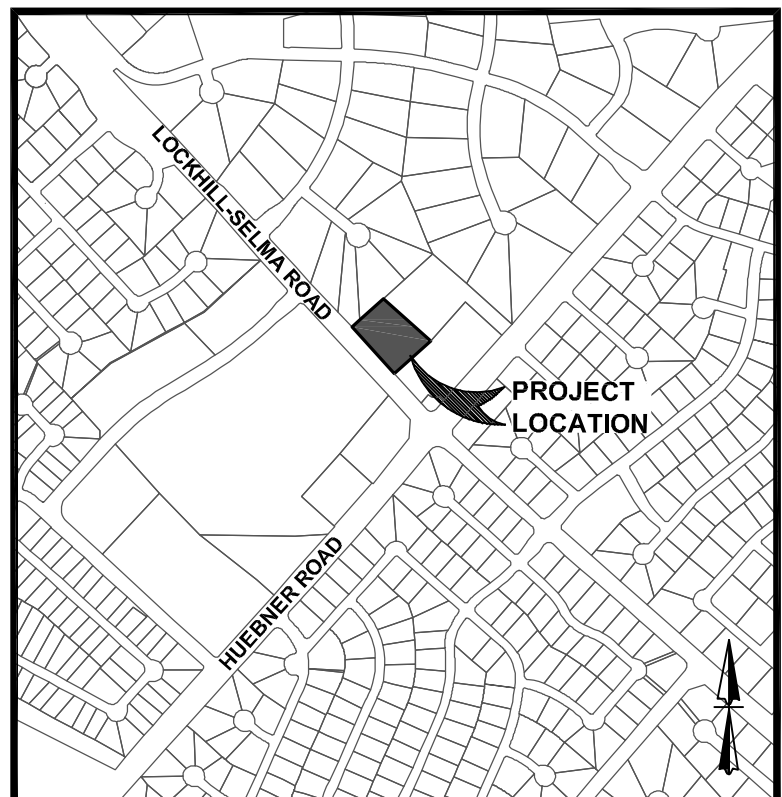
BM1: SQUARE 'X' ON A CONCRETE CURB TO THE NORTH CORNER OF THE LOT 326'
SOUTH EAST FROM AN EXISTING 1/2" CORNER IRON ROD AT ELEVATION =
986.21' SET BY KFW SURVEYING.

BM2: SQUARE 'X' ON A CONCRETE CURB TO THE EAST CORNER OF THE LOT 325'
SOUTH EAST FROM AN EXISTING 1/2" CORNER IRON ROD ACROSS AN EXISTING
SHARED DRIVEWAY AT ELEVATION = 991.51' SET BY KFW SURVEYING.

1. CONTACT TWO (TWO WARNER CABLE) TO COORDINATE CABLE TV SERVICE.
(210)-244-0500.
2. CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES. (210)-353-2256.
3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7928.
4. CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES. (210)-353-2256.
5. CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (361)-704-7297.
6. CONTRACTOR SHALL CONTACT 1-800-GIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

1	TYPICAL PARKING SPACES AND PARKING STRIPES (SEE DETAIL 1/C8.0)	12	SAW TOOTH CURB (SEE DETAIL 12/C8.0)
2	PROPOSED SIDEWALK (SEE DETAIL 2/C8.0)	13	SIDEWALK / SIDEWALK JUNCTURE (SEE DETAIL 13/C8.0)
3	PROPOSED 6" CURB (SEE DETAIL 3/C8.0)	14	2' SIDEWALK BOX (SEE DETAIL 14/C8.0)
4	HANDICAP PARKING SYMBOL (SEE DETAIL 4/C8.0)	15	6" TO 8" RIVER ROCK RUBBLE
5	HANDICAP SIGN (SEE DETAIL 5/C8.0)	16	RAMP (SEE DETAIL 16/C8.0)
6	CROSS HATCH STRIPING (SEE DETAIL 6/C8.0)	17	DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS.)
7	CROSSWALK (SEE DETAIL 7/C8.0)	18	PROPOSED PILOT CHANNEL (SEE GRADING PLAN FOR DETAILS.)
8	WHEEL STOP (SEE DETAIL 8/C8.0)	19	HAND RAILS (SEE ARCHITECTURAL PLANS FOR DETAILS.)
9	CONCRETE/ASPHALT PAVEMENT JUNCTION (SEE DETAIL 9/C8.0)	20	PROPOSED WALL (SEE GRADING PLAN FOR DETAILS.)
10	2' CURB TRANSITION (SEE DETAIL 10/C8.0)		
11	RIBBON CURB (SEE DETAIL 11/C8.0)		

HANDICAP STALLS REQUIRED FOR 56 STALLS	3
PROPOSED PARKING STALLS	53
HANDICAP STALLS	2
HANDICAP STALLS (VAN)	1
TOTAL PARKING STALLS	56



LIMITS OF CONSTRUCTION	
PROPERTY LINE	
ADJACENT PROPERTY LINE	
EXISTING CURB	
EXISTING CONCRETE	
EXISTING FIRE HYDRANT	
EXISTING WATER VALVE	
EXISTING OVERHEAD ELECTRIC AND POWER POLE	
EXISTING GAS LINE	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN	
EXISTING WALL	
EXISTING SANITARY SEWER MANHOLE	
EXISTING WATER METER	
EXISTING SIGN	
PROPOSED CURB	
PROPOSED RIBBON CURB	
PROPOSED SAW TOOTH CURB	
PROPOSED WALL	
PROPOSED SIDEWALK	
SITE BENCHMARK	
SEE DESCRIPTION THIS SHEET	
PARKING STALL COUNT	
PLANTING TREES. REFERENCE LANDSCAPE PLANS FOR TREE REMOVAL	

acuform
ARCHITECTURE

10223 McALLISTER FWY, SUITE 205
SAN ANTONIO, TEXAS 78216
210.829.1600
WWW.ACUFORM.COM

KFW
ENGINEERS & SURVEYING
FROM 9913
14603 HUEBNER ROAD, BUILDING 40
SAN ANTONIO, TEXAS 78230
PHONE (210) 491-1111
FAX (210) 491-1112

ADVANCED SMILE CARE
LOCKHILL-SELMA ROAD
SHAVANO PARK, TX 78231

REVISIONS:

CONSTRUCTION SET

xx

xx

xx

xx

xx

xx

xx

THIS DOCUMENT IS
RELEASED BY
AUTHORITY OF
STEVEN KRAUSKOPF
P.E. # 96525 FOR
INTERIM REVIEW ONLY
AND NOT TO BE USED
FOR CONSTRUCTION

PROJECT NO:	296-01-01
DATE:	JANUARY 2013
DRAWN:	J.R.
CHECKED:	S.K.
SCALE:	1" = 20'
DESCRIPTION:	
OVERALL SITE PLAN	

C2.0



SIA ENGINEERING, INC.

PROJECT & CONSTRUCTION MANAGEMENT • LAND DEVELOPMENT • CIVIL • SURVEYING
TBPE Firm No. F-1892 TBPLS No. F-100380-00

July 17, 2019

Mr. Bill Hill
City Manager
City of Shavano Park
900 Saddletree Court
Shavano Park, Texas 78231

**RE: 13215 Huebner Rd., Lot 1813B, CB 5938, Shavano Park Subdivision Unit 16A-1
Re-Zoning Request**

Mr. Hill,

Attached hereto is our presentation requesting administrative review and consideration of the proposed re-zoning of Lot 1813B, CB 5938, Shavano Park Subdivision Unit 16A-1 located at 13125 Huebner Rd within the City of Shavano Park, Texas. The requested re-zoning would change the subject development's current zoning of "B-2" to "B-2 Planned Unit Development".

The proposed re-zoning request is made to obtain approval of exceptions to the following items outlined within the City of Shavano Park, Texas Code of Ordinances;

- Chapter 24-SIGNS
 - 1.) Section 24-5(4) Non-Nuisance Signs in Business and Office Districts—An exception for Wall Signs from 50 sf to approximately 125 sf.
 - 2.) Section 24-10(4) Size of Monument Signs—An exception to allow Monument Sign face or insert to exceed 50 sf to approximately 100 sf.
 - 3.) Section 24-10(3) Monument Signs—An exception to allow up to 3 Monument Signs.
- Article VI TABLES, Table No. 6 Other District Setbacks and Other Limitations—An exception to the minimum rear and/or side building setback and landscape buffer distance(s). See EXHIBIT 1.

This project and these changes;

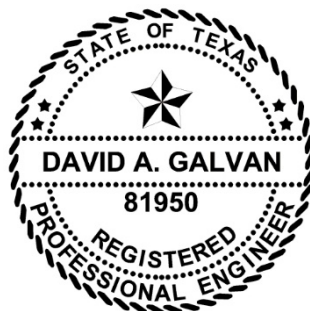
- Do not alter the basic relationships with adjacent properties.
- Allow for continued Commercial land use as exists, currently built in accordance with and as granted under the subject property's original Development Agreement dated July 9, 2014.

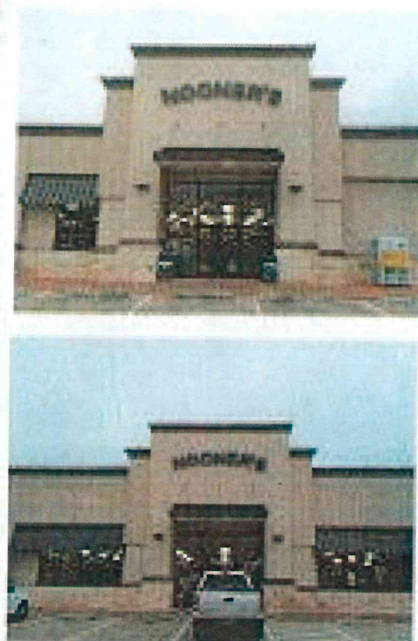
Should there be questions or the requirement of any additional information, please feel free to contact our office.

Sincerely,

A handwritten signature in black ink, reading "David A. Galvan". The signature is fluid and cursive, with the first name "David" and last name "Galvan" clearly distinguishable.

David A. Galvan, P.E.
F-16206





Existing



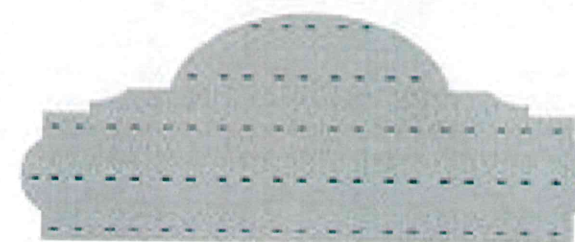
Proposed



Store Fronts 31' x 24'6" = 762.6
Sign Area 7' x 17'7" = 123.9



73 LED modules
2- 60 watt power supplies



Remove existing channel letters from building. Manufacture 1- 7'x 17' 9" single faced sign cabinet & install on store front elevation.
10"



258 TRADE CENTER DRIVE
NEW BRAUNFELS, TEXAS 78130
830.629.4411 FAX 830.629.8099
ussigns@sbcglobal.net • www.ussignsnb.com



Client Fischer's Market #45 13215 Huebner Rd, Tx.

Approval





Date




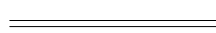

All drawings submitted are property of U.S. Signs until purchased by The Client. No alterations or distributions can be made without written consent from U.S. Signs








THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SIGNAGE MANUFACTURER. ELECTRICAL, CODE, AND/OR OTHER APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS MUST BE OBSERVED. THE INSTALLER MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS BEFORE INSTALLATION.




GENERAL NOTES

1. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL THE EXISTING UTILITIES AND UTILITIES PRIOR TO ANY EXCAVATION, ANY DAMAGE TO UTILITIES WILL BE CONTRACTORS RESPONSIBILITY.
2. ALL CONSTRUCTION METHODS AND MATERIALS IF NOT SHOWN SHALL BE PER STANDARD SPECIFICATIONS OF THE CITY OF SAN ANTONIO.
3. CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS.
4. CONTRACTOR WILL BE REQUIRED TO PROVIDE ENGINEER WITH TEST RESULTS FOR TWO EACH PASSING DESIGN CHECKS FOR SUBGRADE AND FLEXIBLE BASE TO INCLUDE PROCTOR CURVE DATA FROM A TESTING LABORATORY APPROVED BY THE ENGINEER.
5. PROVIDE A MINIMUM OF 2" CONCRETE COVER OVER ALL REINFORCING.
6. PROVIDE EXPANSION JOINTS FOR CONCRETE CURBS, SIDEWALKS AND CONCRETE PAVEMENT, CUT TO SHAPE EVERY 40' AND AT ANGLE POINTS AND RETURNS.
7. ALL REINFORCING STEEL SHALL BE ANCHORED WITH SPLICES LAPPED 40 DIAMETERS. GRADE 60 KSI.
8. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. @ 28 DAYS, UNLESS OTHERWISE NOTED.
9. CONTRACTOR TO SECURE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) STORMWATER CONSTRUCTION PERMIT FROM TCEQ.
10. FOR SITE PREPARATION AND PAVEMENT PLACEMENT, MATERIAL AND TESTING, SEE GEOTECHNICAL REPORT.
11. CONTRACTOR TO DOWEL PROPOSED SIDEWALK AND CONCRETE PAVEMENT TO CONCRETE FOUNDATION AND/OR EXISTING CONCRETE (VERIFY WITH ARCHITECTURAL AND/OR STRUCTURAL PLANS.)
12. SIDEWALK CROSS SLOPE NOT TO EXCEED 2%.
13. ANY CAR STOPS SHOWN TO BE PROVIDED AND INSTALLED WITH 2 METAL RODS FOR EACH CAR STOP AT LOCATIONS SHOWN.
14. FOR HANDICAP ACCESSIBILITY AND DETAILS. SEE ARCHITECTURAL DRAWINGS.
15. ADD SPECIALIST TO REVIEW AND APPROVE CIVIL PLANS PRIOR TO PERMITTING AND CONSTRUCTION.

PROPOSED LEGEND (As Applicable)		
1		Proposed Building
2L		New LIGHT Pavement
2H		New HEAVY Pavement
3		Striped Pavement and Typical Handicapped Parking Detail Striping

4		<i>Landscape (See Landscape Plan)</i>
5		<i>New Concrete Sidewalk</i>
6		<i>New Concrete Curb</i>
7		<i>New Concrete Curb & Sidewalk</i>
8		<i>Typical Pavement Marking for Parking Number of Parking Spaces</i>

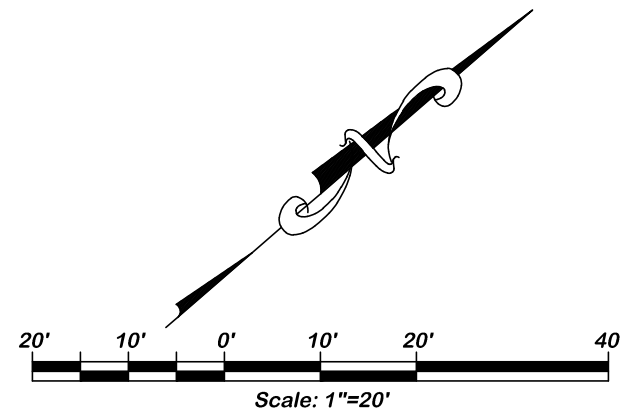
9		Handicapped Parking Sign
10		ADA Ramp
11		New Wheel Stop
12		New Concrete Dumpster Pad
13		New Concrete Retaining Wall (See Structural Plans)
14		New Concrete Header Curb
15		New Concrete Retainer Curb

<div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin-bottom: 10px;">16</div> <div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center;">17</div>		<p><i>Bollard</i></p>
<div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center;">18</div>		<p><i>New Sawtooth Curb</i></p>
<div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center;">18</div>		<p><i>New Concrete Driveway</i></p>

(FOR DETAILS SEE SHEET C-11)

(FOR DETAILS SEE SHEET C-11)

NOTE:
OWNER / CONTRACTOR SHALL
OBTAIN / SECURE ALL PERMITS
PRIOR TO CONSTRUCTION.





Luv-n-Care

CHILD DEVELOPMENT CENTERS

October 15, 2019

Mr. Bill Hill
City Manager
City of Shavano Park
900 Saddletree Court
Shavano Park, Texas 78231

RE: 13211 Huebner Rd, Shavano Park, TX 78230, County Block 5938, Lot 1818, Shavano Park Subdivision Unit-16A-1 Rezoning Request

Mr. Hill,

Attached hereto is our requesting consideration of the proposed rezoning of County Block 5938, Lot 1818, Shavano Park Subdivision Unit-16A-1 located at 13211 Huebner Road within the City of Shavano Park, Texas. The requested re-zoning would change the subject development's current zoning of "A-2 Single-Family Residential" to "B-2 Planned Unit Development".

The proposed re-zoning request is made to obtain approval of exceptions to the following items outlined within the City of Shavano Park, Texas Code of Ordinances:

Chapter 36. - ZONING, ARTICLE VI, Table No. 6 Other District Setbacks and Other Limitations:

1. Minimum side setback - Exception to reduce side building setback from 25 ft to 14 ft.
2. Minimum rear setback - Exception to reduce rear building setback from 100 ft to 7 ft.
3. Minimum rear landscape buffer - Exception to rear landscape buffer to reduce from 100 ft to 7 ft.
4. Minimum front landscape buffer - Exception to reduce front landscape buffer from 40 ft to 0 ft.
5. Minimum parking requirement (only 44 spots of the 74 required for bldg. square footage) - Exception to reduce parking ratio from 1/200 square feet to 1/334 square feet.

Chapter 24. - SIGNS, ARTICLE I, Section 24-5. - Non-nuisance signs in business and office districts:

1. Monument Sign with Electric Display - Exception to allow one monument sign at each entrance with electric display similar to the one currently utilized by The City of Shavano Park at their municipal building that conforms with Section 24-10.

Should there be questions or the requirement of any additional information, please feel free to contact our office.

Sincerely,



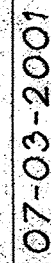
Paul Cooke

13211 Huebner Road
(210) 696-5677

21130 Gathering Oak
(210) 497-5550

6509 Griessom Road
(210) 681-4228

16081 Henderson Pass
(210) 496-0789



A0.01 SITE PLAN

OWNER'S SET
A NEW BUILDING
FOR
LUV-N-CARE
CHILD DEVELOPMENT CENTERS
HUEBNER ROAD AT LOCKHILL-SELMA ROAD
SAN ANTONIO, TEXAS



REGISTRATION EXPIRES: 2/28/02

CHILD DEVELOPMENT CENTERS
LUV-N-CARE
A NEW BUILDING FOR
ADDRESS



SCHOEPE / ASSOCIATES
ARCHITECTURE

WOODSTONE OAKS OFFICE CENTER
1845 IH-10 WEST, SUITE 400
SAN ANTONIO, TEXAS 78230
(210) 696-3042
(210) 696-6855 FAX

ET NO.	PROJECT NO.
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SHEET HISTORY

01/10/01	BID SET
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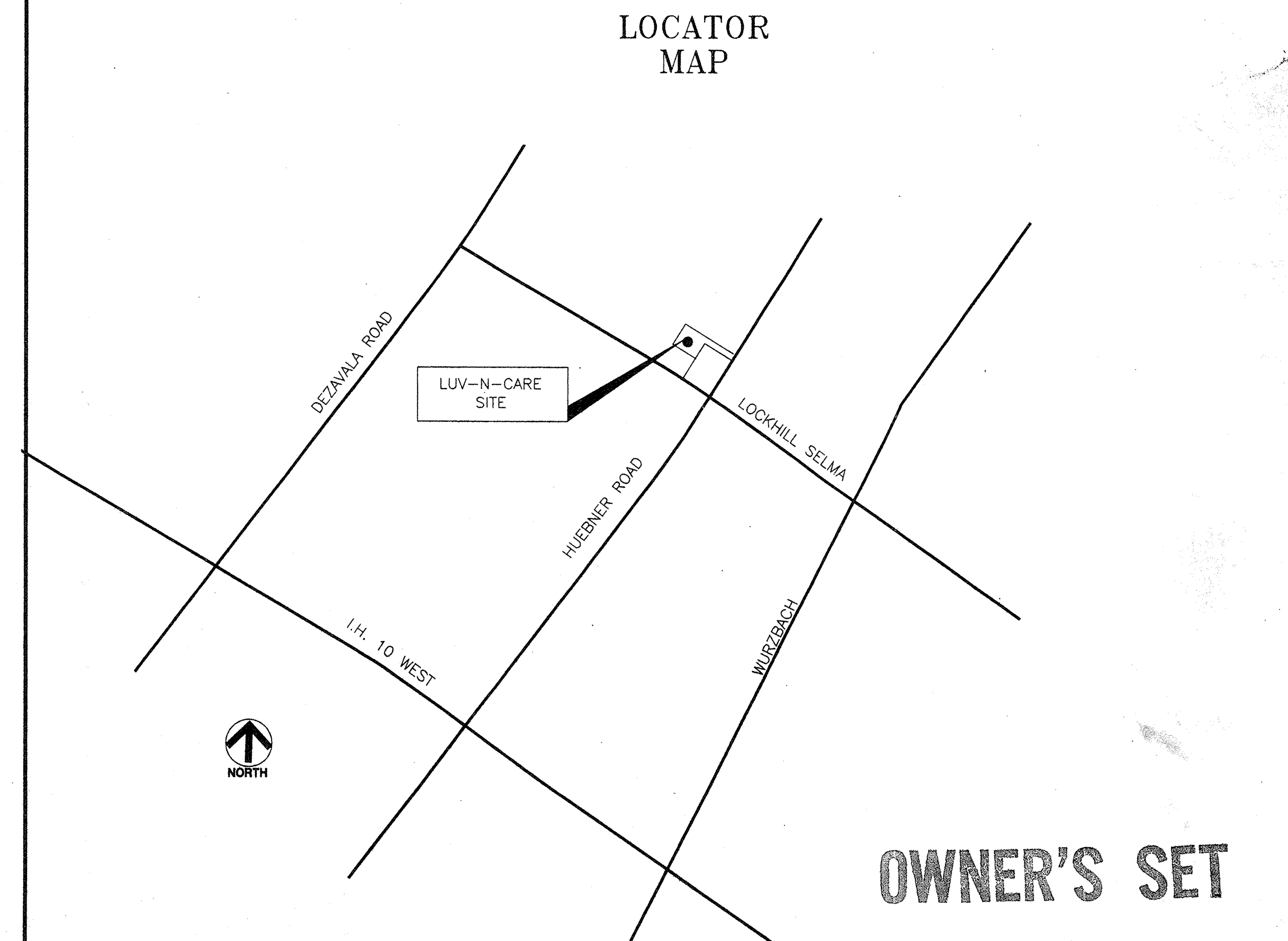
DRAWING NAME

SHEET NO.

A O

RELEASED FOR CONSTRUCTION

NOT RELEASED FOR CONSTRUCTION



OWNER'S SET

CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 6.5 / 6.6

Prepared by: Curtis Leeth

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

6.5. Public Hearing - The purpose of the public hearing is to receive comments from members of the public regarding proposed amendments to the City of Shavano Park Code of Ordinances, including changes to Chapters 36 - Zoning and 6 - Buildings and Building Regulations, to ensure building material regulations for residential and commercial building construction are in compliance with House Bill 2439 from the 86th Texas Legislature

6.6. Discussion / action – Ordinance No. O-2019-018 amending the City of Shavano Park Code of Ordinances, Chapters 36 - Zoning and 6 - Buildings and Building Regulations, to ensure building material regulations for residential and commercial building construction are in compliance with House Bill 2439 of the 86th Texas Legislature (first reading) - City Manager

X

Attachments for Reference:

- a) 6.5a Ordinance O-2019-018
- b) 6.5b Building Material Amend TRACK CHANGES
- c) 6.5c HB 2439

BACKGROUND / HISTORY: This summer the 86th Texas Legislature approved House Bill 2439 (attachment 6.5c) which forbid a City from adopting an ordinance which prohibits or limits the use or installation of a building material in the construction of residential or commercial buildings.

The City's masonry requirements for the exterior walls of residences and businesses under Chapter 36 – Zoning and Chapter 6 – Building and Building Regulations are therefore recommended to be amended.

DISCUSSION: Updates in yellow. City staff recommend that the “shall” and enforcement language for the masonry regulations be changed to City “recommends.” The only masonry enforcement available would then be in a zoning variance request. In approving that request, the Board of Adjustments could impose requirements on the exterior architectural features. An example of the proposed amendments is under Sec. 36-36 of the Zoning Code (full amendments are in attachment 6.5b):

Sec. 36-36. - A-1, A-2, A-3, A-4 and A-5 PUD Single-Family Residential Districts.

...

- (d) *Exterior architectural features.* Each new structure must possess an exterior in keeping with the residence and general atmosphere of the surrounding area.
- (1) *Exterior walls in A-1 Districts.* The City of Shavano Park recommends exterior walls of residences in areas zoned in A-1 ~~shall~~ to have a minimum of 60 percent masonry, exclusive of openings.
 - (2) *Exterior walls A-2, A-3, A-4 and A-5 PUD.* The City of Shavano Park recommends exterior walls of residences ~~shall~~ to have a minimum of 75 percent masonry, exclusive of openings. Perm stone or asbestos shingles, concrete block and cinder block, and metal exterior wall coverings, are not ~~acceptable~~ recommended except that concrete and cinder blocks may be used structurally if faced with rock, brick or stucco in accordance with the International Building Code most recently adopted by the City of Shavano Park.
 - (3) If a variance or other waiver from any related code, including this Chapter, is requested, exterior architectural features may be a required condition of approval.

At the November 6, 2019 Planning & Zoning Commission meeting, the Commission recommended approval of the amendments presented in Ordinance O-2019-018 (attachment 6.5a).

COURSES OF ACTION: Approve Ordinance O-2019-018, provide additional amendments; or alternatively decline and provide further guidance to staff.

FINANCIAL IMPACT: N/A

MOTION REQUESTED: Approve Ordinance No. O-2019-018 amending the City of Shavano Park Code of Ordinances, Chapters 36 - Zoning and 6 - Buildings and Building Regulations, to ensure building material regulations for residential and commercial building construction are in compliance with House Bill 2439 of the 86th Texas Legislature (first reading).

ORDINANCE NO. O-2019-018

AN ORDINANCE AMENDING THE CITY OF SHAVANO PARK CODE OF ORDINANCES, CHAPTERS 36 - ZONING AND 6 - BUILDINGS AND BUILDING REGULATIONS, TO ENSURE BUILDING MATERIAL REGULATIONS FOR RESIDENTIAL AND COMMERCIAL BUILDING CONSTRUCTION ARE IN COMPLIANCE WITH HOUSE BILL 2439 OF THE 86TH TEXAS LEGISLATURE; PROVIDING INDEMNITY FOR THE CITY; PROVIDING REPEALING AND SAVINGS CLAUSES; PROVING A TEXAS OPEN MEETINGS ACT CLAUSE; PROVIDING CODIFICATION; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the 86th Texas Legislature passed House Bill 2439 removing the authority of cities to enforce the use of certain building materials in the construction of residential and commercial buildings and the City of Shavano Park (the "City") City Council seeks to ensure compliance with House Bill 2439; and

WHEREAS, pursuant to House Bill 2439, the City is required to amend certain regulations for the building products or materials used in the construction or renovation of residential or commercial buildings; and

WHEREAS, pursuant to Texas Local Government Code Section 51.001, the City has general authority to adopt an ordinance or policy regulation that is for the good government, peace or order of the City and is necessary or proper for carrying out a power granted by law to the City; and

WHEREAS, pursuant to Chapter 211 of the Texas Local Government Code, the City has the authority to regulate zoning; and

WHEREAS, the City seeks to amend the Zoning Ordinance, Chapter 36 (this "Ordinance"); and

WHEREAS, this Ordinance must be amended to comply with House Bill 2439 in order to follow the State law of Texas; and

WHEREAS, after notice and hearing required by law, a public hearing was held before the Shavano Park Zoning and Planning Commission on November 7, 2019 to consider the proposed amendments and the Zoning and Planning Commission recommended approval of the proposed amendments; and

WHEREAS, after public hearing held by the City Council on November 25, 2019 the City Council voted to _____; and

WHEREAS, the City Council finds that it is necessary and proper for the good government, peace or order of the City of Shavano Park to adopt an ordinance amending Chapter 36 – Zoning.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS:

**I
CODE AMENDMENT**

Chapter 6 – BUILDING AND BUILDING REGULATIONS, Article IV. – MISCELLANEOUS CONSTRUCTION REQUIREMENTS, Sec. 6-95 of the City of Shavano Park Code of Ordinances is hereby amended to read as follows, with the elimination of struck-through text and the addition of underlined text:

Sec. 6-95. - Portable buildings.

Except in A-1 District, a single unattached portable building (movable) ~~constructed of light metal, wood or fiberglass~~ of not more than 200 square feet of area and used for storage only may be erected in the rear yard providing the building is suitably screened from adjacent property, is not used temporarily or permanently as a habitation, and is unattached to a solid foundation. The highest point of the building may not exceed 12 feet from base foundation. No portable building higher than eight feet in height measured from base foundation to the buildings highest point shall be permitted in the building setbacks. In A-1 District no more than two unattached portable buildings as described in this subsection shall be permitted. See section 36-36(h) for these regulations by zoning district. The City of Shavano Park recommends portable buildings to be constructed of light metal, wood, or fiberglass. If a variance or other waiver from any related code, including this Chapter, is requested, light metal, wood, or fiberglass construction of the building may be a required condition of approval.

II CODE AMENDMENT

Chapter 6 – BUILDING AND BUILDING REGULATIONS, Article IV. – MISCELLANEOUS CONSTRUCTION REQUIREMENTS, Sec. 6-101 of the City of Shavano Park Code of Ordinances is hereby amended to read as follows:

Sec. 6-101. - Wooden roofs.

Any residence or building to be covered with a wooden roof (shingle, shake, etc.) shall ~~shall first be covered with "CDX" plywood or material which is its equal or better~~ meet all city-adopted fire and building codes as it relates to construction of the roof.

III CODE AMENDMENT

Chapter 36 – ZONING, Article II. – DISTRICTS, Sec. 36-36(d) of the City of Shavano Park Code of Ordinances is hereby amended to read as follows:

Sec. 36-36. - A-1, A-2, A-3, A-4 and A-5 PUD Single-Family Residential Districts.

. . .

- (d) *Exterior architectural features.* Each new structure must possess an exterior in keeping with the residence and general atmosphere of the surrounding area.
- (1) *Exterior walls in A-1 Districts.* ~~Exterior walls of residences in areas zoned in A-1 shall have a minimum of 60 percent masonry, exclusive of openings. The City of Shavano Park recommends exterior walls of residences in areas zoned in A-1 to have a minimum of 60 percent masonry, exclusive of openings.~~
- (2) *Exterior walls A-2, A-3, A-4 and A-5 PUD.* ~~Exterior walls of residences shall have a minimum of 75 percent masonry, exclusive of openings. Perm stone or asbestos shingles, concrete block and cinder block, and metal exterior wall coverings, are not acceptable except that concrete and cinder blocks may be used structurally if faced with rock, brick, or stucco in accordance with the International Building Code most recently adopted by the City of Shavano Park. The City of Shavano Park recommends exterior walls of residences to have a minimum of 75 percent masonry, exclusive of openings. Perm stone or asbestos shingles, concrete block and cinder block, and metal exterior wall coverings, are not recommended except that concrete and cinder blocks may be used structurally if faced with rock, brick~~

or stucco in accordance with the International Building Code most recently adopted by the City of Shavano Park.

- (3) If a variance or other waiver from any related code, including this Chapter, is requested, exterior architectural features may be a required condition of approval.

IV CODE AMENDMENT

Chapter 36 – ZONING, Article II. – DISTRICTS, Sec. 36-37(d) of the City of Shavano Park Code of Ordinances is hereby amended to read as follows:

Sec. 36-37. - CE Single-Family Cottage Estates Residential District.

. . .

(d) *Exterior architectural features.*

- (1) Each new structure must possess an exterior in keeping with the residence and general atmosphere of the surrounding area.
- (2) Exterior walls. The City of Shavano Park recommends exterior walls of residences to have a minimum of 90 percent masonry, exclusive of openings. Perm stone or asbestos shingles, concrete block, metal panels, metal curtain walls and cinder block are not acceptable recommended except that concrete and cinder blocks may be used structurally if faced with rock, brick or stucco, in accordance with the International Building Code most recently adopted by the City.
- (3) If a variance or other waiver from any related code, including this Chapter, is requested, exterior architectural features may be a required condition of approval.

V CODE AMENDMENT

Chapter 36 – ZONING, Article II. – DISTRICTS, Sec. 36-39(b) of the City of Shavano Park Code of Ordinances is hereby amended to read as follows:

Sec. 36-39. - Business and Office Districts.

. . .

- b. *Exterior walls.* ~~Exterior walls shall have a minimum of 90 percent masonry construction of a residential character, exclusive of openings. The City of Shavano Park recommends exterior walls to have a minimum of 90 percent masonry construction of a residential character, exclusive of openings.~~ Perm stone or asbestos shingles, concrete block and cinder block are not acceptable ~~recommended~~ except that concrete and cinder blocks may be used structurally if faced with rock, brick or stucco, in accordance with the International Building Code most recently adopted by the City. If a variance or other waiver from any related code, including this Chapter, is requested, exterior architectural features may be a required condition of approval.

VI CUMULATIVE CLAUSE

That this ordinance shall be cumulative of all provisions of the City of Shavano Park, Texas, except where the provisions of this Ordinance are in direct conflict with the provisions of such Ordinance, in which event the conflicting provisions of such Ordinance are hereby repealed.

VII SEVERABILITY

That it is hereby declared to be the intention of the City Council of the City of Shavano Park that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinances, since the same would have been enacted by the City Council without incorporation in this ordinance of any such unconstitutional phrases, clause, sentence, paragraph or section.

VIII PROPER NOTICE AND MEETING

It is hereby officially found and determined that the meeting at which this Ordinance was adopted was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government

IX
CODIFICATION

The City Secretary is hereby directed to record and publish the attached rules, regulations and policies in the City's Code of Ordinances as authorized by Section 52.001 of the Texas Local Government Code.

X
EFFECTIVE DATE

This ordinance shall be effective upon passage and publication as required by State and Local law.

PASSED AND APPROVED on the first reading by the City Council of the City of Shavano Park this the 25th day of November, 2019.

PASSED AND APPROVED on the second reading by the City Council of the City of Shavano Park this the ____ day of _____, 2019.

ROBERT WERNER, MAYOR

Attest:

ZINA TEDFORD, City Secretary

Chapter 36 Zoning

Sec. 36-36. - A-1, A-2, A-3, A-4 and A-5 PUD Single-Family Residential Districts.

...

(d) *Exterior architectural features.* Each new structure must possess an exterior in keeping with the residence and general atmosphere of the surrounding area.

(1) *Exterior walls in A-1 Districts.* The City of Shavano Park recommends exterior walls of residences in areas zoned in A-1 to have a minimum of 60 percent masonry, exclusive of openings.

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Deleted: shall

(2) *Exterior walls A-2, A-3, A-4 and A-5 PUD.* The City of Shavano Park recommends exterior walls of residences to have a minimum of 75 percent masonry, exclusive of openings. Perm stone or asbestos shingles, concrete block and cinder block, and metal exterior wall coverings, are not recommended except that concrete and cinder blocks may be used structurally if faced with rock, brick or stucco in accordance with the International Building Code most recently adopted by the City of Shavano Park.

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Deleted: acceptable

(3) If a variance or other waiver from any related code, including this Chapter, is requested, exterior architectural features may be a required condition of approval.

Sec. 36-37. - CE Single-Family Cottage Estates Residential District.

...

(d) *Exterior architectural features.*

(1) Each new structure must possess an exterior in keeping with the residence and general atmosphere of the surrounding area.

(2) Exterior walls. The City of Shavano Park recommends exterior walls of residences to have a minimum of 90 percent masonry, exclusive of openings. Perm stone or asbestos shingles, concrete block, metal panels, metal curtain walls and cinder block are not recommended except that concrete and cinder blocks may be used structurally if faced with rock, brick or stucco, in accordance with the International Building Code most recently adopted by the City.

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Deleted: acceptable

(3) If a variance or other waiver from any related code, including this Chapter, is requested, exterior architectural features may be a required condition of approval.

Sec. 36-39. - Business and Office Districts.

...

- b. *Exterior walls.* The City of Shavano Park recommends exterior walls to have a minimum of 90 percent masonry construction of a residential character, exclusive of openings. Perm stone or asbestos shingles, concrete block and cinder block are not recommended except that concrete and cinder blocks may be used structurally if faced with rock, brick or stucco, in accordance with the International Building Code most recently adopted by the City. If a variance or other waiver from any related code, including this Chapter, is requested, exterior architectural features may be a required condition of approval.

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Chapter 6 Buildings and Building Regulations

Sec. 6-89. - Exterior architectural features.

In areas zoned A-1, A-2, A-3, A-4, or A-5 PUD, each new structure must possess an exterior in keeping with the residence and general atmosphere of the surrounding areas. The Building Official shall have the authority to require additional sketches or studies of the exterior elevations if, in the Building Official's opinion, the plan as submitted is inadequate, incomplete or not in keeping with the setting, location, and general atmosphere.

Sec. 6-95. - Portable buildings.

Except in A-1 District, a single unattached portable building (movable) of not more than 200 square feet of area and used for storage only may be erected in the rear yard providing the building is suitably screened from adjacent property, is not used temporarily or permanently as a habitation, and is unattached to a solid foundation. The highest point of the building may not exceed 12 feet from base foundation. No portable building higher than eight feet in height measured from base foundation to the buildings highest point shall be permitted in the building setbacks. In A-1 District no more than two unattached portable buildings as described in this subsection shall be permitted. See section 36-36(h) for these regulations by zoning district. The City of Shavano Park recommends portable buildings to be constructed of light metal, wood, or fiberglass. If a variance or other waiver from any related code, including this Chapter, is requested, light metal, wood, or fiberglass construction of the building may be a required condition of approval.

Deleted: constructed of light metal, wood or fiberglass

Sec. 6-101. - Wooden roofs.

Any residence or building to be covered with a wooden roof (shingle, shake, etc.) shall meet all city-adopted fire and building codes as it relates to construction of the roof.

Deleted: first be covered with "CDX" plywood or material which is its equal or better.

AN ACT

relating to certain regulations adopted by governmental entities for the building products, materials, or methods used in the construction or renovation of residential or commercial buildings.

BE IT ENACTED BY THE LEGISLATURE OF THE STATE OF TEXAS:

SECTION 1. Title 10, Government Code, is amended by adding Subtitle Z to read as follows:

SUBTITLE Z. MISCELLANEOUS PROVISIONS PROHIBITING CERTAIN

GOVERNMENTAL ACTIONS

CHAPTER 3000. GOVERNMENTAL ACTION AFFECTING RESIDENTIAL AND

COMMERCIAL CONSTRUCTION

Sec. 3000.001. DEFINITIONS. In this chapter:

(1) "National model code" has the meaning assigned by Section 214.217, Local Government Code.

(2) "Governmental entity" has the meaning assigned by Section 2007.002.

Sec. 3000.002. CERTAIN REGULATIONS REGARDING BUILDING PRODUCTS, MATERIALS, OR METHODS PROHIBITED. (a) Notwithstanding any other law and except as provided by Subsection (d), a governmental entity may not adopt or enforce a rule, charter provision, ordinance, order, building code, or other regulation that:

(1) prohibits or limits, directly or indirectly, the use or installation of a building product or material in the

1 construction, renovation, maintenance, or other alteration of a
2 residential or commercial building if the building product or
3 material is approved for use by a national model code published
4 within the last three code cycles that applies to the construction,
5 renovation, maintenance, or other alteration of the building; or

6 (2) establishes a standard for a building product,
7 material, or aesthetic method in construction, renovation,
8 maintenance, or other alteration of a residential or commercial
9 building if the standard is more stringent than a standard for the
10 product, material, or aesthetic method under a national model code
11 published within the last three code cycles that applies to the
12 construction, renovation, maintenance, or other alteration of the
13 building.

14 (b) A governmental entity that adopts a building code
15 governing the construction, renovation, maintenance, or other
16 alteration of a residential or commercial building may amend a
17 provision of the building code to conform to local concerns if the
18 amendment does not conflict with Subsection (a).

19 (c) This section does not apply to:

20 (1) a program established by a state agency that
21 requires particular standards, incentives, or financing
22 arrangements in order to comply with requirements of a state or
23 federal funding source or housing program;

24 (2) a requirement for a building necessary to consider
25 the building eligible for windstorm and hail insurance coverage
26 under Chapter 2210, Insurance Code;

27 (3) an ordinance or other regulation that regulates

outdoor lighting that is adopted for the purpose of reducing light pollution and that:

(A) is adopted by a governmental entity that is certified as a Dark Sky Community by the International Dark-Sky Association as part of the International Dark Sky Places Program; or

(B) applies to outdoor lighting within five miles of the boundary of a military base in which an active training program is conducted;

(4) an ordinance or order that:

(A) regulates outdoor lighting; and

(B) is adopted under Subchapter B, Chapter 229, Local Government Code, or Subchapter B, Chapter 240, Local Government Code;

(5) a building located in a place or area designated for its historical, cultural, or architectural importance and significance that a municipality may regulate under Section 211.003(b), Local Government Code, if the municipality:

(A) is a certified local government under the National Historic Preservation Act (54 U.S.C. Section 300101 et seq.); or

(B) has an applicable landmark ordinance that meets the requirements under the certified local government program as determined by the Texas Historical Commission;

(6) a building located in a place or area designated for its historical, cultural, or architectural importance and significance by a governmental entity, if designated before April

1 1, 2019;

2 (7) a building located in an area designated as a
3 historic district on the National Register of Historic Places;

4 (8) a building designated as a Recorded Texas Historic
5 Landmark;

6 (9) a building designated as a State Archeological
7 Landmark or State Antiquities Landmark;

8 (10) a building listed on the National Register of
9 Historic Places or designated as a landmark by a governmental
10 entity;

11 (11) a building located in a World Heritage Buffer
12 Zone; and

13 (12) a building located in an area designated for
14 development, restoration, or preservation in a main street city
15 under the main street program established under Section [442.014](#).

16 (d) A municipality that is not a municipality described by
17 Subsection (c)(5)(A) or (B) may adopt or enforce a regulation
18 described by Subsection (a) that applies to a building located in a
19 place or area designated on or after April 1, 2019, by the
20 municipality for its historical, cultural, or architectural
21 importance and significance, if the municipality has the voluntary
22 consent from the building owner.

23 (e) A rule, charter provision, ordinance, order, building
24 code, or other regulation adopted by a governmental entity that
25 conflicts with this section is void.

26 Sec. 3000.003. INJUNCTION. (a) The attorney general or an
27 aggrieved party may file an action in district court to enjoin a

1 violation or threatened violation of Section 3000.002.

2 (b) The court may grant appropriate relief.

3 (c) The attorney general may recover reasonable attorney's
4 fees and costs incurred in bringing an action under this section.

5 (d) Sovereign and governmental immunity to suit is waived
6 and abolished only to the extent necessary to enforce this chapter.

7 Sec. 3000.004. OTHER PROVISIONS NOT AFFECTED. This chapter
8 does not affect provisions regarding the installation of a fire
9 sprinkler protection system under Section 1301.551(i), Occupations
10 Code, or Section 775.045(a)(1), Health and Safety Code.

11 Sec. 3000.005. SEVERABILITY. If any provision of a rule,
12 charter provision, ordinance, order, building code, or other
13 regulation described by Section 3000.002(a) is held invalid under
14 this chapter, the invalidity does not affect other provisions or
15 applications of the rule, charter provision, ordinance, order,
16 building code, or other regulation that can be given effect without
17 the invalid provision or application, and to this end the
18 provisions of the rule, charter provision, ordinance, order,
19 building code, or other regulation are severable.

20 SECTION 2. This Act takes effect September 1, 2019.

H.B. No. 2439

President of the Senate

Speaker of the House

I certify that H.B. No. 2439 was passed by the House on April 30, 2019, by the following vote: Yeas 124, Nays 21, 2 present, not voting; and that the House concurred in Senate amendments to H.B. No. 2439 on May 23, 2019, by the following vote: Yeas 133, Nays 9, 1 present, not voting.

Chief Clerk of the House

I certify that H.B. No. 2439 was passed by the Senate, with amendments, on May 19, 2019, by the following vote: Yeas 26, Nays 5.

Secretary of the Senate

APPROVED: _____

Date

Governor

CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 6.7 / 6.8

Prepared by: Curtis Leeth

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

6.7. Public Hearing - The purpose of the public hearing is to receive comments from members of the public regarding proposed amendments to the City of Shavano Park Code of Ordinances, Chapter 36 – Zoning, expanding who can appeal administrative decisions on projects or applications to the Zoning Board of Adjustment in compliance with House Bill 2497 of the 86th Texas Legislature

6.8. Discussion / action - Ordinance No. O-2019-019 amending the City of Shavano Park Code of Ordinances, Chapter 6 - Buildings and Building Regulations, to abolish the Construction Board of Appeals and Chapter 36 - Zoning, expanding who can appeal administrative decisions on projects or applications to the Zoning Board of Adjustment in compliance with House Bill 2497 of the 86th Texas Legislature (first reading) - City Manager

X

Attachments for Reference:

- a) 6.7a Ordinance O-2019-019
- b) 6.7b Board of Adjustments Amendments
- c) 6.7c HB 2497

BACKGROUND / HISTORY: This summer the 86th Texas Legislature approved House Bill 2497 (attachment 10b) which expands who can appeal a decision by an administrative official approving or disapproving a specific project or application.

It is recommended the City update the procedures for the Board of Adjustments to comply with HB 2497.

DISCUSSION: Updates in yellow. The proposed amendments closely match the language of Texas law). The proposed expanded appeals read as follows:

(a) Any of the following persons may appeal to the BOA a decision made by an administrative official that is not related to a specific application, address, or project under Chapter 36 of this Code:

(1) a person aggrieved by the decision; or

(2) any officer, department, board, or bureau of the municipality affected by the decision.

(b) Any of the following persons may appeal to the BOA a decision made by an administrative official that is related to a specific application, address, or project under Chapter 36 of the Code:

- (1) a person who filed the application that is the subject of the decision; or
- (2) a person who is the owner or representative of the owner of the property that is the subject of the decision; or
- (3) any person who is aggrieved by the decision and is the owner of real property within 200 feet of the property that is the subject of the decision; or
- (4) any officer, department, or board of the city affected by the decision.

It is possible these proposed amendments will increase the number of Board of Adjustment meetings. These proposed amendments also substantially increases the type of zoning decisions the Board can render (beyond Variances and Special Exceptions) and could include decisions outlined in our ordinances previously covered by the Construction Board of Appeals.

At the November 6, 2019 Planning & Zoning meeting, the Commission recommend approval of amendments presented in Ordinance O-2019-019 (attachment 6.7a).

After consultation with the attorney it was determined that the dissolution of the Construction Board of Appeals under Chapter 6 – Buildings and Building Regulations and moving of the Board’s authority to the Board of Adjustment is possible. Staff added the abolishment of the Construction Board of Appeals and added their authority as a new subsection Sec.36-125(c):

(c) Appeals to the BOA may be made by a person aggrieved by the decision of the building official on the basis of alleging an error in an order, requirement, decision or determination made by the building official in the enforcement of the international and national codes and Chapter 6 of the City of Shavano Park Code of Ordinances, as it exists or may be amended.

COURSES OF ACTION: Approve Ordinance No. O-2019-019 as presented, propose additional amendments; or alternatively decline and provide further guidance to staff.

FINANCIAL IMPACT: N/A

MOTION REQUESTED: Approve Ordinance No. O-2019-019 amending the City of Shavano Park Code of Ordinances, Chapter 6 - Buildings and Building Regulations, to abolish the Construction Board of Appeals and Chapter 36 - Zoning, expanding who can appeal administrative decisions on projects or applications to the Zoning Board of Adjustment in compliance with House Bill 2497 of the 86th Texas Legislature (first reading).

ORDINANCE NO. O-2019-019

AN ORDINANCE AMENDING CHAPTER 6 – BUILDINGS AND BUILDING REGULATIONS AND CHAPTER 36 – ZONING, ARTICLE V. – BOARD OF ADJUSTMENT, THE CITY OF SHAVANO PARK CODE OF ORDINANCES TO ABOLISH THE CONSTRUCTION BOARD OF APPEALS AND PROVIDE FOR APPEALS TO THE BOARD OF ADJUSTMENT; PROVIDING A CUMULATIVE CLAUSE, PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the 86th Texas Legislature passed House Bill 2497 to require cities to allow additional individuals to appeal zoning decisions to the board of adjustment and the City of Shavano Park (the “City”) City Council seeks to ensure compliance with House Bill 2497; and

WHEREAS, pursuant to Texas Local Government Code Section 51.001, the City has general authority to adopt an ordinance or policy regulation that is for the good government, peace or order of the City and is necessary or proper for carrying out a power granted by law to the City; and

WHEREAS, pursuant to Chapter 211 of the Texas Local Government Code, the City has the authority to regulate zoning; and

WHEREAS, the City seeks to amend the Zoning Ordinance, Chapter 36 (this “Ordinance”); and

WHEREAS, this Ordinance must be amended to comply with House Bill 2497; and

WHEREAS, the City seeks to abolish the Construction Board of Appeals and move the authority to reverse or affirm, in whole or in part, or modify a Building Official's order, requirement, decision or determination from which an appeal is taken to the discretion of the Board of Adjustment; and

WHEREAS, after notice and hearing required by law, a public hearing was held before the Shavano Park Zoning and Planning Commission on November 7, 2019 to consider the proposed amendments and the Zoning and Planning Commission recommended approval of the proposed amendments; and

WHEREAS, after public hearing held by the City Council on November 25, 2019 the City Council voted to _____; and

WHEREAS, the City Council finds that it is necessary and proper for the good government, peace or order of the City of Shavano Park to adopt an ordinance amending Chapter 36 – Zoning.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS:

I

CODE AMENDMENT

Chapter 6 – BUILDINGS AND BUILDING REGULATIONS, Article V. – CONSTRUCTION BOARD OF APPEALS of the City of Shavano Park Code of Ordinances is hereby struck through and deleted and Sections 6-124 through 6-164 are made reserved.

ARTICLE V. - CONSTRUCTION BOARD OF APPEALS

~~Sec. 6-124.— Powers and authority.~~

~~(a) Authority. The Construction Board of Appeals may hear and decide an appeal that alleges error in an order, requirement, decision or determination made by the building official in the enforcement of the international and national codes and this chapter, as it exists or may be amended. In exercising the Board's authority herein, the Board may reverse or affirm, in whole or in part, or modify the Building Official's order, requirement, decision or determination from which an appeal is taken and make the correct order, requirement, decision or determination, and for that purpose, the Board has the same authority as the Building Official. The Board shall have no power to obligate the City in any manner whatsoever. The Board's finances shall be handled in the same manner as any other board of the City. The Board shall have no authority to waive any requirement contained in any of the international or national codes.~~

~~(b) Basis of decisions; vote required. In order to make a finding for the appellant, the Board must make a determination that the true intent of any of the international codes has been incorrectly interpreted by the Building Official; that a provision of the international codes, made the subject of the appeal, does not fully apply; or an equally good or better form of construction of the specific international or national code, made the subject of the appeal, is proposed. The concurring vote of four members of the Board is necessary to reverse an order, requirement, decision or determination of the Building Official.~~

~~(c)Minutes. The Board shall keep and maintain minutes of any and all proceedings held and shall submit a written report of such proceedings to the City Council not more than three weeks following each such meeting.~~

~~(d)Adoption of rules and regulations. The Board may adopt rules and regulations for the conduct of its business. All rules and regulations adopted by the Board shall be reviewed and approved by the City Council. The rules and regulations shall be consistent with and not in conflict with this chapter, the international and national codes and/or other rules and regulations prescribed by the City Council. The Board shall function according to the laws of the State, the international and national codes and the provisions of this chapter.~~

~~(e)Written decision. The Board shall render all decisions in writing to the appellant with a copy to the Building Official.~~

~~(Ord. No. 100-03-07, art. II, § 6(b), 7-17-2007)~~

~~Sec. 6-125.—Application for appeal.~~

~~The application for appeal shall be filed on a form obtained from the Building Official within 20 days after the notice was served. An application fee as established by the City Council from time to time shall be paid to the City by applicants desiring an audience before the Construction Board of Appeals.~~

~~(Ord. No. 100-03-07, art. II, § 6(c), 7-17-2007)~~

~~Sec. 6-126.—Composition.~~

~~(a)The Construction Board of Appeals shall consist of five persons appointed by the City Council. Each member shall serve for five years or until a successor has been appointed. The Board shall consist of one individual from each of the following professions or disciplines:~~

~~(1)A registered design professional with architectural experience or a builder or superintendent of building construction.~~

~~(2)A registered design professional with engineering experience.~~

~~(3)A licensed mechanical contractor.~~

~~(4)A licensed electrical contractor.~~

~~(5)A licensed plumbing contractor.~~

~~(b)Alternatively, the City Council may appoint one person who is an attorney or a licensed general contractor citizen in lieu of any of the qualified persons listed in subsection (a) of this section.~~

~~(Ord. No. 100-03-07, art. II, § 6(d), 7-17-2007; Ord. No. 100-02-11, § I, 5-17-2011)~~

~~Sec. 6-127.—Alternate members.~~

~~The City Council shall appoint two alternate members who shall be called by the Chairperson of the Construction Board of Appeals to hear appeals during the absence or disqualification of a member. Alternate members shall possess the qualifications required for Board membership and shall be appointed for five years, or until a successor has been appointed.~~

~~(Ord. No. 100-03-07, art. II, § 6(e), 7-17-2007)~~

~~Sec. 6-128.—Chairperson.~~

~~The Construction Board of Appeals shall annually select one of its members to serve as Chairperson.~~

~~(Ord. No. 100-03-07, art. II, § 6(f), 7-17-2007)~~

~~Sec. 6-129.—Disqualification of member.~~

~~A member of the Construction Board of Appeals shall not hear an appeal in which that member has a personal, professional or financial interest.~~

~~(Ord. No. 100-03-07, art. II, § 6(g), 7-17-2007)~~

~~Sec. 6-130.—Secretary.~~

~~The Chief Administrative Officer shall designate a qualified clerk to serve as Secretary to the Construction Board of Appeals. The Secretary shall file a detailed record of all proceedings in the office of the Building Official.~~

~~(Ord. No. 100-03-07, art. II, § 6(h), 7-17-2007)~~

~~Sec. 6-131.—Notice of meeting.~~

~~The Construction Board of Appeals shall meet upon notice from the Chairperson, within ten days of the filing of an appeal, or at stated periodic meetings.~~

~~(Ord. No. 100-03-07, art. II, § 6(i), 7-17-2007)~~

~~Sec. 6-132.—Open hearing.~~

~~All hearings before the Construction Board of Appeals shall be open to the public. The appellant, the appellant's representative, the Building Official and any person whose interests are affected shall be given an opportunity to be heard.~~

~~(Ord. No. 100-03-07, art. II, § 6(j), 7-17-2007)~~

~~Sec. 6-133.—Quorum.~~

~~Four members of the Construction Board of Appeals shall constitute a quorum to conduct all business.~~

~~(Ord. No. 100-03-07, art. II, § 6(k), 7-17-2007)~~

~~Secs. 6-134~~124~~—6-164.~~ - Reserved.

II

CODE AMENDMENT

Chapter 36 – ZONING, Article V. – BOARD OF ADJUSTMENT, Section 36-125. – Appeals to the Board of Adjustment, of the City of Shavano Park Code of Ordinances is hereby amended to read as follows:

Sec. 36-125. – Appeals to the Board of Adjustment (BOA).

~~Appeals to the Board of Adjustment may be taken by any person aggrieved by the decision of an administrative official of the City or by any officer, department or board of the City affected by the decision.~~

(a) Any of the following persons may appeal to the BOA a decision made by an administrative official that is not related to a specific application, address, or project under Chapter 36 of this Code:

(1) a person aggrieved by the decision; or

(2) any officer, department, board, or bureau of the municipality affected by the decision.

(b) Any of the following persons may appeal to the BOA a decision made by an administrative official that is related to a specific application, address, or project under Chapter 36 of the Code:

(1) a person who filed the application that is the subject of the decision; or

(2) a person who is the owner or representative of the owner of the property that is the subject of the decision; or

(3) any person who is aggrieved by the decision and is the owner of real property within 200 feet of the property that is the subject of the decision; or

(4) any officer, department, or board of the city affected by the decision.

(c) Appeals to the BOA may be made by a person aggrieved by the decision of the

building official on the basis of alleging an error in an order, requirement, decision or determination made by the building official in the enforcement of the international and national codes as well as Chapter 6 of the City of Shavano Park Code of Ordinances, as it exists or may be amended.

(d) Such appeal shall be taken within a reasonable time, as provided by the rules of procedure of the Board of Adjustment, by filing in writing with the administrative official from whom the appeal is taken and with the Board of Adjustment a notice of appeal specifying the grounds thereof. The administrative official from whom the appeal is taken shall forthwith transmit to the Board of Adjustment all papers constituting the record of the action that is appealed.

Sec. 36-126. - When appeal stays all proceedings.

An appeal stays all proceedings in furtherance of the action appealed from, unless the administrative official from whom the appeal is taken certifies in writing to the Board of Adjustment after notice of appeal shall have been filed with him that by reason of facts stated in the certificate a stay would, in his opinion, cause immediate peril to life or property. In such case proceedings shall not be stayed other than by a restraining order which may be granted by the Board of Adjustment or by a court of record on application after notice to the administrative official from whom the appeal is taken and if due cause is shown.

Sec. 36-127. – Time for notice and hearing of appeal.

The appeal must be filed not later than the 20th day after the decision has been rendered. The BOA shall make a decision on the appeal at the next meeting for which notice can be provided following the hearing and not later than the 60th day after the date the appeal is filed. The Board of Adjustment shall fix a reasonable time for hearing of the appeal, give public notice thereof, as well as due notice to the parties in interest and decide the same within a reasonable time. Upon the hearing any party may appear in person or by agent or by attorney.

Sec. 36-128. – Action on appeal.

In exercising the powers set forth in section 36-124, the Board of Adjustment may, in conformity with the provisions of this chapter, reverse or affirm, wholly or partly, or may modify the administrative official's order, requirement, decision, or determination appealed from and may make the correct order, requirement, decision, or determination and to that end shall have all the powers of the administrative official from whom the appeal is taken.

CUMULATIVE CLAUSE

That this ordinance shall be cumulative of all provisions of the City of Shavano Park, Texas, except where the provisions of this Ordinance are in direct conflict with the provisions of such Ordinance, in which event the conflicting provisions of such Ordinance are hereby repealed.

III SEVERABILITY

That it is hereby declared to be the intention of the City Council of the City of Shavano Park that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinances, since the same would have been enacted by the City Council without incorporation in this ordinance of any such unconstitutional phrases, clause, sentence, paragraph or section.

IV PROPER NOTICE AND MEETING

It is hereby officially found and determined that the meeting at which this Ordinance was adopted was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government

V EFFECTIVE DATE

This ordinance shall be effective upon passage and publication as required by State and Local law.

PASSED AND APPROVED on the first reading by the City Council of the City of Shavano Park this the 25th day of November, 2019.

PASSED AND APPROVED on the second reading by the City Council of the City of Shavano Park this the ____ day of _____, 2019.

ROBERT WERNER, MAYOR

Attest:

ZINA TEDFORD, CITY SECRETARY

CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 6.9

Prepared by: Bill Hill

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

Discussion / action - Filling the vacancy on the Citizen's Tree Committee; consideration of Ordinance No. O-2019-020 increasing the Citizen's Tree Committee from six to seven members; and filling the vacancy on the Citizen's Tree Committee if the committee size increases to seven members (administrative) - City Manager

X

Attachments for Reference:

- 1) Tree Committee applications on file
- 2) Track Changes of Sec. 14-121
- 3) Ordinance O-2019-020 Tree Committee
- 4) Chairman Request to CM

BACKGROUND / HISTORY:

Earlier this year the City reduced to size of the tree committee to six. No citizen applied by the Committee Application suspense, which left five existing members on the Tree Committee and one vacancy. Tree Committee met November 12th and selected a Chairman. The Chairman sent a request to the City Manager to fill the remaining vacancy and increasing the size of the committee to seven.

DISCUSSION:

This agenda item proposes three possible actions. First to fill the vacant committee position from within the four applications on file (Randi Wayland / Howard Marnan / Randy Smith / Kim Lane). Second, to consider increasing the committee size. Third, if increased, to fill the newly created vacant committee position from within the remaining applications on file.

City ordinances provide guidance for filling vacant committee positions.

Sec. 2-87. - Boards and Commissions applications, appointments, Chairpersons and vacancies.

(a) *Applications.* Solicitation for applications shall be made to all residents to serve on standing commissions, committees and boards.

(1) The application document issued by the City Secretary shall contain current vacancies on the standing commissions, committees and boards.

(2) An application must be submitted to the City Secretary by September 1 each year. The application will remain on file one year, unless withdrawn by the individual.

(b) *Appointments.*

(1) *Multiple vacancies on a Commission, Committee or Board.* When multiple vacancies occur or are present on any commission, committee or board, Council shall fill them under this subsection.

a. The City Secretary shall assemble and distribute committee applicant packets to the City Council by the second Monday of September.

b. For each specific board the Alderman shall consider each application.

c. Each Alderman shall nominate the same number of applicants as vacancies for each committee, in ranked order and submitted to the City Secretary by the third Monday of September.

d. At the next regularly scheduled City Council meeting, the City Secretary shall present the information provided by each Council member.

e. The City Council will then consider the information and shall appoint to each vacancy a qualified applicant to serve on the appropriate board or committee.

(2) *Single vacancy.* When a single vacancy occurs or is present on any commission, committee or board, Council shall fill such vacancy under this subsection.

a. In the case of single vacancy on a commission, committee or board, the Council shall fill such vacancy following notice to the City Manager from three or more Council members that they wish to fill such vacancy.

b. The Chairman of a commission, committee or board may request to the City Manager to bring the board vacancy before Council.

c. Following receipt of the required notices to the City Manager, Council shall consider such vacancy at its next regularly scheduled meeting.

d. The City Secretary shall assemble and distribute committee applicant packets to the City Council at the same time city staff provides packages to Council members. Only applications on file as of such date shall be considered by Council. At the request of any Council Member, the City Secretary shall make a special solicitation for the position, and Council shall only consider applications received by the above deadline.

e. Council shall appoint the replacement on the affirmative majority vote following a nomination and second by Council Members from among the pool of applicants then on file

COURSE OF ACTION:

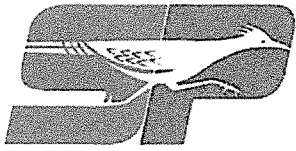
- 1) Designate a new committee member from the three existing applications or take no action
- 2) Approve, modify or take no action on increasing the tree committee size
- 3) Designate a new committee member from the remaining applications or take no action

FINANCIAL IMPACT: N/A

MOTION REQUESTED:

- 1) Designate _____ to serve as new committee member from the three existing applications
- 2) Approve the proposed increase the tree committee size to seven
- 3) Designate _____ to serve as new committee member from the three existing applications

**APPLICATIONS
RECEIVED AFTER DEADLINE**



City of Shavano Park, 900 Saddletree Court, Shavano Park, Texas 78231
Phone: 210/ 493-3478 Fax: 210/ 492-3816

VOLUNTEER APPLICATION FOR APPOINTMENT TO BOARDS/COMMISSIONS

Name: Randi Myers Wayland Date: 9-3-2019

Home Phone: 210-415-1264 Work or Cell Phone: (optional) _____

Home Address: 103 Hunters Branch

Email Address: randi @ +BBU.net

Are you a citizen of Shavano Park? ☒ Yes ☐ No 47 years

Are you 18 years or older? ☒ Yes ☐ No

Are you registered to vote? ☒ Yes ☐ No

Do you have immediate family working for the City of Shavano Park? ☐ Yes ☒ No

If yes, who? _____

Do you have immediate family serving on City Council/Board/Commissions for the City of Shavano Park?
☐ Yes ☐ No

If yes, who and where do they serve? _____

Current or past occupation or area of expertise:

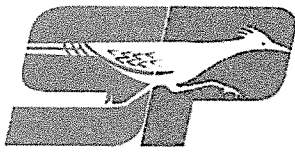
Public School Teacher (science) for 30 yrs. Water
safety instructor @ San Antonio College for 45 yrs.
20+ yrs. TPWD education instructor/trainer

Professional and or community activities:

Past President of S.P. Women's club; member of S.P. Garden club;
city hall (building) planning Com.; S.P. Communications
Com.; originated + named S.P. newsletter; over →

Describe how your past expertise/experience would qualify you to serve on this Board/Commission:

I have been an active member of the S.P. Tree
Comm. since it was organized. Chairperson of
the past two Arbor/Earth Day Events. I attend
all the City Council meetings + try to keep up
with the city business, events, etc.



City of Shavano Park, 900 Saddletree Court, Shavano Park, Texas 78231
Phone: 210/ 493-3478 Fax: 210/ 492-3816

I AM INTERESTED IN SERVING ON THE FOLLOWING BOARDS OR COMMISSIONS:
(Note: Most of these Boards/Commissions require meetings that occur in the evenings)

Please indicate your order of preference by using 1st, 2nd, 3rd etc.

- _____ BOARD OF ADJUSTMENT (3 Positions / 2 Alternates)
_____ PLANNING & ZONING COMMISSION (5 Positions)
_____ WATER ADVISORY COMMITTEE
(4 Positions - 1 position for one year term ending 9-0-2018)
1 CITIZEN TREE COMMITTEE
(To be determined positions - Minimum 7 residents)
_____ INVESTMENT COMMITTEE (1 Position)

If you have a preference for one Board/Commission appointment over another, please tell us why:

I have been an active member of the Tree Comm. since it was established.

Are you currently serving on a City of Shavano Park Board, Commission or Committee? ☒ Yes ☐ No
If yes, which one? Tree Comm. Term Expires: 9-30-2019

Have you ever served on a City of Shavano Park Board, Commission or Committee? ☒ Yes ☐ No
If yes, list name of Board, Commission or Committee and term of office: previously noted.

(Signature) Randi M. Weyland Date 9-3-2019

PLEASE RETURN THIS FORM ALONG WITH A LETTER OF INTEREST & AVAILABILITY TO:

Office of the City Secretary
900 Saddletree Court
Shavano Park, Texas 78231
210.493.3478 or Fax: 210.492.3816
ztedford@shavanopark.org

Staff Notations Only:

Date application received:

Council action:

If appointed, expiration of term:

9-3-19

Cont. Community Activities:

Many other ad hoc S.P. committees (can't remember them)!

Area Chief for Texas Parks + Wildlife Dept.

Boating laws / trainers TPWD 2016 #

Freshwater Fishing Hall of Fame inductee!

Many events + activities for S.P. Texas Dept.

B.S. degree in Biology

Masters " in Marine Sciences

National Wildlife Certified S.P. yard.

Randi M. Wayland

103 Hunters Branch

Shavano Park, TX. 78231

September 3, 2019

To Whom it may Concern:

I misread my current term of membership on the Shavano Park Tree Committee as September 30, 2019. I did not realize that I had to fill out another application by August 31, 2019.

I am asking to be re-considered as an applicant to the Shavano Park Tree Committee.

Since August 31 was on a Saturday and Monday was a city hall holiday, I am one business day late with my application.

Please consider my late application to the Shavano Park Tree Committee as I feel that I am an asset to Shavano Park.

Sincerely,

Randi M. Wayland

Randi Myers Wayland

VOLUNTEER APPLICATION FOR APPOINTMENT TO BOARDS/COMMISSIONS

Name: HOWARD MARNAN Date: 9/5/2019

Home Phone: 210 5724-5959 Work or Cell Phone: (optional) SAKE

Home Address: 172 CLIFFSIDE DRIVE SHAVANO PARK

Email Address: hmarnan@gmail.com

Are you a citizen of Shavano Park? ☒ Yes ☐ No

Are you 18 years or older? ☒ Yes ☐ No

Are you registered to vote? ☒ Yes ☐ No

Do you have immediate family working for the City of Shavano Park? ☐ Yes ☒ No

If yes, who? _____

Do you have immediate family serving on City Council/Board/Commissions for the City of Shavano Park?
☐ Yes ☒ No

If yes, who and where do they serve? _____

Current or past occupation or area of expertise:

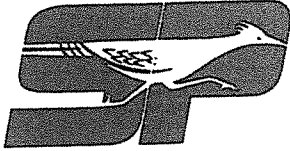
VOCATIONAL REHABILITATION COUNSELOR - AREA
MANAGER

Professional and or community activities:

I AM VOCATIONAL EXPERT FOR SOCIAL SECURITY OFFICE OF
HEARINGS & APPEALS TESTIFYING AT DISABILITIES HEARINGS

Describe how your past expertise/experience would qualify you to serve on this Board/Commission:

I HAVE SERVED ON COMMITTEE SINCE ITS INCEPTION AND AM
AWARE OF PREVIOUS ISSUES DECIDED BY COMMITTEE



City of Shavano Park, 900 Saddletree Court, Shavano Park, Texas 78231
Phone: 210/ 493-3478 Fax: 210/ 492-3816

I AM INTERESTED IN SERVING ON THE FOLLOWING BOARDS OR COMMISSIONS:
(Note: Most of these Boards/Commissions require meetings that occur in the evenings)

Please indicate your order of preference by using 1st, 2nd, 3rd etc.

- _____ BOARD OF ADJUSTMENT (3 positions)
- _____ PLANNING & ZONING COMMISSION (5 Positions)
- _____ WATER ADVISORY COMMITTEE (3 Positions)
- X _____ CITIZEN TREE COMMITTEE
(To be determined positions - Minimum 4 residents)
- _____ INVESTMENT COMMITTEE (1 Position)

If you have a preference for one Board/Commission appointment over another, please tell us why:

Are you currently serving on a City of Shavano Park Board, Commission or Committee? X Yes _____ No
If yes, which one? TREE COMMITTEE Term Expires: 9/30/2019

Have you ever served on a City of Shavano Park Board, Commission or Committee? _____ Yes _____ No
If yes, list name of Board, Commission or Committee and term of office: _____

(Signature) J. Marnon Date 9/5/2019

PLEASE RETURN THIS FORM ALONG WITH A LETTER OF INTEREST & AVAILABILITY TO:

Office of the City Secretary
900 Saddletree Court
Shavano Park, Texas 78231
210.493.3478 or Fax: 210.492.3816
ztedford@shavanopark.org

Staff Notations Only:

Date application received:

Council action:

If appointed, expiration of term:

9-6-19

Phone: 210/ 493-3478 Fax: 210/ 492-3816

VOLUNTEER APPLICATION FOR APPOINTMENT TO BOARDS/COMMISSIONS

Name: RANDY SMITH Date: 9/4/19

Home Phone: 210 764 2826 Work or Cell Phone: (optional) 210 365 4735

Home Address: 115 BOBCAT BEND, SHAVANO PARK TX 78231

Email Address: RANDYASMITH@YATCOO.COM

Are you a citizen of Shavano Park? ☒ Yes ☐ No

Are you 18 years or older? ☒ Yes ☐ No

Are you registered to vote? ☒ Yes ☐ No

Do you have immediate family working for the City of Shavano Park? ☐ Yes ☒ No

If yes, who? _____

Do you have immediate family serving on City Council/Board/Commissions for the City of Shavano Park?
☐ Yes ☒ No

If yes, who and where do they serve? _____

Current or past occupation or area of expertise:

CHAIRMAN OF CITIZEN TREE COMMITTEE SINCE 2015

Professional and or community activities:

Describe how your past expertise/experience would qualify you to serve on this Board/Commission:

EXTENSIVE INTERACTIONS WITH LOCAL AND STATE FORESTRY OFFICIALS, CITY OFFICIALS, AND SHAVANO PARK RESIDENTS.

NOTE: Application submitted AFTER deadline due to a misunderstanding on term expiration. I am available to serve if needed.

6-14-19



City of Shavano Park, 900 Saddletree Court, Shavano Park, Texas 78231
Phone: 210/ 493-3478 Fax: 210/ 492-3816

I AM INTERESTED IN SERVING ON THE FOLLOWING BOARDS OR COMMISSIONS:
(Note: Most of these Boards/Commissions require meetings that occur in the evenings)

Please indicate your order of preference by using 1st, 2nd, 3rd etc.

- _____ BOARD OF ADJUSTMENT (3 positions)
- _____ PLANNING & ZONING COMMISSION (5 Positions)
- _____ WATER ADVISORY COMMITTEE (3 Positions)
- ☒ CITIZEN TREE COMMITTEE
(To be determined positions - Minimum 4 residents)
- _____ INVESTMENT COMMITTEE (1 Position)

If you have a preference for one Board/Commission appointment over another, please tell us why:

CITIZEN TREE COMMITTEE - served as chairman for four years

Are you currently serving on a City of Shavano Park Board, Commission or Committee? ☒ Yes ___ No
If yes, which one? CITIZEN TREE COMMITTEE Term Expires: 9/30/19

Have you ever served on a City of Shavano Park Board, Commission or Committee? ☒ Yes ___ No
If yes, list name of Board, Commission or Committee and term of office: CITIZEN TREE COMMITTEE SINCE 2015
(Signature) Randy Ford Date 9/4/19

PLEASE RETURN THIS FORM ALONG WITH A LETTER OF INTEREST & AVAILABILITY TO:

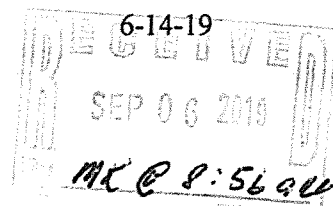
Office of the City Secretary
900 Saddletree Court
Shavano Park, Texas 78231
210.493.3478 or Fax: 210.492.3816
ztedford@shavanopark.org

Staff Notations Only:

Date application received:

Council action:

If appointed, expiration of term:



9-8-19

Phone: 210/ 493-3478 Fax: 210/ 492-3816

VOLUNTEER APPLICATION FOR APPOINTMENT TO BOARDS/COMMISSIONS

Name: Kim Lane Date: _____

Home Phone: n/a Work or Cell Phone: (optional) (210) 286-3554

Home Address: 200 Saddletree Rd 78231

Email Address: kimlane.tx@gmail.com

Are you a citizen of Shavano Park? ☒ Yes ☐ No

Are you 18 years or older? ☒ Yes ☐ No

Are you registered to vote? ☒ Yes ☐ No

Do you have immediate family working for the City of Shavano Park? ☐ Yes ☒ No

If yes, who? _____

Do you have immediate family serving on City Council/Board/Commissions for the City of Shavano Park?
☐ Yes ☒ No

If yes, who and where do they serve? _____

Current or past occupation or area of expertise:

Pharmacist

Professional and or community activities:

- local pharmacist association
- Sp. Tree Committee

Describe how your past expertise/experience would qualify you to serve on this Board/Commission:

Past experience on the B Committee



City of Shavano Park, 900 Saddletree Court, Shavano Park, Texas 78231
Phone: 210/ 493-3478 Fax: 210/ 492-3816

I AM INTERESTED IN SERVING ON THE FOLLOWING BOARDS OR COMMISSIONS:

(Note: Most of these Boards/Commissions require meetings that occur in the evenings)

Please indicate your order of preference by using 1st, 2nd, 3rd etc.

- _____ BOARD OF ADJUSTMENT (3 positions)
- _____ PLANNING & ZONING COMMISSION (5 Positions)
- _____ WATER ADVISORY COMMITTEE (3 Positions)
- 1 _____ CITIZEN TREE COMMITTEE
(To be determined positions - Minimum 4 residents)
- _____ INVESTMENT COMMITTEE (1 Position)

If you have a preference for one Board/Commission appointment over another, please tell us why:

Are you currently serving on a City of Shavano Park Board, Commission or Committee? ☒ Yes ☐ No
If yes, which one? Tree Committee Term Expires: 8/2019

Have you ever served on a City of Shavano Park Board, Commission or Committee? ☒ Yes ☐ No
If yes, list name of Board, Commission or Committee and term of office: _____

(Signature) [Signature] Date 9/6/2019

PLEASE RETURN THIS FORM ALONG WITH A LETTER OF INTEREST & AVAILABILITY TO:

Office of the City Secretary
900 Saddletree Court
Shavano Park, Texas 78231
210.493.3478 or Fax: 210.492.3816
ztedford@shavanopark.org

Staff Notations Only:

Date application received:

Council action:

If appointed, expiration of term:

Sec. 14-118. - Purpose.

To enhance the quality of life and the present and future health, safety, and welfare of all citizens, to enhance property values, and to ensure proper planting and care of trees on public property, the City Council herein creates a Citizens Tree Committee, establishes practices governing the planting and care of trees, and makes provision for the emergency removal of trees on private property under certain conditions.

Sec. 14-119. - Definitions.

As used in this article, the following words and phrases shall have the meanings indicated:

Damage means any injury to or destruction of a tree, including but not limited to: uprooting; severance of all or part the root system or main trunk; storage of material on or compaction of surrounding soil; a substantial change in the natural grade above a root system or around a trunk; surrounding the tree with impervious paving materials; or any trauma caused by accident or collision.

Nuisance means any tree, tree limb, shrub, or woody plant that has an infectious disease or insect; is dead or dying; obstructs the view of traffic signs or the free passage of pedestrians or vehicles; or threatens public health, safety and welfare.

Parkway means the area along a public street between the curb and the sidewalk; or if there is no curb or sidewalk, the unpaved portion of the area between the street right-of-way line and the paved portion of the street or alley.

Public property means all grounds and rights-of-way (ROWS) owned or maintained by the City.

Public tree means any tree or woody vegetation on City-owned or City-maintained property or rights-of-way.

Top or *topping* means the non-standard practice of cutting back of limbs to stubs within a tree's crown to such a degree so as to remove the normal canopy and disfigure the tree.

Sec. 14-120. - Reserved.

Sec. 14-121. - Tree Committee creation; membership; terms.

- (a) *Creation.* That a Shavano Park Citizens Tree Committee is hereby authorized to be established with membership being appointed as provided for herein. The committee is an ad hoc committee which may be abolished or suspended, and whose purposes and activities may be amended, at any time through by a majority vote of City Council.
- (b) *Membership.* Membership of the committee shall be as follows:
 - (1) One City staff member appointed by the City Manager;
 - (2) A maximum of ~~six~~ seven residents of the City of Shavano Park appointed by the City Council to represent the community at large; as described in chapter 2, article IV, section 2-87.

- (3) One International Society of Arboriculture Certified Arborist or forester appointed by the City Council, preferably a resident, to serve as subject matter expert for the committee;
- (c) *Chairperson.* Shall be selected as described in chapter 2, article IV, section 2-87.
- (d) *Terms.* Members shall serve for two-year staggered terms with the initial membership splitting one- and two-year terms evenly distributed as determined by City Council.
- (e) *Vacancies.* Shall be filled as described in chapter 2, article IV, section 2-87.

Sec. 14-122. - Responsibilities.

- (a) To provide non-binding advice and input regarding possible oak wilt, tree trimming and generally accepted urban forestry practices.
- (b) That citizen members are tasked with walking and/or driving in their area, looking for signs of oak wilt and/or poor tree trimming practices and reporting observations to staff.
- (c) The committee shall meet a minimum of four times a year at City Hall in compliance with the Texas Open Meetings Act. All meetings will be posted and held at City Hall and open to the public. The chair may schedule additional meetings or cancel scheduled meetings as deemed.
- (d) The first meeting of each year shall be a training meeting.
- (e) The committee shall give a report to Council twice a year.
- (f) Coordinate Arbor / Earth Day educational activities to include speaker series, educational booth with information on oak wilt and tree trimming.
- (g) Promote Arbor / Earth Day event.

Sec. 14-123. - Public Tree Care Authority.

- (a) *Delegation of authority and responsibility.* The City Manager and/or their designee, shall have the authority to oversee the planting, pruning, maintenance and removal of trees and woody plants growing in or upon all City streets, rights-of-way, City parks, and other public property. This shall include the removal of trees or tree limbs that may threaten electrical, telephone, gas, or any municipal water or sewer line, or any tree that is affected by fungus, insect, or other pest disease.
- (b) *Coordination among City departments.* All City departments will coordinate as necessary with the City Manager and will provide services as required to ensure compliance with this article as it relates to streets, alleys, rights-of-way, drainage, easements and other public properties not under direct jurisdiction of the City Manager.
- (c) *Interference.* No person shall hinder, prevent, delay, or interfere with the City Manager or his agents while engaged in carrying out the execution or enforcement of this article.

Sec. 14-124. - Public tree planting and care standards.

- (a) *Standards.* All planting and maintenance of public trees shall conform to the American National Standards Institute (ANSI) A-300 "Standards for Tree Care Operations" and shall follow all tree care Best Management Practices (BMPs) published by the International Society of Arboriculture.
- (b) *Requirements of franchise utility companies, Home Owners' Associations and Business Owners' Associations.* Franchise utility companies, Home Owners' Associations and Business Owners' Associations shall provide advance notice to the City of their intended non-emergency tree pruning schedule and location of impacted area. The maintenance of public trees for utility clearance shall conform to all applicable utility industry standards.
- (c) *Tree species list.* Desirable tree species for planting on public property shall conform to section 14-152, Table 5 "Protected Trees." Only trees from this list may be planted without written approval from the City Manager, or their designee.
- (d) *Planting distances.* The City Manager, or their designee, shall develop and maintain an official set of spacing requirements for the planting of trees on public property. No tree may be planted within the visibility triangle of a street intersection or within ten feet of a fire hydrant.
- (e) *Planting trees under electric utility lines.* Only trees listed 20 feet or less in height at maturity may be planted under or within 15 lateral feet of any overhead utility wire.
- (f) *Protection of public trees during construction.* Any person, firm, corporation, or City department performing construction in the area of any public tree must employ appropriate measures to protect the tree, including, but not limited to, placing barriers around the tree to prevent any damage.

Sec. 14-125. - Adjacent owner responsibility.

No property owner shall allow a tree, or other plant growing on his or her property or within the adjacent parkway to obstruct or interfere with pedestrians or the view of drivers, thereby creating a hazard. If an obstruction persists, the City Manager, or their designee, shall notify the property owner to prune or remove the tree or plant. If the owner fails to comply with the notice, the City may undertake the necessary work and charge the cost to the property owner.

Sec. 14-126. - Prohibition against harming public trees.

- (a) It shall be unlawful for any person, firm or corporation to damage, remove, or cause the damage or removal of a tree on public property without written permission from the City Manager, or their designee.
- (b) It shall be unlawful for any person, firm or corporation to attach any cable, wire or signs or any other object to any street, park, or public tree.
- (c) It shall be unlawful for any person, firm or corporation to "top" any public tree. Trees severely damaged by storms or other causes, where best pruning practices are impractical may be exempted from this provision at the determination of the City Manager, or their designee.

Sec. 14-127. - Certain trees declared a nuisance.

Any tree, or limb thereof, on private property determined by the City Manager, or their designee, to have contracted a communicable disease or insect; to be dead or dying; to obstruct the view of traffic signs or the free passage of pedestrians or vehicles; or that threatens public health, safety, and welfare is declared a nuisance and the City may require its treatment or removal. Private property owners have the duty, at their own expense, to remove or treat nuisance trees on their property. The City may remove such trees at the owner's expense if the owner does not comply with treatment and/or removal as specified by the City Manager, or their designee, within the written notification period.

Sec. 14-128. - Violations and penalty.

Any person, firm or corporation violating any provision of this article shall be deemed guilty of a misdemeanor and shall be subject to a fine not to exceed \$500.00 for each offense.

Sec. 14-129. - Appeals.

All appeals to a violation shall be heard by City Council.

Secs. 14-130—14-146. - Reserved.

ORDINANCE NO. O-2019-020

AN ORDINANCE AMENDING CHAPTER 14 - ENVIRONMENT, ARTICLE V. – CITIZENS TREE COMMITTEE AND PUBLIC TREE CARE OF THE CITY’S CODE OF ORDINANCES TO UPDATE THE MEMBERSHIP AND RESPONSIBILITIES OF THE CITIZENS TREE COMMITTEE; PROVIDING A CUMULATIVE & CONFLICTS CLAUSE, PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Shavano Park desires to adjust the Citizens Tree Committee membership;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS:

I

CODE AMENDMENT

Chapter 14 - ENVIRONMENT, Article V. – CITIZENS TREE COMMITTEE AND PUBLIC TREE CARE, Section 14-121. – Tree Committee creation; membership; terms, of the City of Shavano Park Code of Ordinances is hereby amended to read as follows:

Sec. 14-121. - Tree Committee creation; membership; terms.

- (a) *Creation.* That a Shavano Park Citizens Tree Committee is hereby authorized to be established with membership being appointed as provided for herein. The committee is an ad hoc committee which may be abolished or suspended, and whose purposes and activities may be amended, at any time through by a majority vote of City Council.
- (b) *Membership.* Membership of the committee shall be as follows:
 - (1) One City staff member appointed by the City Manager;
 - (2) A maximum of seven residents of the City of Shavano Park appointed by the City Council to represent the community at large; as described in chapter 2, article IV, section 2-87.
 - (3) One International Society of Arboriculture Certified Arborist or forester appointed by the City Council, preferably a resident, to serve as subject matter expert for the committee;
- (c) *Chairperson.* Shall be selected as described in chapter 2, article IV, section 2-87.
- (d) *Terms.* Members shall serve for two-year staggered terms with the initial membership splitting one- and two-year terms evenly distributed as determined by City Council.
- (e) *Vacancies.* Shall be filled as described in chapter 2, article IV, section 2-87.

II

CODE AMENDMENT

Chapter 14 - ENVIRONMENT, Article V. – CITIZENS TREE COMMITTEE AND PUBLIC TREE CARE, Section 14-122. – Responsibilities, of the City of Shavano Park Code of Ordinances is hereby amended to read as follows:

Sec. 14-122. - Responsibilities.

- (a) To provide non-binding advice and input regarding possible oak wilt, tree trimming and generally accepted urban forestry practices.
- (b) That citizen members are tasked with walking and/or driving in their area, looking for signs of oak wilt and/or poor tree trimming practices and reporting observations to staff.
- (c) The committee shall meet a minimum of four times a year at City Hall in compliance with the Texas Open Meetings Act. All meetings will be posted and held at City Hall and open to the public. The chair may schedule additional meetings or cancel scheduled meetings as deemed.
- (d) The first meeting of each year shall be a training meeting.
- (e) The committee shall give a report to Council twice a year.
- (f) Coordinate Arbor / Earth Day educational activities to include speaker series, educational booth with information on oak wilt and tree trimming.
- (g) Promote Arbor / Earth Day event.

III

CUMULATIVE CLAUSE

That this ordinance shall be cumulative of all provisions of the City of Shavano Park, Texas, except where the provisions of this Ordinance are in direct conflict with the provisions of such Ordinance, in which event the conflicting provisions of such Ordinance are hereby repealed.

IV

SEVERABILITY

That it is hereby declared to be the intention of the City Council of the City of Shavano Park that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinances, since the same would have been enacted by the City Council without incorporation in this ordinance of any such unconstitutional phrases, clause, sentence, paragraph or section.

V

PROPER NOTICE AND MEETING

It is hereby officially found and determined that the meeting at which this Ordinance was adopted was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government

VI

EFFECTIVE DATE

This ordinance shall be effective upon passage and publication as required by State and Local law.

PASSED AND APPROVED by the City Council of the City of Shavano this the 25th day of November, 2019.

ROBERT WERNER, MAYOR

Attest: _____

ZINA TEDFORD, CITY SECRETARY

Bill Hill

From: Joel Pierce <jdavid.pierce@yahoo.com>
Sent: Tuesday, November 12, 2019 4:27 PM
To: Bill Hill; Bill Hill
Subject: Agenda Item, Discussion/Action, Adding a 7th Tree Committee Member, and filling these Vacancies.

Bill, The Current Members of the Tree Committee are requesting that the City Council approve a 7th Member from the current six, and fill these positions. The Current Members all Voted to request that Randy Smith, be appointed to one of the vacant positions. He has told Me He would accept. As the past Chairman, He has contributed Greatly to the Committee's success. He is also the Citizen, Who has suffered directly from the Oak Wilt Fungus, and has a love for protecting the Shavano Park Community. Other Citizens to consider, would be those past members Who have showed an interest. Sincerely, David Pierce, Chair SP Tree Committee.

CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 10

Prepared by: Marcos Faz

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION: Discussion/action: Consider Resolution R- 2019-015 approving City Policy #16, Speed Hump Policy



Attachments for Reference:

- 1) Resolution R- 2019-015
- 2) City Policy #16, Speed Hump Policy
- 3) City Policy #16, Speed Hump Policy V2
- 4) Speed Hump Application
- 5) Examples of Petition Area

BACKGROUND / HISTORY:

Residents periodically request speed humps in residential areas around the City. Currently, the City does not have policies and procedures in place to address the request for speed humps. Several speed humps and bumps exist across the city. Some speed humps are found on residential roads such as on Windmill, Broken Bough Ln, and Long Bow Road. Speed bumps are found on commercial lots such as on the SWBC property and BCMS property. Although speed bumps are often used to describe both speed bumps and humps, there is a distinct difference between the two in regards to how they affect the speed of traffic and on what roads they are used on.

Speed Hump Example



Broken Bough Ln.



Windmill

Speed Bump Example



BCMS



SWBC

Speed humps are often used on residential streets to slow down traffic. A speed hump creates a gentle rocking sensation in a car passing over it if the car goes over the speed hump at the posted speed limit.

Speed bumps are used in areas where pedestrians and cars share space closely where cars must slow down significantly. A speed bump generally slows traffic down thus substantially allowing both pedestrians and cars time to react to one another. Speed bumps are generally not used on public roads; most speed bumps are in private drives and parking lots. Speed bumps generally force most vehicles to come to a near stop to avoid damage to their car.

DISCUSSION:

Sec. 311.002 of the Texas Transportation Code states that “A general-law municipality has exclusive control over the highways, streets, and alleys of the municipality.” It also states that “The municipality may open, change, regulate, or improve a street”. Thus, allowing the City to place speed humps in public roads to help regulate the speed of vehicles and insure the safety of people near or on City roads. City staff analysis concludes that any proposed policy should focus on speed humps on public roads, and not consider speed bumps.

Staff researched policies at San Antonio, Nacogdoches, New Braunfels, Kyle and Leon Valley. All cities have policies and procedures in place that allow for residents of that city to submit applications to have speed humps placed in residential areas. In addition, all require applicants to submit signatures of all residents in the vicinity that would be affected by the speed hump to show support. Staff researched the other suburban cities of Terrell Hills, Alamo Heights, Castle Hills and Hollywood Park and did not find any speed hump policies.

The proposed policy establishes procedures for residents to request placement or removal of speed humps. Request can be initiated by a resident or group of residents whose property is abutting the requested street segment. However, only a designated contact will receive all correspondence from the City. Requestors will be required to submit a petition documenting a minimum of 75% of the residential dwellings on the street that support the speed hump installation. Street refers to the street length that must be petitioned. It is a 2,000-foot segment generally centered on the proposed location of the humps, or the length of the block, whichever is greater.

Once the *Request for a Speed Hump Investigation* application is turned into the City, the City Secretary will pass the application to the City Engineer, City Manager, Public Works Director, Fire Chief and Police Chief for a review and assessment of eligibility requirements. After the application is reviewed by City Staff the City Secretary will pass the results of the preliminary review to the applicant. Council may or may not choose to establish a fee to address administrative and engineering costs.

If the application fails to meet the eligibility criteria or is disapproved by the City Council in the final review a written notice will be sent to the applicant.

In addition to requesting speed humps, applicants may also request a *Slow Down Children at Play* sign in lieu of a speed hump. These sign requests will be reviewed and accepted or denied by the City Manager in coordination with the Police Chief, Fire Chief and Public Works Director.

A major decision point for Council is whether the policy would require a traffic study to be conducted during the review of every speed hump request. Of four city speed hump policies reviewed by staff, all but one (Kyle) require a traffic study to be conducted during the review. Requiring a traffic study is not required by Texas Law. The Texas Manual on Uniform Traffic Control Devices (TMUTCD) Section 1A.09 Engineering Study and Engineering Judgment states: "This Manual describes the application of traffic control devices, but shall not be a legal requirement for their installation."

If a traffic study is required by the policy, the City would have to contract with a licensed Traffic Engineer to conduct the study. KFW Engineering and Surveying (the City Engineer) does not employ a traffic engineer, but reports a cost of \$1500.00 per traffic study. Staff reached out to Kimley Horn, a regional engineering firm with a traffic division, and found the cost to be \$4000.00 per study. This cost is borne by the City even if the speed hump policy is not approved during the administrative review or by Council.

One way to look at the question of the need for a traffic study:

- No Traffic Study. Outside of clear and obvious speed data, the requirement for 75% of affected residents on the requested street if concurred, would be a strong indication that a speed hump is probably warranted.
- Traffic Study. A Traffic Study professionally completed eliminates all questions regarding speeding and the speeds, but the 85% criteria of vehicles exceeding the posted speed limit by 5 mph more than likely will eliminate approval anywhere in Shavano Park.

Another area for consideration is whether the Policy should include a cost sharing between the City and the requestor.

The proposed Version 1 (v1) policy does not include a requirement to complete a traffic study. It does include criteria that "Vehicle speeds must frequently exceed the speed limit by 5 mph as posted". Staff's assessment is that we could determine with a fairly certain degree of accuracy if an area was experiencing excessive speeds by use of 1) observation; 2) speed radar trailer; or other means and would not incur the cost of a traffic study. Historic evidence does not indicate that we have residential streets with speeding problems. No cost sharing is proposed in v1.

The proposed Version 2 (v2) policy requires the City to complete a traffic study and includes criteria that 85% of vehicles exceed the posted speed limit by 5 mph. It additionally includes a cost sharing element between the City and the requestor. Cost sharing between the City and requestor will be established in the Fee Schedule by City Council.

COURSES OF ACTION: Approve adoption of Resolution R-2019-015 Speed Hump Policy; or alternatively amend / decline and give further guidance to staff.

v1 - No Traffic Study and No Cost Sharing
v2 – Yes Traffic Study and Yes Cost Sharing (TBD’ed)
or
another combination
v1a - No Traffic Study and **Yes** Cost Sharing
v2a – Yes Traffic Study and **No** Cost Sharing (TBD’ed)

FINANCIAL IMPACT:

- The typical cost of speed hump installation can range from \$500 - \$2,500. Cost can vary depending on the width of the road, and the specific design used for the speed hump.
 - Speed hump signs will also be need to warn oncoming traffic and typically range from \$50 - \$200 each.
 - A traffic study could cost \$1,500 - \$4,000 per request.
 - Engineer review may also cost \$100 - \$200 per request.
-

MOTION REQUESTED: Approve Resolution R-2019-015 adopting City Policy NO. 16 v1 Speed Hump Policy.

RESOLUTION R-2019-015

A RESOLUTION FROM THE CITY OF SHAVANO PARK CITY COUNCIL ADOPTING CITY POLICY #16 – SPEED HUMP POLICY TO ESTABLISH ELIGIBILITY CRITERIA AND PROCEDURES FOR THE INSTALLATION OF SPEED HUMPS ON PUBLIC STREETS.

WHEREAS, Sec. 311.002 of the Texas Transportation Codes authorizes the City of Shavano Park to have exclusive control over the public highways, streets and alleys of the City; and

WHEREAS, the City Council of the City of Shavano Park desires to create a policy to allow for property owners to request speed humps on public streets; and

WHEREAS, the City of Shavano Park City Council believe speed humps to be an effective and appropriate device for safely reducing speeds on certain streets when installed in accordance with the provisions of this policy; and

WHEREAS, the City of Shavano Park City Council hereby finds and determines that it is in the best interest of the City to establish a policy establishing procedures and criteria for the installation of speed humps on residential streets.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS THAT:

1. Resolution No. R-2019-015 is hereby adopted
2. Exhibit A, City Policy #16: Speed Hump Policy, is adopted in its entirety.

PASSED AND APPROVED by the City Council of the City of Shavano Park this the 25th day of November, 2019.

ROBERT WERNER
MAYOR

Attest:

ZINA TEDFORD
CITY SECRETARY



CITY OF SHAVANO PARK
900 Saddletree Court
Shavano Park, TX 78231

CITY POLICY 16

SUBJECT: Speed Hump Policy

25 November 2019

1. Reference

- a) Texas Transportation Code Sec. 311.002

2. Purpose. The purpose of this policy is to provide guidance on submission and approval procedures for speed humps on residential public roads.

3. Staff Point-of-Contact. The staff point of contact for this policy is the Public Works Director at 210.492.2841 or at pwdirector@shavanopark.org.

4. General

- a) Speed humps can be an effective and appropriate device for safely reducing speeds on certain types of street when installed in accordance with the provisions of this policy.
- b) In order for speed hump installation to be effective, they should be located selectively in accordance with defined transportation engineering criteria for the purpose of mitigating documented speeding problems. Proper installation will also minimize driver frustration and encourage safe driving practices.
- c) This policy promotes reasonable opportunities for residents and property owners most affected by a proposed speed hump to participate together in the process that leads to its installation.

5. Definitions

- a) *City Staff.* City Staff includes the Public Works Director, Fire Chief, Police Chief, and City Manager.
- b) *Speed Hump.* A speed hump is a gentle rise and fall of pavement surface placed in the roadway whose primary purpose is to reduce the speed of vehicles.
- c) *Speed Bump.* A speed bump is a sharp rise and fall of pavement surface placed in the roadway whose primary purpose is to significantly reduce the speed of vehicles. Speed bumps are used in places where pedestrians and cars share space closely like parking lots and driveways, or where significant reduction in speed is required.
- d) *Street.* Street refers to the street length that must be petitioned. It is a 2,000-foot segment generally centered on the proposed location of the humps, or the length of the block, whichever is greater.

6. Policy

- a) The City of Shavano Park may authorize speed humps on public roads in certain locations if all criteria for eligibility have been met.
- b) Private property in the City Limits is not governed or controlled by this Speed Hump Policy.
- c) Speed bumps are not authorized on Shavano Park public roads.
- d) Residents may request consideration for speed humps by filling out a *Request for a Speed Hump Investigation* application.
- e) Requests will be approved or denied by City Council, after a complete and thorough assessment is completed by City staff.
- f) If an application is approved by the City Council the applicant may choose to pay for 100% of the estimated cost of installation to help expedite the installation process.

- g) Applicants may request a *Slow Down Children at Play* sign in lieu of a speed hump. All sign request will be reviewed and accepted or denied by City staff.
- h) The process for requesting speed hump removal is the same as the process for installation, except there will be no City Engineer review.

7. Criteria for Eligibility

All of the following criteria must be satisfied for a street to be considered eligible for the installation of speed humps.

- a) Petition
 - i. A petition that documents a minimum of seventy-five percent (75%) of the residential dwellings on the street that support its installation.
- b) Location of the street
 - i. The adjacent land use along the street where the speed hump is proposed must be composed primarily of low-density residential dwellings.
- c) Operational characteristics of the street
 - i. The street must be used to provide access to abutting low-density residential properties (local residential streets) and/or to collect traffic for such streets (residential collector)
 - ii. There must be no more than one lane of moving traffic in each direction
 - iii. Vehicles speeds must frequently exceed the Speed Limit by 5 mph as posted
 - iv. The street must not be an identified primary emergency services route used for swift access of emergency vehicles to other portions of town. Final determination of emergency service routes is determined by the Police and Fire Chiefs.
 - v. The street must have a speed limit of no more than 30 mph as determined in accordance with State Law
- d) Geometric characteristics of the street
 - i. The street must have adequate sight distances to safely accommodate the speed hump as determined by the City Engineer
 - ii. The street must not have curves or grades that prevent safe placement of speed humps. Speed humps may not be located on streets that have a vertical grade greater than 5% or on their immediate approaches.
 - iii. The street must be paved and be at least 500 feet in length. If there are no curbs, a special design must be used to prevent vehicle runarounds.
 - iv. The street not be scheduled for resurfacing within the next two years
- e) Drainage Consideration
 - i. Streets are an integral part of the City's Storm Drainage System. Streets convey storm waters not contained in the underground pipes, channels, Swales, etc. Prior to installation of a speed hump, the City Engineer shall determine that the speed hump placement will not be detrimental to the conveyance of storm runoff or cause flooding of adjacent property.

8. Speed Hump Location

- a) A speed hump will not be located within 6 feet of a driveway or within an intersection
- b) Speed humps will not be located within 250 feet of a traffic control device or within 50 feet of an intersection
- c) A speed hump will not be located adjacent to a property if the occupant objects to its placement
- d) *No Parking* signs may be placed within 50 feet of the approaching side of the Speed hump if deemed necessary for safety of the driver

9. Procedures

- a) The request can be initiated by a resident or group of residents whose property is abutting the requested street segment.
- b) A request for speed humps begins by completing a *Request for a Speed Hump Investigation* application, which includes signatures from 3/4 of surrounding residents on the requested street.
- c) Once the *Request for a Speed Hump Investigation* application is turned into the City Secretary an administration and engineering fee will be charged to the requester in accordance with Appendix A – City of Shavano Park Fee Schedule found in the Code of Ordinances.
- d) The City Secretary will pass the application to the City Engineer and City staff for review and assessment of the eligibility requirements.
- e) After the application is reviewed by City staff the City Secretary will pass the results of the preliminary review to the applicant.
- f) If the application meets the eligibility criteria, the request will be placed on an agenda for City Council consideration.
- g) If the application fails to meet the eligibility criteria or is disapproved by the City Council in the final review, a written notice will be sent to the applicant.

Note: Requestors can determine properties on the proposed street by using the Bexar County Appraisal District website at www.BCAD.org within the map search function.



CITY OF SHAVANO PARK
900 Saddletree Court
Shavano Park, TX 78231

CITY POLICY 16 V2

SUBJECT: Speed Hump Policy

25 November 2019

1. Reference

- a) Texas Transportation Code Sec. 311.002

2. Purpose. The purpose of this policy is to provide guidance on submission and approval procedures for speed humps on residential public roads.

3. Staff Point-of-Contact. The staff point of contact for this policy is the Public Works Director at 210.492.2841 or at pwdirector@shavanopark.org.

4. General

- a) Speed humps can be an effective and appropriate device for safely reducing speeds on certain types of street when installed in accordance with the provisions of this policy.
- b) In order for speed hump installation to be effective, they should be located selectively in accordance with defined transportation engineering criteria for the purpose of mitigating documented speeding problems. Proper installation will also minimize driver frustration and encourage safe driving practices.
- c) This policy promotes reasonable opportunities for residents and property owners most affected by a proposed speed hump to participate together in the process that leads to its installation. It also provides for a sharing of the speed hump installation cost between the City and the neighborhood under certain conditions.

5. Definitions

- a) *City Staff.* City Staff includes the Public Works Director, Fire Chief, Police Chief, and City Manager.
- b) *Speed Hump.* A speed hump is a gentle rise and fall of pavement surface placed in the roadway whose primary purpose is to reduce the speed of vehicles.
- c) *Speed Bump.* A speed bump is a sharp rise and fall of pavement surface placed in the roadway whose primary purpose is to significantly reduce the speed of vehicles. Speed bumps are used in places where pedestrians and cars share space closely like parking lots and driveways, or where significant reduction in speed is required.
- d) *Street.* Street refers to the street length that must be petitioned. It is a 2,000-foot segment generally centered on the proposed location of the humps, or the length of the block, whichever is greater.
- e) *Traffic Engineering Study.* A traffic engineering study conducted by a licensed Engineer will include the operational, geometric and drainage characteristics of the street and a 24-hour traffic count.

6. Policy

- a) The City of Shavano Park may authorize speed humps on public roads in certain locations if all criteria for eligibility have been met.
- b) Private property in the City Limits is not governed or controlled by this Speed Hump Policy
- c) Speed bumps are not authorized on Shavano Park public roads.
- d) Residents may request consideration for speed humps by filling out a *Request for a Speed Hump Investigation* application.

- e) Requests will be approved or denied by City Council, after a complete and thorough assessment is completed by City staff and completion of a traffic engineering study.
- f) Cost sharing between the City and requestor will be established in the Fee Schedule by City Council. If an application is approved by the City Council the applicant may choose to pay for 100% of the estimated cost of installation to help expedite the installation process.
- g) Applicants may request a *Slow Down Children at Play* sign in lieu of a speed hump. All sign request will be reviewed and accepted or denied by City staff. A traffic engineering study is not required.
- h) The process for requesting speed hump removal is the same as the process for installation, except there will be no City Engineer review or traffic engineering study required.

7. Criteria for Eligibility

All of the following criteria must be satisfied for a street to be considered eligible for the installation of speed humps. Review of the criteria will be conducted during a traffic engineering study.

- a) Petition
 - i. A petition that documents a minimum of seventy-five percent (75%) of the residential dwellings on the street that support its installation.
- b) Location of the street
 - i. The adjacent land use along the street where the speed hump is proposed must be composed primarily of low-density residential dwellings.
- c) Operational characteristics of the street
 - i. The street must be used to provide access to abutting low-density residential properties (local residential streets) and/or to collect traffic for such streets (residential collector).
 - ii. There must be no more than one lane of moving traffic in each direction.
 - iii. The 85th percentile speed on the street section must be at least 5 mph over the regulatory speed limit.
 - iv. The street must not be an identified primary emergency services route used for swift access of emergency vehicles to other portions of town. Final determination of emergency service routes is determined by the Police and Fire Chiefs.
 - v. The street must have a speed limit of no more than 30 mph as determined in accordance with State Law.
- d) Geometric characteristics of the street
 - i. The street must have adequate sight distances to safely accommodate the speed hump as determined by the City Engineer.
 - ii. The street must not have curves or grades that prevent safe placement of speed humps. Speed humps may not be located on streets that have a vertical grade greater than 5% or on their immediate approaches.
 - iii. The street must be paved and be at least 500 feet in length. If there are no curbs, a special design must be used to prevent vehicle runarounds.
 - iv. The street not be scheduled for resurfacing within the next two years.
- e) Drainage Consideration
 - i. Streets are an integral part of the City's Storm Drainage System. Streets convey storm waters not contained in the underground pipes, channels. Swales, etc. Prior to installation of a speed hump, the City Engineer shall determine that the speed hump placement will not be detrimental to the conveyance of storm runoff or cause flooding of adjacent property.

8. Speed Hump Location

- a) A speed hump will not be located within 6 feet of a driveway or within an intersection
- b) Speed humps will not be located within 250 feet of a traffic control device or within 50 feet of an intersection
- c) A speed hump will not be located adjacent to a property if the occupant objects to its placement
- d) *No Parking* signs may be placed within 50 feet of the approaching side of the Speed hump if deemed necessary for safety of the driver

9. Procedures

- a) The request can be initiated by a resident or group of residents whose property is abutting the requested street segment.
- b) A request for speed humps begins by completing a *Request for a Speed Hump Investigation* application, which includes signatures from 3/4 of surrounding residents on the requested street
- c) Once the *Request for a Speed Hump Investigation* application is turned into the City Secretary an administration and engineering fee will be charged to the requester in accordance with Appendix A – City of Shavano Park Fee Schedule found in the Code of Ordinances.
- d) The City Secretary will pass the application to the City Engineer and City staff for review and assessment of the eligibility requirements and the completion of a traffic engineering study.
- e) After the application is reviewed by City staff and the findings of the traffic engineering study completed, the City Secretary will pass the results of the preliminary review to the applicant.
- f) If the application meets the eligibility criteria, the request will be placed on an agenda for City Council consideration.
- g) If the application fails to meet the eligibility criteria or is disapproved by the City Council in the final review a written notice will be sent to the applicant.

Note: Requestors can determine properties on the proposed street by using the Bexar County Appraisal District website at www.BCAD.org within the map search function.



CITY OF SHAVANO PARK

900 Saddletree Court
Shavano Park, TX 78231

Request for a Speed Hump Investigation

In order to start a speed hump investigation, the following information must be filled out as accurate as possible. If you have any questions call (210) 493 – 3478. Please drop off forms or send via email to the City Secretary at ztedford@shavanopark.org or in person at 900 Saddletree Court.

What is being requested?

- ☐ Request Speed Hump ☐ Request **Removal** of Speed Hump
- ☐ Request Children at Play Sign (Does **not** require petition signatures)

Requested Street Information

Please provide the name of the street for which a speed hump is being requested as well as the boundary streets. For example, requesting a speed hump on Smith Street from 1st Avenue to 5th Avenue. Please use street names for boundary limits, not block ranges.

Requested Street / Address :	Requested Street / Address	
Boundary Area:	From	To

EXAMPLE	Requested Street	
	Smith Street	
	1st Ave.	5th Ave.
	Boundary of Study Area	
	Requested Street: Smith St. Boundary Area: From: 1 st Ave. To: 5 th Ave.	

Contact Information

Name:	First Name	Last Name
Address:	Address Line 1 Address Line 2	
Phone #:	Phone #	
Email Address:	Email Address	

By signing below I agree to be the contact person for the speed hump investigation. I understand that speed humps are not automatically installed when requested, but each request will go through an evaluation process and require City Council approval.

X _____ Date: _____



CITY OF SHAVANO PARK

**900 Saddletree Court
Shavano Park, TX 78231**

Request for a Speed Hump Investigation

Neighborhood Support

In order to show neighborhood support for installing a speed hump a petition from residents documenting at least 75% of all households on the proposed street is required. Street refers to the street length that must be petitioned. It is a 2,000-foot segment generally centered on the proposed location of the humps, or the length of the block, whichever is greater.

To determine the number of signatures need use the formula below.

Number of properties = ____ multiplied by .75 = ____ (round up to the next whole number)

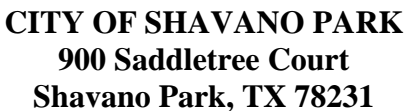
Note: Requestors can determine properties on the proposed street by using the Bexar County Appraisal District website at www.BCAD.org within the map search function.

For Office Use Only

Approved/Denied by: Public Works Director _____
Approved/Denied by: Police Chief _____
Approved/Denied by: Fire Chief _____
Approved/Denied by: City Engineer _____
Approved/Denied by: City Manager _____

Date: _____
Date: _____
Date: _____
Date: _____
Date: _____

Reason for Denial:

[illegible]

[illegible]



Find address or place

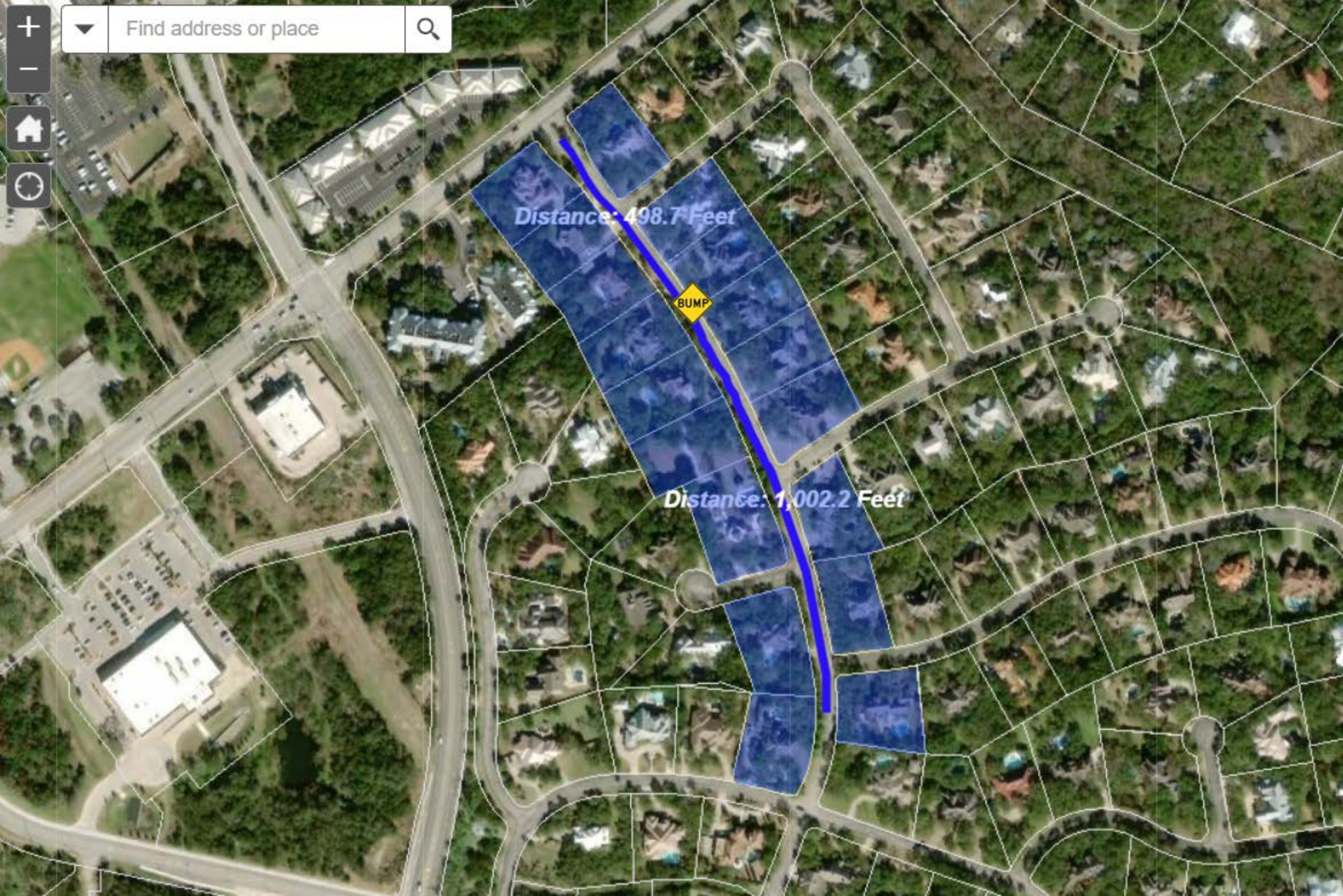


Distance: 1,005.2 Feet

BUMP

Distance: 1,003.9 Feet

300ft



CITY COUNCIL STAFF SUMMARY

Meeting Date: Nov 25, 2019

Agenda item: 6.11

Prepared by: Zina Tedford

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

Discussion / action – Reschedule / Cancel the Regular City Council Meeting scheduled for December 23rd - City Manager

x

Attachments for Reference: 1) December Calendar

BACKGROUND / HISTORY:

The December Regular Meeting is scheduled for Monday, December 23, 2018 – The Day before Christmas Eve.

DISCUSSION:

Monday, December 23, is the day before Christmas Eve holiday when many folks will be travelling. The meeting should be rescheduled or cancelled.

Looking forward to the December meeting, there are four Ordinances projected to be approved first reading (November) with final reading at the next regularly scheduled City Council meeting. One of the ordinances (annexation) should be completed prior to the end of the year.

The Planning and Zoning Commission is considering changes to the Signs Ordinance and these may or may not be passed to Council for action in December.

COURSES OF ACTION: Approve rescheduling City Council Meeting scheduled for December 23 to December 16 or select a different date; cancel the December meeting; or take no action.

FINANCIAL IMPACT: N/A

MOTION REQUESTED: Approve rescheduling City Council meeting from December 23rd to Dec. 16th.

December 2019

December 2019						
Su	Mo	Tu	We	Th	Fr	Sa
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31				

January 2020						
Su	Mo	Tu	We	Th	Fr	Sa
			1	2	3	4
5	6	7	8	9	10	11
12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
Dec 1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23	24	25	26	27	28
29	30	31	Jan 1, 20	2	3	4

CITY COUNCIL STAFF SUMMARY

Meeting Date: 11-25-19

Agenda item: 6.12

Prepared by: Zina Tedford

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

Discussion / action - Resolution No. R-2019-014 Voting Phase of Selection Process of Bexar Appraisal District Board of Directors for 2020-2021 Term - City Manager

Attachments for Reference:

- 1) Bexar Appraisal District Letter
- 2) Resolution R-2019-008 Nomination
- 3) Proposed Resolution R-2019-014

BACKGROUND / HISTORY:

In August, the City received a letter from Chief Appraiser Michael Amezcua regarding Nomination Phase of Selection Process for Election of Bexar Appraisal District Board of Directors. The City of Shavano Park approved Resolution R-2019-008 nominating Michele Bunting Ross to the Bexar Appraisal Board of Directors.

DISCUSSION: The City is in receipt of a letter dated Oct. 21, 2019 (attachment 1) referencing the Voting Phase of Selection Process for Election of Bexar Appraisal District Board of Directors 2020-21 ballot listing of all persons nominated by the taxing units and the voting entitlement of each taxing unit (City of Shavano Park – 5 votes).

As required by section 6.03(k), Texas Tax Code, eligible taxing units may now cast votes for the nominees. Staff drafted the resolution nominating Michele Bunting Ross as the City of Shavano Park's candidate for the Bexar Appraisal District Board of Directors.

COURSES OF ACTION: Cast votes (up to 5) for nominee of choice.

FINANCIAL IMPACT: N/A

STAFF RECOMMENDATION: Approve Resolution No. R-2019-014 nominating Michele Bunting Ross or another candidate for the Bexar County Appraisal Board of Directors.



BEXAR APPRAISAL DISTRICT

Michael A. Amezcuita
Chief Appraiser

411 N. Frio, P.O. Box 830248
San Antonio, TX 78283-0248
Phone (210) 224-8511
Fax (210) 242-2451

BOARD OF DIRECTORS

ROBERTO TREVIÑO-
Councilman District 1
Chair
CHERI BYROM
Vice-Chair
GEORGE TORRES
Secretary

SERGIO RODRIGUEZ -
Commissioner, PCT 1
J. KEITH HUGHEY

October 21, 2019

VIA CERTIFIED MAILER
7018 0360 0000 7847 2812
The Honorable Bob Werner, Mayor
City of Shavano Park
900 Saddletree Crt.
Shavano Park, TX 78231

RE: Voting Phase of Selection Process for Election of Bexar Appraisal District Board of Directors for 2020-2021


The Honorable Mayor Werner:

Nominations for the Bexar Appraisal District Board of Directors 2020–2021 terms have been submitted; thank you to those who participated in this process. As required by Section 6.03(k), Texas Tax Code, eligible taxing units may now cast votes for the nominees. Enclosed is a copy of the voting entitlement of each taxing unit and a ballot listing all persons nominated by the taxing units in alphabetical order.

Each taxing unit authorized to vote may do so by resolution of its governing body. Per Section 6.03(k), Texas Tax Code, **"The governing body of each taxing unit entitled to vote shall determine its vote by resolution and submit it to the Chief Appraiser before December 15."** To ensure your votes are counted, both the resolution and ballot must be submitted to the Chief Appraiser before December 15.

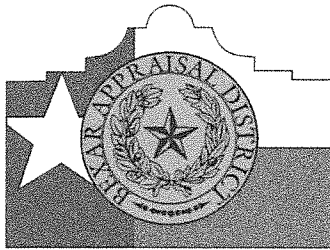
The results of this election will be delivered to each taxing unit by December 31. If you have any questions regarding this process, please contact me or my Executive Assistant, Jennifer Rodriguez, at (210) 242-2406.

Sincerely,


Michael A. Amezcuita
Chief Appraiser

Enclosures

CC Via Regular Mail:
Mr. Bill Hill, City Manager



OFFICIAL ELECTION BALLOT
OF BEXAR APPRAISAL DISTRICT BOARD OF DIRECTORS
TO SERVE TWO-YEAR TERM
FROM JANUARY 1, 2020 THROUGH DECEMBER 31, 2021

CANDIDATE

NUMBER OF VOTES

CHERI BYROM

(NOMINATED BY BOERNE ISD & SOUTHWEST ISD)

JON FISHER

(NOMINATED BY NORTH EAST ISD)

ERIN HARRISON

(NOMINATED BY CITY OF OLMOS PARK)

JUAN MANCHA

(NOMINATED BY HARLANDALE ISD)

RICARDO MORENO

(NOMINATED BY HARLANDALE ISD)

SERGIO "CHICO" RODRIGUEZ

(NOMINATED BY BEXAR COUNTY & BOERNE ISD)

MICHELE BUNTING ROSS

(NOMINATED BY CITY OF SHAVANO PARK)

RICK A. SCHRODER

(NOMINATED BY THE CITY OF HELOTES)

GEORGE TORRES

(NOMINATED BY BOERNE ISD & NORTHSIDE ISD)

ROBERTO TREVIÑO

(NOMINATED BY BOERNE ISD & CITY OF SAN ANTONIO)

TAXING UNIT NAME: _____

IMPORTANT - - VOTE MUST BE MADE BY RESOLUTION.
PLEASE BE SURE TO ATTACH THIS BALLOT TO YOUR RESOLUTION.

Taxing Unit	2018 Tax Levy	Sum of Levies	Votes
Alamo Community College	\$234,241,003.00	\$3,444,011,034.00	340
City of Alamo Heights	\$6,608,578.00	\$3,444,011,034.00	10
Alamo Heights I.S.D.	\$86,874,524.00	\$3,444,011,034.00	126
City of Balcones Heights	\$1,677,490.00	\$3,444,011,034.00	2
Bexar County	\$430,879,541.00	\$3,444,011,034.00	626
Boerne I.S.D.	\$28,525,661.00	\$3,444,011,034.00	41
City of Castle Hills	\$3,502,835.00	\$3,444,011,034.00	5
Town of China Grove	\$181,258.00	\$3,444,011,034.00	0
Comal I.S.D.	\$36,271,087.00	\$3,444,011,034.00	53
City of Converse	\$7,202,965.00	\$3,444,011,034.00	10
East Central I.S.D.	\$50,900,501.00	\$3,444,011,034.00	74
Edgewood I.S.D.	\$19,462,826.00	\$3,444,011,034.00	28
City of Elmendorf	\$580,957.00	\$3,444,011,034.00	1
Fair Oaks Ranch	\$3,539,982.00	\$3,444,011,034.00	5
Floresville I.S.D.	\$22,444.00	\$3,444,011,034.00	0
City of Grey Forest	\$47,484.00	\$3,444,011,034.00	0
Harlandale I.S.D.	\$27,089,514.00	\$3,444,011,034.00	39
City of Helotes	\$3,750,116.00	\$3,444,011,034.00	5
City of Hill County Village	\$492,593.00	\$3,444,011,034.00	1
Town of Hollywood Park	\$2,919,777.00	\$3,444,011,034.00	4
Judson I.S.D.	\$138,199,785.00	\$3,444,011,034.00	201
City of Kirby	\$2,362,028.00	\$3,444,011,034.00	3
City of Leon Valley	\$5,174,771.00	\$3,444,011,034.00	8
City of Live Oak	\$5,724,126.00	\$3,444,011,034.00	8
City of Lytle	\$4,694.00	\$3,444,011,034.00	0
Medina Valley I.S.D.	\$10,686,488.00	\$3,444,011,034.00	16
North East I.S.D.	\$541,627,378.00	\$3,444,011,034.00	786
Northside I.S.D.	\$745,227,522.00	\$3,444,011,034.00	1082
City of Olmos Park	\$3,034,976.00	\$3,444,011,034.00	4
City of San Antonio	\$616,612,215.00	\$3,444,011,034.00	895
San Antonio I.S.D.	\$287,345,389.00	\$3,444,011,034.00	417
City of Sandy Oaks	\$294,920.00	\$3,444,011,034.00	0
City of Schertz	\$1,902,720.00	\$3,444,011,034.00	3
Schertz-Cibolo I.S.D.	\$9,553,404.00	\$3,444,011,034.00	14
City of Selma	\$1,454,839.00	\$3,444,011,034.00	2
City of Shavano Park	\$3,462,128.00	\$3,444,011,034.00	5
City of Somerset	\$598,342.00	\$3,444,011,034.00	1
Somerset I.S.D.	\$5,136,404.00	\$3,444,011,034.00	7
South San Antonio I.S.D.	\$25,470,756.00	\$3,444,011,034.00	37
Southside I.S.D.	\$23,149,188.00	\$3,444,011,034.00	34
Southwest I.S.D.	\$56,306,651.00	\$3,444,011,034.00	82
City of St. Hedwig	\$579,134.00	\$3,444,011,034.00	1
City of Terrell Hills	\$5,287,422.00	\$3,444,011,034.00	8
City of Universal City	\$7,825,368.00	\$3,444,011,034.00	11
City of Windcrest	\$2,219,250.00	\$3,444,011,034.00	3
TOTAL	\$3,444,011,034.00		5000

Texas Property Tax Code Sec. 6.03

"The voting entitlement of a taxing unit that is entitled to vote for directors is determined by dividing the total dollar amount of property taxes imposed in the district by the taxing unit for the preceding tax year by the sum of the total dollar amount of property taxes imposed in the district for that year by each taxing unit that is entitled to vote, by multiplying the quotient by 1,000, and rounding the product to the nearest whole number. That number is multiplied by the number of directorships to be filled. A taxing unit participating in two or more districts is entitled to vote in each district in which it participates, but only the taxes imposed in a district are used to calculate voting entitlement in that district."

**A RESOLUTION NOMINATING CANDIDATE(S) FOR THE ELECTION OF
THE BEXAR APPRAISAL DISTRICT BOARD OF DIRECTORS FOR 2020-21**

WHEREAS, it is the desire of the City of Shavano Park to nominate a candidate(s) to the Bexar Appraisal District Board of Directors for the term beginning January 1, 2020 and ending December 31, 2021; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS, the City of Shavano Park nominates the following candidates Michele Bunting Ross for the Bexar Appraisal District Board of Directors for the term beginning January 1, 2020 through December 31, 2021.

PASSED AND APPROVED this the 26th day of August 2019.

Robert Werner, Mayor

Zina Tedford, City Secretary

RESOLUTION R-2019-014

A RESOLUTION SUBMITTING THE CITY OF SHAVANO PARK, TEXAS VOTES FOR THE BEXAR APPRAISAL BOARD OF DIRECTORS 2020-2021 TERM

WHEREAS, Chapter 6 of the Texas Tax Code authorizes the City of Shavano Park as a taxing unit in Bexar County to cast votes in favor a nominated member of the Bexar County Appraisal District's Board of Directors based on the number of votes allocated to the City by law; and

WHEREAS, the City has been duly allocated five votes (5) which the City may cast all in favor of one candidate or distribute among the candidates for any number of directorships; and

WHEREAS, Per section 6.03(k), Texas Tax Code, "the governing body of each taxing unit entitled to vote shall determine its vote by resolution and submit it to the Chief Appraiser before December 15th".

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK TEXAS, THAT:

1. The City of Shavano Park is entitled to five (5) votes for candidates of any of the vacant directorships to be filled for the upcoming 2020-2021 term.
2. The City shall cast the City's votes as follows:

Candidate:

No. of Votes Cast:

PASSED AND APPROVED by the City Council of the City of Shavano Park at its Regular meeting held on this the 25th day of November, 2019.

Robert Werner
MAYOR

Attest: _____
Zina Tedford, City Secretary

CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 6.13

Prepared by: Brandon Peterson

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

Discussion / action - Resolution R-2019-018 authorizing the submittal of a grant application to the 2019 Texas Volkswagen Environmental Mitigation Program to request funding for the replacement of the 2006 International 4200 dump truck in Fiscal Year 2019-2020.

x

Attachments for Reference:

- 1) City Grant Opportunity Application
- 2) Resolution R-2019-018

BACKGROUND / HISTORY: The City purchased a used 2006 International 4200 dump truck from Hertz Rental in 2012. The dump truck serves multiple purposes within the Public Works and Water Departments. Since October of 2017, the dump truck has been in the shop for various issues costing the City approximately \$5,769. The brakes have locked up while driving on Loop 1604 with a full load of material. The electronics on the dashboard have shown to have adjustments on a regular basis, the truck needs jump started regularly even though the batteries have all be changed out. New tires were required due to the brakes locking up and burning the tread. The regular maintenance has now turned into a safety issue, where none of the staff feels comfortable driving the truck outside the city for material.

DISCUSSION: Texas Commission on Environmental Quality (TCEQ) is inviting applications from persons who operate vehicles configured to collect and transport municipal solid waste (refuse vehicles) in areas designated as Priority Areas. (i.e. Bexar County) Incentive funding is available to replace or repower eligible refuse vehicles to reduce the emissions of nitrogen oxides in designated eligible counties.

The grant program implements a portion of the Texas Volkswagen Environmental Mitigation Program established and administered by TCEQ. The grant request allows the replacement of any Class 7 or 8 Dump Truck..

After researching the dump trucks VIN, and working with TCEQ staff; the dump truck meets 100% of the requirements. The grant has a matching funds requirement of 20% (80/20). The projected cost of a new Class 7 dump truck (same size) is \$84,670. The projected basic cost for the City is \$16,934 (additional costs may apply but our not known or expected to be significant). The City has saved \$20,000 in the Capital Replacement Fund for a future new dump truck.

Upon accepting the grant and getting the new truck; the old truck must be destroyed as part of the agreement of the grant.

Staff is working with a salvage yard to determine if any additional costs will be incurred for disposing of the dump truck.

COURSES OF ACTION: Approve or disapprove the request to submit the application to TCEQ with 20% matching funds required.

FINANCIAL IMPACT: Grant match is 80/20. City could pay up to \$20,000 depending on the match value and other costs. The City has saved \$20,000 in the Capital Replacement Fund for future purchase of a dump truck.

MOTION REQUESTED: Approve the submittal of the grant, with city matching funds from the Capital Replacement Fund.



Date Submitted: 11-18-19

CITY OF SHAVANO PARK
GRANT OPPORTUNITY APPLICATION

Please provide all relevant grant documentation attached to this application.

Incomplete applications will not be processed.

Please submit application to the Finance Director.

Grant Description

Purpose of Grant: To replace the large dump truck (2006 International 4200)

Grant Title: Texas Volkswagen Environmental Mitigation Program - Grant Projects to Replace or Repower Refuse Vehicles

Grant Issuing Entity: Texas Commission on Environmental Quality

Submission Deadline: Open until all money is spent

Other Timeline Details: Money is given out on first come first serve basis

Financial Information

*Grant Value (\$): \$74,748 or 80% of quote

*Matching Requirements (percentage or dollar amount): 20% City and 80% Grant

Proposed Budget Line Item: 70-603-8050

Foreseen Maintenance Costs: City has spent \$5,769.81 since 10/1/17 and a new vehicle would have less

Reviewed by

Finance Director: Branda Macey Date: 11/18/2019

City Manager: Bill Hin Date: 11/18/19

*Grants that have matching requirements, are in excess of \$5,000 or combine multiple grants together for a single project require Council approval (see Grant policy for details).

City Council Approved on this Date: _____

CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 6.14

Prepared by: MPT Ross

Reviewed by: City Manager

AGENDA ITEM DESCRIPTION:

Discussion / action - City Manager 363 Review. Possible Executive Session pursuant to Texas Government Code §551.074, Personnel Matters – Mayor Pro Tem Ross



Attachments for Reference: 1)

BACKGROUND / HISTORY:

The 363 was conducted and recently completed. Committee will brief Council on findings.

DISCUSSION:

Whether or not any further discussion or action needs to be done.

COURSE OF ACTION: To either accept the report as presented or to discuss possible further actions.

FINANCIAL IMPACT: None at this time

MOTION REQUESTED: To accept the report as presented.

CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 6.15

Prepared by: Bill Hill

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION: Discussion / action - Amendment to the City Manager Employment Agreement - Possible Executive Session pursuant to Texas Government Code §551.074

☒

Attachments for Reference:

- 1) Summary of other City Manager's Contract
- 2) Draft Amendment
- 3) Existing Employment Contract

BACKGROUND / HISTORY: The City and City Manager entered into a contract for employment on August 26th, 2013. In this contract Section 13. Termination and Severance provided that: In the event Manager is terminated by the City and the Manager is then willing and able to perform all the duties of the City Manager under this Agreement, then, in that event, the City agrees to pay the Manager a lump sum cash payment equal to the following:

1. Six (6) months full base salary if terminated with the first year of employment;
2. Four (4) months full base salary if terminated with the second year of employment;
3. Two (2) months full base salary if terminated with the third year of employment;
4. Manager shall not be entitled to any severance if terminated during or after the fourth year of employment

On October 24th 2016, Council approved the first amendment to the contract for employment, which provided for 5 days of executive leave and provided a termination and severance clause effective for three years. That agreement was signed on November 26th, 2016.

DISCUSSION: Manager requests renewal of the contract to update the Termination and Severance paragraph to include six months full base salary if terminated and the City Manager is willing and able to perform all the duties of the City Manager. Manager requests no time limitation in period of effectiveness.

Salary Compensation. Current contract provides for no compensation after November 26th, 2019 should manager be willing and able to perform duties and is terminated. All 20 City Managers polled have a contract with their City and have a compensation clause. The average compensation is a lump sum payment of 6.95 months of full base salary.

COURSES OF ACTION: Approve or Disapprove

FINANCIAL IMPACT: None at this time; could have impact in future, but not expected.

MOTION REQUESTED: Approve proposed Amendment to the City Manager Employment Agreement as presented.

CITY	CITY MANAGER CONTRACT (Y or N)	TERMINATION and SEVERANCE ADDRESSED	# MONTHS FULL BASE SALARY IF TERMINATED & MANAGER REMAINS WILLING & ABLE TO PERFORM DUTIES
CONVERSE	Y	Y	6
UVALDE	Y	Y	6
ALAMO HEIGHTS	Y	Y	4
SELMA	Y	Y	6
LIVE OAK	Y	Y	3
BALCONES HEIGHTS	Y	Y	3; Plus 1 mo / year (6 max) - @ 6
FREDERICKSBURG	Y	Y	6; Plus 1 mo / year (12 max) - @ 12
TERRELL HILLS	Y	Y	3
LA VERNIA	Y	Y	3
CASTROVILLE	Y	Y	6
SEGUIN	Y	Y	6
FAIR OAKS RANCH	Y	Y	12; plus 6 mo Medical
LEON VALLEY	Y	Y	6; Plus 1 mo / year (12 max) - @ 10
BOERNE	Y	Y	12
KIRBY	Y	Y	4
SCHERTZ	Y	Y	6
CIBOLO	Y	Y	6; Plus 1 mo / year) (9 max) - @9
UNIVERSAL CITY	Y	Y	12
CASTLE HILLS	Y	Y	1
KERRVILLE	Y	Y	12

Average = 6.95

**SECOND AMENDMENT
TO
CITY OF SHAVANO PARK
AGREEMENT FOR PROFESSIONAL SERVICES
AND EMPLOYMENT AS CITY MANAGER**

THIS SECOND AMENDMENT FOR PROFESSIONAL SERVICES AND EMPLOYMENT AGREEMENT AS CITY MANAGER (this “agreement”), is made and entered into effective on the 25th day of November 2019, by and between the City of Shavano Park, Texas, a municipal corporation (the “City”), and William V. (Bill) Hill III, (the “Manager”).

WHEREAS, the City has previously entered into a Professional Services and Employment Agreement (the “Employment Agreement”) dated August 30, 2013 with the Manager; and

WHEREAS, the City has previously amended the Professional Services and Employment Agreement (the “Employment Agreement”) dated November 26th, 2016 with the Manager; and

WHEREAS, the City Council as agreed to reflect the Manager’s compensation and revise other employment considerations.

NOW, THEREFORE, in consideration of mutual representations, warranties, covenants, and conditions exchanged herein, the City and the Manager agree to amend the Employment Agreement as follows:

Section 13. Termination and Severance.

- A. **Termination.** In the event Manager is terminated by the City and the Manager is then willing and able to perform all the duties of the City Manager under this Agreement, then, in that event, the City agrees to pay the Manager a lump sum cash payment equal to [six \(6\) months full base salary if terminated](#).

However, if the Manager is terminated because of a conviction for a misdemeanor involving moral turpitude or personal gain, or any felony, then, in that event, the City shall have no obligation to pay severance payments designated in this Section 13.

IN WITNESS WHEREOF, the City and the Manager have executed this Agreement effective as of the date first written above.

CITY OF SHAVANO PARK, TEXAS

By: Robert Werner, Mayor

ATTEST:

Zina Tedford, City Secretary

William V. Hill III

**FIRST AMENDMENT
TO
CITY OF SHAVANO PARK
AGREEMENT FOR PROFESSIONAL SERVICES
AND EMPLOYMENT AS CITY MANAGER**

THIS FIRST AMENDMENT FOR PROFESSIONAL SERVICES AND EMPLOYMENT AGREEMENT AS CITY MANAGER (this "agreement"), is made and entered into effective on the 28th day of November 2016, by and between the City of Shavano Park, Texas, a municipal corporation (the "City"), and William V. (Bill) Hill III, (the "Manager").

WHEREAS, the City has previously entered into a Professional Services and Employment Agreement (the "Employment Agreement") dated August 30, 2013 with the Manager; and

WHEREAS, the City Council as agreed to reflect the Manager's compensation and revise other employment considerations.

NOW, THEREFORE, in consideration of mutual representations, warranties, covenants, and conditions exchanged herein, the City and the Manager agree to amend the Employment Agreement as follows:

Section 8. Leave Benefits. All provisions of the rules and regulations of the City applicable to fringe benefits, leave, and working conditions as they now exist or hereafter may be amended, shall also apply to the Manager as they apply to all other employees of the City, in addition to the benefits enumerated specifically for the benefit of the Manager herein. Additionally, the Manager shall annually be credited with five (5) days of executive leave.

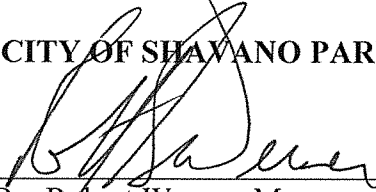
Section 13. Termination and Severance.

- A. Termination.** In the event Manager is terminated by the City and the Manager is then willing and able to perform all the duties of the City Manager under this Agreement, then, in that event, the City agrees to pay the Manager a lump sum cash payment equal to six (6) months full base salary if terminated within three (3) years of the date of this amendment.

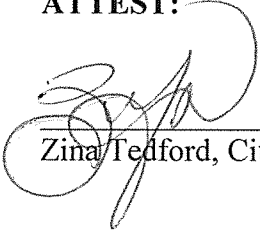
However, if the Manager is terminated because of a conviction for a misdemeanor involving moral turpitude or personal gain, or any felony, then, in that event, the City shall have no obligation to pay severance payments designated in this Section 13.

IN WITNESS WHEREOF, the City and the Manager have executed this Agreement effective as of the date first written above.

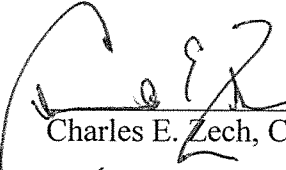
CITY OF SHAVANO PARK, TEXAS

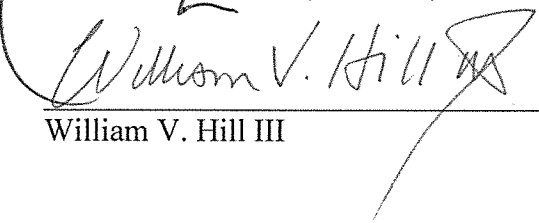

By: Robert Werner, Mayor

ATTEST:


Zina Tedford, City Secretary

APPROVED AS TO FORM:


Charles E. Zech, City Attorney


William V. Hill III

1. CALL MEETING TO ORDER

Mayor Werner called the Special meeting to order at 6:30 p.m.

PRESENT:

Alderman Berrier

Alderman Heintzelman

Alderman Hisel

Alderman Simpson

Mayor Werner

ABSENT:

Mayor Pro Tem Ross

2. PLEDGE OF ALLEGIANCE AND INVOCATION

Alderman Hisel led the Pledge of Allegiance to the Flag. Alderman Heintzelman led the Invocation.

3. CITIZENS TO BE HEARD

Citizens Rehm, Kahn, Fanning, Carvajal, Pierce, Ogden, Lindhan, Closner, Florine, Smoot, and Zucker addressed City Council regarding agenda items 6.1, 6.2, 6.3 6.7, 6.9, 6.11 and various topics.

4. CITY COUNCIL COMMENTS

City Council welcomed everyone to the meeting.

5. PRESENTATIONS, COMMENDATIONS AND ANNOUNCEMENTS

5.1. Scenic City Recognition - Mayor Werner

Mayor Werner recognized City of Shavano Park Scenic City Recognition.

5.2. National Night Out Recognition- Mayor Werner

Mayor Werner recognized the participants of the 2016 National Night Out.

5.3. Holiday Event - Mayor Pro Tem Ross

Mayor Werner invited the citizens of Shavano Park to the Holiday Event scheduled for December 3rd from noon to dusk at City Hall.

6. REGULAR AGENDA ITEMS

6.1. Discussion / action - Selection Boards, Commissions, and Committees - City Manager

6.1.1. Tree Committee - At least one appointment for two-year terms.

Alderman Heintzelman made a motion appoint all applicants to the Tree Committee.

J. David Pierce

A.D. Smoot

Vicky Maisel

MJ Smoot

Gerald Reamey
Kenneth Chorn
Louise Chumley
Nancy Bula

Alderman Simpson seconded the motion.
The motion carried unanimously.

6.2. Public Hearing - Council shall conduct a public hearing to receive testimony and comments from members of the public on proposed amendments to Chapter 6 and Chapter 36 of the City's Code of Ordinances regarding accessory buildings, outbuildings, and portable buildings

Public Hearing opened 7:10 p.m.

City Manager Hill gave an overview of the proposed amendments to Chapter 6 and Chapter 36 of the City's Code of Ordinances regarding accessory buildings, outbuildings and portable buildings. Additional discussion was held regarding the public hearings, post card mailings and the Planning & Zoning Hearing Meeting where the Planning & Zoning Commission voted to return the proposed amendments to the Sub-Committee to reevaluate the proposed amendments and will be contacting the citizens that volunteered to assist in the review of the proposed amendments.

Public Hearing closed 7:36 p.m.

6.3. Discussion - Proposed amendments to Chapter 6 and Chapter 36 of the City's Code of Ordinances regarding accessory buildings, outbuildings, and portable buildings - City Manager Hill and Commissioner Aleman.

Chairman Janssen and Commissioner Aleman discussed the proposed amendments and made note that City Council had tasked Planning & Zoning Commission review this item. At the Planning & Zoning Commission public hearing, a number of citizens volunteered to assist the Sub-Committee.

6.4. Public Hearing - Council shall conduct a public hearing to receive testimony and comments from members of the public on proposed amendments to the City of Shavano Park's Zoning regulations Chapter 36, Article VI, Table 1 regarding front fences

Public hearing opened at 7:45 p.m.

City Manager Hill presented an overview of the proposed amendments to the City of Shavano Park's Zoning regulation Chapter 36, Article VI, Table 1 regarding front fences.

Public hearing closed at 7:47 p.m.

6.5. Discussion / action - Ordinance O-2016-016 proposed amendments to the City of Shavano Park's Zoning regulations Chapter 36, Article VI, Table 1 regarding front fences (first reading) – City Manager Hill

Alderman Simpson made a motion to approve Ordinance O-2016-016 proposed amendments to the City of Shavano Park's Zoning regulations Chapter 36, Article VI, Table 1 regarding front fences (first reading)

Alderman Heintzelman seconded the motion.

The motion to approve O-2016-016 carried unanimously.

6.6. Discussion / action - After Action Review National Night Out - Alderman Simpson / Chief Lacy / City Manager / Etta Fanning

Alderman Simpson stated the City of Shavano Park had a superb National Night Out celebration. Alderman Simpson thanked the participating neighborhoods, police department and fire department. A successful event due to collaborative efforts of Dr. Fanning, former Police Chief Creed, Police Officers, Chief Lacy, Firefighters and Chief Naughton. Alderman Simpson asked that an additional McGruff be considered and funds allocated to offset costs for the participating neighborhoods in future.

Dr. Fanning presented the Neighborhood Watch Report which outlined the number of participating neighborhoods and participants.

Chief Lacy and Chief Naughton presented their reports to City Council.

City Manager Hill reviewed the costs of the event.

6.7. Discussion / action - Complaint by Citizen Vicky Maisel – Mayor Pro Tem Ross / Ald. Berrier

Alderman Berrier made a motion to discuss this item.

Alderman Heintzelman seconded the motion.

Discussion followed regarding the process.

Alderman Hisel made a motion to postpone this item until the complainant is present.

Alderman Berrier seconded the motion.

The motion to postpone this agenda item until the complainant past with the following vote:

AYES: 3; NAYES: 1 (Alderman Simpson)

6.8. Discussion / action - Authorizing the City Manager to negotiate with recommended firm(s) for the selection of City of Shavano City Engineer - City Manager

Alderman Simpson made a motion to authorize the City Manager to negotiate with recommended firm(s) for the selection of City of Shavano Park City Engineer with the caveat to reissue Request for Qualifications (RFQ's) if negotiations do not work out.

Alderman Heintzelman seconded the motion.

The motion carried unanimously.

6.9. Discussion / action - authorizing the demonstration of one (1) acre underbrush in the municipal tract under the Firewise Program - City Manager

Alderman Heintzelman made a motion to authorize the demonstration of one (1) acre underbrush in the municipal tract under the Firewise Program.

Alderman Berrier seconded the motion.

The motion to authorize the demonstration of one (1) acre underbrush in the municipal tract under the Firewise Program carried unanimously.

6.10. Discussion / action - Ordinance O-2016-017 proposed amendments to Appendix A – City of Shavano Park Fee Schedule to provide the Board of Adjustments application for special exception fee, commercial sign permit fee and solar permit fee (first reading) - Ald. Simpson / Mayor Pro Tem Ross

At this time with the consensus of City Council, Mayor Werner deviated to Consent Agenda items 8.6 and 8.7.

Alderman Simpson made a motion to approve Consent Agenda items 8.6 and 8.7.

Alderman Berrier seconded the motion.

The motion to approve Consent Agenda item 8.6 and 8.7 was approved unanimously.

Mayor Werner deviated back to agenda item 6.10.

City Manager Hill presented an overview of the proposed amendments to Appendix A – City of Shavano Park Fee Schedule to provide the Board of Adjustments application for special exception fee, commercial sign permit fee and solar permit fee

Alderman Simpson made a motion to approve O-2016-017.

Alderman Berrier seconded the motion.

The motion to approve O-2016-017 for the first reading passed unanimously.

6.11. Discussion / action - Determine the feasibility of and whether this Council desires to pursue communication with the governing authority of CPS (i.e., the City Council of the City of San Antonio) asking that Shavano Park obtain representation on the CPS Board and/or that Shavano Park residents be allowed to avoid the opt out fee and/or that Shavano Park be able to negotiate a different/lower fee - Ald. Hisel

Alderman Hisel made a motion to determine the feasibility of and whether this Council desires to pursue communication with the governing authority of CPS (i.e., the City Council of the City of San Antonio) asking that Shavano Park obtain representation on the CPS Board and/or that Shavano Park residents be allowed to avoid the opt out fee and/or that Shavano Park be able to negotiate a different/lower fee.

Alderman Simpson seconded the motion.

The motion to determine the feasibility of and whether this Council desires to pursue communication with the governing authority of CPS (i.e., the City Council of the City of San

Antonio) asking that Shavano Park obtain representation on the CPS Board and/or that Shavano Park residents be allowed to avoid the opt out fee and/or that Shavano Park be able to negotiate a different/lower fee carried with the following vote:

AYES: 3; NAYES 1 (Alderman Berrier)

6.12. Discussion / action - Consider revision of ordinance to allow carports to be substituted for garage space, open to street, load in front and be freestanding. In addition, ordinance should specify type of structures allowed – Mayor Pro Tem Ross

City Council consensus was to postpone this item to the next meeting.

6.13. Discussion / action - Amendment to the City Manager Employment Agreement - Possible Executive Session pursuant to Texas Government Code §551.074, Personnel Matters

Alderman Berrier made a motion to approve the first amendment to the City Manager Employment Agreement.

Alderman Heintzelman seconded the motion.

Alderman Simpson made a substitute motion to leave the 3 weeks vacation in the contract amendment and strike the severance portion of the contract amendment.

Alderman Hisel seconded the motion.

Alderman Simpson made a motion to adjourn into Executive Session to discuss amendment to the City Manager Employment Agreement pursuant to Texas Government Code §551.074, Personnel Matters

Alderman Heintzelman seconded the motion.

City Council adjourned into Executive Session at 9:14 pm.

The open meeting reconvened at 9:17 p.m.

City Council will now vote on the substitute motion of 3 weeks vacation.

Alderman Simpson	– AYE
Alderman Heintzelman	– NAY
Alderman Hisel	– AYE
Alderman Berrier	- NAY

Vote is as follows: AYES: 2; NAYES: 2 (Alderman Heintzelman / Alderman Berrier)

Mayor Werner cast a vote to break the tie. Mayor Werner voted NAY.

The vote on the substitute motion is as follows:

AYES: 2 NAYES: 3 (Alderman Heintzelman / Alderman Berrier / Mayor Werner)

The motion to substitute has failed.

Alderman Heintzelman made a substitute motion that in Section 8, we credit 5 days executive leave and in addition amend Section 13a to reflect 6 months full base salary if terminated within 3 years of the date of this amendment.

Alderman Berrier seconded the motion.

The vote is AYES: 2; NAYES: 2

Mayor Werner cast a vote to break the tie. Mayor Werner voted AYE.

The motion carried with the following vote:

AYES: 3; NAYES 2 (Alderman Simpson / Alderman Hisel)

The vote to approve the motion as amended in its entirety which is to credit 5 days executive leave and reflect the language Section 13a to reflect 6 months full base salary if terminated within 3 years of the date of this amendment.

The vote is AYES: 2; NAYES: 2

Mayor Werner cast a vote to break the tie. Mayor Werner voted AYE.

The motion passed with the following vote:

AYES: 3; NAYES 2 (Alderman Simpson / Alderman Hisel)

7. CITY MANAGER'S REPORT

All matters listed under this item are considered routine by the City Council and will only be considered at the request of one or more Aldermen. Coincident with each listed item, discussion will generally occur.

7.1. Building Permit Activity Report

7.2. Fire Department Activity Report

7.3. Municipal Court Activity Report

7.4. Police Department Activity Report

7.5. Public Works Activity Report

7.6. Finance Report (September)

City Council did not request discussion of any of the above agenda items 7.1-7.6.

8. CONSENT AGENDA

All matters listed under this item are considered routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired by any Alderman on any item, that item will be removed from the consent agenda and will be considered separately.

- 8.1. Approval - Special City Council Meeting, August 24, 2016
- 8.2. Approval - Special City Council Meeting, September 12, 2016
- 8.3. Approval - Special City Council Meeting, September 16, 2016
- 8.4. Approval - City Council Meeting, September 19, 2016
- 8.5. Accept - Planning & Zoning Commission Meeting Minutes, September 7, 2016
- 8.6. Approval - Replat of Subdivision Plat of Shavano Park, Frost Bank. Replat to add an additional approximate square footage of 18,261 to the 1.78 acre tract of land out of an 86.94 acre tract of land as conveyed to Rogers Shavano Park unit 18/19, LTD. and described in special warranty deed with vendor's lien recorded in volume 10075, pages 1609-1624 of the official public records of Bexar County, Texas, out of the Collin C. McRea survey number 391, abstract 482, County Block 4782 in the City of Shavano Park, Bexar County, Texas.
- 8.7. Approval - Amending plat of Shavano Park Lot 418, Block 9. This plat amends Lot 418, Block 9, of the Shavano Park Subdivision previously recorded in Volume 4600, Page 105 of the Deed and Plat Records of Bexar County, Texas to include the quitclaimed portion of Saddletree Road (.037 of an acre).
- 8.8. Approval - Ordinance O-2016-010 amendments to City of Shavano Park Code of Ordinances, Chapter 24 – Signs (Second Reading)
- 8.9. Approval - Ordinance O-2016-015 amending Chapter 14, Article II, Section 14-21 of the City of Shavano Park Code of Ordinances to provide revised durations of residential and commercial tree permits (Second Reading)
- 8.10. Approval - R-2016-021 Designation of City of Shavano Park Official Paper
- 8.11. Approval - Disposal of City Equipment / Furniture

Alderman Berrier made a motion to approve /accept the Consent Agenda Items 8.1 - 8.5 and 8.8 – 8.11.

Alderman Heintzelman seconded the motion.

The motion carried unanimously.

9. ADJOURNMENT

Alderman Heintzelman made a motion to adjourn the meeting

Alderman Hisel seconded the motion.

The meeting adjourned at 9:32 p.m.

Zina Tedford
City Secretary

Robert Werner
Mayor

**CITY OF SHAVANO PARK
AGREEMENT FOR PROFESSIONAL SERVICES
AND EMPLOYMENT AS CITY MANAGER**

THIS AGREEMENT FOR PROFESSIONAL SERVICES AND EMPLOYMENT AS CITY MANAGER (this "Agreement"), is made and entered into effective as of this the 26th day of August 2013, by and between the City of Shavano Park, Texas, a municipal corporation (the "City"), and William V. (Bill) Hill III, (the "Manager") to establish and set forth the terms and conditions of the employment as the City Manager of the City.

WITNESSETH:

WHEREAS, the City desires to employ the services of the Manager as the City Manager of the City, pursuant to the terms, conditions, and provisions of this Agreement; and

WHEREAS, it is the desire of the City Council of the City (the "Council") to provide compensation and benefits, establish conditions of employment for, and to set the working conditions of the City Manager as provided in this Agreement; and

WHEREAS, the Council desires to secure and retain the services of the City Manager, to provide inducements for the City Manager to accept employment as the City Manager of the City and to remain in such employment, to encourage full work productivity by assuring the City Manager's morale and peace of mind with respect to future security, and to provide a just means for terminating the services of the City Manager as such time as the City Manager may be unable to satisfactorily discharge the duties of office, or when the Council may otherwise desire to terminate the employment of the City Manager; and

WHEREAS, except as otherwise specifically provided herein, the Manager shall have and be eligible for the same benefits as are provided to all non-public safety employees of the City; and

WHEREAS, the Manager has agreed to accept employment as the City Manager of the City, subject to and on the terms, conditions, and provisions agreed to and set forth in this agreement;

NOW, THEREFORE, in consideration of Manager accepting employment with the City, and other good and valuable consideration, including the mutual covenants herein contained, the City and the Manager hereby contract, covenant, and agree as follows:

Section 1. Duties. The Council hereby employs the Manager to perform the duties and functions specified in the Shavano Park Ordinances, this Agreement, and as the Council shall, from time to time, assign to the Manager consistent with the intent of the

Agreement. The Manager shall report for work, and the duties and employment of the Manager shall commence on the 21st day of October 2013 (the "Commencement Date").

Section 2. Term. The term of this agreement shall be and remain in full force and effect until terminated by the Manager or Council as herein provided (the "Term"). The Manager shall serve at the pleasure of the Mayor and Council and nothing in this Agreement shall prevent, limit, or otherwise interfere with the right of the Mayor and Council, or the Manager, to terminate the services of the Manager at any time, subject only to the provisions set forth hereinafter in this Agreement.

Section 3. Salary. City agrees to pay the Manager an annual base salary, which salary shall initially be One Hundred and Fifteen Thousand dollars (\$115,000), payable in installments at the time as other employees of the City are paid. Thereafter, City agrees to annually review the base salary and/or other benefits of the Manager at least annually and consider and increase in such amounts and to such extent as the Council may determine desirable to do so on the basis of an annual performance review and the best interests of the City.

Section 5. Retirement Benefits. The Manager shall be covered and governed by the same retirement system as are all other non-public safety employees.

Section 6. Insurance – Health Insurance. The Manager shall provide for his own health, dental, and vision insurance coverage's but upon written request by the Manager is entitled to be covered by the same health, dental, and vision plans as all other employees. If such coverage is requested by Manager enrollment shall be pursuant to the then existing enrollment policies.

Section 7. Automobile. The City agrees to pay the Manager a monthly car allowance of Three Hundred and Seventy-Five dollars (\$375) per month.

Section 8. Leave Benefits. All provisions of the rules and regulations of the City applicable to fringe benefits, leave, and working conditions as they now exist or hereafter may be amended, shall also apply to the Manager as they apply to all other employees of the City, in addition to the benefits enumerated specifically for the benefit of the Manager herein. Additionally, to offset leave being lost or used by Manager as a result of transition will be provided annual vacation leave of three (3) weeks,

Section 9. Professional and Civic Development. The City agrees to budget and pay for professional membership dues of the Manager necessary, as reasonably determined by the City, for the Manager's continuation and participation in National, state, and local associations and organizations necessary and desirable for the Manager's continued professional participation, growth, and advancement, and for the good of the City.

Section 10. Technology: The City shall provide Manager with a cell phone or allowance of Seventy-Five dollars (\$75) a month required for the Manager to perform the job and maintain communication.

Section 11. Indemnification. To the fullest extent permitted by law, City shall defend, save harmless and indemnify Manager against any tort, professional liability claim or demand or other legal action, whether groundless or otherwise, arising out of an alleged act or omission occurring in the performance of Manager's duties, and shall obtain and keep in full force and effect liability insurance, or risk pool coverage including errors and omissions coverage, in sufficient amounts to assure accomplishment of such hold harmless and indemnification, provided that this section shall not be construed as creating any right, cause of action, or claim of waiver or estoppels for or on behalf of any third party nor shall it be construed as a waiver or modification of the availability of the defense of government immunity or any other legal defense available to either the City or the Manager from and with respect to any claim or liability for which the conduct of the Manager is found by the courts to have been grossly negligent or intentional wrongful conduct. City will compromise and settle any such claim or suit and pay amount of any settlement or judgment rendered thereon. This indemnification shall extend beyond and survive the termination of employment and the expiration of this Agreement.

Section 12. Hours of Work. It is recognized the Manager is expected to engage in the hours of work that are necessary to fulfill the obligations of the position, must be available at all times, and must devote a great deal of time outside the normal office hours to the business of the City. The Manager acknowledges the proper performance of the duties of the City Manager of the City will require the Manager to generally observe normal business hours. The Manager agrees to devote such additional time as is necessary for the full and proper performance of the Manager's duties and that the compensation herein provided includes compensation for the performance of all such services. However, the City intends that reasonable time off be permitted the Manager, such as is customary for exempt employees, so long as the time off does not interfere with the normal conduct of the office of the City Manager.

Section 13. Termination and Severance.

A. Termination. In the event Manager is terminated by the City and the Manager is then willing and able to perform all the duties of the City Manager under this Agreement, then, in that event, the City agrees to pay the Manager a lump sum cash payment equal to the following:

1. six (6) months full base salary if terminated within the first year of employment;
2. four (4) months full base salary if terminated within the second year of employment;
3. two (2) months full base salary if terminated within the third year of employment;
4. Manager shall not be entitled to any severance if terminated during or after the fourth year of employment

However, if the Manager is terminated because of a conviction for a misdemeanor involving moral turpitude or personal gain, or any felony, then, in

that event, the City shall have no obligation to pay severance payments designated in this Section 13.

- B. Resignation.** If the Manager terminates this Agreement by voluntary resignation of the position of City Manager, the Manager shall give thirty (30) days notice in advance unless Council agrees otherwise.

Section 14. Notices. All notices, demands, and other writings may be delivered by either party hereto to the other by United States Postal Service, or by reliable commercial carrier at the following address:

City: Mayor

900 Saddlecreek Court

Shavano Park, Texas 78231

Manager: William V. Hill III

2751 Artillery Post Road

Fort Sam Houston, Texas 78234

Alternatively, notices required pursuant to this Agreement may be personally served in the same manner as is applicable to civil judicial practice. Notice shall be deemed given as of the date of personal service, or three (3) days after the date the notice is deposited in the United States Mail or with a commercial carrier.

Section 15. Conflict of Interest Prohibition. The Manager shall not, during the Term of this Agreement, individually, as a partner, joint venture, officer, or shareholder, invest or participate in any business venture conducting business in the corporate limits of the City, except for stock ownership in a company whose capital stock is publically held and regularly traded on any stock exchange, without the prior written approval of the Council. For and during the Term of this Agreement, the Manager shall, except for personal residence or residential property acquired or held for future use as the Manager's personal residence, not invest in any other real estate or property improvements within the City, without the prior written consent of the Council.

Section 16. Appropriations. The Council has appropriated, set aside, and encumbered, and does hereby appropriate, set aside, and encumber, available and unappropriated funds of the City in an amount sufficient to fund and pay all financial obligations of the City pursuant to this Agreement, including, but not limited to, the severance pay, salary, and benefits set forth and described herein.

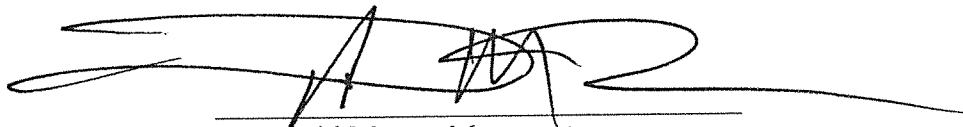
Section 17. General Provisions.

- A. Section Headings.** All sectional headings contained herein are for convenience or reference only and not intended to define or limit the scope of any provision of this Agreement.

- B. **Governing Law.** This Agreement shall be construed in accordance with, and governed by, the laws of the State of Texas. Venue shall lie exclusively in Bexar County.
- C. **Severability.** In the event any one or more of the sections, provisions, or clauses contained herein shall for any reason be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provision of this Agreement, but this Agreement shall be construed as if such invalid, illegal, or unenforceable provision had not been contained herein.
- D. **Entire Agreement.** This Agreement incorporates all the agreements, covenants, and understandings between the City and the Manager concerning the subject matter hereof, and all such covenants, agreements, and understandings have been merged into this written Agreement. No other prior agreements or understandings, verbal or otherwise, of the parties or their agents shall be valid or enforceable unless embodied in this Agreement.
- E. **Amendment.** The Agreement shall not be modified or amended except by written instrument executed by the Manager and the duly authorized representative of the Council.
- F. **Effective Date.** This Agreement shall be and become in full force and effect as of the date above first written upon the adoption and approval of the Council, and the execution and delivery hereof by authorized officer of the City and Manager.
- G. **Counterparts.** This Agreement may be executed in duplicate original counterparts, each of which when so executed shall be deemed to be an original, and such counterparts shall together constitute but one in the same instrument.

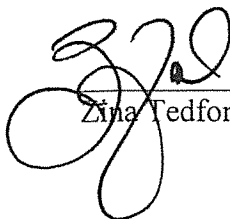
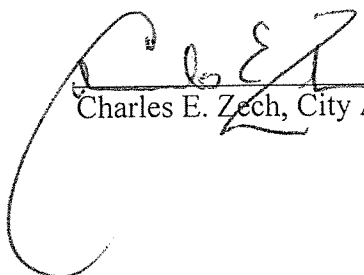
IN WITNESS WHEREOF, the City and the Manager have executed this Agreement effective as of the date first written above.

CITY OF SHAVANO PARK, TEXAS

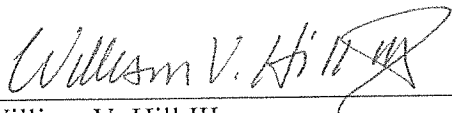

A. David Marne, Mayor

ATTEST:

APPROVED AS TO FORM:


Zina Tedford, City Secretary
Charles E. Zech, City Attorney

AGREED TO AND ACCEPTED this the 30 day of AUGUST, 2013.



William V. Hill III

City of Shavano Park
PERIODIC REPORT OF ISSUED PERMITS (GROUPED BY REPORT CODE)

Page 1

Printed: 11-01-2019

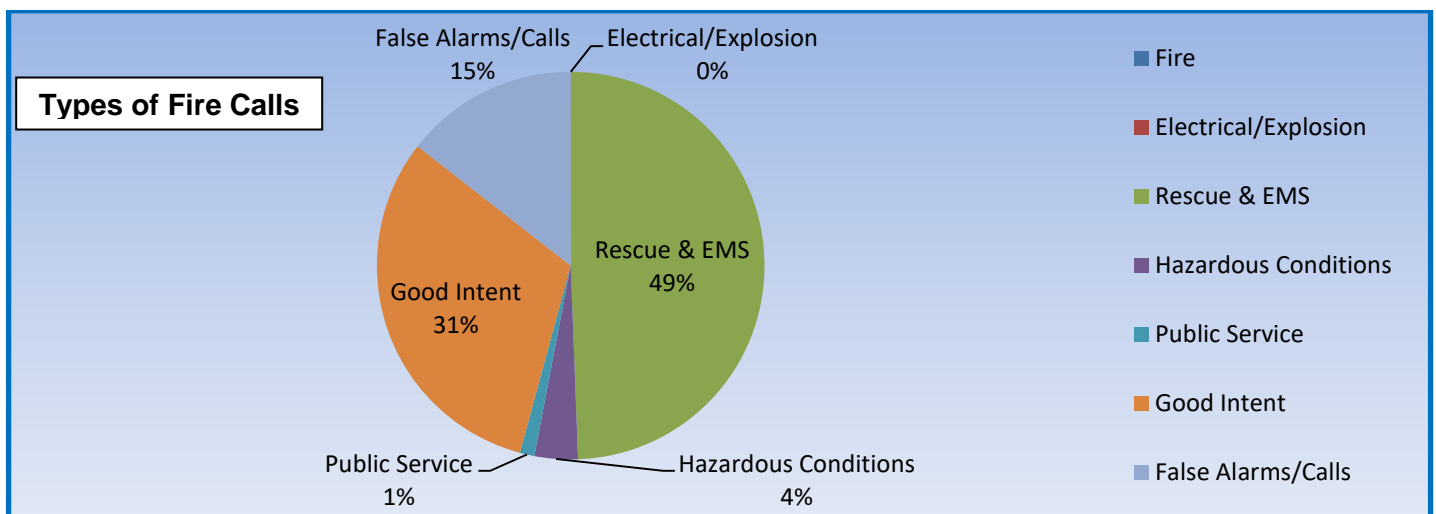
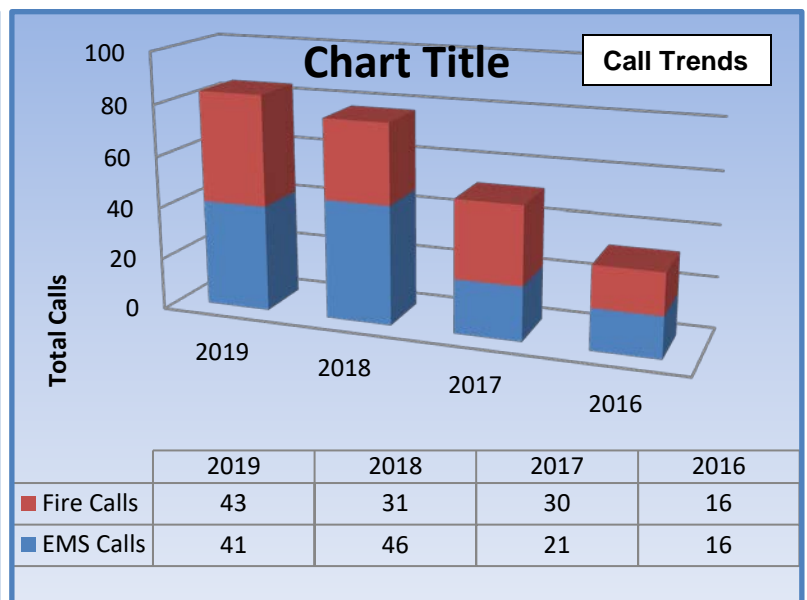
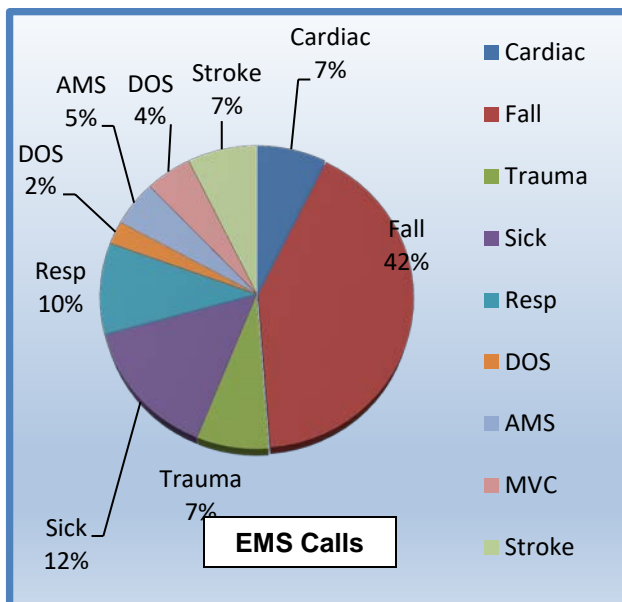
	[Designated period: 10/01/19 to 10/31/19]			[Prior period: 10/01/18 to 10/31/18]		
	Code	Prms	Valuation	Fees Paid	Units	
NEW RESIDENTIAL HOUSEKEEPING BLDGS:						
SINGLE FAMILY HOUSES DETACHED	101	2	.00	13,185.60	2	0
SINGLE FAMILY HOUSES ATTACHED	102		.00	.00	0	0
IF - IMPROVEMENTS	105	2	.00	892.43	2	2
RESIDENTIAL NON-HOUSEKEEPING BLDGS:						
HOTELS, MOTELS & TOURIST CABINS	213		.00	.00	0	0
OTHER NON-HOUSEKEEPING SHELTER	214	2	.00	100.00	2	2
NEW NON-RESIDENTIAL BUILDINGS:						
AMUSEMENT, SOCIAL & RECREATIONAL	318		.00	.00	0	0
SERVICE STATIONS & REPAIR GARAGES	322		.00	.00	0	0
OFFICES, BANKS, & PROFESSIONAL	324	1	1,762,751.00	11,752.93	1	0
PUBLIC WORKS & UTILITIES	325		.00	.00	0	0
STORES & CUSTOMER SERVICE	327		.00	.00	0	0
OTHER NON-RESIDENTIAL BLDGS	328	1	914,976.72	7,309.75	1	0
STRUCTURES OTHER THAN BUILDINGS	329		.00	.00	0	0
ADDITIONS, ALTERATIONS, & CONVERSION						
RESIDENTIAL	434		.00	.00	0	0
NON-RESIDENTIAL & NON-HOUSEKEEPING	437	2	280,432.20	3,442.88	2	1
ADDS OF RESID. GARAGES (ATCH/DETC)	438		.00	.00	0	0
Solar Panels Install	439		.00	.00	0	0
DEMOLITION AND RAZING OF BUILDINGS						
SINGLE FAMILY HOUSES (ATCH/DETACH)	645		.00	.00	0	2
ALL OTHER BUILDINGS & STRUCTURES	649		.00	.00	0	0
FENCE	650	2	.00	200.00	2	5
FIRE ALARM & SPRINKLERS	675		.00	.00	0	0
PLUMBING	701	10	27,350.00	2,000.00	11	5
GAS	702		.00	.00	0	0
ELECTRICAL	705	8	97,740.00	3,000.00	8	6
HVAC	710	16	20,018.00	5,100.00	25	6
IRRIGATION	715	1	.00	100.00	1	2
POOL	720	3	.00	1,550.00	3	0
ROOF	725	3	.00	450.00	3	3
SEPTIC SYSTEM	730		.00	.00	0	0
WATER SOFTENER	735		.00	.00	0	0
CONTRACTORS	800	4	30.00	40.00	4	2
TREE PERMIT	801		.00	.00	0	0
TOTALS FOR PERMITS SHOWN ABOVE						
Totals of other permits in the period	57		3,103,297.92	49,123.59	67	36
	5		32,800.00	3,742.72	5	3
TOTAL FOR ALL PERMITS IN THE PERIOD						
	62		3,136,097.92	52,866.31	72	39

Shavano Park Fire Department

Summary of Events for October 2019

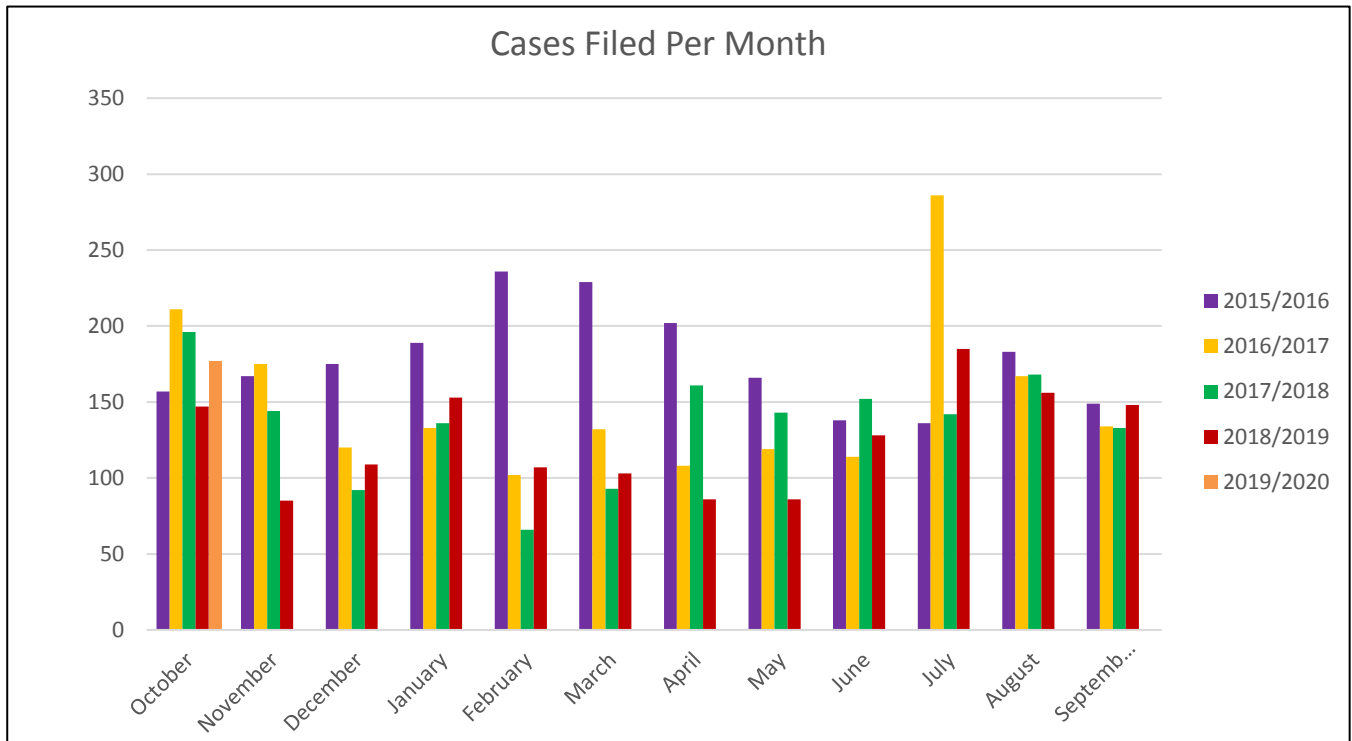


- Shavano Park FD responded to **84** requests for service in **October**.
- This is a **8.4% increase** from the previous **October**.
- Shavano Park FD responded to **19** automatic aid requests from Leon Springs FD, Castle Hills FD, and Hollywood Park FD.
- Shavano Park FD received **1** automatic aid responses for Castle Hills FD and Hollywood Park FD.
- Shavano Park FD Responded/stood-by for **16** mutual aid requests from other departments.
- The average response time for calls within Shavano Park is **4 minutes 17 seconds** this month.
- Fire Fighters completed a total of **118 hours of fire** and **110 hours of EMS** training in the month of **October**.
- Certified Fire Inspector inspected **12** commercial buildings.
- Fire crews performed **8** pre-incident fire plan reviews
- Certified Plans Examiners reviewed **3** sets of commercial building/renovation plans/changes to previously submitted plans



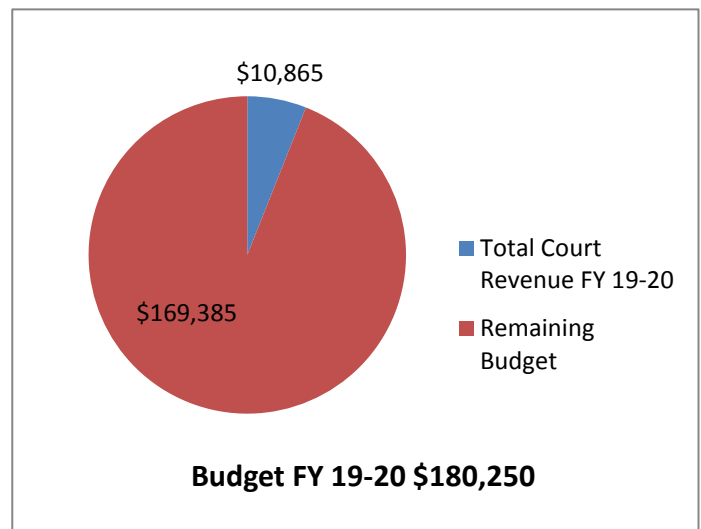
City of Shavano Park

Municipal Court Activity October 2019



Cases Resolved	Current Month	Prior Year
Fine	35	30
Not Guilty By Judge	0	0
Guilty	19	26
Dismissed	0	3
Compliance Dismissal	19	26
Defensive Driving	10	14
Deferred Disposition	28	24
Proof of Insurance	5	3
TOTAL	116	126

Court Revenue	Current 19/20	Prior 18/19
October	\$ 10,865	\$ 13,774
November	-	9,036
December	-	10,296
January	-	13,940
February	-	17,093
March	-	17,252
April	-	17,824
May	-	9,646
June	-	14,172
July	-	11,303
August	-	15,757
September	-	13,203
	\$ 10,865	\$ 163,297



**Monthly Activity Report
City of Shavano Park Police Department
October 2019**

**Activity Report: 194 incidents were responded to by the Police Department.
1839 total incidents were responded to by the Department for 2019.**

Criminal Calls	Oct	Calendar Year				
		2019	2018	2017	2016	2015
Alcohol Beverage Code Violations	0	0	1	0	0	0
Arrest of Wanted Persons (Outside Agency)	3	14	19	21	31	39
Assault	0	0	3	1	3	2
Burglary Building	0	5	1	3	17	15
Burglary of Habitation	0	0	5	4		
Burglary Vehicle	1	6	8	13	50	29
Criminal Mischief / Reckless Damage	0	3	5	15	19	11
Criminal Mischief Mail Box	0	0	0	2	5	
Cruelty to Animals	0	0	0	0	0	0
Deadly Conduct	0	0	0	0	1	0
D.U.I. - Minor	0	0	0	1	0	0
D.W.I. / D.U.I.	0	6	6	4	6	2
Driving while License Suspended / Invalid	0	2	4	0	2	2
Endangerment of Child	0	0	0	1	0	0
Evading Arrest	1	1	3	0	3	2
Failure to Identify	0	0	0	1	0	1
Family Violence	0	3	1	3	2	2
Fraud / Forgery / False Reports / Tamper w/ Govt. Record	0	0	2	0	4	6
Harassment / Retaliation / Terroristic Threat	0	0	0	2	1	0
M.I.P. Alcohol / Tobacco	0	0	0	0	1	0
Murder	0	0	0	0	0	0
Narcotics Violation (class B and up)	0	12	10	16	30	16
Narcotics Violation (class C)	3	10	18	43	42	27
Possession of Prohibited Weapon / Unlawful Carry	1	1	0	1	3	1
Public Intoxication	0	1	0	3	4	3
Resisting Arrest	0	0	0	1	0	0
Robbery	0	0	0	1	0	2
Sexual Assault	0	0	0	0	1	1
Solicitation of a Minor / Indecency with a Minor	0	0	1	0	1	0
Suicide	0	0	0	0	0	0
Theft	1	8	11	22	17	40
Theft of Mail	0	0	0	1	4	
Theft of Motor Vehicle / Unauthorized Use of Motor Veh.	0	0	0	2	2	3
Total Criminal Calls Handled	10	72	98	161	249	204

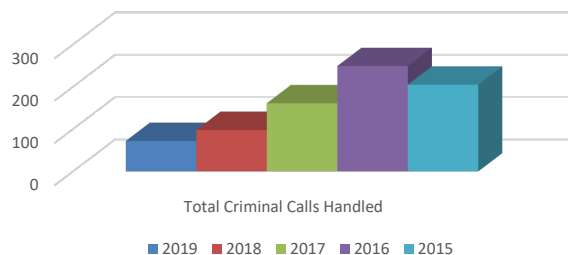
Monthly Activity Report
City of Shavano Park Police Department
October 2019

Non-Criminal Calls

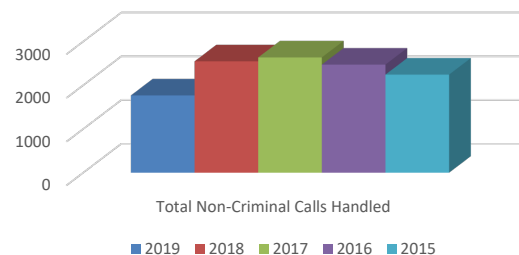
	Oct	Calendar Year				
		2019	2018	2017	2016	2015
Accidents Major (With Injuries)	0	7	7	10	7	11
Accidents Minor (Non-Injury)	3	59	69	50	62	47
Alarm Call	29	403	498	557	536	528
Animal Calls / Complaints	9	128	171	143	148	143
Assist Fire Department / EMS	41	355	444	388	339	276
Assist Other Law Enforcement Agencies	3	71	94	81	59	69
Assist the Public	7	86	77	106	93	87
City Ordinance Violations	3	34	374	420	386	343
permit 1 tree 2						
Criminal Trespass Warning	2	9	5	7	0	1
Deceased Person / Natural / Unattended	1	8	20	17	22	8
Disturbance / Keep the Peace	5	38	59	56	81	86
Emergency Detention	0	7	4	10	13	26
Health & Safety Violations	0	0	0	0	0	0
Information Reports	23	129	213	195	176	137
Missing Person / Runaway	0	3	0	1	2	1
Recovered Property / Found Property	2	9	8	21	28	19
Suspicious Activity, Circumstances, Persons, Vehicles	19	150	214	285	288	260
Traffic Hazard	8	54	47	49	62	55
Welfare Concern	7	53	58	52	38	38
911 Hang-up Calls	22	164	185	188	132	109
Total Non-Criminal Calls Handled	184	1767	2547	2636	2472	2244
Officer Initiated Contacts						
Community Policing Contacts / Crime Prevention	63	1417	2620	2630	3817	3817
Out of Town / Patrol-By Reports	39	337	410	480	551	568
Total Officer Initiated Contacts	102	1754	3030	3110	4368	4385

There was no reported gang activity for October 2019. For 2019 there have been no reported gang activity.

Criminal Calls



Non Criminal Calls



October 2019 Breakdown

Arrest of Wanted Person

1. 4000 blk. Pond Hill Road - Comal County Warrant
2. 14600 blk. Huebner Road - San Antonio Warrant
3. 16800 blk. N.W. Military Hwy. - Bexar County Warrant

Burglary of Vehicle

1. 4100 blk. Pond Hill Road - force, items taken

Evading Arrest

1. 15400 blk. N.W. Military Hwy. - Violator Arrested

Narcotics Violations (class c)

1. 4600 blk. Lockhill-Selma Road - possession drug paraphernalia
2. 18800 blk. N.W. Military Hwy. - possession drug paraphernalia
3. 100 blk. Long Bow Road - possession drug paraphernalia

Possession Prohibited Weapon

1. 4500 blk. Lockhill-Selma Road - unlawful possession of firearm

Theft

1. 13200 blk. Huebner Road - employee theft

		Calendar Year				
Mileage	October	2019	2018	2017	2016	2015
Total Monthly / Annual Mileage	14596	133905	144563	144779	151041	140356

October 2019

Officer	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	Total A
Warnings	21	14	0	14	43	0	2	1	12	44	7	0	30	20	0	208
Citations	7	5	0	21	33	2	5	1	5	37	7	3	50	10	0	186
Cases	7	26	5	7	10	9	16	4	29	14	20	17	14	16	0	194
Activity Totals	35	45	5	42	86	11	23	6	46	95	34	20	94	46	0	588
Vehicles Stopped	27	17	0	29	47	2	6	2	17	68	11	3	50	27	0	306
Community Policing	0	29	0	0	7	0	20	0	0	7	0	0	0	0	0	63

Officer	P	Q	R	S	T	U	V	W	X	Y	Z	Total B
Warnings												0
Citations												0
Cases												0
Activity Totals	0	0	0	0	0	0	0	0	0	0	0	0
Vehicles Stopped												0
Community Policing												0

Grand Total
208
186
194
588
306
63

PUBLIC WORKS DEPARTMENT
Monthly Report - October 2019

WATER UTILITY

- Miox cabinet repairs were completed and shipped
- Huebner Pump #3 was pulled for repairs due to the shaft wobbling and minor leak at the base of
- Frank, Troy and Mike attended trench safety training
- All PW/W/FD staff attended a chlorine gas leak training.

STREETS

- PWD coordinated with TxDOT crews to get the fire department sign replaced at the corner of Elm Spring and NW Military
- Asphalt Zipper Demonstration was hosted by Shavano Park with other cities attending.
- Dezavala and Lockhill Selma will both be swept friday in preparation for crack sealing and strip

DRAINAGE

- Bentley Manor berm and swale construction is still underway.
- Cow Pond pump operations went smooth, no issues during all the rain events.

FACILITIES

- Edd Leigh replaced the coils in the A/C unit at the Public Works building
- Beldon was called out to check a couple leaks in the City Hall roof

OTHER

- New chipper was ordered and delivered; both old chippers were traded in
- New zero turn mower was ordered and delivered
- Staff attended a meeting with TxDOT consultant to go over drainage and the impacts to the water lines on NW Military.

Water Utility	OCTOBER	MO	FY
# of Gallons Pumped		19,072,063	19,072,063
# of Gallons Pumped from Trinity		81,383	81,383
Total Pumped		19,153,446	19,153,446
 # of Gallons Sold		18,451,000	18,451,000
Water Lossed in gallons		720,046	720,046
Flushing		6,500	6,500
% of Loss		3.76%	3.76%
	** 400 Blk Happy Trail Main Break (580,000 gallons)		
Water Revenue		\$71,726.39	\$71,726.39
EAA Fees Collected		\$9,225.50	\$9,225.50
Debt Service Collected		\$15,738.26	\$15,738.26
Water Service Fees		\$4,887.74	\$4,887.74
Late Fees		\$877.81	\$877.81
 Water Used by City		456,000	456,000
Water Cost Used by City		\$3,930.21	\$3,930.21
 # of Water Complaints		0	0
# of Bill Adjustments		4	4
# of Locate Tickets		45	45

CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 7.6.

Prepared by: Brenda Morey

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

Presentation of October 2019 Monthly Reports

X

Attachments for Reference:

- a) October 2019 Power Point Presentation
- b) October 2019 Revenue and Expenditure Report
- c) October 2019 Monthly Check Register

BACKGROUND / HISTORY: The information provided is for the FY 2019-20 budget period, month ending October 31, 2019. The “Current Budget” column contains the original adopted budget. This summary highlights a number of key points related to the current month’s activity for the General Fund and for Water Utility Fund. Staff is also prepared to present the power point briefing attached at the council meeting.

DISCUSSION:

10 - General Fund (Page 1 of Revenue and Expenditure Report)

As of October 31, 2019, General Fund revenues total \$428,218 or 7.84% of the budget. General Fund expenditures total \$488,766 or 8.95% of the budget with 1 month or 8.33% of the year complete.

Revenues (GF) (Page 2 & 3)

- Current M&O Property tax (10-599-1010) collections for the month are \$277,854. The City has received 7.98% of its annual budgeted amount to date.
- Delinquent Taxes (10-599-1020) – City received \$7,265 for delinquent 2018 and prior tax levies.
- Sales Tax revenue received this month totaled \$35,389 for August sales reported for monthly filers. This is up \$5,500 from the same time last year.
- Franchise Fees are paid quarterly and generally received two months after the quarter. Three payments were received early, right before month end.
- Permits and Licenses revenues total \$54,405 for the month, with \$46,196 in building permits and \$6,430 in plan review fees.
- Court fees for the month are \$10,290, this is below the amount recognized October 2018 of \$13,090.
- Police/Fire revenues total \$12,656 for the month and includes \$11,736 of collections from the EMS third party biller.
- Donations-Administration (7086) – reflects donation received for the City’s Holiday event.

Expenditures (GF) (Pages 4-14)

-The Council (600) is at 11.32% spent year to date. Main expenditures incurred this month were for the new Trunk or Treat event and vendor deposits for the upcoming Holiday event.

-The Administration Department (601) is a bit ahead of target with \$93,871 spent this month or 10.02% of the annual budget utilized to date. Expenditures in Liability Insurance (3050), Computer Software/Incode (4075), and Bexar County Tax Assessor (4085) include the full annual charges. Website technology (3085) expenditures include the full year's website support, IT Services (4060) – expenditures include two months of service as provider bills and expects payment in advance with no billing in the final month of the fiscal year.

-The Court Department (602) expenditures for the month are \$12,085 for 13.28% spent with normal day to day expenditures that includes the annual charges for Incode software in 4075 for \$4,432, as well as the full liability (3050) and property (3070) insurance expenditures for the year. The cost for replacing and updating Court Clerk's computer to Windows 10 is reflected in Non Capital Computer 8015.

-The Public Works Department (603) expenditures for the month are \$42,927 with 7.16% of the annual budget utilized. The more significant expenditures for the month include annual Liability (3050) and Property (3070) insurance totaling \$5,424, \$2,180 for plants, mulch, etc. in Prof Serv – CH & Monuments (3014), \$1,025 for AC repair in the PW building in Building Maintenance (5030) and \$2,400 for street maintenance material storage bins in Street Maintenance (6081).

-The Fire Department (604) is on track for day-to-day operations with the budget at \$159,620 for the month, 8.26% total spent year to date. Annual Liability (3050) and Property (3070) insurance premiums were incurred this month as well as the annual radio access fees (4045) to the City of San Antonio.

-The Police Department (605) is on target with budget for day-to-day expenses. Expenditures for the month are \$168,205 with 9.45% of the budget spent. The annual Liability (3050) and Property (3071) insurance premiums were incurred this month. Also, a significant portion of the Computer Software/Incode (4075) and Radio Fees COSA (4045) activity occurs in October of each year.

-The Development Services Department (606) maintains the Professional Services paid for engineering, outside permit inspection, sanitary, and health inspection services with total expenses of \$8,067 or 8.58% of the annual budgeted amount.

20-WATER FUND

As of October 31, 2019, the Water Fund total revenues are \$136,973 or 13.20% of the total annual budgeted amount. Water Fund (Water department & Debt Service) expenses total \$106,191 or 10.23% of adopted budget.

Revenues (Water)

- Water consumption (5015) billed in October for the month of September is \$97,940. Total consumption for the month is approximately 11,713,200 gallons more than the previous year or \$62,762 of revenue due to a warmer and drier than normal month.
- The Debt Service (5018) and Water Service Fee (5019) remain on target with annual budgeted amounts as these are flat fees and are not related to volume charges recognized, at 8.37% and 8.43% respectively.
- The EAA Pass Thru (5036) fees are charged to customers based on usage, \$12,294 was recorded for the month and 14.69% of the annual budgeted amount has been recognized to date.

Expenses (Water)

Water department (606) expenses for the day-to-day operations are above budget with a total of \$106,191 or 12.50% of the budget utilized. Expenses include the annual Liability (3050) and Property (3070) insurance charges totaling \$5,648, the annual Incode (Tyler Technology) charge of \$2,950 in Computer Software/Incode (4075), a pipe rack for \$1,500 in Equipment Maintenance & Repair (5010), Chemicals (6011) includes replacement chemical feed equipment of \$1,725, the purchase of two fire hydrants in Fire Hydrants & Valves (6055), Huebner Storage Tank (6060) includes \$8,700 for pump 3 repairs to address the leak in the well head, Water System Maintenance (6072) includes \$3,450 for chemical feed equipment and \$2,600 for gate valves and meter boxes, MIOX system repairs/overhaul of \$23,857 is included in Water System Improvements (8080) and the purchase of 37 meter bodies and 26 encoders is reflected in the Water Meter Replacement (8087).

Debt service payments are scheduled for February (principal and interest) and August (interest only).

PAYROLL

The City is on a bi-weekly payroll; there have been 2 pay periods out of 26 so approximately 7.69% should be expensed in the line items directly related to salaries. Workers Comp Insurance (1037) is at 0% which is expensed quarterly, and will not be calculated until December. TMRS (1040) expenditures for departments is at approximately 7.05%, below budget but in line with the related salaries and overtime accounts due to several position vacancies, three of which were filled during the month (1-PD, 2-Fire). Health insurance related line items are at approximately 7.48%, below budget due to position vacancies – new hires in October will begin participating in the City insurance plans in November.

COURSES OF ACTION: None related to the report - informational.

FINANCIAL IMPACT: N/A

STAFF RECOMMENDATION: N/A



Monthly Financial Report (October 31, 2019)

**Brenda Morey,
Finance Director**



- Cash and Investments
- General Fund Overview
- General Fund Revenues
- General Fund Expenditures
- Water Fund Overview
- Water Fund Revenues & Expenses
- Special Revenue Funds
- Capital Replacement Fund

Total Cash & Investment Update *

Together We Can!



CASH AND INVESTMENTS BY FUND	October 31, 2019
General Fund (10)	\$ 2,621,320
Water Fund (20)	861,292
Debt Service Fund (30)	209,116
Crime Control District Fund (40)	579,142
PEG Funds (42)	103,773
Oak Wilt Fund (45)	96,652
Street Maintenance Fund (48)	456,654
Court Security/Technology (50)	56,832
Child Safety Fund (52)	2,783
LEOSE Fund (53)	(397)
GF Capital Replacement Fund (70)	2,466,119
Pet Documentation and Rescue Fund (75)	2,369
Total Cash & Investments **	\$ 7,455,655

***Total cash and investments represents all Funds per general ledger, not cash at bank.**

**** Not to be considered a reflection of the required quarterly investment report per the Public Funds Investment Act.**

Total Cash & Investment Update *

Together We Can!



SECURITY TYPE		October 31, 2019
OPERATING BANK ACCOUNTS		
Frost Bank	\$	740,049
SAVINGS & BANK ACCOUNTS		
Frost Bank		3,544,861
POOLS		
Tex Star	\$2,203,694	
Texpool	210,026	
SUBTOTAL - POOLS		2,413,720
CERTIFICATES OF DEPOSIT		
Security Service Credit Union	\$ 255,151	
United SA Credit Union	251,020	
Generation Credit Union	250,854	
SUBTOTAL - CERTIFICATES OF DEPOSIT		757,025
Total Cash & Investments **	\$	7,455,655

***Total cash and investments represents holdings in all Funds.**

**** Not to be considered a reflection of the required quarterly investment report per the Public Funds Investment Act.**

10- General Fund Overview



Together We Can!

- General Fund current property tax collections through October 2019 are \$277,854 and are on track at 7.98% of budget.
- October 2019 Sales Tax revenue was \$35,389.
(Collections are for August sales from monthly filers.)
- Building Permits and Licenses revenue for the month was \$54,405 with \$46,196 collected in building permit fees and \$6,430 in plan review fees.
- Major Projects/Improvements in FY 2019-20

	<u>Budget</u>	<u>Expended</u>	<u>Balance</u>	<u>Status</u>
Northwest Military				
conduit relocation	\$ 47,000	\$ -	\$ 47,000	Not started
Widen rear Fire Station				
driveway	\$ 16,000	\$ -	\$ 16,000	Not started
NIBRS Upgrade -				
grant funded - SPPD	\$ 43,000	\$ -	\$ 43,000	Planning

Un-Reserved General Fund Balance at 2019 year end = \$2,674,299 (Unaudited)
Un-Reserved General Fund Balance at 2018 year end = \$2,648,513 (Audited)

10 - General Fund Revenues

Together We Can!



	FY 2019-20 ADOPTED BUDGET	FY 2019-20 OCTOBER 2019	FY 2019-20 YEAR TO DATE	FY 2019-20 % BUDGET COLLECTED
CURRENT PROPERTY TAXES	\$ 3,482,353	\$ 277,854	\$ 277,854	7.98%
DEL. TAXES & PENALTIES	54,500	8,673	8,673	15.91%
SALES TAX	465,000	35,389	35,389	7.61%
MIXED BEVERAGE	23,000	4,841	4,841	21.05%
FRANCHISE REVENUES	482,500	12,830	12,830	2.66%
PERMITS & LICENSES	372,000	54,405	54,405	14.63%
COURT FEES	172,750	10,290	10,290	5.96%
POLICE/FIRE REVENUES	168,900	12,656	12,656	7.49%
MISC/INTEREST/GRANTS	202,404	11,280	11,280	5.57%
TRANSFERS IN	35,440	-	-	0.00%
TOTAL REVENUES	\$ 5,458,847	\$ 428,218	\$ 428,218	7.84%

10- General Fund Expenditures

Together We Can!



	FY 2019-20 ADOPTED BUDGET	FY 2019-20 OCTOBER 2019	FY 2019-20 YEAR TO DATE	FY 2019-20 % BUDGET SPENT
CITY COUNCIL	\$ 35,247	\$ 3,991	\$ 3,991	11.32%
ADMINISTRATION	937,091	93,871	93,871	10.02%
COURT	90,970	12,085	12,085	13.28%
PUBLIC WORKS	599,307	42,927	42,927	7.16%
FIRE DEPARTMENT	1,932,711	159,620	159,620	8.26%
POLICE DEPARTMENT	1,779,346	168,205	168,205	9.45%
DEVELOPMENT SERVICES	84,175	8,067	8,067	9.58%
TOTAL EXPENDITURES	\$ 5,458,847	\$ 488,766	\$ 488,766	8.95%
REVENUES OVER/(UNDER) EXPENDITURES	\$ -	\$ (60,548)	\$ (60,548)	

Expenditures total \$488,766 through October or 8.95% of budget spent with 8.33% of budget complete (1 month).

20 - Water Fund Overview



Together We Can!

- Total revenues through October are \$136,973 for a total 13.20% of budget, including transfers in.
- Total October 2019 billing for September water consumption is approximately 11,713,200 gallons more than the prior year.
- Water consumption sales revenue for the month of October 2019 (actual September 2019 usage) is higher in comparison to the prior year by \$62,762 due to unusually warm and dry weather.
- Water Department expenses are ahead of budget thru the month of October at \$106,191 with a total of 12.50% of the adopted budget spent with 8.33% of year complete.
- Major Projects/Improvements in FY 2019-20:

	<u>Budget</u>	<u>Expended</u>	<u>Balance</u>	<u>Status</u>
Water meter replacement	\$ 14,400	\$ 6,964	\$ 7,436	In process
Replace spider water lines in one cul de sac	\$ 12,000	\$ -	\$ 12,000	Not started

20 - Utility Fund Revenues & Expenses

Together We Can!



	FY 2019-20 ADOPTED BUDGET	FY 2019-20 OCTOBER 2019	FY 2019-20 YEAR TO DATE	FY 2019-20 % BUDGET
				<u>COLLECTED</u>
WATER CONSUMPTION	\$ 627,000	\$ 97,940	\$ 97,940	15.62%
DEBT SERVICE	188,317	15,761	15,761	8.37%
WATER SERVICE FEE	58,092	4,895	4,895	8.43%
EAA PASS THRU CHARGE	83,681	12,294	12,294	14.69%
MISC/INTEREST/GRANTS	66,400	6,083	6,083	9.16%
TRANSFERS IN	14,400	-	-	0.00%
TOTAL REVENUES	\$ 1,037,890	\$ 136,973	\$ 136,973	13.20%
				<u>SPENT</u>
WATER DEPARTMENT	\$ 849,856	106,191	106,191	12.50%
DEBT SERVICE	188,034	-	-	0.00%
TOTAL EXPENSES	\$ 1,037,890	\$ 106,191	\$ 106,191	10.23%
REVENUES OVER/(UNDER) EXPENSES	\$ -	\$ 30,782	\$ 30,782	

Special Revenue Funds



Together We Can!

40- Crime Control Prevention District

	FY 2019-20 ADOPTED BUDGET	FY 2019-20 OCTOBER 2019	FY 2019-20 YEAR TO DATE	FY 2019-20 % OF BUDGET
BEGINNING FUND BALANCE	\$ 598,768	\$ 598,768	\$ 598,768	
				COLLECTED
Crime Control Sales Tax	\$ 116,250	\$ 8,169	\$ 8,169	7.03%
Interest/Misc.	7,500	702	702	9.36%
TOTAL REVENUES	\$ 123,750	\$ 8,871	\$ 8,871	7.17%
				SPENT
Fire Expenditures	\$ 8,058	\$ -	\$ -	0.00%
Police Expenditures	77,843	8,029	8,029	10.31%
TOTAL EXPENDITURES	\$ 85,901	\$ 8,029	\$ 8,029	9.35%
REVENUES OVER/(UNDER) EXPENDITURES	\$ 37,849	\$ 842	\$ 842	
PROJECTED ENDING FUND BALANCE	\$ 636,617	\$ 599,610	\$ 599,610	



40 – Crime Control Prevention District

- Supported by dedicated sales tax and interest income on invested balances.
- Major Projects/Improvements in FY 2019-20:

	<u>Budget</u>	<u>Expended</u>	<u>Balance</u>	<u>Status</u>
National Night Out	\$ 5,500	\$ 1,922	\$ 3,578	In process
Ticket writers/printers	\$ 13,796	\$ -	\$ 13,796	Not started
Shotgun locks/mounts	\$ 10,500	\$ -	\$ 10,500	Not started
Tasers	\$ 9,265	\$ -	\$ 9,265	Not started
Static radar signs	\$ 21,000	\$ -	\$ 21,000	Not started

Special Revenue Funds

Together We Can!



42- PEG Fund

	FY 2019-20 ADOPTED BUDGET	FY 2019-20 OCTOBER 2019	FY 2019-20 YEAR TO DATE	FY 2019-20 % OF BUDGET
BEGINNING FUND BALANCE	\$ 106,887	\$ 106,887	\$ 106,887	
Franchise Fee- PEG	\$ 16,000	\$ 839	\$ 839	<u>COLLECTED</u> 5.24%
Misc/Interest	1,200	123	123	10.25%
TOTAL REVENUES	\$ 17,200	\$ 962	\$ 962	5.59%
PEG Expenditures	19,300	-	-	<u>SPENT</u> 0.00%
REVENUES OVER/(UNDER) EXPENDITURES	\$ (2,100)	\$ 962	\$ 962	
PROJECTED ENDING FUND BALANCE	\$ 104,787	\$ 107,849	\$ 107,849	

Special Revenue Funds

Together We Can!



45- Oak Wilt Fund

	FY 2019-20 ADOPTED BUDGET	FY 2019-2020 OCTOBER 2018	FY 2019-20 YEAR TO DATE	FY 2019-20 % OF BUDGET
BEGINNING FUND BALANCE	\$ 96,477	\$ 96,477	\$ 96,477	
Tree Trimming Permits Revenue	\$ 11,000	\$ 175	\$ 175	<u>COLLECTED</u> 1.59%
Oak Wilt Expenditures	500	-	-	<u>SPENT</u> 0.00%
REVENUES OVER/(UNDER) EXPENDITURES	\$ 10,500	\$ 175	\$ 175	
PROJECTED ENDING FUND BALANCE	<u>\$ 106,977</u>	<u>\$ 96,652</u>	<u>\$ 96,652</u>	

Special Revenue Funds

Together We Can!



48- Street Maintenance Fund

	FY 2019-20 ADOPTED BUDGET	FY 2019-20 OCTOBER 2019	FY 2019-20 YEAR TO DATE	FY 2019-20 % OF BUDGET
BEGINNING FUND BALANCE	<u>\$ 469,261</u>	<u>\$ 469,261</u>	<u>\$ 469,261</u>	
Sales Tax Revenues	\$ 116,250	\$ 8,847	\$ 8,847	COLLECTED 7.61%
Materials/Supplies	<u>\$ 50,000</u>	<u>\$ -</u>	<u>\$ -</u>	SPENT 0.00%
REVENUES OVER/(UNDER) EXPENDITURES	\$ 66,250	\$ 8,847	\$ 8,847	
PROJECTED ENDING FUND BALANCE	<u><u>\$ 535,511</u></u>	<u><u>\$ 478,108</u></u>	<u><u>\$ 478,108</u></u>	

Governmental Fund



Together We Can!

70- Capital Replacement Fund

	FY 2019-20 ADOPTED BUDGET	FY 2019-20 OCTOBER 2019	FY 2019-20 YEAR TO DATE	FY 2019-20 % OF BUDGET
BEGINNING FUND BALANCE	<u>\$ 2,513,388</u>	<u>\$ 2,513,388</u>	<u>\$ 2,513,388</u>	
Interest Income	\$ 35,000	\$ 3,046	\$ 3,046	COLLECTED 8.70%
Transfers In - General Fund	<u>297,582</u>	<u>-</u>	<u>-</u>	0.00%
TOTAL REVENUES	<u>\$ 332,582</u>	<u>\$ 3,046</u>	<u>\$ 3,046</u>	0.92%
Administration	\$ 64,000	\$ 3,834	\$ 3,834	5.99%
Public Works	39,500	37,893	37,893	95.93%
Drainage	728,000	8,587	8,587	1.18%
Fire	<u>8,000</u>	<u>-</u>	<u>-</u>	0.00%
TOTAL EXPENDITURES	<u>\$ 839,500</u>	<u>\$ 50,314</u>	<u>\$ 50,314</u>	5.99%
REVENUES OVER/(UNDER) EXPENDITURES	<u>\$ (506,918)</u>	<u>\$ (47,268)</u>	<u>\$ (47,268)</u>	
PROJECTED ENDING FUND BALANCE	<u><u>\$ 2,006,470</u></u>	<u><u>\$ 2,466,120</u></u>	<u><u>\$ 2,466,120</u></u>	



70 – Capital Replacement Fund Overview

- Supported via budgeted transfers from the General Fund and interest earnings on invested balances.
- Major Projects/Improvements in FY 2019-20:

	<u>Budget</u>	<u>Expended</u>	<u>Balance</u>	<u>Status</u>
City Hall septic replacement	\$ 50,000	\$ -	\$ 50,000	Planning
City Hall HVAC replacement	\$ 8,000	\$ -	\$ 8,000	Planning
Heavy duty chipper	\$ 27,000	\$ 25,513	\$ 1,487	Completed
Grasshopper mower	\$ 12,500	\$ 12,381	\$ 119	Completed
Drainage projects	\$ 728,000	\$ 8,587	\$ 719,413	In process
Fire - gear extractor	\$ 8,000	\$ -	\$ 8,000	Planning



Questions

10 -GENERAL FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>5,458,847.00</u>	<u>428,217.70</u>	<u>428,217.70</u>	<u>5,030,629.30</u>	<u>7.84</u>
TOTAL REVENUES	5,458,847.00 =====	428,217.70 =====	428,217.70 =====	5,030,629.30 =====	7.84 =====
<u>EXPENDITURE SUMMARY</u>					
CITY COUNCIL	35,247.00	3,991.27	3,991.27	31,255.73	11.32
ADMINISTRATION	937,091.00	93,870.51	93,870.51	843,220.49	10.02
COURT	90,970.00	12,085.13	12,085.13	78,884.87	13.28
PUBLIC WORKS	599,307.00	42,927.00	42,927.00	556,380.00	7.16
FIRE DEPARTMENT	1,932,711.00	159,619.93	159,619.93	1,773,091.07	8.26
POLICE DEPARTMENT	1,779,346.00	168,204.63	168,204.63	1,611,141.37	9.45
DEVELOPMENT SERVICES	<u>84,175.00</u>	<u>8,067.25</u>	<u>8,067.25</u>	<u>76,107.75</u>	<u>9.58</u>
TOTAL EXPENDITURES	5,458,847.00 =====	488,765.72 =====	488,765.72 =====	4,970,081.28 =====	8.95 =====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	(60,548.02)	(60,548.02)	60,548.02	0.00

10 -GENERAL FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>NON-DEPARTMENTAL</u>					
<u>TAXES</u>					
10-599-1010 CURRENT ADVALOREM TAXES	3,482,353.00	277,854.20	277,854.20	3,204,498.80	7.98
10-599-1020 DELINQUENT ADVALOREM TAXES	45,000.00	7,265.17	7,265.17	37,734.83	16.14
10-599-1030 PENALTY & INTEREST REVENUE	9,500.00	1,407.85	1,407.85	8,092.15	14.82
10-599-1040 MUNICIPAL SALES TAX	465,000.00	35,388.53	35,388.53	429,611.47	7.61
10-599-1060 MIXED BEVERAGE TAX	<u>23,000.00</u>	<u>4,841.25</u>	<u>4,841.25</u>	<u>18,158.75</u>	<u>21.05</u>
TOTAL TAXES	4,024,853.00	326,757.00	326,757.00	3,698,096.00	8.12
<u>FRANCHISE REVENUES</u>					
10-599-2020 FRANCHISE FEES - ELECTRIC	310,000.00	0.00	0.00	310,000.00	0.00
10-599-2022 FRANCHISE FEES - GAS	30,000.00	0.00	0.00	30,000.00	0.00
10-599-2024 FRANCHISE FEES - CABLE	85,000.00	4,196.95	4,196.95	80,803.05	4.94
10-599-2026 FRANCHISE FEES - PHONE	9,500.00	37.23	37.23	9,462.77	0.39
10-599-2027 FRANCHISE FEES - SAWS	16,000.00	0.00	0.00	16,000.00	0.00
10-599-2028 FRANCHISE FEES - REFUSE	<u>32,000.00</u>	<u>8,596.18</u>	<u>8,596.18</u>	<u>23,403.82</u>	<u>26.86</u>
TOTAL FRANCHISE REVENUES	482,500.00	12,830.36	12,830.36	469,669.64	2.66
<u>PERMITS & LICENSES</u>					
10-599-3010 BUILDING PERMITS	295,000.00	46,196.15	46,196.15	248,803.85	15.66
10-599-3012 PLAN REVIEW FEES	46,000.00	6,430.16	6,430.16	39,569.84	13.98
10-599-3018 CERT OF OCCUPANCY PERMITS	6,000.00	700.00	700.00	5,300.00	11.67
10-599-3020 PLATTING FEES	2,000.00	0.00	0.00	2,000.00	0.00
10-599-3025 VARIANCE/RE-ZONE FEES	1,000.00	0.00	0.00	1,000.00	0.00
10-599-3040 CONTRACTORS' LICENSES	3,000.00	118.75	118.75	2,881.25	3.96
10-599-3045 INSPECTION FEES	7,000.00	500.00	500.00	6,500.00	7.14
10-599-3048 COMMERCIAL SIGN PERMITS	1,500.00	100.00	100.00	1,400.00	6.67
10-599-3050 GARAGE SALE & OTHER PERMITS	1,500.00	60.00	60.00	1,440.00	4.00
10-599-3055 HEALTH INSPECTIONS	4,000.00	300.00	300.00	3,700.00	7.50
10-599-3060 DEVELOPMENT FEES	<u>5,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>5,000.00</u>	<u>0.00</u>
TOTAL PERMITS & LICENSES	372,000.00	54,405.06	54,405.06	317,594.94	14.63
<u>COURT FEES</u>					
10-599-4010 MUNICIPAL COURT FINES	140,000.00	8,724.25	8,724.25	131,275.75	6.23
10-599-4021 ARREST FEES	5,000.00	366.76	366.76	4,633.24	7.34
10-599-4028 STATE COURT COST ALLOCATION	6,000.00	0.00	0.00	6,000.00	0.00
10-599-4030 WARRANT FEES	21,000.00	1,150.00	1,150.00	19,850.00	5.48
10-599-4036 JUDICIAL FEE - CITY	<u>750.00</u>	<u>48.79</u>	<u>48.79</u>	<u>701.21</u>	<u>6.51</u>
TOTAL COURT FEES	172,750.00	10,289.80	10,289.80	162,460.20	5.96
<u>POLICE/FIRE REVENUES</u>					
10-599-6010 POLICE REPORT REVENUE	400.00	18.00	18.00	382.00	4.50
10-599-6030 POLICE DEPT. REVENUE	3,500.00	50.00	50.00	3,450.00	1.43
10-599-6060 EMS FEES	<u>165,000.00</u>	<u>12,587.87</u>	<u>12,587.87</u>	<u>152,412.13</u>	<u>7.63</u>
TOTAL POLICE/FIRE REVENUES	168,900.00	12,655.87	12,655.87	156,244.13	7.49

10 -GENERAL FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>MISC./GRANTS/INTEREST</u>					
10-599-7000 INTEREST INCOME	81,194.00	4,443.82	4,443.82	76,750.18	5.47
10-599-7021 FEDERAL GRANTS	38,010.00	0.00	0.00	38,010.00	0.00
10-599-7025 US DOJ VEST GRANT	2,500.00	0.00	0.00	2,500.00	0.00
10-599-7030 FORESTRY SERVICE GRANT	10,000.00	0.00	0.00	10,000.00	0.00
10-599-7037 STRAC	7,000.00	0.00	0.00	7,000.00	0.00
10-599-7040 PUBLIC RECORDS REVENUE	50.00	0.00	0.00	50.00	0.00
10-599-7050 ADMINISTRATIVE INCOME	4,000.00	580.13	580.13	3,419.87	14.50
10-599-7060 CC SERVICE FEES	4,000.00	481.34	481.34	3,518.66	12.03
10-599-7070 RECYCLING REVENUE	3,500.00	0.00	0.00	3,500.00	0.00
10-599-7075 SITE LEASE/LICENSE FEES	26,150.00	2,152.58	2,152.58	23,997.42	8.23
10-599-7086 DONATIONS- ADMINISTRATION	6,000.00	2,000.00	2,000.00	4,000.00	33.33
10-599-7090 SALE OF CITY ASSETS	<u>20,000.00</u>	<u>1,621.74</u>	<u>1,621.74</u>	<u>18,378.26</u>	<u>8.11</u>
TOTAL MISC./GRANTS/INTEREST	202,404.00	11,279.61	11,279.61	191,124.39	5.57
<u>TRANSFERS IN</u>					
10-599-8020 TRF IN -WATER FUND	22,050.00	0.00	0.00	22,050.00	0.00
10-599-8040 TRF IN -CRIME CONTROL	4,990.00	0.00	0.00	4,990.00	0.00
10-599-8050 TRF IN -COURT RESTRICTED	<u>8,400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>8,400.00</u>	<u>0.00</u>
TOTAL TRANSFERS IN	35,440.00	0.00	0.00	35,440.00	0.00
TOTAL NON-DEPARTMENTAL	5,458,847.00	428,217.70	428,217.70	5,030,629.30	7.84
TOTAL REVENUES	5,458,847.00 =====	428,217.70 =====	428,217.70 =====	5,030,629.30 =====	7.84 =====

10 -GENERAL FUND
CITY COUNCIL

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>SUPPLIES</u>					
10-600-2020 GENERAL OFFICE SUPPLIES	300.00	19.99	19.99	280.01	6.66
10-600-2035 COUNCIL/EMPLOYEE APPRECIATI	900.00	102.90	102.90	797.10	11.43
10-600-2037 CITY SPONSORED EVENTS	23,000.00	3,443.30	3,443.30	19,556.70	14.97
10-600-2040 MEETING SUPPLIES	900.00	363.36	363.36	536.64	40.37
10-600-2080 UNIFORMS	<u>200.00</u>	<u>61.72</u>	<u>61.72</u>	<u>138.28</u>	<u>30.86</u>
TOTAL SUPPLIES	25,300.00	3,991.27	3,991.27	21,308.73	15.78
<u>SERVICES</u>					
10-600-3018 CITY WIDE CLEAN UP	1,400.00	0.00	0.00	1,400.00	0.00
10-600-3020 ASSOCIATION DUES & PUBS	1,747.00	0.00	0.00	1,747.00	0.00
10-600-3030 TRAINING/EDUCATION	1,800.00	0.00	0.00	1,800.00	0.00
10-600-3040 TRAVEL/LODGING/MEALS	<u>500.00</u>	<u>0.00</u>	<u>0.00</u>	<u>500.00</u>	<u>0.00</u>
TOTAL SERVICES	5,447.00	0.00	0.00	5,447.00	0.00
<u>CONTRACTUAL</u>					
10-600-4088 ELECTION SERVICES	<u>3,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>3,000.00</u>	<u>0.00</u>
TOTAL CONTRACTUAL	3,000.00	0.00	0.00	3,000.00	0.00
<u>CAPITAL OUTLAY</u>					
10-600-8015 NON-CAPITAL-COMPUTER EQUIPM	<u>1,500.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,500.00</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	1,500.00	0.00	0.00	1,500.00	0.00
TOTAL CITY COUNCIL	35,247.00	3,991.27	3,991.27	31,255.73	11.32

10 -GENERAL FUND
ADMINISTRATION

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>PERSONNEL</u>					
10-601-1010 SALARIES	452,800.00	33,913.10	33,913.10	418,886.90	7.49
10-601-1015 OVERTIME	500.00	0.00	0.00	500.00	0.00
10-601-1020 MEDICARE	6,674.00	480.28	480.28	6,193.72	7.20
10-601-1025 TWC (SUI)	1,080.00	0.00	0.00	1,080.00	0.00
10-601-1030 HEALTH INSURANCE	34,320.00	2,860.00	2,860.00	31,460.00	8.33
10-601-1031 HSA	222.00	14.80	14.80	207.20	6.67
10-601-1033 DENTAL INSURANCE	2,771.00	231.01	231.01	2,539.99	8.34
10-601-1035 VISION CARE INSURANCE	528.00	43.94	43.94	484.06	8.32
10-601-1036 LIFE INSURANCE	422.00	35.10	35.10	386.90	8.32
10-601-1037 WORKERS' COMP INSURANCE	1,177.00	0.00	0.00	1,177.00	0.00
10-601-1040 TMRS RETIREMENT	64,208.00	4,805.72	4,805.72	59,402.28	7.48
10-601-1070 SPECIAL ALLOWANCES	<u>6,975.00</u>	<u>536.56</u>	<u>536.56</u>	<u>6,438.44</u>	<u>7.69</u>
TOTAL PERSONNEL	571,677.00	42,920.51	42,920.51	528,756.49	7.51
<u>SUPPLIES</u>					
10-601-2020 GENERAL OFFICE SUPPLIES	6,500.00	799.90	799.90	5,700.10	12.31
10-601-2025 BENEFITS CITYWIDE	2,000.00	0.00	0.00	2,000.00	0.00
10-601-2030 POSTAGE/METER RENTAL	11,980.00	1,350.38	1,350.38	10,629.62	11.27
10-601-2035 EMPLOYEE APPRECIATION	3,000.00	0.00	0.00	3,000.00	0.00
10-601-2050 PRINTING & COPYING	1,000.00	142.86	142.86	857.14	14.29
10-601-2060 MED EXAMS/SCREENING/TESTING	1,260.00	209.61	209.61	1,050.39	16.64
10-601-2070 JANITORIAL SUPPLIES	<u>0.00</u>	<u>24.10</u>	<u>24.10</u>	<u>(24.10)</u>	<u>0.00</u>
TOTAL SUPPLIES	25,740.00	2,526.85	2,526.85	23,213.15	9.82
<u>SERVICES</u>					
10-601-3010 ADVERTISING EXPENSE	4,000.00	0.00	0.00	4,000.00	0.00
10-601-3012 PROF. SERVICES-ENGINEERS	20,100.00	0.00	0.00	20,100.00	0.00
10-601-3013 PROFESSIONAL SERVICES	4,450.00	0.00	0.00	4,450.00	0.00
10-601-3015 PROF. SERVICES-LEGAL	48,000.00	5,733.08	5,733.08	42,266.92	11.94
10-601-3016 CODIFICATION EXPENSE	2,500.00	900.00	900.00	1,600.00	36.00
10-601-3020 ASSOCIATION DUES & PUBLICAT	4,100.00	672.00	672.00	3,428.00	16.39
10-601-3030 TRAINING/EDUCATION	4,500.00	0.00	0.00	4,500.00	0.00
10-601-3040 TRAVEL/MILEAGE/LODGING/PERD	4,500.00	74.92	74.92	4,425.08	1.66
10-601-3050 LIABILITY INSURANCE	9,700.00	9,040.32	9,040.32	659.68	93.20
10-601-3075 BANK/CREDIT CARD FEES	3,500.00	363.99	363.99	3,136.01	10.40
10-601-3085 WEBSITE TECHNOLOGY	2,400.00	2,100.00	2,100.00	300.00	87.50
10-601-3087 CITIZENS COMMUNICATION/EDUC	<u>6,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>6,000.00</u>	<u>0.00</u>
TOTAL SERVICES	113,750.00	18,884.31	18,884.31	94,865.69	16.60
<u>CONTRACTUAL</u>					
10-601-4050 DOCUMENT STORAGE/ARCHIVES	4,000.00	211.00	211.00	3,789.00	5.28
10-601-4060 IT SERVICES	39,600.00	5,311.95	5,311.95	34,288.05	13.41
10-601-4075 COMPUTER SOFTWARE/INCODE	15,840.00	14,742.10	14,742.10	1,097.90	93.07
10-601-4083 AUDIT SERVICES	16,300.00	0.00	0.00	16,300.00	0.00
10-601-4084 BEXAR COUNTY APPRAISAL DIST	15,847.00	0.00	0.00	15,847.00	0.00
10-601-4085 BEXAR COUNTY TAX ASSESSOR	3,620.00	3,543.98	3,543.98	76.02	97.90
10-601-4086 CONTRACT LABOR	<u>500.00</u>	<u>346.75</u>	<u>346.75</u>	<u>153.25</u>	<u>69.35</u>
TOTAL CONTRACTUAL	95,707.00	24,155.78	24,155.78	71,551.22	25.24

10 -GENERAL FUND
ADMINISTRATION

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>MAINTENANCE</u>					
10-601-5005 EQUIPMENT LEASES	3,700.00	444.84	444.84	3,255.16	12.02
10-601-5010 EQUIPMENT MAINT & REPAIR	500.00	0.00	0.00	500.00	0.00
10-601-5015 ELECTRONIC EQPT MAINT	500.00	0.00	0.00	500.00	0.00
10-601-5030 BUILDING MAINTENANCE	<u>17,680.00</u>	<u>1,483.35</u>	<u>1,483.35</u>	<u>16,196.65</u>	<u>8.39</u>
TOTAL MAINTENANCE	22,380.00	1,928.19	1,928.19	20,451.81	8.62
<u>UTILITIES</u>					
10-601-7042 UTILITIES - PHONE/CELL/VOIP	<u>17,300.00</u>	<u>1,603.55</u>	<u>1,603.55</u>	<u>15,696.45</u>	<u>9.27</u>
TOTAL UTILITIES	17,300.00	1,603.55	1,603.55	15,696.45	9.27
<u>CAPITAL OUTLAY</u>					
10-601-8015 NON-CAPITAL-COMPUTER	1,500.00	1,197.85	1,197.85	302.15	79.86
10-601-8025 NON-CAPITAL-OFFICE FURNITUR	200.00	0.00	0.00	200.00	0.00
10-601-8080 CAPITAL - IMPROVEMENTS	<u>47,000.00</u>	<u>653.47</u>	<u>653.47</u>	<u>46,346.53</u>	<u>1.39</u>
TOTAL CAPITAL OUTLAY	48,700.00	1,851.32	1,851.32	46,848.68	3.80
<u>INTERFUND TRANSFERS</u>					
10-601-9010 TRANSFERS/CAPITAL REPLACEME	<u>41,837.00</u>	<u>0.00</u>	<u>0.00</u>	<u>41,837.00</u>	<u>0.00</u>
TOTAL INTERFUND TRANSFERS	41,837.00	0.00	0.00	41,837.00	0.00
TOTAL ADMINISTRATION	937,091.00	93,870.51	93,870.51	843,220.49	10.02

10 -GENERAL FUND
COURT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>PERSONNEL</u>					
10-602-1010 SALARIES	51,820.00	3,759.60	3,759.60	48,060.40	7.26
10-602-1020 MEDICARE	776.00	55.86	55.86	720.14	7.20
10-602-1025 TWC (SUI)	180.00	0.00	0.00	180.00	0.00
10-602-1036 LIFE INSURANCE	70.00	5.85	5.85	64.15	8.36
10-602-1037 WORKERS' COMP INSURANCE	137.00	0.00	0.00	137.00	0.00
10-602-1040 TMRS RETIREMENT	7,466.00	537.34	537.34	6,928.66	7.20
10-602-1070 SPECIAL ALLOWANCES	<u>1,200.00</u>	<u>92.30</u>	<u>92.30</u>	<u>1,107.70</u>	<u>7.69</u>
TOTAL PERSONNEL	61,649.00	4,450.95	4,450.95	57,198.05	7.22
<u>SUPPLIES</u>					
10-602-2020 OFFICE SUPPLIES	600.00	22.55	22.55	577.45	3.76
10-602-2050 PRINTING & COPYING	<u>1,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,000.00</u>	<u>0.00</u>
TOTAL SUPPLIES	1,600.00	22.55	22.55	1,577.45	1.41
<u>SERVICES</u>					
10-602-3015 JUDGE/PROSECUTOR	15,600.00	1,300.00	1,300.00	14,300.00	8.33
10-602-3020 ASSOCIATION DUES & PUBS	300.00	0.00	0.00	300.00	0.00
10-602-3030 TRAINING/EDUCATION	1,000.00	200.00	200.00	800.00	20.00
10-602-3040 TRAVEL/MILEAGE/LODGING/PERD	1,500.00	0.00	0.00	1,500.00	0.00
10-602-3050 LIABILITY INSURANCE	107.00	99.72	99.72	7.28	93.20
10-602-3070 PROPERTY INSURANCE	54.00	50.33	50.33	3.67	93.20
10-602-3075 BANK/CREDIT CARD FEES	<u>1,600.00</u>	<u>78.90</u>	<u>78.90</u>	<u>1,521.10</u>	<u>4.93</u>
TOTAL SERVICES	20,161.00	1,728.95	1,728.95	18,432.05	8.58
<u>CONTRACTUAL</u>					
10-602-4075 COMPUTER SOFTWARE/INCODE	<u>4,530.00</u>	<u>4,432.49</u>	<u>4,432.49</u>	<u>97.51</u>	<u>97.85</u>
TOTAL CONTRACTUAL	4,530.00	4,432.49	4,432.49	97.51	97.85
<u>UTILITIES</u>					
10-602-7042 UTILITIES - PHONE/CELL/VOIP	<u>1,130.00</u>	<u>94.35</u>	<u>94.35</u>	<u>1,035.65</u>	<u>8.35</u>
TOTAL UTILITIES	1,130.00	94.35	94.35	1,035.65	8.35
<u>CAPITAL OUTLAY</u>					
10-602-8015 NON-CAPITAL-COMPUTER	<u>1,900.00</u>	<u>1,355.84</u>	<u>1,355.84</u>	<u>544.16</u>	<u>71.36</u>
TOTAL CAPITAL OUTLAY	1,900.00	1,355.84	1,355.84	544.16	71.36
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TOTAL COURT	90,970.00	12,085.13	12,085.13	78,884.87	13.28

10 -GENERAL FUND

PUBLIC WORKS

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>PERSONNEL</u>					
10-603-1010 SALARIES	200,550.00	10,146.19	10,146.19	190,403.81	5.06
10-603-1015 OVERTIME	3,000.00	154.78	154.78	2,845.22	5.16
10-603-1020 MEDICARE	3,320.00	152.52	152.52	3,167.48	4.59
10-603-1025 TWC (SUI)	720.00	0.00	0.00	720.00	0.00
10-603-1030 HEALTH INSURANCE	27,456.00	1,430.00	1,430.00	26,026.00	5.21
10-603-1031 HSA	178.00	9.25	9.25	168.75	5.20
10-603-1033 DENTAL INSURANCE	1,536.00	78.20	78.20	1,457.80	5.09
10-603-1035 VISION CARE INSURANCE	365.00	18.59	18.59	346.41	5.09
10-603-1036 LIFE INSURANCE	281.00	13.66	13.66	267.34	4.86
10-603-1037 WORKERS' COMP INSURANCE	5,249.00	0.00	0.00	5,249.00	0.00
10-603-1040 TMRS RETIREMENT	31,935.00	1,509.41	1,509.41	30,425.59	4.73
10-603-1070 SPECIAL ALLOWANCES	<u>7,200.00</u>	<u>519.26</u>	<u>519.26</u>	<u>6,680.74</u>	<u>7.21</u>
TOTAL PERSONNEL	281,790.00	14,031.86	14,031.86	267,758.14	4.98
<u>SUPPLIES</u>					
10-603-2020 OFFICE SUPPLIES	1,000.00	0.00	0.00	1,000.00	0.00
10-603-2050 PRINTING & COPYING	175.00	23.81	23.81	151.19	13.61
10-603-2060 MEDICAL EXAMS/SCREENING/TES	200.00	0.00	0.00	200.00	0.00
10-603-2070 JANITORIAL SUPPLIES	2,000.00	298.33	298.33	1,701.67	14.92
10-603-2080 UNIFORMS	1,500.00	0.00	0.00	1,500.00	0.00
10-603-2090 SMALL TOOLS	3,000.00	1,283.43	1,283.43	1,716.57	42.78
10-603-2091 SAFETY GEAR	<u>1,000.00</u>	<u>136.98</u>	<u>136.98</u>	<u>863.02</u>	<u>13.70</u>
TOTAL SUPPLIES	8,875.00	1,742.55	1,742.55	7,132.45	19.63
<u>SERVICES</u>					
10-603-3012 PROFESSIONAL - ENGINEERING	5,000.00	0.00	0.00	5,000.00	0.00
10-603-3013 PROFESSIONAL SERVICES	26,700.00	1,652.39	1,652.39	25,047.61	6.19
10-603-3014 PROF SERV - CH & MONUMENTS	20,000.00	2,180.76	2,180.76	17,819.24	10.90
10-603-3020 ASSOCIATION DUES & PUBS	300.00	0.00	0.00	300.00	0.00
10-603-3030 TRAINING/EDUCATION	300.00	0.00	0.00	300.00	0.00
10-603-3040 TRAVEL/MILEAGE/LODGING/PERD	250.00	0.00	0.00	250.00	0.00
10-603-3050 LIABILITY INSURANCE	3,890.00	3,625.45	3,625.45	264.55	93.20
10-603-3060 UNIFORM SERVICE	1,500.00	188.80	188.80	1,311.20	12.59
10-603-3070 PROPERTY INSURANCE	<u>1,930.00</u>	<u>1,798.74</u>	<u>1,798.74</u>	<u>131.26</u>	<u>93.20</u>
TOTAL SERVICES	59,870.00	9,446.14	9,446.14	50,423.86	15.78
<u>CONTRACTUAL</u>					
10-603-4075 COMPUTER SOFTWARE	<u>600.00</u>	<u>0.00</u>	<u>0.00</u>	<u>600.00</u>	<u>0.00</u>
TOTAL CONTRACTUAL	600.00	0.00	0.00	600.00	0.00
<u>MAINTENANCE</u>					
10-603-5005 EQUIPMENT LEASES	3,000.00	0.00	0.00	3,000.00	0.00
10-603-5010 EQUIPMENT MAINT & REPAIR	12,000.00	873.18	873.18	11,126.82	7.28
10-603-5020 VEHICLE MAINTENANCE	7,000.00	50.53	50.53	6,949.47	0.72
10-603-5030 BUILDING MAINTENANCE	11,000.00	1,403.57	1,403.57	9,596.43	12.76
10-603-5060 VEHICLE & EQPT FUELS	<u>5,000.00</u>	<u>440.11</u>	<u>440.11</u>	<u>4,559.89</u>	<u>8.80</u>
TOTAL MAINTENANCE	38,000.00	2,767.39	2,767.39	35,232.61	7.28

10 -GENERAL FUND
PUBLIC WORKS

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>DEPT MATERIALS-SERVICES</u>					
10-603-6011 CHEMICALS	750.00	265.00	265.00	485.00	35.33
10-603-6080 STREET MAINTENANCE	75,350.00	3,471.34	3,471.34	71,878.66	4.61
10-603-6081 SIGN MAINTENANCE	<u>2,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>2,000.00</u>	<u>0.00</u>
TOTAL DEPT MATERIALS-SERVICES	78,100.00	3,736.34	3,736.34	74,363.66	4.78
<u>UTILITIES</u>					
10-603-7040 UTILITIES - ELECTRIC	38,000.00	2,677.18	2,677.18	35,322.82	7.05
10-603-7041 UTILITIES - GAS	1,000.00	22.92	22.92	977.08	2.29
10-603-7042 UTILITIES - PHONE	500.00	37.00	37.00	463.00	7.40
10-603-7044 UTILITIES - WATER	12,000.00	5,321.63	5,321.63	6,678.37	44.35
10-603-7045 STREET LIGHTS	<u>30,000.00</u>	<u>2,466.06</u>	<u>2,466.06</u>	<u>27,533.94</u>	<u>8.22</u>
TOTAL UTILITIES	81,500.00	10,524.79	10,524.79	70,975.21	12.91
<u>CAPITAL OUTLAY</u>					
10-603-8005 OFFICE FURNITURE	300.00	0.00	0.00	300.00	0.00
10-603-8015 NON-CAPITAL-COMPUTER	<u>1,150.00</u>	<u>677.93</u>	<u>677.93</u>	<u>472.07</u>	<u>58.95</u>
TOTAL CAPITAL OUTLAY	1,450.00	677.93	677.93	772.07	46.75
<u>INTERFUND TRANSFERS</u>					
10-603-9010 TRF TO CAPITAL REPLACEMENT	<u>49,122.00</u>	<u>0.00</u>	<u>0.00</u>	<u>49,122.00</u>	<u>0.00</u>
TOTAL INTERFUND TRANSFERS	49,122.00	0.00	0.00	49,122.00	0.00
TOTAL PUBLIC WORKS	599,307.00	42,927.00	42,927.00	556,380.00	7.16

10 -GENERAL FUND
FIRE DEPARTMENT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>PERSONNEL</u>					
10-604-1010 SALARIES	1,103,800.00	75,575.96	75,575.96	1,028,224.04	6.85
10-604-1015 OVERTIME	35,000.00	2,097.37	2,097.37	32,902.63	5.99
10-604-1020 MEDICARE	16,907.00	1,110.44	1,110.44	15,796.56	6.57
10-604-1025 TWC (SUI)	3,060.00	0.00	0.00	3,060.00	0.00
10-604-1030 HEALTH INSURANCE	116,688.00	8,580.00	8,580.00	108,108.00	7.35
10-604-1031 HSA	755.00	48.10	48.10	706.90	6.37
10-604-1033 DENTAL INSURANCE	6,543.00	469.20	469.20	6,073.80	7.17
10-604-1035 VISION CARE INSURANCE	1,542.00	114.92	114.92	1,427.08	7.45
10-604-1036 LIFE INSURANCE	1,193.00	87.75	87.75	1,105.25	7.36
10-604-1037 WORKERS' COMP INSURANCE	30,992.00	0.00	0.00	30,992.00	0.00
10-604-1040 TMRS RETIREMENT	162,660.00	10,987.44	10,987.44	151,672.56	6.75
10-604-1070 SPECIAL ALLOWANCES	<u>16,520.00</u>	<u>1,089.52</u>	<u>1,089.52</u>	<u>15,430.48</u>	<u>6.60</u>
TOTAL PERSONNEL	1,495,660.00	100,160.70	100,160.70	1,395,499.30	6.70
<u>SUPPLIES</u>					
10-604-2020 OFFICE SUPPLIES	1,500.00	23.81	23.81	1,476.19	1.59
10-604-2060 MEDICAL EXAMS/SCREENING/TES	1,000.00	459.00	459.00	541.00	45.90
10-604-2070 JANITORIAL SUPPLIES	2,500.00	144.68	144.68	2,355.32	5.79
10-604-2080 UNIFORMS & ACCESSORIES	<u>7,000.00</u>	<u>1,980.65</u>	<u>1,980.65</u>	<u>5,019.35</u>	<u>28.30</u>
TOTAL SUPPLIES	12,000.00	2,608.14	2,608.14	9,391.86	21.73
<u>SERVICES</u>					
10-604-3017 PROFESSIONAL - MEDICAL DIRE	5,400.00	450.00	450.00	4,950.00	8.33
10-604-3020 ASSOCIATION DUES & PUBS	8,420.00	2,300.50	2,300.50	6,119.50	27.32
10-604-3030 TRAINING/EDUCATION	7,000.00	502.50	502.50	6,497.50	7.18
10-604-3040 TRAVEL/MILEAGE/LODGING/PERD	4,000.00	408.21	408.21	3,591.79	10.21
10-604-3050 LIABILITY INSURANCE	22,000.00	20,503.82	20,503.82	1,496.18	93.20
10-604-3070 PROPERTY INSURANCE	13,000.00	12,115.89	12,115.89	884.11	93.20
10-604-3080 SPECIAL SERVICES	10,800.00	823.24	823.24	9,976.76	7.62
10-604-3090 COMMUNICATIONS SERVICES	<u>4,668.00</u>	<u>357.57</u>	<u>357.57</u>	<u>4,310.43</u>	<u>7.66</u>
TOTAL SERVICES	75,288.00	37,461.73	37,461.73	37,826.27	49.76
<u>CONTRACTUAL</u>					
10-604-4045 RADIO ACCESS FEES - COSA	6,000.00	5,832.00	5,832.00	168.00	97.20
10-604-4075 COMPUTER SOFTWARE/MAINTENAN	<u>3,900.00</u>	<u>0.00</u>	<u>0.00</u>	<u>3,900.00</u>	<u>0.00</u>
TOTAL CONTRACTUAL	9,900.00	5,832.00	5,832.00	4,068.00	58.91
<u>MAINTENANCE</u>					
10-604-5010 EQUIPMENT MAINT & REPAIR	4,500.00	637.50	637.50	3,862.50	14.17
10-604-5020 VEHICLE MAINTENANCE	15,000.00	765.61	765.61	14,234.39	5.10
10-604-5030 BUILDING MAINTENANCE	7,000.00	200.00	200.00	6,800.00	2.86
10-604-5060 VEHICLE & EQPT FUELS	<u>10,000.00</u>	<u>1,219.64</u>	<u>1,219.64</u>	<u>8,780.36</u>	<u>12.20</u>
TOTAL MAINTENANCE	36,500.00	2,822.75	2,822.75	33,677.25	7.73

10 -GENERAL FUND
FIRE DEPARTMENT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>DEPT MATERIALS-SERVICES</u>					
10-604-6015 ELECTRONIC EQPT MAINT	7,000.00	2,304.36	2,304.36	4,695.64	32.92
10-604-6030 INVESTIGATIVE SUPPLIES/PROC	1,500.00	0.00	0.00	1,500.00	0.00
10-604-6040 EMS SUPPLIES	25,340.00	4,630.49	4,630.49	20,709.51	18.27
10-604-6045 FIRE FIGHTING EQPT SUPPLIES	10,000.00	103.84	103.84	9,896.16	1.04
10-604-6060 PPE MAINTENENCE	<u>14,100.00</u>	<u>643.96</u>	<u>643.96</u>	<u>13,456.04</u>	<u>4.57</u>
TOTAL DEPT MATERIALS-SERVICES	57,940.00	7,682.65	7,682.65	50,257.35	13.26
<u>UTILITIES</u>					
10-604-7044 UTILITIES - WATER	<u>1,400.00</u>	<u>1,854.11</u>	<u>1,854.11</u>	(<u>454.11</u>)	<u>132.44</u>
TOTAL UTILITIES	1,400.00	1,854.11	1,854.11	(454.11)	132.44
<u>CAPITAL OUTLAY</u>					
10-604-8015 NON-CAPITAL-COMPUTER EQUIPM	1,900.00	1,197.85	1,197.85	702.15	63.04
10-604-8040 CAPITAL - PPE EQUIPMENT	2,500.00	0.00	0.00	2,500.00	0.00
10-604-8080 CAPITAL - IMPROVEMENT	<u>16,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>16,000.00</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	20,400.00	1,197.85	1,197.85	19,202.15	5.87
<u>INTERFUND TRANSFERS</u>					
10-604-9000 GRANT EXPENDITURES	17,000.00	0.00	0.00	17,000.00	0.00
10-604-9010 TRF TO CAPITAL REPLACEMENT	<u>206,623.00</u>	<u>0.00</u>	<u>0.00</u>	<u>206,623.00</u>	<u>0.00</u>
TOTAL INTERFUND TRANSFERS	223,623.00	0.00	0.00	223,623.00	0.00
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TOTAL FIRE DEPARTMENT	1,932,711.00	159,619.93	159,619.93	1,773,091.07	8.26

10 -GENERAL FUND

POLICE DEPARTMENT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>PERSONNEL</u>					
10-605-1010 SALARIES	1,129,812.00	82,719.12	82,719.12	1,047,092.88	7.32
10-605-1015 OVERTIME	16,000.00	5,406.63	5,406.63	10,593.37	33.79
10-605-1020 MEDICARE	17,149.00	1,285.78	1,285.78	15,863.22	7.50
10-605-1025 TWC (SUI)	3,420.00	0.00	0.00	3,420.00	0.00
10-605-1030 HEALTH INSURANCE	130,416.00	10,296.00	10,296.00	120,120.00	7.89
10-605-1031 HSA	844.00	66.60	66.60	777.40	7.89
10-605-1033 DENTAL INSURANCE	7,216.00	585.06	585.06	6,630.94	8.11
10-605-1035 VISION CARE INSURANCE	1,744.00	138.58	138.58	1,605.42	7.95
10-605-1036 LIFE INSURANCE	1,334.00	105.30	105.30	1,228.70	7.89
10-605-1037 WORKERS' COMP INSURANCE	28,046.00	0.00	0.00	28,046.00	0.00
10-605-1040 TMRS RETIREMENT	164,985.00	12,629.93	12,629.93	152,355.07	7.66
10-605-1070 SPECIAL ALLOWANCES	<u>36,875.00</u>	<u>2,411.52</u>	<u>2,411.52</u>	<u>34,463.48</u>	<u>6.54</u>
TOTAL PERSONNEL	1,537,841.00	115,644.52	115,644.52	1,422,196.48	7.52
<u>SUPPLIES</u>					
10-605-2020 OFFICE SUPPLIES	3,000.00	0.00	0.00	3,000.00	0.00
10-605-2050 PRINTING & COPYING	1,300.00	284.16	284.16	1,015.84	21.86
10-605-2060 MEDICAL/SCREENING/TESTING/B	500.00	116.00	116.00	384.00	23.20
10-605-2080 UNIFORMS & ACCESSORIES	<u>27,000.00</u>	<u>950.13</u>	<u>950.13</u>	<u>26,049.87</u>	<u>3.52</u>
TOTAL SUPPLIES	31,800.00	1,350.29	1,350.29	30,449.71	4.25
<u>SERVICES</u>					
10-605-3020 ASSOCIATION DUES & PUBS	2,869.00	190.00	190.00	2,679.00	6.62
10-605-3030 TRAINING/EDUCATION	3,500.00	0.00	0.00	3,500.00	0.00
10-605-3040 TRAVEL/MILEAGE/LODGING/PERD	5,000.00	847.68	847.68	4,152.32	16.95
10-605-3050 LIABILITY INSURANCE	17,900.00	16,682.66	16,682.66	1,217.34	93.20
10-605-3060 UNIFORM MAINTENANCE	6,000.00	447.73	447.73	5,552.27	7.46
10-605-3071 PROPERTY INSURANCE	8,400.00	7,828.73	7,828.73	571.27	93.20
10-605-3072 ANIMAL CONTROL SERVICES	12,500.00	1,000.00	1,000.00	11,500.00	8.00
10-605-3087 CITIZENS COMMUNICATION/ED	400.00	0.00	0.00	400.00	0.00
10-605-3090 COMMUNCIATIONS SERVICES	<u>5,600.00</u>	<u>455.88</u>	<u>455.88</u>	<u>5,144.12</u>	<u>8.14</u>
TOTAL SERVICES	62,169.00	27,452.68	27,452.68	34,716.32	44.16
<u>CONTRACTUAL</u>					
10-605-4045 CONTRACT/RADIO FEES COSA	8,000.00	7,776.00	7,776.00	224.00	97.20
10-605-4075 COMPUTER SOFTWARE/INCODE	<u>15,886.00</u>	<u>9,461.28</u>	<u>9,461.28</u>	<u>6,424.72</u>	<u>59.56</u>
TOTAL CONTRACTUAL	23,886.00	17,237.28	17,237.28	6,648.72	72.16
<u>MAINTENANCE</u>					
10-605-5005 EQUIPMENT LEASES	2,000.00	137.14	137.14	1,862.86	6.86
10-605-5010 EQUIPMENT MAINT & REPAIR	3,000.00	349.84	349.84	2,650.16	11.66
10-605-5015 ELECTRONIC EQPT MAINT	5,350.00	0.00	0.00	5,350.00	0.00
10-605-5020 VEHICLE MAINTENANCE	23,000.00	1,354.49	1,354.49	21,645.51	5.89
10-605-5060 VEHICLE & EQPT FUELS	<u>30,000.00</u>	<u>3,260.45</u>	<u>3,260.45</u>	<u>26,739.55</u>	<u>10.87</u>
TOTAL MAINTENANCE	63,350.00	5,101.92	5,101.92	58,248.08	8.05

10 -GENERAL FUND
POLICE DEPARTMENT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>DEPT MATERIALS-SERVICES</u>					
10-605-6030 INVESTIGATIVE SUPPLIES	3,000.00	634.97	634.97	2,365.03	21.17
10-605-6032 POLICE SAFETY SUPPLIES	3,000.00	83.65	83.65	2,916.35	2.79
10-605-6035 FIREARMS EQUIPMENT/SUPPLIES	<u>6,500.00</u>	<u>352.25</u>	<u>352.25</u>	<u>6,147.75</u>	<u>5.42</u>
TOTAL DEPT MATERIALS-SERVICES	12,500.00	1,070.87	1,070.87	11,429.13	8.57
<u>UTILITIES</u>					
10-605-7042 UTILITES- PHONE	<u>4,400.00</u>	<u>347.07</u>	<u>347.07</u>	<u>4,052.93</u>	<u>7.89</u>
TOTAL UTILITIES	4,400.00	347.07	347.07	4,052.93	7.89
<u>CAPITAL OUTLAY</u>					
10-605-8015 NON-CAPITAL-COMPUTER EQUIP.	<u>400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>400.00</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	400.00	0.00	0.00	400.00	0.00
<u>INTERFUND TRANSFERS</u>					
10-605-9000 GRANT EXPENDITURES	<u>43,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>43,000.00</u>	<u>0.00</u>
TOTAL INTERFUND TRANSFERS	43,000.00	0.00	0.00	43,000.00	0.00
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TOTAL POLICE DEPARTMENT	1,779,346.00	168,204.63	168,204.63	1,611,141.37	9.45

10 -GENERAL FUND
DEVELOPMENT SERVICES

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>SUPPLIES</u>					
10-607-2020 OFFICE SUPPLIES	325.00	0.00	0.00	325.00	0.00
10-607-2050 PRINTING & COPYING	<u>750.00</u>	<u>0.00</u>	<u>0.00</u>	<u>750.00</u>	<u>0.00</u>
TOTAL SUPPLIES	1,075.00	0.00	0.00	1,075.00	0.00
<u>SERVICES</u>					
10-607-3012 PROF -ENGINEERING REVIEW	2,000.00	0.00	0.00	2,000.00	0.00
10-607-3015 PROF -BLDG INSPECTION SERVI	75,000.00	7,577.25	7,577.25	67,422.75	10.10
10-607-3016 PROF -HEALTH INSPECTOR	2,000.00	240.00	240.00	1,760.00	12.00
10-607-3017 PROF -SANITARY INSPECTION S	2,500.00	250.00	250.00	2,250.00	10.00
10-607-3020 ASSOCIATION DUES & PUBS	<u>100.00</u>	<u>0.00</u>	<u>0.00</u>	<u>100.00</u>	<u>0.00</u>
TOTAL SERVICES	81,600.00	8,067.25	8,067.25	73,532.75	9.89
<u>CONTRACTUAL</u>					
10-607-4075 COMPUTER SOFTWARE/MAINTENAN	<u>1,500.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,500.00</u>	<u>0.00</u>
TOTAL CONTRACTUAL	1,500.00	0.00	0.00	1,500.00	0.00
TOTAL DEVELOPMENT SERVICES	84,175.00	8,067.25	8,067.25	76,107.75	9.58
TOTAL EXPENDITURES	5,458,847.00	488,765.72	488,765.72	4,970,081.28	8.95
REVENUES OVER/(UNDER) EXPENDITURES	0.00	(60,548.02)	(60,548.02)	60,548.02	0.00

20 -WATER FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>1,037,890.00</u>	<u>136,973.01</u>	<u>136,973.01</u>	<u>900,916.99</u>	<u>13.20</u>
TOTAL REVENUES	1,037,890.00 =====	136,973.01 =====	136,973.01 =====	900,916.99 =====	13.20 =====
<u>EXPENDITURE SUMMARY</u>					
WATER DEPARTMENT	849,856.00	106,190.89	106,190.89	743,665.11	12.50
DEBT SERVICE	<u>188,034.00</u>	<u>0.00</u>	<u>0.00</u>	<u>188,034.00</u>	<u>0.00</u>
TOTAL EXPENDITURES	1,037,890.00 =====	106,190.89 =====	106,190.89 =====	931,699.11 =====	10.23 =====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	30,782.12	30,782.12 (	30,782.12)	0.00

20 -WATER FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>NON-DEPARTMENTAL</u>					
<u>WATER SALES</u>					
20-599-5015 WATER CONSUMPTION	627,000.00	97,939.63	97,939.63	529,060.37	15.62
20-599-5016 LATE CHARGES	6,000.00	1,511.72	1,511.72	4,488.28	25.20
20-599-5018 DEBT SERVICE	188,317.00	15,760.84	15,760.84	172,556.16	8.37
20-599-5019 WATER SERVICE FEE	58,092.00	4,895.08	4,895.08	53,196.92	8.43
20-599-5036 EAA PASS THRU CHARGE	<u>83,681.00</u>	<u>12,294.00</u>	<u>12,294.00</u>	<u>71,387.00</u>	<u>14.69</u>
TOTAL WATER SALES	963,090.00	132,401.27	132,401.27	830,688.73	13.75
<u>MISC./GRANTS/INTEREST</u>					
20-599-7000 INTEREST INCOME	12,000.00	832.06	832.06	11,167.94	6.93
20-599-7011 OTHER INCOME	0.00	0.89	0.89 (	0.89)	0.00
20-599-7012 LEASE OF WATER RIGHTS	10,000.00	0.00	0.00	10,000.00	0.00
20-599-7060 CC SERVICE FEES	1,200.00	370.79	370.79	829.21	30.90
20-599-7075 SITE/TOWER LEASE REVENUE	37,200.00	3,084.76	3,084.76	34,115.24	8.29
20-599-7090 SALE OF FIXED ASSETS	<u>0.00</u>	<u>283.24</u>	<u>283.24</u> (	<u>283.24)</u>	<u>0.00</u>
TOTAL MISC./GRANTS/INTEREST	60,400.00	4,571.74	4,571.74	55,828.26	7.57
<u>TRANSFERS IN</u>					
20-599-8072 TRF IN-CAPITAL REPLACEMENT	<u>14,400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>14,400.00</u>	<u>0.00</u>
TOTAL TRANSFERS IN	14,400.00	0.00	0.00	14,400.00	0.00
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TOTAL NON-DEPARTMENTAL	1,037,890.00	136,973.01	136,973.01	900,916.99	13.20
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TOTAL REVENUES	1,037,890.00	136,973.01	136,973.01	900,916.99	13.20
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20 -WATER FUND
WATER DEPARTMENT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>PERSONNEL</u>					
20-606-1010 SALARIES	206,130.00	12,911.56	12,911.56	193,218.44	6.26
20-606-1015 OVERTIME	8,000.00	734.21	734.21	7,265.79	9.18
20-606-1020 MEDICARE	2,990.00	201.16	201.16	2,788.84	6.73
20-606-1025 TWC (SUI)	720.00	0.00	0.00	720.00	0.00
20-606-1030 HEALTH INSURANCE	27,450.00	2,002.00	2,002.00	25,448.00	7.29
20-606-1031 HSA	170.00	12.95	12.95	157.05	7.62
20-606-1033 DENTAL INSURANCE	1,360.00	106.64	106.64	1,253.36	7.84
20-606-1035 VISION CARE INSURANCE	330.00	25.35	25.35	304.65	7.68
20-606-1036 LIFE INSURANCE	280.00	19.50	19.50	260.50	6.96
20-606-1037 WORKERS' COMP INSURANCE	6,890.00	0.00	0.00	6,890.00	0.00
20-606-1040 TMRS RETIREMENT	28,750.00	1,972.80	1,972.80	26,777.20	6.86
20-606-1070 SPECIAL ALLOWANCES	<u>10,650.00</u>	<u>496.18</u>	<u>496.18</u>	<u>10,153.82</u>	<u>4.66</u>
TOTAL PERSONNEL	293,720.00	18,482.35	18,482.35	275,237.65	6.29
<u>SUPPLIES</u>					
20-606-2020 OFFICE SUPPLIES	1,500.00	35.88	35.88	1,464.12	2.39
20-606-2030 POSTAGE	3,130.00	228.90	228.90	2,901.10	7.31
20-606-2035 EMPLOYEE APPRECIATION	100.00	0.00	0.00	100.00	0.00
20-606-2050 PRINTING & COPYING	600.00	23.81	23.81	576.19	3.97
20-606-2060 MED EXAMS/SCREENING/TESTING	100.00	0.00	0.00	100.00	0.00
20-606-2070 JANITORIAL SUPPLIES	100.00	0.00	0.00	100.00	0.00
20-606-2075 BANK/CREDITCARD FEES	5,100.00	1,333.58	1,333.58	3,766.42	26.15
20-606-2080 UNIFORMS	1,200.00	0.00	0.00	1,200.00	0.00
20-606-2090 SMALL TOOLS	2,000.00	1,374.11	1,374.11	625.89	68.71
20-606-2091 SAFETY SUPPLIES/EQUIPMENT	<u>1,200.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,200.00</u>	<u>0.00</u>
TOTAL SUPPLIES	15,030.00	2,996.28	2,996.28	12,033.72	19.94
<u>SERVICES</u>					
20-606-3012 ENGINEERING SERVICES	10,000.00	0.00	0.00	10,000.00	0.00
20-606-3013 PROFESSIONAL SERVICES	2,000.00	0.00	0.00	2,000.00	0.00
20-606-3020 ASSOCIATION DUES & PUBS	2,215.00	222.00	222.00	1,993.00	10.02
20-606-3030 TRAINING/EDUCATION	2,700.00	335.00	335.00	2,365.00	12.41
20-606-3040 TRAVEL/MILEAGE/LODGING/PERD	1,500.00	0.00	0.00	1,500.00	0.00
20-606-3050 INSURANCE - LIABILITY	4,075.00	3,797.87	3,797.87	277.13	93.20
20-606-3060 UNIFORM SERVICES	2,500.00	188.78	188.78	2,311.22	7.55
20-606-3070 INSURANCE - PROPERTY	1,985.00	1,850.00	1,850.00	135.00	93.20
20-606-3075 CONSERV. ED./REBATES	100.00	0.00	0.00	100.00	0.00
20-606-3080 SPECIAL SERVICES	500.00	41.80	41.80	458.20	8.36
20-606-3082 WATER ANALYSIS FEES	<u>6,500.00</u>	<u>170.00</u>	<u>170.00</u>	<u>6,330.00</u>	<u>2.62</u>
TOTAL SERVICES	34,075.00	6,605.45	6,605.45	27,469.55	19.39
<u>CONTRACTUAL</u>					
20-606-4075 COMPUTER SOFTWARE/INCODE	9,066.00	3,205.86	3,205.86	5,860.14	35.36
20-606-4085 EAA -WATER MANAGEMENT FEES	<u>84,084.00</u>	<u>7,006.53</u>	<u>7,006.53</u>	<u>77,077.47</u>	<u>8.33</u>
TOTAL CONTRACTUAL	93,150.00	10,212.39	10,212.39	82,937.61	10.96

20 -WATER FUND
WATER DEPARTMENT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>MAINTENANCE</u>					
20-606-5005 EQUIPMENT LEASES	1,500.00	150.00	150.00	1,350.00	10.00
20-606-5010 EQUIPMENT MAINT & REPAIR	5,000.00	1,909.49	1,909.49	3,090.51	38.19
20-606-5015 ELECTRONIC EQPT MAINTENANCE	500.00	0.00	0.00	500.00	0.00
20-606-5020 VEHICLE MAINTENANCE	3,000.00	35.04	35.04	2,964.96	1.17
20-606-5030 BUILDING MAINTENANCE	2,500.00	4.07	4.07	2,495.93	0.16
20-606-5060 VEHICLE & EQPT FUELS	<u>4,000.00</u>	<u>317.85</u>	<u>317.85</u>	<u>3,682.15</u>	<u>7.95</u>
TOTAL MAINTENANCE	16,500.00	2,416.45	2,416.45	14,083.55	14.65
<u>DEPT MATERIALS-SERVICES</u>					
20-606-6011 CHEMICALS	16,500.00	2,314.44	2,314.44	14,185.56	14.03
20-606-6050 WATER METERS & BOXES	4,500.00	1,286.82	1,286.82	3,213.18	28.60
20-606-6055 FIRE HYDRANTS & VALVES	7,000.00	3,928.66	3,928.66	3,071.34	56.12
20-606-6060 HUEBNER STORAGE TANK	5,000.00	9,698.46	9,698.46 (	4,698.46)	193.97
20-606-6061 ELEVATED STORAGE TANK- #1 W	4,750.00	0.00	0.00	4,750.00	0.00
20-606-6062 WELL SITE #2-EAA MONITORED	1,300.00	0.00	0.00	1,300.00	0.00
20-606-6063 WELL SITE #3-NOT OPERATION	1,800.00	0.00	0.00	1,800.00	0.00
20-606-6064 WELL SITE #4-NOT OPERATION	1,300.00	0.00	0.00	1,300.00	0.00
20-606-6065 WELL SITE #5-EDWARDS BLENDI	4,000.00	173.54	173.54	3,826.46	4.34
20-606-6066 WELL SITE #6-MUNI TRACT	4,000.00	173.54	173.54	3,826.46	4.34
20-606-6067 WELL SITE #7	4,000.00	173.54	173.54	3,826.46	4.34
20-606-6068 WELL SITE #8	4,000.00	173.54	173.54	3,826.46	4.34
20-606-6069 WELL SITE #9-TRINITY	4,000.00	0.00	0.00	4,000.00	0.00
20-606-6070 SCADA SYSTEM MAINTENANCE	7,000.00	0.00	0.00	7,000.00	0.00
20-606-6071 SHAVANO DRIVE PUMP STATION	22,500.00	1,940.46	1,940.46	20,559.54	8.62
20-606-6072 WATER SYSTEM MAINTENANCE	22,500.00	6,236.89	6,236.89	16,263.11	27.72
20-606-6080 STREET MAINT SUPPLIES	<u>1,500.00</u>	<u>802.00</u>	<u>802.00</u>	<u>698.00</u>	<u>53.47</u>
TOTAL DEPT MATERIALS-SERVICES	115,650.00	26,901.89	26,901.89	88,748.11	23.26
<u>UTILITIES</u>					
20-606-7040 UTILITIES - ELECTRIC	75,000.00	6,835.05	6,835.05	68,164.95	9.11
20-606-7042 UTILITIES - PHONE/CELL	825.00	111.00	111.00	714.00	13.45
20-606-7044 UTILITIES - WATER	<u>300.00</u>	<u>131.78</u>	<u>131.78</u>	<u>168.22</u>	<u>43.93</u>
TOTAL UTILITIES	76,125.00	7,077.83	7,077.83	69,047.17	9.30
<u>CAPITAL OUTLAY</u>					
20-606-8015 NON-CAPITAL - COMPUTERS	750.00	677.92	677.92	72.08	90.39
20-606-8020 NON-CAPITAL MAINTENANCE EQU	1,000.00	0.00	0.00	1,000.00	0.00
20-606-8080 WATER SYSTEM IMPROVEMENTS	28,700.00	23,856.67	23,856.67	4,843.33	83.12
20-606-8087 WATER METER REPLACEMENT	<u>14,400.00</u>	<u>6,963.66</u>	<u>6,963.66</u>	<u>7,436.34</u>	<u>48.36</u>
TOTAL CAPITAL OUTLAY	44,850.00	31,498.25	31,498.25	13,351.75	70.23
<u>INTERFUND TRANSFERS</u>					
20-606-9010 TRF TO GENERAL FUND	22,050.00	0.00	0.00	22,050.00	0.00
20-606-9020 TRF TO CAPITAL REP. FUND 72	<u>138,706.00</u>	<u>0.00</u>	<u>0.00</u>	<u>138,706.00</u>	<u>0.00</u>
TOTAL INTERFUND TRANSFERS	160,756.00	0.00	0.00	160,756.00	0.00
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TOTAL WATER DEPARTMENT	849,856.00	106,190.89	106,190.89	743,665.11	12.50

CITY OF SHAVANO PARK
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: OCTOBER 31ST, 2019

20 -WATER FUND
DEBT SERVICE

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>CAPITAL OUTLAY</u>					
20-607-8014 2009 GO REFUND - PRINCIPAL	40,073.00	0.00	0.00	40,073.00	0.00
20-607-8015 2009 GO REFUND - INTEREST	801.00	0.00	0.00	801.00	0.00
20-607-8016 2017 GO REFUNDING (2009) PR	70,000.00	0.00	0.00	70,000.00	0.00
20-607-8017 2017 GO REFUNDING (2009) IN	66,400.00	0.00	0.00	66,400.00	0.00
20-607-8030 BOND AGENT FEES	200.00	0.00	0.00	200.00	0.00
20-607-8056 2018 GO REFUNDING (2009) PR	3,083.00	0.00	0.00	3,083.00	0.00
20-607-8057 2018 GO REFUNDING (2009) IN	<u>7,477.00</u>	<u>0.00</u>	<u>0.00</u>	<u>7,477.00</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	188,034.00	0.00	0.00	188,034.00	0.00
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TOTAL DEBT SERVICE	188,034.00	0.00	0.00	188,034.00	0.00
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TOTAL EXPENDITURES	1,037,890.00	106,190.89	106,190.89	931,699.11	10.23
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	30,782.12	30,782.12	(30,782.12)	0.00
	=====	=====	=====	=====	=====

30 -DEBT SERVICE FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>199,351.00</u>	<u>13,646.20</u>	<u>13,646.20</u>	<u>185,704.80</u>	<u>6.85</u>
TOTAL REVENUES	199,351.00	13,646.20	13,646.20	185,704.80	6.85
	=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>					
DEBT SERVICE	<u>199,351.00</u>	<u>0.00</u>	<u>0.00</u>	<u>199,351.00</u>	<u>0.00</u>
TOTAL EXPENDITURES	199,351.00	0.00	0.00	199,351.00	0.00
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	13,646.20	13,646.20 (	13,646.20)	0.00

30 -DEBT SERVICE FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>NON-DEPARTMENTAL</u>					
<u>TAXES</u>					
30-599-1010 CURRENT ADVALOREM TAXES	121,603.00	12,879.47	12,879.47	108,723.53	10.59
30-599-1020 DELINQUENT ADVALOREM TAXES	0.00	384.51	384.51 (	384.51)	0.00
30-599-1030 PENALTY & INTEREST	<u>0.00</u>	<u>74.63</u>	<u>74.63</u> (	<u>74.63</u>)	<u>0.00</u>
TOTAL TAXES	121,603.00	13,338.61	13,338.61	108,264.39	10.97
 <u>TRANSFERS IN</u>					
30-599-8010 INTEREST INCOME	0.00	307.59	307.59 (	307.59)	0.00
30-599-8030 FUND BALANCE - TRANSFER IN	<u>77,748.00</u>	<u>0.00</u>	<u>0.00</u>	<u>77,748.00</u>	<u>0.00</u>
TOTAL TRANSFERS IN	77,748.00	307.59	307.59	77,440.41	0.40
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TOTAL NON-DEPARTMENTAL	199,351.00	13,646.20	13,646.20	185,704.80	6.85
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TOTAL REVENUES	199,351.00	13,646.20	13,646.20	185,704.80	6.85
	=====	=====	=====	=====	=====

30 -DEBT SERVICE FUND
DEBT SERVICE

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>CAPITAL OUTLAY</u>					
30-607-8050 2009 GO REFUNDING-PRINCIPAL	154,928.00	0.00	0.00	154,928.00	0.00
30-607-8052 2009 GO REFUNDING-INTEREST	3,099.00	0.00	0.00	3,099.00	0.00
30-607-8054 BOND AGENT FEES	500.00	0.00	0.00	500.00	0.00
30-607-8056 2018 GO REFUNDING (2009) PR	11,918.00	0.00	0.00	11,918.00	0.00
30-607-8057 2018 GO REFUNDING (2009) IN	<u>28,906.00</u>	<u>0.00</u>	<u>0.00</u>	<u>28,906.00</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	199,351.00	0.00	0.00	199,351.00	0.00
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TOTAL DEBT SERVICE	199,351.00	0.00	0.00	199,351.00	0.00
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TOTAL EXPENDITURES	199,351.00	0.00	0.00	199,351.00	0.00
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	13,646.20	13,646.20 (13,646.20)	0.00
	=====	=====	=====	=====	=====

40 -CRIME CONTROL DISTRICT
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>123,750.00</u>	<u>8,870.60</u>	<u>8,870.60</u>	<u>114,879.40</u>	<u>7.17</u>
TOTAL REVENUES	123,750.00 =====	8,870.60 =====	8,870.60 =====	114,879.40 =====	7.17 =====
<u>EXPENDITURE SUMMARY</u>					
FIRE DEPARTMENT	8,058.00	0.00	0.00	8,058.00	0.00
POLICE DEPARTMENT	<u>77,843.00</u>	<u>8,028.61</u>	<u>8,028.61</u>	<u>69,814.39</u>	<u>10.31</u>
TOTAL EXPENDITURES	85,901.00 =====	8,028.61 =====	8,028.61 =====	77,872.39 =====	9.35 =====
REVENUES OVER/(UNDER) EXPENDITURES	37,849.00	841.99	841.99	37,007.01	2.22

40 -CRIME CONTROL DISTRICT
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>NON-DEPARTMENTAL</u>					
<u>TAXES</u>					
40-599-1050 SALES - CRIME CONTROL DIST	<u>116,250.00</u>	<u>8,168.90</u>	<u>8,168.90</u>	<u>108,081.10</u>	<u>7.03</u>
TOTAL TAXES	116,250.00	8,168.90	8,168.90	108,081.10	7.03
<u>MISC./GRANTS/INTEREST</u>					
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<u>TRANSFERS IN</u>					
40-599-8005 INTEREST INCOME	<u>7,500.00</u>	<u>701.70</u>	<u>701.70</u>	<u>6,798.30</u>	<u>9.36</u>
TOTAL TRANSFERS IN	7,500.00	701.70	701.70	6,798.30	9.36
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TOTAL NON-DEPARTMENTAL	123,750.00	8,870.60	8,870.60	114,879.40	7.17
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TOTAL REVENUES	123,750.00	8,870.60	8,870.60	114,879.40	7.17
	=====	=====	=====	=====	=====

40 -CRIME CONTROL DISTRICT
FIRE DEPARTMENT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>SERVICES</u>					
40-604-3030 TRAINING/EDUCATION	<u>5,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>5,000.00</u>	<u>0.00</u>
TOTAL SERVICES	5,000.00	0.00	0.00	5,000.00	0.00
<u>CAPITAL OUTLAY</u>					
40-604-8010 ELECTRONIC EQUIPMENT	2,433.00	0.00	0.00	2,433.00	0.00
40-604-8012 NON-CAPITAL - FIREARMS/TASE	<u>625.00</u>	<u>0.00</u>	<u>0.00</u>	<u>625.00</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	3,058.00	0.00	0.00	3,058.00	0.00
<u>INTERFUND TRANSFERS</u>					
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TOTAL FIRE DEPARTMENT	8,058.00	0.00	0.00	8,058.00	0.00

40 -CRIME CONTROL DISTRICT
POLICE DEPARTMENT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>SERVICES</u>					
40-605-3030 TRAINING/EDUCATION	6,400.00	7.84	7.84	6,392.16	0.12
40-605-3087 CITIZENS COMMUNICATION/EDUC	<u>6,000.00</u>	<u>1,922.36</u>	<u>1,922.36</u>	<u>4,077.64</u>	<u>32.04</u>
TOTAL SERVICES	12,400.00	1,930.20	1,930.20	10,469.80	15.57
<u>CONTRACTUAL</u>					
40-605-4075 COMPUTER SOFTWARE	<u>4,750.00</u>	<u>4,567.50</u>	<u>4,567.50</u>	<u>182.50</u>	<u>96.16</u>
TOTAL CONTRACTUAL	4,750.00	4,567.50	4,567.50	182.50	96.16
<u>CAPITAL OUTLAY</u>					
40-605-8010 ELECTRONIC EQUIPMENT PURCHA	11,363.00	0.00	0.00	11,363.00	0.00
40-605-8012 NON CAPITAL - FIRE ARMS/TAS	8,640.00	0.00	0.00	8,640.00	0.00
40-605-8015 NON-CAPITAL - COMPUTER EQUI	1,900.00	1,530.91	1,530.91	369.09	80.57
40-605-8018 NON-CAPITAL BUILDING	2,300.00	0.00	0.00	2,300.00	0.00
40-605-8030 POLICE EQUIPMENT PURCHASE	<u>31,500.00</u>	<u>0.00</u>	<u>0.00</u>	<u>31,500.00</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	55,703.00	1,530.91	1,530.91	54,172.09	2.75
<u>INTERFUND TRANSFERS</u>					
40-605-9011 TRANSFER TO - GENERAL FUND	<u>4,990.00</u>	<u>0.00</u>	<u>0.00</u>	<u>4,990.00</u>	<u>0.00</u>
TOTAL INTERFUND TRANSFERS	4,990.00	0.00	0.00	4,990.00	0.00
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TOTAL POLICE DEPARTMENT	77,843.00	8,028.61	8,028.61	69,814.39	10.31
<hr/>					
TOTAL EXPENDITURES	85,901.00	8,028.61	8,028.61	77,872.39	9.35
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	37,849.00	841.99	841.99	37,007.01	2.22
	=====	=====	=====	=====	=====

42 -PEG FUNDS
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>19,300.00</u>	<u>962.77</u>	<u>962.77</u>	<u>18,337.23</u>	<u>4.99</u>
TOTAL REVENUES	<u>19,300.00</u>	<u>962.77</u>	<u>962.77</u>	<u>18,337.23</u>	<u>4.99</u>
	=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>					
ADMINISTRATION	<u>19,300.00</u>	<u>0.00</u>	<u>0.00</u>	<u>19,300.00</u>	<u>0.00</u>
TOTAL EXPENDITURES	<u>19,300.00</u>	<u>0.00</u>	<u>0.00</u>	<u>19,300.00</u>	<u>0.00</u>
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	962.77	962.77 (	962.77)	0.00

CITY OF SHAVANO PARK
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: OCTOBER 31ST, 2019

42 -PEG FUNDS
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>NON-DEPARTMENTAL</u>					
<u>FRANCHISE REVENUES</u>					
42-599-2024 FRANCHISE - PEG FEES	<u>16,000.00</u>	<u>839.39</u>	<u>839.39</u>	<u>15,160.61</u>	<u>5.25</u>
TOTAL FRANCHISE REVENUES	16,000.00	839.39	839.39	15,160.61	5.25
<u>MISC./GRANTS/INTEREST</u>					
42-599-7000 INTEREST	<u>1,200.00</u>	<u>123.38</u>	<u>123.38</u>	<u>1,076.62</u>	<u>10.28</u>
TOTAL MISC./GRANTS/INTEREST	1,200.00	123.38	123.38	1,076.62	10.28
<u>TRANSFERS IN</u>					
42-599-8099 FUND BALANCE RESERVE	<u>2,100.00</u>	<u>0.00</u>	<u>0.00</u>	<u>2,100.00</u>	<u>0.00</u>
TOTAL TRANSFERS IN	2,100.00	0.00	0.00	2,100.00	0.00
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TOTAL NON-DEPARTMENTAL	19,300.00	962.77	962.77	18,337.23	4.99
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TOTAL REVENUES	19,300.00	962.77	962.77	18,337.23	4.99
	=====	=====	=====	=====	=====

CITY OF SHAVANO PARK
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: OCTOBER 31ST, 2019

42 -PEG FUNDS
ADMINISTRATION

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>CAPITAL OUTLAY</u>					
42-601-8030 CAPITAL-ELECTRONIC EQUIPMEN	<u>19,300.00</u>	<u>0.00</u>	<u>0.00</u>	<u>19,300.00</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	19,300.00	0.00	0.00	19,300.00	0.00
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TOTAL ADMINISTRATION	19,300.00	0.00	0.00	19,300.00	0.00
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TOTAL EXPENDITURES	19,300.00	0.00	0.00	19,300.00	0.00
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	962.77	962.77 (962.77)	0.00
	=====	=====	=====	=====	=====

45 -OAK WILT FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>11,000.00</u>	<u>175.00</u>	<u>175.00</u>	<u>10,825.00</u>	<u>1.59</u>
TOTAL REVENUES	<u>11,000.00</u>	<u>175.00</u>	<u>175.00</u>	<u>10,825.00</u>	<u>1.59</u>
	=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>					
ADMINISTRATION	<u>500.00</u>	<u>0.00</u>	<u>0.00</u>	<u>500.00</u>	<u>0.00</u>
TOTAL EXPENDITURES	<u>500.00</u>	<u>0.00</u>	<u>0.00</u>	<u>500.00</u>	<u>0.00</u>
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	10,500.00	175.00	175.00	10,325.00	1.67

45 -OAK WILT FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>NON-DEPARTMENTAL</u>					
<u>PERMITS & LICENSES</u>					
45-599-3015 TREE TRIMMING PERMITS	<u>11,000.00</u>	<u>175.00</u>	<u>175.00</u>	<u>10,825.00</u>	<u>1.59</u>
TOTAL PERMITS & LICENSES	11,000.00	175.00	175.00	10,825.00	1.59
<u>MISC./GRANTS/INTEREST</u>					
	<u> </u>	<u> </u>	<u> </u>	<u> </u>	<u> </u>
<u>TRANSFERS IN</u>					
	<u> </u>	<u> </u>	<u> </u>	<u> </u>	<u> </u>
<hr/>					
TOTAL NON-DEPARTMENTAL	11,000.00	175.00	175.00	10,825.00	1.59
<hr/>					
TOTAL REVENUES	11,000.00	175.00	175.00	10,825.00	1.59
	=====	=====	=====	=====	=====

45 -OAK WILT FUND
ADMINISTRATION

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>SERVICES</u>					
45-601-3087 CITIZENS COMMUNICATION/EDUC	<u>500.00</u>	<u>0.00</u>	<u>0.00</u>	<u>500.00</u>	<u>0.00</u>
TOTAL SERVICES	500.00	0.00	0.00	500.00	0.00
<u>DEPT MATERIALS-SERVICES</u>					
<hr/>					
TOTAL ADMINISTRATION	500.00	0.00	0.00	500.00	0.00
<hr/>					
TOTAL EXPENDITURES	500.00	0.00	0.00	500.00	0.00
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	10,500.00	175.00	175.00	10,325.00	1.67
	=====	=====	=====	=====	=====

48 -STREET MAINTENANCE FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>116,250.00</u>	<u>8,847.14</u>	<u>8,847.14</u>	<u>107,402.86</u>	<u>7.61</u>
TOTAL REVENUES	<u>116,250.00</u>	<u>8,847.14</u>	<u>8,847.14</u>	<u>107,402.86</u>	<u>7.61</u>
	=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>					
PUBLIC WORKS	<u>50,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>50,000.00</u>	<u>0.00</u>
TOTAL EXPENDITURES	<u>50,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>50,000.00</u>	<u>0.00</u>
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	66,250.00	8,847.14	8,847.14	57,402.86	13.35

48 -STREET MAINTENANCE FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>NON-DEPARTMENTAL</u>					
<u>TAXES</u>					
48-599-1040 SALES - STREET MAINTENANCE	<u>116,250.00</u>	<u>8,847.14</u>	<u>8,847.14</u>	<u>107,402.86</u>	<u>7.61</u>
TOTAL TAXES	116,250.00	8,847.14	8,847.14	107,402.86	7.61
<hr/>					
TOTAL NON-DEPARTMENTAL	116,250.00	8,847.14	8,847.14	107,402.86	7.61
<hr/>					
TOTAL REVENUES	116,250.00	8,847.14	8,847.14	107,402.86	7.61
	=====	=====	=====	=====	=====

48 -STREET MAINTENANCE FUND
PUBLIC WORKS

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
DEPT MATERIALS-SERVICES					
48-603-6080 STREET MAINTENANCE	<u>50,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>50,000.00</u>	<u>0.00</u>
TOTAL DEPT MATERIALS-SERVICES	50,000.00	0.00	0.00	50,000.00	0.00
<hr/>					
TOTAL PUBLIC WORKS	50,000.00	0.00	0.00	50,000.00	0.00
<hr/>					
TOTAL EXPENDITURES	50,000.00	0.00	0.00	50,000.00	0.00
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	66,250.00	8,847.14	8,847.14	57,402.86	13.35
	=====	=====	=====	=====	=====

50 -COURT RESTRICTED FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>58,400.00</u>	<u>575.02</u>	<u>575.02</u>	<u>57,824.98</u>	<u>0.98</u>
TOTAL REVENUES	<u>58,400.00</u>	<u>575.02</u>	<u>575.02</u>	<u>57,824.98</u>	<u>0.98</u>
	=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>					
OPERATING EXPENSES	<u>58,400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>58,400.00</u>	<u>0.00</u>
TOTAL EXPENDITURES	<u>58,400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>58,400.00</u>	<u>0.00</u>
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	575.02	575.02 (	575.02)	0.00

50 -COURT RESTRICTED FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>NON-DEPARTMENTAL</u>					
<u>COURT FEES</u>					
50-599-4022 COURT EFFICIENCY REVENUE	100.00	5.55	5.55	94.45	5.55
50-599-4023 COURT SECURITY REVENUE	3,200.00	244.05	244.05	2,955.95	7.63
50-599-4025 COURT TECHNOLOGY REVENUE	<u>4,200.00</u>	<u>325.42</u>	<u>325.42</u>	<u>3,874.58</u>	<u>7.75</u>
TOTAL COURT FEES	7,500.00	575.02	575.02	6,924.98	7.67
<u>TRANSFERS IN</u>					
50-599-8099 FUND BALANCE RESERVE	<u>50,900.00</u>	<u>0.00</u>	<u>0.00</u>	<u>50,900.00</u>	<u>0.00</u>
TOTAL TRANSFERS IN	50,900.00	0.00	0.00	50,900.00	0.00
<hr/>					
TOTAL NON-DEPARTMENTAL	58,400.00	575.02	575.02	57,824.98	0.98
<hr/>					
TOTAL REVENUES	58,400.00	575.02	575.02	57,824.98	0.98
	=====	=====	=====	=====	=====

50 -COURT RESTRICTED FUND
OPERATING EXPENSES

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>SERVICES</u>	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>
<u>MAINTENANCE</u>	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>
<u>CAPITAL OUTLAY</u>					
50-602-8080 CAPITAL IMPROVEMENTS	<u>50,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>50,000.00</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	50,000.00	0.00	0.00	50,000.00	0.00
<u>INTERFUND TRANSFERS</u>					
50-602-9010 TRANSFER TO GENERAL FUND	<u>8,400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>8,400.00</u>	<u>0.00</u>
TOTAL INTERFUND TRANSFERS	8,400.00	0.00	0.00	8,400.00	0.00
<hr/>					
TOTAL OPERATING EXPENSES	58,400.00	0.00	0.00	58,400.00	0.00
<hr/>					
TOTAL EXPENDITURES	58,400.00	0.00	0.00	58,400.00	0.00
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	575.02	575.02 (	575.02)	0.00
	=====	=====	=====	=====	=====

52 -CHILD SAFETY FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
NON DEPARTMENTAL	<u>5,000.00</u>	<u>307.17</u>	<u>307.17</u>	<u>4,692.83</u>	<u>6.14</u>
TOTAL REVENUES	<u>5,000.00</u>	<u>307.17</u>	<u>307.17</u>	<u>4,692.83</u>	<u>6.14</u>
	=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>					
FIRE DEPARTMENT	2,000.00	43.17	43.17	1,956.83	2.16
POLICE DEPARTMENT	<u>3,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>3,000.00</u>	<u>0.00</u>
TOTAL EXPENDITURES	<u>5,000.00</u>	<u>43.17</u>	<u>43.17</u>	<u>4,956.83</u>	<u>0.86</u>
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	264.00	264.00 (	264.00)	0.00

52 -CHILD SAFETY FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>NON DEPARTMENTAL</u>					
<u>MISC./GRANTS/INTEREST</u>					
52-599-7010 SCHOOL CROSSING GUARD FUNDS	<u>4,000.00</u>	<u>307.17</u>	<u>307.17</u>	<u>3,692.83</u>	<u>7.68</u>
TOTAL MISC./GRANTS/INTEREST	4,000.00	307.17	307.17	3,692.83	7.68
<u>TRANSFERS IN</u>					
52-599-8089 FUND BALANCE RESERVE	<u>1,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,000.00</u>	<u>0.00</u>
TOTAL TRANSFERS IN	1,000.00	0.00	0.00	1,000.00	0.00
<hr/>					
TOTAL NON DEPARTMENTAL	5,000.00	307.17	307.17	4,692.83	6.14
<hr/>					
TOTAL REVENUES	5,000.00	307.17	307.17	4,692.83	6.14
	=====	=====	=====	=====	=====

52 -CHILD SAFETY FUND
FIRE DEPARTMENT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>SERVICES</u>					
52-604-3087 CITIZENS COMMUNICATION/EDUC	<u>2,000.00</u>	<u>43.17</u>	<u>43.17</u>	<u>1,956.83</u>	<u>2.16</u>
TOTAL SERVICES	2,000.00	43.17	43.17	1,956.83	2.16
<hr/>					
TOTAL FIRE DEPARTMENT	2,000.00	43.17	43.17	1,956.83	2.16

CITY OF SHAVANO PARK
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: OCTOBER 31ST, 2019

52 -CHILD SAFETY FUND
POLICE DEPARTMENT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>SERVICES</u>					
52-605-3087 CITIZENS COMMUNICATION/EDUC	<u>3,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>3,000.00</u>	<u>0.00</u>
TOTAL SERVICES	3,000.00	0.00	0.00	3,000.00	0.00
<hr/>					
TOTAL POLICE DEPARTMENT	3,000.00	0.00	0.00	3,000.00	0.00
<hr/>					
TOTAL EXPENDITURES	5,000.00	43.17	43.17	4,956.83	0.86
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	264.00	264.00	(264.00)	0.00
	=====	=====	=====	=====	=====

53 -LEOSE
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>1,550.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,550.00</u>	<u>0.00</u>
TOTAL REVENUES	<u>1,550.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,550.00</u>	<u>0.00</u>
	=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>					
POLICE DEPARTMENT	<u>1,550.00</u>	<u>500.00</u>	<u>500.00</u>	<u>1,050.00</u>	<u>32.26</u>
TOTAL EXPENDITURES	<u>1,550.00</u>	<u>500.00</u>	<u>500.00</u>	<u>1,050.00</u>	<u>32.26</u>
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00 (	500.00) (	500.00)	500.00	0.00

53 -LEOSE
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>NON-DEPARTMENTAL</u>					
<u>POLICE/FIRE REVENUES</u>					
53-599-6020 LOOSE FUNDS	<u>1,550.00</u>	<u>0.00</u>	<u>0.00</u>	<u>1,550.00</u>	<u>0.00</u>
TOTAL POLICE/FIRE REVENUES	1,550.00	0.00	0.00	1,550.00	0.00
<u>TRANSFERS IN</u>					
<hr/>					
TOTAL NON-DEPARTMENTAL	1,550.00	0.00	0.00	1,550.00	0.00
<hr/>					
TOTAL REVENUES	1,550.00	0.00	0.00	1,550.00	0.00
	=====	=====	=====	=====	=====

CITY OF SHAVANO PARK
REVENUE & EXPENSE REPORT (UNAUDITED)
AS OF: OCTOBER 31ST, 2019

53 -LEOSE
POLICE DEPARTMENT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>SERVICES</u>					
53-605-3030 TRAINING/EDUCATION	<u>1,550.00</u>	<u>500.00</u>	<u>500.00</u>	<u>1,050.00</u>	<u>32.26</u>
TOTAL SERVICES	1,550.00	500.00	500.00	1,050.00	32.26
<hr/>					
TOTAL POLICE DEPARTMENT	1,550.00	500.00	500.00	1,050.00	32.26
<hr/>					
TOTAL EXPENDITURES	1,550.00	500.00	500.00	1,050.00	32.26
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	(500.00)	(500.00)	500.00	0.00
	=====	=====	=====	=====	=====

70 -CAPITAL REPLACEMENT FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
OTHER SOURCES	<u>839,500.00</u>	<u>3,045.81</u>	<u>3,045.81</u>	<u>836,454.19</u>	<u>0.36</u>
TOTAL REVENUES	839,500.00 =====	3,045.81 =====	3,045.81 =====	836,454.19 =====	0.36 =====
<u>EXPENDITURE SUMMARY</u>					
ADMIN	64,000.00	3,834.43	3,834.43	60,165.57	5.99
PUBLIC WORKS	767,500.00	46,480.16	46,480.16	721,019.84	6.06
FIRE	<u>8,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>8,000.00</u>	<u>0.00</u>
TOTAL EXPENDITURES	839,500.00 =====	50,314.59 =====	50,314.59 =====	789,185.41 =====	5.99 =====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	(47,268.78)	(47,268.78)	47,268.78	0.00

70 -CAPITAL REPLACEMENT FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>OTHER SOURCES</u>					
<u>MISC./GRANTS/INTEREST</u>					
<hr/>					
<u>TRANSFERS IN</u>					
70-599-8010 INTEREST INCOME	35,000.00	3,045.81	3,045.81	31,954.19	8.70
70-599-8020 TRF IN - GENERAL FUND	297,582.00	0.00	0.00	297,582.00	0.00
70-599-8099 FUND BALANCE RESERVE	<u>506,918.00</u>	<u>0.00</u>	<u>0.00</u>	<u>506,918.00</u>	<u>0.00</u>
TOTAL TRANSFERS IN	839,500.00	3,045.81	3,045.81	836,454.19	0.36
<hr/>					
TOTAL OTHER SOURCES	839,500.00	3,045.81	3,045.81	836,454.19	0.36
<hr/>					
TOTAL REVENUES	839,500.00	3,045.81	3,045.81	836,454.19	0.36
	=====	=====	=====	=====	=====

70 -CAPITAL REPLACEMENT FUND
COUNCIL

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>CONTRACTUAL</u>	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>
<hr/>					

70 -CAPITAL REPLACEMENT FUND
ADMIN

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>CAPITAL OUTLAY</u>					
70-601-8015 COMPUTER EQUIPMENT	6,000.00	3,834.43	3,834.43	2,165.57	63.91
70-601-8081 CAPITAL - BUILDING	<u>58,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>58,000.00</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	64,000.00	3,834.43	3,834.43	60,165.57	5.99
<hr/>					
<u>INTERFUND TRANSFERS</u>					
<hr/>					
TOTAL ADMIN	64,000.00	3,834.43	3,834.43	60,165.57	5.99

70 -CAPITAL REPLACEMENT FUND
PUBLIC WORKS

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>CAPITAL OUTLAY</u>					
70-603-8060 CAPITAL - EQUIPMENT	39,500.00	37,893.46	37,893.46	1,606.54	95.93
70-603-8080 CAPITAL-IMPROVEMENT PROJECT	<u>728,000.00</u>	<u>8,586.70</u>	<u>8,586.70</u>	<u>719,413.30</u>	<u>1.18</u>
TOTAL CAPITAL OUTLAY	767,500.00	46,480.16	46,480.16	721,019.84	6.06
<u>INTERFUND TRANSFERS</u>					
<hr/>					
TOTAL PUBLIC WORKS	767,500.00	46,480.16	46,480.16	721,019.84	6.06

70 -CAPITAL REPLACEMENT FUND
FIRE

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>CAPITAL OUTLAY</u>					
70-604-8040 CAPITAL - PPE EQUIPMENT	<u>8,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>8,000.00</u>	<u>0.00</u>
TOTAL CAPITAL OUTLAY	8,000.00	0.00	0.00	8,000.00	0.00
 <u>INTERFUND TRANSFERS</u>					
<hr/>					
TOTAL FIRE	8,000.00	0.00	0.00	8,000.00	0.00

70 -CAPITAL REPLACEMENT FUND
POLICE

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>CONTRACTUAL</u>	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>
<u>INTERFUND TRANSFERS</u>	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>
<hr/>					
TOTAL EXPENDITURES	839,500.00	50,314.59	50,314.59	789,185.41	5.99
	=====	=====	=====	=====	=====
REVENUES OVER/ (UNDER) EXPENDITURES	0.00	(47,268.78)	(47,268.78)	47,268.78	0.00
	=====	=====	=====	=====	=====

72 -WATER CAPITAL REPLACEMENT
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
NON-DEPARTMENTAL	<u>138,706.00</u>	<u>0.00</u>	<u>0.00</u>	<u>138,706.00</u>	<u>0.00</u>
TOTAL REVENUES	<u>138,706.00</u>	<u>0.00</u>	<u>0.00</u>	<u>138,706.00</u>	<u>0.00</u>
	=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>					
WATER DEPARTMENT	<u>14,400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>14,400.00</u>	<u>0.00</u>
TOTAL EXPENDITURES	<u>14,400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>14,400.00</u>	<u>0.00</u>
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	<u>124,306.00</u>	<u>0.00</u>	<u>0.00</u>	<u>124,306.00</u>	<u>0.00</u>
REVENUES & OTHER SOURCES OVER/ (UNDER) EXPENDITURES & OTHER (USES)	<u>124,306.00</u>	<u>0.00</u>	<u>0.00</u>	<u>124,306.00</u>	<u>0.00</u>
	=====	=====	=====	=====	=====

72 -WATER CAPITAL REPLACEMENT
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>NON-DEPARTMENTAL</u>					
<u>TRANSFERS IN</u>					
72-599-8020 TRANSFER FROM WATER FUND	<u>138,706.00</u>	<u>0.00</u>	<u>0.00</u>	<u>138,706.00</u>	<u>0.00</u>
TOTAL TRANSFERS IN	138,706.00	0.00	0.00	138,706.00	0.00
<hr/>					
TOTAL NON-DEPARTMENTAL	138,706.00	0.00	0.00	138,706.00	0.00
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TOTAL REVENUES	138,706.00	0.00	0.00	138,706.00	0.00
	=====	=====	=====	=====	=====

72 -WATER CAPITAL REPLACEMENT
WATER DEPARTMENT

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>CONTRACTUAL</u>	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>
<u>CAPITAL OUTLAY</u>	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>
<u>INTERFUND TRANSFERS</u>					
72-606-9020 TRANSFER TO WATER UTILITY	<u>14,400.00</u>	<u>0.00</u>	<u>0.00</u>	<u>14,400.00</u>	<u>0.00</u>
TOTAL INTERFUND TRANSFERS	14,400.00	0.00	0.00	14,400.00	0.00
<hr/>					
TOTAL WATER DEPARTMENT	14,400.00	0.00	0.00	14,400.00	0.00
<hr/>					
TOTAL EXPENDITURES	14,400.00	0.00	0.00	14,400.00	0.00
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	124,306.00	0.00	0.00	124,306.00	0.00
	=====	=====	=====	=====	=====
<u>OTHER FINANCING SOURCES</u>	<hr/>	<hr/>	<hr/>	<hr/>	<hr/>
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REVENUES & OTHER SOURCES OVER/ (UNDER) EXPENDITURES & OTHER USES	124,306.00	0.00	0.00	124,306.00	0.00
	=====	=====	=====	=====	=====

75 -PET DOC & RESCUE FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<u>REVENUE SUMMARY</u>					
ADMINISTRATION	<u>2,326.00</u>	<u>2.84</u>	<u>2.84</u>	<u>2,323.16</u>	<u>0.12</u>
TOTAL REVENUES	<u>2,326.00</u>	<u>2.84</u>	<u>2.84</u>	<u>2,323.16</u>	<u>0.12</u>
	=====	=====	=====	=====	=====
<u>EXPENDITURE SUMMARY</u>					
ADMINISTRATION	<u>2,326.00</u>	<u>0.00</u>	<u>0.00</u>	<u>2,326.00</u>	<u>0.00</u>
TOTAL EXPENDITURES	<u>2,326.00</u>	<u>0.00</u>	<u>0.00</u>	<u>2,326.00</u>	<u>0.00</u>
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	2.84	2.84 (	2.84)	0.00

75 -PET DOC & RESCUE FUND
FINANCIAL SUMMARY

% OF YEAR COMPLETED: 08.33

REVENUES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>ADMINISTRATION</u>					
<u>MISC./GRANTS/INTEREST</u>					
75-599-7000 INTEREST INCOME	<u>0.00</u>	<u>2.84</u>	<u>2.84</u>	(<u>2.84</u>)	<u>0.00</u>
TOTAL MISC./GRANTS/INTEREST	0.00	2.84	2.84	(2.84)	0.00
<u>TRANSFERS IN</u>					
75-599-8099 FUND BALANCE RESERVE	<u>2,326.00</u>	<u>0.00</u>	<u>0.00</u>	<u>2,326.00</u>	<u>0.00</u>
TOTAL TRANSFERS IN	2,326.00	0.00	0.00	2,326.00	0.00
<hr/>					
TOTAL ADMINISTRATION	2,326.00	2.84	2.84	2,323.16	0.12
<hr/>					
TOTAL REVENUES	2,326.00	2.84	2.84	2,323.16	0.12
	=====	=====	=====	=====	=====

75 -PET DOC & RESCUE FUND
ADMINISTRATION

% OF YEAR COMPLETED: 08.33

EXPENDITURES	CURRENT BUDGET	CURRENT PERIOD	YEAR TO DATE ACTUAL	BUDGET BALANCE	% OF BUDGET
<hr/>					
<u>PERSONNEL</u>					
75-607-1010 EXPENSES	<u>2,326.00</u>	<u>0.00</u>	<u>0.00</u>	<u>2,326.00</u>	<u>0.00</u>
TOTAL PERSONNEL	2,326.00	0.00	0.00	2,326.00	0.00
<hr/>					
TOTAL ADMINISTRATION	2,326.00	0.00	0.00	2,326.00	0.00
<hr/>					
TOTAL EXPENDITURES	2,326.00	0.00	0.00	2,326.00	0.00
	=====	=====	=====	=====	=====
REVENUES OVER/(UNDER) EXPENDITURES	0.00	2.84	2.84 (	2.84)	0.00
	=====	=====	=====	=====	=====

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
10/01/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-AFTER TAX	GENERAL FUND	NON-DEPARTMENTAL	482.28
10/01/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-AFTER TAX	GENERAL FUND	NON-DEPARTMENTAL	482.28
10/01/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-PRE-TAX	GENERAL FUND	NON-DEPARTMENTAL	632.82
10/01/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-PRE-TAX	GENERAL FUND	NON-DEPARTMENTAL	632.82
10/01/19	PRE-PAID LEGAL SERVICES, INC.	ADJUSTMENT MCWILLIAMS	GENERAL FUND	NON-DEPARTMENTAL	20.92
10/01/19	PRE-PAID LEGAL SERVICES, INC.	PREPAID LEGAL SERVICES	GENERAL FUND	NON-DEPARTMENTAL	242.86
10/01/19	PRE-PAID LEGAL SERVICES, INC.	PREPAID LEGAL SERVICES	GENERAL FUND	NON-DEPARTMENTAL	251.76
10/01/19	FROST NATIONAL BANK 941 TAX	FEDERAL WITHHOLDING	GENERAL FUND	NON-DEPARTMENTAL	11,136.36
10/01/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	GENERAL FUND	NON-DEPARTMENTAL	1,458.52
10/01/19	CITY OF SHAVANO PARK GF/PAYROLL	GENERAL FUND DUE TO PAYROL	GENERAL FUND	NON-DEPARTMENTAL	76,664.96
10/01/19	AMERICAN FIDELITY ASSURANCE	AMERICAN FIDELITY LIFE DUE	GENERAL FUND	NON-DEPARTMENTAL	51.00
10/01/19	AMERICAN FIDELITY ASSURANCE	AMERICAN FIDELITY LIFE DUE	GENERAL FUND	NON-DEPARTMENTAL	51.00
10/01/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	GENERAL FUND	CITY ADMINISTRATION	233.49
10/01/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	GENERAL FUND	MUNICIPAL COURT	26.28
10/01/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	72.18
10/01/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	GENERAL FUND	FIRE DEPARTMENT	506.66
10/01/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	GENERAL FUND	POLICE DEPARTMENT	619.93
10/01/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-AFTER TAX	WATER FUND	NON-DEPARTMENTAL	22.61
10/01/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-PRE-TAX	WATER FUND	NON-DEPARTMENTAL	32.05
10/01/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-PRE-TAX	WATER FUND	NON-DEPARTMENTAL	32.05
10/01/19	PRE-PAID LEGAL SERVICES, INC.	PREPAID LEGAL SERVICES	WATER FUND	NON-DEPARTMENTAL	35.14
10/01/19	PRE-PAID LEGAL SERVICES, INC.	PREPAID LEGAL SERVICES	WATER FUND	NON-DEPARTMENTAL	31.22
10/01/19	FROST NATIONAL BANK 941 TAX	FEDERAL WITHHOLDING	WATER FUND	NON-DEPARTMENTAL	600.08
10/01/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	WATER FUND	NON-DEPARTMENTAL	94.36
10/01/19	CITY OF SHAVANO PARK GF/PAYROLL	WATER FUND DUE TO PAYROLL	WATER FUND	NON-DEPARTMENTAL	5,024.18
10/01/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	WATER FUND	WATER DEPARTMENT	94.34
10/02/19	TX CSDU	00089527162015EM5059	GENERAL FUND	NON-DEPARTMENTAL	69.23
10/02/19	TX CSDU	0012999273 DAVIS	GENERAL FUND	NON-DEPARTMENTAL	366.86
10/02/19	ICMA - VANTAGEPOINT TRANSFER-457	ICMA-FLAT AMOUNTS	GENERAL FUND	NON-DEPARTMENTAL	2,085.00
10/02/19	ICMA - VANTAGEPOINT TRANSFER-457	ICMA-FLAT AMOUNTS	WATER FUND	NON-DEPARTMENTAL	160.00
10/03/19	TX DEPARTMENT OF STATE HEALTH SERVICES	LICENSE FOR MCKINNON	GENERAL FUND	FIRE DEPARTMENT	34.00
10/04/19	CIVIL SYSTEMS INC	SEPT 15- SEPT 30	GENERAL FUND	NON-DEPARTMENTAL	51.75-
10/04/19	CIVIL SYSTEMS INC	SEPT 15- SEPT 30	GENERAL FUND	NON-DEPARTMENTAL	31.50-
10/04/19	TEXAS COMPTROLLER OF PUBLIC ACCOUNTS	SEAT BELT/ CHILD SAFETY	GENERAL FUND	NON-DEPARTMENTAL	12.95
10/04/19	SHAVANO PARK, PETTY CASH	PETTY CASH RECONCILIATIONS	GENERAL FUND	NON-DEPARTMENTAL	0.33
10/04/19	LINEBARGER, GOGGAN, BLAIR & SAMPSON, L	COURT COLLECTIONS	GENERAL FUND	NON-DEPARTMENTAL	1,583.90
10/04/19	SHAVANO PARK, PETTY CASH	PETTY CASH JULY THRU SEPT	GENERAL FUND	CITY COUNCIL	27.86
10/04/19	AMG PRINTING & MAILING	TRUNK OR TREAT POSTCARDS	GENERAL FUND	CITY COUNCIL	490.72
10/04/19	DRAGO INVESTMENTS LTD	*RIBBONS FOR NNO	GENERAL FUND	CITY COUNCIL	58.50
10/04/19	DRAGO INVESTMENTS LTD	PLAQUES FOR JANSEN & ORTIZ	GENERAL FUND	CITY COUNCIL	102.90
10/04/19	TIME WARNER CABLE	CABLE/ TV	GENERAL FUND	CITY ADMINISTRATION	87.06
10/04/19	TYLER TECHNOLOGIES, INC. INCODE DIVIS	YEARLY MAINT. FEES	GENERAL FUND	CITY ADMINISTRATION	9,173.60
10/04/19	TYLER TECHNOLOGIES, INC. INCODE DIVIS	FIXED ASSETS / POSITIVE PA	GENERAL FUND	CITY ADMINISTRATION	881.12
10/04/19	NEIGHBORHOOD NEWS	OCTOBER RR	GENERAL FUND	CITY ADMINISTRATION	672.94
10/04/19	SOUTH TEXAS WASTEWATER TREATMENT	SPRINKLER REPAIR	GENERAL FUND	CITY ADMINISTRATION	45.00
10/04/19	PITNEY BOWES - PURCHASE POWER	QTRLY LEASE PMT	GENERAL FUND	CITY ADMINISTRATION	170.13
10/04/19	PROFICIENT BENEFIT SOLUTIONS	PREMIUM ONLY PLAN FY20	GENERAL FUND	CITY ADMINISTRATION	385.00
10/04/19	SOUTHWEST PUBLIC SAFETY	WINDOW TINTING	GENERAL FUND	CITY ADMINISTRATION	1,575.00
10/04/19	INTRUDER ALERT SYSTEMS	ALARM MONITORING	GENERAL FUND	CITY ADMINISTRATION	35.95
10/04/19	UNIFIRST	FLOOR MATS	GENERAL FUND	CITY ADMINISTRATION	37.05
10/04/19	UNIFIRST	FLOOR MATS	GENERAL FUND	CITY ADMINISTRATION	37.05
10/04/19	UNIFIRST	FLOOR MATS	GENERAL FUND	CITY ADMINISTRATION	37.05
10/04/19	UNIFIRST	FLOOR MATS	GENERAL FUND	CITY ADMINISTRATION	37.05
10/04/19	DEER OAKS EAP SERVICES LLC	EAP OCT - DEC	GENERAL FUND	CITY ADMINISTRATION	209.61
10/04/19	BARCOM TECHNOLOGY	CONTRACT FEES - OCT	GENERAL FUND	CITY ADMINISTRATION	1,920.00

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
10/04/19	BARCOM TECHNOLOGY	BACKUP FEES - OCT	GENERAL FUND	CITY ADMINISTRATION	730.00
10/04/19	AMAZON.COM SERVICES INC	POWER SUPPLY FOR SERVER	GENERAL FUND	CITY ADMINISTRATION	135.98
10/04/19	JASON'S WATER SYSTEMS OF SAN ANTONIO I	SALT - WATER SOFTENER	GENERAL FUND	CITY ADMINISTRATION	195.75
10/04/19	PROLIFIC IRRIGATION	IRRIGATION AROUND CH	GENERAL FUND	CITY ADMINISTRATION	2,000.00
10/04/19	SEPTIC SYSTEMS EXPRESS	PLANNING MTG OCT 8	GENERAL FUND	CITY ADMINISTRATION	500.00
10/04/19	OFFICE DEPOT	OFFICE SUPPLIES	GENERAL FUND	CITY ADMINISTRATION	119.64
10/04/19	OFFICE DEPOT	RECORDER	GENERAL FUND	CITY ADMINISTRATION	59.99
10/04/19	OFFICE DEPOT	OFFICE SUPPLIES	GENERAL FUND	CITY ADMINISTRATION	495.11
10/04/19	OFFICE DEPOT	RETURN OF INK	GENERAL FUND	CITY ADMINISTRATION	89.99-
10/04/19	OFFICE DEPOT	INK	GENERAL FUND	CITY ADMINISTRATION	84.99
10/04/19	SHAVANO PARK, PETTY CASH	TCMA MTG	GENERAL FUND	CITY ADMINISTRATION	50.00
10/04/19	SHAVANO PARK, PETTY CASH	DRYWALL ANCHOTS	GENERAL FUND	CITY ADMINISTRATION	3.01
10/04/19	SHAVANO PARK, PETTY CASH	TCMA JULY	GENERAL FUND	CITY ADMINISTRATION	75.00
10/04/19	SHAVANO PARK, PETTY CASH	SNACKS-OPEN ENROLLMENT	GENERAL FUND	CITY ADMINISTRATION	28.02
10/04/19	SHAVANO PARK, PETTY CASH	TCMA - AUGUST	GENERAL FUND	CITY ADMINISTRATION	50.00
10/04/19	SHAVANO PARK, PETTY CASH	PARKING	GENERAL FUND	CITY ADMINISTRATION	16.23
10/04/19	SHAVANO PARK, PETTY CASH	TCMA - SEPTEMBER	GENERAL FUND	CITY ADMINISTRATION	75.00
10/04/19	ORKIN, INC.	PEST CONTROL	GENERAL FUND	CITY ADMINISTRATION	124.06
10/04/19	MUNICIPAL CODE CORPORATION	SUPPLEMENT 16	GENERAL FUND	CITY ADMINISTRATION	2,715.00
10/04/19	KOETTER FIRE PROTECTION OF SAN ANTONIO	FIRE ALARM REPAIR	GENERAL FUND	CITY ADMINISTRATION	375.00
10/04/19	STEPHEN P. TAKAS, JR.	JUDGE OCTOBER COURT	GENERAL FUND	MUNICIPAL COURT	650.00
10/04/19	TYLER TECHNOLOGIES, INC. INCODE DIVIS	YEARLY MAINT. FEES	GENERAL FUND	MUNICIPAL COURT	4,432.49
10/04/19	DARRELL S. DULLNIG	PROSECUTOR OCTOBER COURT	GENERAL FUND	MUNICIPAL COURT	650.00
10/04/19	OFFICE DEPOT	OFFICE SUPPLIES	GENERAL FUND	MUNICIPAL COURT	35.95
10/04/19	OFFICE DEPOT	OFFICE SUPPLIES	GENERAL FUND	MUNICIPAL COURT	43.99
10/04/19	OFFICE DEPOT	OFFICE SUPPLIES	GENERAL FUND	MUNICIPAL COURT	32.29
10/04/19	OFFICE DEPOT	OFFICE SUPPLIES	GENERAL FUND	MUNICIPAL COURT	45.09
10/04/19	OFFICE DEPOT	OFFICE SUPPLIES	GENERAL FUND	MUNICIPAL COURT	13.99
10/04/19	OFFICE DEPOT	OFFICE SUPPLIES	GENERAL FUND	MUNICIPAL COURT	29.29
10/04/19	OFFICE DEPOT	OFFICE SUPPLIES	GENERAL FUND	MUNICIPAL COURT	43.99
10/04/19	GE MONEY BANK	HYDRATION	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	60.50
10/04/19	GE MONEY BANK	HYDRATION	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	20.96
10/04/19	GOODYEAR AUTO SERVICE CTR.	VEH INSPECTION - F250 TRUC	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	7.00
10/04/19	US BANK VOYAGER FLEET SYSTEM	FLEET FUEL	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	18.41
10/04/19	SAFELANE TRAFFIC SUPPLY LLC	TRAFFIC CONES	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	2,698.50
10/04/19	SAFELANE TRAFFIC SUPPLY LLC	STREET MATERIALS	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	3,316.00
10/04/19	INTRUDER ALERT SYSTEMS	ALARM MONITORING	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	49.95
10/04/19	UNIFIRST	UNIFORMS	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	42.58
10/04/19	UNIFIRST	UNIFORMS	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	41.77
10/04/19	UNIFIRST	JANITORIAL SUPPLIES	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	183.74
10/04/19	UNIFIRST	UNIFORMS	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	37.32
10/04/19	UNIFIRST	UNIFORMS	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	37.32
10/04/19	CRAFCO INC	CRAFCO INC	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	3,424.80
10/04/19	COOPER EQUIPMENT CO	CRACKSEAL MACHINE REPAIR	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	147.43
10/04/19	T MOBILE	SECURITY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	35.04
10/04/19	DITCH WITCH OF CENTRAL TX INC	DITWITCH REPAIR	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	239.58
10/04/19	DITCH WITCH OF CENTRAL TX INC	HOSE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	94.20
10/04/19	DITCH WITCH OF CENTRAL TX INC	DITCH WITCH REPAIR	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	496.38
10/04/19	NEWSOME LANDSCAPING SUPPORT SYSTEMS	IRRIGATION AT MONUMENT	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	1,670.00
10/04/19	OFFICE DEPOT	LEXMARK PRINTER CARTRIDGES	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	151.64
10/04/19	GE MONEY BANK	CLEANING SUPPLIES	GENERAL FUND	FIRE DEPARTMENT	123.86
10/04/19	GE MONEY BANK	CLEANING SUPPLIES	GENERAL FUND	FIRE DEPARTMENT	6.72
10/04/19	O'REILLY AUTO PARTS	WASHER FLUID	GENERAL FUND	FIRE DEPARTMENT	13.74
10/04/19	US BANK VOYAGER FLEET SYSTEM	FLEET FUEL	GENERAL FUND	FIRE DEPARTMENT	514.48
10/04/19	IH-10 WEST TACTICAL FIREARMS LLC	UNIFORMS - WOODRUFF	GENERAL FUND	FIRE DEPARTMENT	111.90
10/04/19	SAMUEL MCKINNON	INSTRUCTOR 1 CERTIFICATE	GENERAL FUND	FIRE DEPARTMENT	28.50

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
10/04/19	SAMUEL MCKINNON	CERT FEE	GENERAL FUND	FIRE DEPARTMENT	87.17
10/04/19	TYLER TECHNOLOGIES, INC. INCODE DIVIS	TICKET WRITER BATTERIES	GENERAL FUND	POLICE DEPARTMENT	540.00
10/04/19	TYLER TECHNOLOGIES, INC. INCODE DIVIS	TDEX / RMS MAINTENANCE	GENERAL FUND	POLICE DEPARTMENT	8,871.30
10/04/19	TYLER TECHNOLOGIES, INC. INCODE DIVIS	BRAZOS MAINT	GENERAL FUND	POLICE DEPARTMENT	556.98
10/04/19	GOODYEAR AUTO SERVICE CTR.	REPLACE MOTOR MOUNTS	GENERAL FUND	POLICE DEPARTMENT	899.37
10/04/19	GOODYEAR AUTO SERVICE CTR.	OIL CHANGE - UNIT 516	GENERAL FUND	POLICE DEPARTMENT	42.45
10/04/19	AUTOZONE	BULBS FOR HEADLIGHT UNIT	GENERAL FUND	POLICE DEPARTMENT	24.97
10/04/19	AUTOZONE	VEHICLE MAINT ITEMS	GENERAL FUND	POLICE DEPARTMENT	39.54
10/04/19	TOP BRASS	TRAUMA/FIRST AID KITS (SA	GENERAL FUND	POLICE DEPARTMENT	448.30
10/04/19	VERIZON	MDT'S	GENERAL FUND	POLICE DEPARTMENT	222.41
10/04/19	VERIZON	MDT'S	GENERAL FUND	POLICE DEPARTMENT	455.88
10/04/19	SOUTHWEST PUBLIC SAFETY	TRAFFIC CONES	GENERAL FUND	POLICE DEPARTMENT	83.65
10/04/19	US BANK VOYAGER FLEET SYSTEM	FLEET FUEL	GENERAL FUND	POLICE DEPARTMENT	2,972.37
10/04/19	INTERNATIONAL ASSOC OF CHIEFS OF POLIC	ANNUAL MEMBERSHIP DUES	GENERAL FUND	POLICE DEPARTMENT	190.00
10/04/19	IALEFI	MEMBERSHIP DUES - LACY	GENERAL FUND	POLICE DEPARTMENT	55.00
10/04/19	OFFICE DEPOT	OFFICE SUPPLIES	GENERAL FUND	POLICE DEPARTMENT	251.41
10/04/19	OFFICE DEPOT	OFFICE SUPPLIES	GENERAL FUND	POLICE DEPARTMENT	27.05
10/04/19	OFFICE DEPOT	OFFICE SUPPLIES	GENERAL FUND	POLICE DEPARTMENT	2.48
10/04/19	OFFICE DEPOT	HARD DRIVE	GENERAL FUND	POLICE DEPARTMENT	93.49
10/04/19	ALTEX ELECTRONICS, LTD.	SERVERBACKUP BATTERIES	GENERAL FUND	POLICE DEPARTMENT	1,265.90
10/04/19	SHAVANO PARK, PETTY CASH	PANT ALTERATIONS- CHIEF LA	GENERAL FUND	POLICE DEPARTMENT	50.00
10/04/19	SHAVANO PARK, PETTY CASH	JAIL FOOD	GENERAL FUND	POLICE DEPARTMENT	4.00
10/04/19	GALLS	UNIFORM PANTS - CHIEF LACY	GENERAL FUND	POLICE DEPARTMENT	172.00
10/04/19	NARDIS PUBLIC SAFETY	BADGES	GENERAL FUND	POLICE DEPARTMENT	155.00
10/04/19	NARDIS PUBLIC SAFETY	BADGES	GENERAL FUND	POLICE DEPARTMENT	390.00
10/04/19	NARDIS PUBLIC SAFETY	CHEVRONS	GENERAL FUND	POLICE DEPARTMENT	652.50
10/04/19	MICHAEL D. HARRISON	ANIMAL CONTROL	GENERAL FUND	POLICE DEPARTMENT	1,000.00
10/04/19	TCEQ	ON SITE COUNCIL FEE SEPTIC	GENERAL FUND	DEVELOPMENT SERVICES	10.00
10/04/19	TCEQ	ON SITE COUNCIL FEE SEPTIC	GENERAL FUND	DEVELOPMENT SERVICES	10.00
10/04/19	CIVIL SYSTEMS INC	SEPT 15- SEPT 30	GENERAL FUND	DEVELOPMENT SERVICES	541.00
10/04/19	SORCERERS APPRINTICE	PERMITS	GENERAL FUND	DEVELOPMENT SERVICES	175.00
10/04/19	BRUCE C. BEALOR	INSPECTION BOOKS	GENERAL FUND	DEVELOPMENT SERVICES	608.96
10/04/19	BRUCE C. BEALOR	INSPECTIONS / REVIEWS	GENERAL FUND	DEVELOPMENT SERVICES	6,250.00
10/04/19	GE MONEY BANK	HYDRATION	WATER FUND	WATER DEPARTMENT	60.50
10/04/19	AT&T MOBILITY	FIRSTNET PHONES	WATER FUND	WATER DEPARTMENT	111.00
10/04/19	TYLER TECHNOLOGIES, INC. INCODE DIVIS	YEARLY MAINT. FEES	WATER FUND	WATER DEPARTMENT	2,953.19
10/04/19	GOODYEAR AUTO SERVICE CTR.	OIL CHANGE TRUCK #1	WATER FUND	WATER DEPARTMENT	62.95
10/04/19	GOODYEAR AUTO SERVICE CTR.	OIL CHANGE TRUCK #4	WATER FUND	WATER DEPARTMENT	128.35
10/04/19	PITNEY BOWES - PURCHASE POWER	AUGUST WATER BILLS	WATER FUND	WATER DEPARTMENT	225.40
10/04/19	US BANK VOYAGER FLEET SYSTEM	FLEET FUEL	WATER FUND	WATER DEPARTMENT	127.05
10/04/19	UNIFIRST	UNIFORMS	WATER FUND	WATER DEPARTMENT	42.58
10/04/19	UNIFIRST	UNIFORMS	WATER FUND	WATER DEPARTMENT	41.77
10/04/19	UNIFIRST	UNIFORMS	WATER FUND	WATER DEPARTMENT	37.32
10/04/19	UNIFIRST	UNIFORMS	WATER FUND	WATER DEPARTMENT	37.37
10/04/19	BUCKHORN LLC	TOP SOIL	WATER FUND	WATER DEPARTMENT	140.00
10/04/19	T MOBILE	SECURITY	WATER FUND	WATER DEPARTMENT	35.04
10/04/19	OFFICE DEPOT	LEXMARK PRINTER CARTRIDGES	WATER FUND	WATER DEPARTMENT	151.65
10/04/19	Corrpro Companies, Inc.	INSPECTIONS SEPTEMBER 201	WATER FUND	WATER DEPARTMENT	795.00
10/04/19	Corrpro Companies, Inc.	INSPECTIONS SEPTEMBER 201	WATER FUND	WATER DEPARTMENT	795.00
10/04/19	Corrpro Companies, Inc.	INSPECTIONS SEPTEMBER 201	WATER FUND	WATER DEPARTMENT	795.00
10/04/19	Badger Meter, Inc.	MBL HOSTING	WATER FUND	WATER DEPARTMENT	43.49
10/04/19	POLLUTION CONTROL SERVICES	SAMPLE TESTING	WATER FUND	WATER DEPARTMENT	58.00
10/04/19	SHAVANO PARK, PETTY CASH	COFFEE	CRIME CONTROL DIST	POLICE DEPARTMENT	7.84
10/04/19	FASTSIGNS NORTHEAST	*NNO SIGNS	CRIME CONTROL DIST	POLICE DEPARTMENT	620.44
10/04/19	AMSTERDAM PRINTING & LITHO	PROMOTIONAL ITEMS	CHILD SAFETY FUND	POLICE DEPARTMENT	460.63
10/04/19	AMSTERDAM PRINTING & LITHO	PROMOTIONAL ITEMS	CHILD SAFETY FUND	POLICE DEPARTMENT	575.14

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
10/04/19	POSITIVE PROMOTIONS	BUBBLE TUBES	CHILD SAFETY FUND	POLICE DEPARTMENT	602.22
10/04/19	SHAVANO PARK, PETTY CASH	CANDY	CHILD SAFETY FUND	POLICE DEPARTMENT	150.80
10/04/19	SHAVANO PARK, PETTY CASH	NNO - BUNGEE CORDS	CHILD SAFETY FUND	POLICE DEPARTMENT	37.92
10/09/19	KAREN GARCIA	EVIDENCE SEMINAR	GENERAL FUND	POLICE DEPARTMENT	318.68
10/15/19	TML INTERGOVERNMENTAL RISK POOL	TML -PROPERTY, W/C, LIABIL	GENERAL FUND	NON-DEPARTMENTAL	69,570.20
10/15/19	OMNIBASE SERVICES OF TEXAS LP	COURT COLLECTIONS	GENERAL FUND	NON-DEPARTMENTAL	378.00
10/15/19	TML INTERGOVERNMENTAL RISK POOL	TML -PROPERTY, W/C, LIABIL	GENERAL FUND	CITY ADMINISTRATION	9,040.32
10/15/19	HOME DEPOT CREDIT SERVICE	LANDSCAPE MATERIALS	GENERAL FUND	CITY ADMINISTRATION	173.96
10/15/19	HOME DEPOT CREDIT SERVICE	MISC ITEMS	GENERAL FUND	CITY ADMINISTRATION	45.94
10/15/19	HOME DEPOT CREDIT SERVICE	CH RESTROOM	GENERAL FUND	CITY ADMINISTRATION	76.23
10/15/19	AT&T	PHONE/FAX	GENERAL FUND	CITY ADMINISTRATION	67.16
10/15/19	SAN ANTONIO EXPRESS NEWS	PUBLIC NOTICE	GENERAL FUND	CITY ADMINISTRATION	137.00
10/15/19	SAN ANTONIO EXPRESS NEWS	PUBLIC NOTICE	GENERAL FUND	CITY ADMINISTRATION	255.75
10/15/19	SAN ANTONIO EXPRESS NEWS	PUBLIC NOTICE	GENERAL FUND	CITY ADMINISTRATION	109.50
10/15/19	SAN ANTONIO EXPRESS NEWS	PUBLIC NOTICE	GENERAL FUND	CITY ADMINISTRATION	103.00
10/15/19	SAN ANTONIO EXPRESS NEWS	PUBLIC NOTICE	GENERAL FUND	CITY ADMINISTRATION	125.75
10/15/19	BIZDOC, INC.	COPIER FEES	GENERAL FUND	CITY ADMINISTRATION	254.59
10/15/19	WILLIAM HILL	PARKING/TRANSPORTATION	GENERAL FUND	CITY ADMINISTRATION	74.92
10/15/19	REVIZE LCC	ANNUAL WEBSITE CONTRACT	GENERAL FUND	CITY ADMINISTRATION	2,100.00
10/15/19	ARBOR DAY FOUNDATION	DUES 2019/2020 BILL HILL	GENERAL FUND	CITY ADMINISTRATION	15.00
10/15/19	BARCOM TECHNOLOGY	CONTRACT FEES -NOV	GENERAL FUND	CITY ADMINISTRATION	1,920.00
10/15/19	BARCOM TECHNOLOGY	BACK UP FEES - NOV	GENERAL FUND	CITY ADMINISTRATION	741.95
10/15/19	CYNTHIA A. BOSMANS	PERMIT CLERK BACK UP	GENERAL FUND	CITY ADMINISTRATION	76.00
10/15/19	BOJORQUEZ LAW FIRM	ANNEXATION	GENERAL FUND	CITY ADMINISTRATION	1,087.36
10/15/19	BOJORQUEZ LAW FIRM	OPEN RECORDS	GENERAL FUND	CITY ADMINISTRATION	801.08
10/15/19	BOJORQUEZ LAW FIRM	LAND USE	GENERAL FUND	CITY ADMINISTRATION	1,202.00
10/15/19	BOJORQUEZ LAW FIRM	GENERAL	GENERAL FUND	CITY ADMINISTRATION	2,478.50
10/15/19	BOJORQUEZ LAW FIRM	COUNCIL MEETINGS	GENERAL FUND	CITY ADMINISTRATION	1,000.00
10/15/19	MUNICIPAL CODE CORPORATION	ANNUAL WEB HOSTING	GENERAL FUND	CITY ADMINISTRATION	900.00
10/15/19	SAFESITE, INC.	RECORDS STORAGE	GENERAL FUND	CITY ADMINISTRATION	211.00
10/15/19	TML INTERGOVERNMENTAL RISK POOL	TML -PROPERTY, W/C, LIABIL	GENERAL FUND	MUNICIPAL COURT	99.72
10/15/19	TML INTERGOVERNMENTAL RISK POOL	TML -PROPERTY, W/C, LIABIL	GENERAL FUND	MUNICIPAL COURT	50.33
10/15/19	AT&T	PHONE/FAX	GENERAL FUND	MUNICIPAL COURT	94.35
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	193.62
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	2,404.10
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	9.49
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	8.84
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	880.49
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	9.87
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	1,533.04
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	487.32
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	12.14
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	9.68
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	213.86
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	8.75
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	10.39
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	14.34
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	10.22
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	10.86
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	20.03
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	12.05
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	11.13
10/15/19	TML INTERGOVERNMENTAL RISK POOL	TML -PROPERTY, W/C, LIABIL	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	3,625.45
10/15/19	TML INTERGOVERNMENTAL RISK POOL	TML -PROPERTY, W/C, LIABIL	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	1,798.74
10/15/19	HOME DEPOT CREDIT SERVICE	LANDSCAPE / AC MATERIALS	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	116.00
10/15/19	HOME DEPOT CREDIT SERVICE	LANDSCAPE / AC MATERIALS	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	132.54

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
10/15/19	HOME DEPOT CREDIT SERVICE	MISC ITEMS	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	19.57
10/15/19	HOME DEPOT CREDIT SERVICE	MISC ITEMS	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	22.39
10/15/19	HOME DEPOT CREDIT SERVICE	MISC ITEMS	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	66.12
10/15/19	HOME DEPOT CREDIT SERVICE	HOSE, BUCKETS, SCREWS ETC	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	35.13
10/15/19	EDD LEIGH	A/C REPAIR AND MAINT	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	1,025.00
10/15/19	TEXAS MATERIALS GROUP INC	ROAD PATCHES	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	320.84
10/15/19	TML INTERGOVERNMENTAL RISK POOL	TML -PROPERTY, W/C, LIABIL	GENERAL FUND	FIRE DEPARTMENT	20,503.82
10/15/19	TML INTERGOVERNMENTAL RISK POOL	TML -PROPERTY, W/C, LIABIL	GENERAL FUND	FIRE DEPARTMENT	12,115.89
10/15/19	AT&T	PHONE/FAX	GENERAL FUND	FIRE DEPARTMENT	90.13
10/15/19	RALPH N. TERPOLILLI	MEDICAL DIRECTION	GENERAL FUND	FIRE DEPARTMENT	450.00
10/15/19	CE SOLUTIONS	EMS CE TRAINING	GENERAL FUND	FIRE DEPARTMENT	150.00
10/15/19	ZOLL Medical Corporation	MEDICAL SUPPLIES	GENERAL FUND	FIRE DEPARTMENT	408.63
10/15/19	TML INTERGOVERNMENTAL RISK POOL	TML -PROPERTY, W/C, LIABIL	GENERAL FUND	POLICE DEPARTMENT	16,682.66
10/15/19	TML INTERGOVERNMENTAL RISK POOL	TML -PROPERTY, W/C, LIABIL	GENERAL FUND	POLICE DEPARTMENT	7,828.73
10/15/19	HOME DEPOT CREDIT SERVICE	MOISTURE STRIP	GENERAL FUND	POLICE DEPARTMENT	47.82
10/15/19	HOME DEPOT CREDIT SERVICE	DEHUMIDIFIER	GENERAL FUND	POLICE DEPARTMENT	269.10
10/15/19	AT&T	PHONE/FAX	GENERAL FUND	POLICE DEPARTMENT	124.32
10/15/19	BIZDOC, INC.	COPIER FEES	GENERAL FUND	POLICE DEPARTMENT	139.57
10/15/19	RED MCCOMBS AUTOMOTIVE	TUNE UP UNIT 518	GENERAL FUND	POLICE DEPARTMENT	444.95
10/15/19	COWBOY CLEANERS	COWBOY CLEANERS	GENERAL FUND	POLICE DEPARTMENT	447.73
10/15/19	MONTY JOE MCGUFFIN	HEALTH/ SEPTIC INSPECTIONS	GENERAL FUND	DEVELOPMENT SERVICES	180.00
10/15/19	MONTY JOE MCGUFFIN	HEALTH/ SEPTIC INSPECTIONS	GENERAL FUND	DEVELOPMENT SERVICES	500.00
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	WATER FUND	WATER DEPARTMENT	304.75
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	WATER FUND	WATER DEPARTMENT	351.40
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	WATER FUND	WATER DEPARTMENT	11.86
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	WATER FUND	WATER DEPARTMENT	1,085.86
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	WATER FUND	WATER DEPARTMENT	23.97
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	WATER FUND	WATER DEPARTMENT	335.15
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	WATER FUND	WATER DEPARTMENT	8.75
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	WATER FUND	WATER DEPARTMENT	2,405.44
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	WATER FUND	WATER DEPARTMENT	1,859.37
10/15/19	CITY PUBLIC SERVICE	CITY PUBLIC SERVICE	WATER FUND	WATER DEPARTMENT	1,880.77
10/15/19	TML INTERGOVERNMENTAL RISK POOL	TML -PROPERTY, W/C, LIABIL	WATER FUND	WATER DEPARTMENT	3,797.87
10/15/19	TML INTERGOVERNMENTAL RISK POOL	TML -PROPERTY, W/C, LIABIL	WATER FUND	WATER DEPARTMENT	1,850.00
10/15/19	EDWARDS AQUIFER AUTHORITY	EDWARDS AQUIFER AUTHORITY	WATER FUND	WATER DEPARTMENT	3,836.91
10/15/19	EDWARDS AQUIFER AUTHORITY	EDWARDS AQUIFER AUTHORITY	WATER FUND	WATER DEPARTMENT	3,169.62
10/15/19	TYLER TECHNOLOGIES, INC. INCODE DIVIS	UTILITY BILLING SUPPORT	WATER FUND	WATER DEPARTMENT	128.00
10/15/19	TEXAS EXCAVATION SAFETY SYSTEM	LOCATING TICKETS	WATER FUND	WATER DEPARTMENT	30.40
10/15/19	FERGUSON WATERWORKS	MATERIALS FOR STOCK	WATER FUND	WATER DEPARTMENT	104.00
10/15/19	BOB JENKINS PEST CONTROL	PEST CONTROL	CHILD SAFETY FUND	POLICE DEPARTMENT	249.50
10/15/19	ALAMO AREA CRIME PREVENTION ASSOC	CLASS- RANGEL	LEOSE	POLICE DEPARTMENT	250.00
10/15/19	ALAMO AREA CRIME PREVENTION ASSOC	CLASS -SEMLINGER	LEOSE	POLICE DEPARTMENT	250.00
10/15/19	VERMEER TEXAS-LOUISIANA	NEW WOOD CHIPPER	CAPITAL REPLACEMEN	PUBLIC WORKS	25,512.54
10/16/19	FROST NATIONAL BANK 941 TAX	FEDERAL WITHHOLDING	GENERAL FUND	NON-DEPARTMENTAL	13,765.46
10/16/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	GENERAL FUND	NON-DEPARTMENTAL	1,626.33
10/16/19	CITY OF SHAVANO PARK GF/PAYROLL	GENERAL FUND DUE TO PAYROL	GENERAL FUND	NON-DEPARTMENTAL	84,551.18
10/16/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	GENERAL FUND	CITY ADMINISTRATION	246.79
10/16/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	GENERAL FUND	MUNICIPAL COURT	29.58
10/16/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	80.34
10/16/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	GENERAL FUND	FIRE DEPARTMENT	603.78
10/16/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	GENERAL FUND	POLICE DEPARTMENT	665.85
10/16/19	FROST NATIONAL BANK 941 TAX	FEDERAL WITHHOLDING	WATER FUND	NON-DEPARTMENTAL	696.08
10/16/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	WATER FUND	NON-DEPARTMENTAL	106.83
10/16/19	CITY OF SHAVANO PARK GF/PAYROLL	WATER FUND DUE TO PAYROLL	WATER FUND	NON-DEPARTMENTAL	5,715.98
10/16/19	FROST NATIONAL BANK 941 TAX	MEDICARE TAXES	WATER FUND	WATER DEPARTMENT	106.82
10/17/19	TX CSDU	00089527162015EM5059	GENERAL FUND	NON-DEPARTMENTAL	69.23

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
10/17/19	TX CSDU	0012999273 DAVIS	GENERAL FUND	NON-DEPARTMENTAL	366.86
10/17/19	ICMA - VANTAGEPOINT TRANSFER-457	ICMA-FLAT AMOUNTS	GENERAL FUND	NON-DEPARTMENTAL	2,095.00
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	NON-DEPARTMENTAL	2,546.00
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	NON-DEPARTMENTAL	4,343.86
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	NON-DEPARTMENTAL	126.72
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	NON-DEPARTMENTAL	550.50
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	NON-DEPARTMENTAL	307.15
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	CITY ADMINISTRATION	2,860.00
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	CITY ADMINISTRATION	14.80
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	CITY ADMINISTRATION	230.98
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	CITY ADMINISTRATION	43.94
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	CITY ADMINISTRATION	35.16
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	CITY ADMINISTRATION	8,580.00
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	MUNICIPAL COURT	5.86
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	1,442.02
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	9.34
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	79.08
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	18.80
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	14.76
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	FIRE DEPARTMENT	51.80
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	FIRE DEPARTMENT	469.20
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	FIRE DEPARTMENT	114.92
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	FIRE DEPARTMENT	87.90
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	POLICE DEPARTMENT	10,296.00
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	POLICE DEPARTMENT	62.90
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	POLICE DEPARTMENT	585.04
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	POLICE DEPARTMENT	138.58
10/17/19	TML MULTISTATE IEBP	TML MULTISTATE IEBP	GENERAL FUND	POLICE DEPARTMENT	105.48
10/17/19	ICMA - VANTAGEPOINT TRANSFER-457	ICMA-FLAT AMOUNTS	WATER FUND	NON-DEPARTMENTAL	160.00
10/22/19	TML MULTISTATE IEBP	PLAN 2 CHILD BUY DOWN	GENERAL FUND	NON-DEPARTMENTAL	69.45
10/22/19	TML MULTISTATE IEBP	PLAN 2 CHILD BUY DOWN	GENERAL FUND	NON-DEPARTMENTAL	69.45
10/22/19	TML MULTISTATE IEBP	P85-70-40 FAMILY BUYDOWN	GENERAL FUND	NON-DEPARTMENTAL	309.78
10/22/19	TML MULTISTATE IEBP	P85-70-40 FAMILY BUYDOWN	GENERAL FUND	NON-DEPARTMENTAL	309.78
10/22/19	TML MULTISTATE IEBP	3-P85-20-30 CHILD BUY DOWN	GENERAL FUND	NON-DEPARTMENTAL	141.86
10/22/19	TML MULTISTATE IEBP	3-P85-20-30 CHILD BUY DOWN	GENERAL FUND	NON-DEPARTMENTAL	141.86
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 - FAMILY BUY	GENERAL FUND	NON-DEPARTMENTAL	380.16
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 - FAMILY BUY	GENERAL FUND	NON-DEPARTMENTAL	380.16
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - CHILD BUY D	GENERAL FUND	NON-DEPARTMENTAL	24.37
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - CHILD BUY D	GENERAL FUND	NON-DEPARTMENTAL	24.37
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - CHILD HRA	GENERAL FUND	NON-DEPARTMENTAL	121.54
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - CHILD HRA	GENERAL FUND	NON-DEPARTMENTAL	121.54
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY BUY	GENERAL FUND	NON-DEPARTMENTAL	468.30
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY BUY	GENERAL FUND	NON-DEPARTMENTAL	468.19
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY HSA	GENERAL FUND	NON-DEPARTMENTAL	311.84
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY HSA	GENERAL FUND	NON-DEPARTMENTAL	311.84
10/22/19	TML MULTISTATE IEBP	ADJUSMENT 10/18/2019	GENERAL FUND	NON-DEPARTMENTAL	1,810.08-
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE CHILD	GENERAL FUND	NON-DEPARTMENTAL	36.75
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE CHILD	GENERAL FUND	NON-DEPARTMENTAL	36.75
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	GENERAL FUND	NON-DEPARTMENTAL	224.10
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	GENERAL FUND	NON-DEPARTMENTAL	224.08
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE SPOUSE	GENERAL FUND	NON-DEPARTMENTAL	14.40
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE SPOUSE	GENERAL FUND	NON-DEPARTMENTAL	14.40
10/22/19	TML MULTISTATE IEBP	HSA Contribution	GENERAL FUND	NON-DEPARTMENTAL	642.34
10/22/19	TML MULTISTATE IEBP	HSA Contribution	GENERAL FUND	NON-DEPARTMENTAL	642.28
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	GENERAL FUND	NON-DEPARTMENTAL	7.22
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	GENERAL FUND	NON-DEPARTMENTAL	7.22

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
10/22/19	TML MULTISTATE IEBP	LIFE-VOLUNTARY	GENERAL FUND	NON-DEPARTMENTAL	150.32
10/22/19	TML MULTISTATE IEBP	LIFE-VOLUNTARY	GENERAL FUND	NON-DEPARTMENTAL	150.32
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	GENERAL FUND	NON-DEPARTMENTAL	63.36
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	GENERAL FUND	NON-DEPARTMENTAL	63.35
10/22/19	TML MULTISTATE IEBP	PLAN 2 CHILD BUY DOWN	GENERAL FUND	CITY ADMINISTRATION	286.00
10/22/19	TML MULTISTATE IEBP	PLAN 2 CHILD BUY DOWN	GENERAL FUND	CITY ADMINISTRATION	286.00
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 EMPLOYEE ONLY	GENERAL FUND	CITY ADMINISTRATION	225.82
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 EMPLOYEE ONLY	GENERAL FUND	CITY ADMINISTRATION	225.82
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 EMP-HRA FUNDS	GENERAL FUND	CITY ADMINISTRATION	60.18
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 EMP-HRA FUNDS	GENERAL FUND	CITY ADMINISTRATION	60.18
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - CHILD BUY D	GENERAL FUND	CITY ADMINISTRATION	281.46
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - CHILD BUY D	GENERAL FUND	CITY ADMINISTRATION	281.46
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - CHILD HRA	GENERAL FUND	CITY ADMINISTRATION	159.92
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - CHILD HRA	GENERAL FUND	CITY ADMINISTRATION	159.92
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY HSA	GENERAL FUND	CITY ADMINISTRATION	159.92
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY HSA	GENERAL FUND	CITY ADMINISTRATION	159.92
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 CHILD-HSA FUN	GENERAL FUND	CITY ADMINISTRATION	4.54
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 CHILD-HSA FUN	GENERAL FUND	CITY ADMINISTRATION	4.54
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 EMP- HSA FUND	GENERAL FUND	CITY ADMINISTRATION	126.08
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 EMP- HSA FUND	GENERAL FUND	CITY ADMINISTRATION	126.08
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 FAMILY-HSA FU	GENERAL FUND	CITY ADMINISTRATION	126.08
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 FAMILY-HSA FU	GENERAL FUND	CITY ADMINISTRATION	126.08
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE CHILD	GENERAL FUND	CITY ADMINISTRATION	18.30
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE CHILD	GENERAL FUND	CITY ADMINISTRATION	18.30
10/22/19	TML MULTISTATE IEBP	DENTAL EMPLOYEE ONLY	GENERAL FUND	CITY ADMINISTRATION	14.22
10/22/19	TML MULTISTATE IEBP	DENTAL EMPLOYEE ONLY	GENERAL FUND	CITY ADMINISTRATION	14.22
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	GENERAL FUND	CITY ADMINISTRATION	63.96
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	GENERAL FUND	CITY ADMINISTRATION	63.96
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE SPOUSE	GENERAL FUND	CITY ADMINISTRATION	19.01
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE SPOUSE	GENERAL FUND	CITY ADMINISTRATION	19.01
10/22/19	TML MULTISTATE IEBP	HRA/HSA FEE	GENERAL FUND	CITY ADMINISTRATION	7.40
10/22/19	TML MULTISTATE IEBP	HRA/HSA FEE	GENERAL FUND	CITY ADMINISTRATION	7.40
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE ONLY	GENERAL FUND	CITY ADMINISTRATION	14.65
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE ONLY	GENERAL FUND	CITY ADMINISTRATION	14.65
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	GENERAL FUND	CITY ADMINISTRATION	2.93
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	GENERAL FUND	CITY ADMINISTRATION	2.93
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE ONLY	GENERAL FUND	CITY ADMINISTRATION	6.76
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE ONLY	GENERAL FUND	CITY ADMINISTRATION	6.76
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	GENERAL FUND	CITY ADMINISTRATION	15.21
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	GENERAL FUND	CITY ADMINISTRATION	15.21
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE ONLY	GENERAL FUND	MUNICIPAL COURT	2.93
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE ONLY	GENERAL FUND	MUNICIPAL COURT	2.93
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMPLOYEE ON	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	176.35
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMPLOYEE ON	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	176.36
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMP HSA FUN	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	109.65
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMP HSA FUN	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	109.66
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - EMP ONLY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	159.92
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - EMP ONLY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	159.92
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY BUY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	149.01
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY BUY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	148.83
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 EMP- HSA FUND	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	126.08
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 EMP- HSA FUND	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	126.08
10/22/19	TML MULTISTATE IEBP	DENTAL EMPLOYEE ONLY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	28.44
10/22/19	TML MULTISTATE IEBP	DENTAL EMPLOYEE ONLY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	28.44
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	11.10
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	11.10

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
10/22/19	TML MULTISTATE IEBP	HRA/HSA FEE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	4.67
10/22/19	TML MULTISTATE IEBP	HRA/HSA FEE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	4.67
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE ONLY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	4.40
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE ONLY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	4.40
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	2.98
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	3.00
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE ONLY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	6.76
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE ONLY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	6.76
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	2.64
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	2.64
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 EMPLOYEE ONLY	GENERAL FUND	FIRE DEPARTMENT	225.82
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 EMPLOYEE ONLY	GENERAL FUND	FIRE DEPARTMENT	225.82
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 - FAMILY BUY	GENERAL FUND	FIRE DEPARTMENT	286.00
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 - FAMILY BUY	GENERAL FUND	FIRE DEPARTMENT	286.00
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 EMP-HRA FUNDS	GENERAL FUND	FIRE DEPARTMENT	60.18
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 EMP-HRA FUNDS	GENERAL FUND	FIRE DEPARTMENT	60.18
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - CHILD BUY D	GENERAL FUND	FIRE DEPARTMENT	286.00
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - CHILD BUY D	GENERAL FUND	FIRE DEPARTMENT	286.00
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMPLOYEE ON	GENERAL FUND	FIRE DEPARTMENT	176.35
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMPLOYEE ON	GENERAL FUND	FIRE DEPARTMENT	176.35
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMP HSA FUN	GENERAL FUND	FIRE DEPARTMENT	109.65
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMP HSA FUN	GENERAL FUND	FIRE DEPARTMENT	109.65
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - EMP ONLY	GENERAL FUND	FIRE DEPARTMENT	1,599.20
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - EMP ONLY	GENERAL FUND	FIRE DEPARTMENT	1,599.20
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY BUY	GENERAL FUND	FIRE DEPARTMENT	286.00
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY BUY	GENERAL FUND	FIRE DEPARTMENT	286.00
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 EMP- HSA FUND	GENERAL FUND	FIRE DEPARTMENT	1,260.80
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 EMP- HSA FUND	GENERAL FUND	FIRE DEPARTMENT	1,260.80
10/22/19	TML MULTISTATE IEBP	DENTAL EMPLOYEE ONLY	GENERAL FUND	FIRE DEPARTMENT	170.64
10/22/19	TML MULTISTATE IEBP	DENTAL EMPLOYEE ONLY	GENERAL FUND	FIRE DEPARTMENT	170.64
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	GENERAL FUND	FIRE DEPARTMENT	63.96
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	GENERAL FUND	FIRE DEPARTMENT	63.96
10/22/19	TML MULTISTATE IEBP	HRA/HSA FEE	GENERAL FUND	FIRE DEPARTMENT	24.05
10/22/19	TML MULTISTATE IEBP	HRA/HSA FEE	GENERAL FUND	FIRE DEPARTMENT	24.05
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE ONLY	GENERAL FUND	FIRE DEPARTMENT	35.16
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE ONLY	GENERAL FUND	FIRE DEPARTMENT	35.16
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	GENERAL FUND	FIRE DEPARTMENT	8.79
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	GENERAL FUND	FIRE DEPARTMENT	8.79
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE ONLY	GENERAL FUND	FIRE DEPARTMENT	37.18
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE ONLY	GENERAL FUND	FIRE DEPARTMENT	37.18
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	GENERAL FUND	FIRE DEPARTMENT	20.28
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	GENERAL FUND	FIRE DEPARTMENT	20.28
10/22/19	Texas Commission on Fire Protection	TCFP CERT FEES	GENERAL FUND	FIRE DEPARTMENT	110.00
10/22/19	TML MULTISTATE IEBP	P85-70-40 FAMILY BUYDOWN	GENERAL FUND	POLICE DEPARTMENT	286.00
10/22/19	TML MULTISTATE IEBP	P85-70-40 FAMILY BUYDOWN	GENERAL FUND	POLICE DEPARTMENT	286.00
10/22/19	TML MULTISTATE IEBP	3-P85-20-30 CHILD BUY DOWN	GENERAL FUND	POLICE DEPARTMENT	286.00
10/22/19	TML MULTISTATE IEBP	3-P85-20-30 CHILD BUY DOWN	GENERAL FUND	POLICE DEPARTMENT	286.00
10/22/19	TML MULTISTATE IEBP	3 -P85-20-30 EE ONLY	GENERAL FUND	POLICE DEPARTMENT	243.10
10/22/19	TML MULTISTATE IEBP	3 -P85-20-30 EE ONLY	GENERAL FUND	POLICE DEPARTMENT	243.10
10/22/19	TML MULTISTATE IEBP	3 P85-2-30 HRA FUNDS	GENERAL FUND	POLICE DEPARTMENT	42.90
10/22/19	TML MULTISTATE IEBP	3 P85-2-30 HRA FUNDS	GENERAL FUND	POLICE DEPARTMENT	42.90
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 EMPLOYEE ONLY	GENERAL FUND	POLICE DEPARTMENT	451.64
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 EMPLOYEE ONLY	GENERAL FUND	POLICE DEPARTMENT	451.64
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 EMP-HRA FUNDS	GENERAL FUND	POLICE DEPARTMENT	120.36
10/22/19	TML MULTISTATE IEBP	4-P85-50-30 EMP-HRA FUNDS	GENERAL FUND	POLICE DEPARTMENT	120.36
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMPLOYEE ON	GENERAL FUND	POLICE DEPARTMENT	352.70

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMPLOYEE ON	GENERAL FUND	POLICE DEPARTMENT	352.70
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMP HSA FUN	GENERAL FUND	POLICE DEPARTMENT	219.30
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMP HSA FUN	GENERAL FUND	POLICE DEPARTMENT	219.30
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - CHILD BUY D	GENERAL FUND	POLICE DEPARTMENT	281.46
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - CHILD BUY D	GENERAL FUND	POLICE DEPARTMENT	281.46
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - EMP ONLY	GENERAL FUND	POLICE DEPARTMENT	1,439.28
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - EMP ONLY	GENERAL FUND	POLICE DEPARTMENT	1,439.28
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY BUY	GENERAL FUND	POLICE DEPARTMENT	286.00
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY BUY	GENERAL FUND	POLICE DEPARTMENT	286.00
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 CHILD-HSA FUN	GENERAL FUND	POLICE DEPARTMENT	4.54
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 CHILD-HSA FUN	GENERAL FUND	POLICE DEPARTMENT	4.54
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 EMP- HSA FUND	GENERAL FUND	POLICE DEPARTMENT	1,134.72
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 EMP- HSA FUND	GENERAL FUND	POLICE DEPARTMENT	1,134.72
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE CHILD	GENERAL FUND	POLICE DEPARTMENT	36.60
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE CHILD	GENERAL FUND	POLICE DEPARTMENT	36.60
10/22/19	TML MULTISTATE IEBP	DENTAL EMPLOYEE ONLY	GENERAL FUND	POLICE DEPARTMENT	170.64
10/22/19	TML MULTISTATE IEBP	DENTAL EMPLOYEE ONLY	GENERAL FUND	POLICE DEPARTMENT	170.64
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	GENERAL FUND	POLICE DEPARTMENT	85.28
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	GENERAL FUND	POLICE DEPARTMENT	85.28
10/22/19	TML MULTISTATE IEBP	HRA/HSA FEE	GENERAL FUND	POLICE DEPARTMENT	33.30
10/22/19	TML MULTISTATE IEBP	HRA/HSA FEE	GENERAL FUND	POLICE DEPARTMENT	33.30
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE ONLY	GENERAL FUND	POLICE DEPARTMENT	41.02
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE ONLY	GENERAL FUND	POLICE DEPARTMENT	41.02
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	GENERAL FUND	POLICE DEPARTMENT	11.72
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	GENERAL FUND	POLICE DEPARTMENT	11.72
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE ONLY	GENERAL FUND	POLICE DEPARTMENT	43.94
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE ONLY	GENERAL FUND	POLICE DEPARTMENT	43.94
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	GENERAL FUND	POLICE DEPARTMENT	25.35
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	GENERAL FUND	POLICE DEPARTMENT	25.35
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY BUY	WATER FUND	NON-DEPARTMENTAL	88.98
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY BUY	WATER FUND	NON-DEPARTMENTAL	89.09
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	WATER FUND	NON-DEPARTMENTAL	10.20
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	WATER FUND	NON-DEPARTMENTAL	10.22
10/22/19	TML MULTISTATE IEBP	HSA Contribution	WATER FUND	NON-DEPARTMENTAL	96.48
10/22/19	TML MULTISTATE IEBP	HSA Contribution	WATER FUND	NON-DEPARTMENTAL	96.54
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	WATER FUND	NON-DEPARTMENTAL	2.38
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	WATER FUND	NON-DEPARTMENTAL	2.38
10/22/19	TML MULTISTATE IEBP	LIFE-VOLUNTARY	WATER FUND	NON-DEPARTMENTAL	10.80
10/22/19	TML MULTISTATE IEBP	LIFE-VOLUNTARY	WATER FUND	NON-DEPARTMENTAL	10.80
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	WATER FUND	NON-DEPARTMENTAL	2.42
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	WATER FUND	NON-DEPARTMENTAL	2.43
10/22/19	TML MULTISTATE IEBP	3 -P85-20-30 EE ONLY	WATER FUND	WATER DEPARTMENT	243.10
10/22/19	TML MULTISTATE IEBP	3 -P85-20-30 EE ONLY	WATER FUND	WATER DEPARTMENT	243.10
10/22/19	TML MULTISTATE IEBP	3 P85-2-30 HRA FUNDS	WATER FUND	WATER DEPARTMENT	42.90
10/22/19	TML MULTISTATE IEBP	3 P85-2-30 HRA FUNDS	WATER FUND	WATER DEPARTMENT	42.90
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMPLOYEE ON	WATER FUND	WATER DEPARTMENT	176.35
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMPLOYEE ON	WATER FUND	WATER DEPARTMENT	176.34
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMP HSA FUN	WATER FUND	WATER DEPARTMENT	109.65
10/22/19	TML MULTISTATE IEBP	7-P85-150-40 - EMP HSA FUN	WATER FUND	WATER DEPARTMENT	109.64
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - EMP ONLY	WATER FUND	WATER DEPARTMENT	159.92
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - EMP ONLY	WATER FUND	WATER DEPARTMENT	159.92
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY BUY	WATER FUND	WATER DEPARTMENT	136.99
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 - FAMILY BUY	WATER FUND	WATER DEPARTMENT	137.17
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 EMP- HSA FUND	WATER FUND	WATER DEPARTMENT	126.08
10/22/19	TML MULTISTATE IEBP	8-P85-250-30 EMP- HSA FUND	WATER FUND	WATER DEPARTMENT	126.08
10/22/19	TML MULTISTATE IEBP	DENTAL EMPLOYEE ONLY	WATER FUND	WATER DEPARTMENT	42.66

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
10/22/19	TML MULTISTATE IEBP	DENTAL EMPLOYEE ONLY	WATER FUND	WATER DEPARTMENT	42.66
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	WATER FUND	WATER DEPARTMENT	10.22
10/22/19	TML MULTISTATE IEBP	DENTAL-EMPLOYEE FAMILY	WATER FUND	WATER DEPARTMENT	10.22
10/22/19	TML MULTISTATE IEBP	HRA/HSA FEE	WATER FUND	WATER DEPARTMENT	6.43
10/22/19	TML MULTISTATE IEBP	HRA/HSA FEE	WATER FUND	WATER DEPARTMENT	6.43
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE ONLY	WATER FUND	WATER DEPARTMENT	1.46
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE ONLY	WATER FUND	WATER DEPARTMENT	1.46
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	WATER FUND	WATER DEPARTMENT	8.74
10/22/19	TML MULTISTATE IEBP	LIFE-EMPLOYEE SPOUSE	WATER FUND	WATER DEPARTMENT	8.72
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE ONLY	WATER FUND	WATER DEPARTMENT	10.14
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE ONLY	WATER FUND	WATER DEPARTMENT	10.14
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	WATER FUND	WATER DEPARTMENT	2.43
10/22/19	TML MULTISTATE IEBP	VISION-EMPLOYEE FAMILY	WATER FUND	WATER DEPARTMENT	2.43
10/25/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-AFTER TAX	GENERAL FUND	NON-DEPARTMENTAL	482.28
10/25/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-AFTER TAX	GENERAL FUND	NON-DEPARTMENTAL	547.77
10/25/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-PRE-TAX	GENERAL FUND	NON-DEPARTMENTAL	632.82
10/25/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-PRE-TAX	GENERAL FUND	NON-DEPARTMENTAL	703.50
10/25/19	CIVIL SYSTEMS INC	CIVIL SYSTEMS INC	GENERAL FUND	NON-DEPARTMENTAL	34.50-
10/25/19	CIVIL SYSTEMS INC	CIVIL SYSTEMS INC	GENERAL FUND	NON-DEPARTMENTAL	15.75-
10/25/19	PRE-PAID LEGAL SERVICES, INC.	PREPAID LEGAL SERVICES	GENERAL FUND	NON-DEPARTMENTAL	238.81
10/25/19	PRE-PAID LEGAL SERVICES, INC.	PREPAID LEGAL SERVICES	GENERAL FUND	NON-DEPARTMENTAL	238.81
10/25/19	LINEBARGER, GOGGAN, BLAIR & SAMPSON, L	MUNICIPAL COURT COLLECTION	GENERAL FUND	NON-DEPARTMENTAL	763.47
10/25/19	AMERICAN FIDELITY ASSURANCE	AMERICAN FIDELITY LIFE DUE	GENERAL FUND	NON-DEPARTMENTAL	51.00
10/25/19	AMERICAN FIDELITY ASSURANCE	AMERICAN FIDELITY LIFE DUE	GENERAL FUND	NON-DEPARTMENTAL	51.00
10/25/19	J&M PRINTING INC.	LABELS FOR POSTERS	GENERAL FUND	CITY COUNCIL	93.00
10/25/19	J&M PRINTING INC.	BUDGET BOOKS	GENERAL FUND	CITY COUNCIL	142.86
10/25/19	DRAGO INVESTMENTS LTD	COUNCIL NAME PLATES	GENERAL FUND	CITY COUNCIL	49.50
10/25/19	TIME WARNER CABLE	CABLE/TV	GENERAL FUND	CITY ADMINISTRATION	87.06
10/25/19	NEIGHBORHOOD NEWS	NOVEMBER RR	GENERAL FUND	CITY ADMINISTRATION	672.94
10/25/19	PITNEY BOWES - PURCHASE POWER	PITNEY BOWES - PURCHASE PO	GENERAL FUND	CITY ADMINISTRATION	4.50
10/25/19	PITNEY BOWES - PURCHASE POWER	POSTAGE MACHINE REFILL	GENERAL FUND	CITY ADMINISTRATION	2,000.00
10/25/19	PITNEY BOWES - PURCHASE POWER	OVERAGE FINANCE FEE	GENERAL FUND	CITY ADMINISTRATION	14.00
10/25/19	J&M PRINTING INC.	BUDGET BOOKS	GENERAL FUND	CITY ADMINISTRATION	142.86
10/25/19	INTRUDER ALERT SYSTEMS	ALARM MONITORING	GENERAL FUND	CITY ADMINISTRATION	35.95
10/25/19	LOGIX FIBER NETWORKS	CITY FIBER CONNECTION	GENERAL FUND	CITY ADMINISTRATION	1,449.33
10/25/19	CLEAN SCAPES, LP	CLEAN UP AROUND CH	GENERAL FUND	CITY ADMINISTRATION	1,000.00
10/25/19	Nationwide Pennant & Flag, Mfg., Inc.	FLAGS	GENERAL FUND	CITY ADMINISTRATION	132.00
10/25/19	Nationwide Pennant & Flag, Mfg., Inc.	FLAGS	GENERAL FUND	CITY ADMINISTRATION	132.00
10/25/19	Nationwide Pennant & Flag, Mfg., Inc.	FLAGS	GENERAL FUND	CITY ADMINISTRATION	383.30
10/25/19	AT&T MOBILITY	FIRSTNET	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	37.00
10/25/19	J&M PRINTING INC.	BUDGET BOOKS	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	23.81
10/25/19	INTRUDER ALERT SYSTEMS	ALARM MONITORING	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	49.95
10/25/19	JANI KING OF SAN ANTONIO	JANITORIAL SERVICES	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	652.39
10/25/19	SUN COAST RESOURCES, INC	FLEET FUEL	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	416.65
10/25/19	T MOBILE	SECURITY	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	35.04
10/25/19	TEXAS MATERIALS GROUP INC	ASPHALT FOR ROAD PATCHES	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	261.04
10/25/19	TexDoor, Ltd.	STORAGE BLDG AT SHOP	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	180.50
10/25/19	AT&T MOBILITY	FIRSTNET PHONES	GENERAL FUND	FIRE DEPARTMENT	8.44
10/25/19	AT&T MOBILITY	FIRSTNET	GENERAL FUND	FIRE DEPARTMENT	259.00
10/25/19	J&M PRINTING INC.	BUDGET BOOKS	GENERAL FUND	FIRE DEPARTMENT	23.81
10/25/19	GREG WOODRUFF	OMNI FORT WORTH	GENERAL FUND	FIRE DEPARTMENT	408.21
10/25/19	THE UPS STORE #4997	RETURN TO ZOLL	GENERAL FUND	FIRE DEPARTMENT	22.23
10/25/19	SUN COAST RESOURCES, INC	FLEET FUEL	GENERAL FUND	FIRE DEPARTMENT	546.85
10/25/19	QUADMED INC	MEDICAL SUPPLIES	GENERAL FUND	FIRE DEPARTMENT	577.67
10/25/19	SOUTHWEST TEXAS REGIONAL ADVISORY COUN	DUES FY 2020	GENERAL FUND	FIRE DEPARTMENT	500.50
10/25/19	ZOLL Medical Corporation	AED MAINTENANCE	GENERAL FUND	FIRE DEPARTMENT	817.48

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
10/25/19	ZOLL Medical Corporation	AED MAINTENANCE	GENERAL FUND	FIRE DEPARTMENT	1,091.25
10/25/19	SHAVANO PARK, PETTY CASH	VEH REGISTRATION 2019 CHEV	GENERAL FUND	FIRE DEPARTMENT	7.50
10/25/19	POSITIVE CONCEPTS, INC	THERMAL PAPER	GENERAL FUND	POLICE DEPARTMENT	156.35
10/25/19	ALBERT URESTI TAX ASSESSOR COLLECTOR	VEHICLE REGISTRATION	GENERAL FUND	POLICE DEPARTMENT	7.50
10/25/19	J&M PRINTING INC.	BUDGET BOOKS	GENERAL FUND	POLICE DEPARTMENT	23.81
10/25/19	KFW ENGINEERS	PLATTING	GENERAL FUND	DEVELOPMENT SERVICES	450.00
10/25/19	CIVIL SYSTEMS INC	CIVIL SYSTEMS INC	GENERAL FUND	DEVELOPMENT SERVICES	806.00
10/25/19	CIVIL SYSTEMS INC	CIVIL SYSTEMS INC	GENERAL FUND	DEVELOPMENT SERVICES	66.75
10/25/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-AFTER TAX	WATER FUND	NON-DEPARTMENTAL	22.61
10/25/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-AFTER TAX	WATER FUND	NON-DEPARTMENTAL	22.62
10/25/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-PRE-TAX	WATER FUND	NON-DEPARTMENTAL	32.05
10/25/19	COLONIAL SUPPLEMENTAL INS	COLONIAL-PRE-TAX	WATER FUND	NON-DEPARTMENTAL	32.07
10/25/19	PHELPS, LES L	1-0042-01	WATER FUND	NON-DEPARTMENTAL	206.60
10/25/19	PRE-PAID LEGAL SERVICES, INC.	PREPAID LEGAL SERVICES	WATER FUND	NON-DEPARTMENTAL	31.22
10/25/19	PRE-PAID LEGAL SERVICES, INC.	PREPAID LEGAL SERVICES	WATER FUND	NON-DEPARTMENTAL	31.22
10/25/19	PITNEY BOWES - PURCHASE POWER	UTILITY BILLING SEPTEMBER	WATER FUND	WATER DEPARTMENT	228.90
10/25/19	J&M PRINTING INC.	BUDGET BOOKS	WATER FUND	WATER DEPARTMENT	23.81
10/25/19	DPC INDUSTRIES	CHLORINE CYLINDERS	WATER FUND	WATER DEPARTMENT	100.00
10/25/19	DPC INDUSTRIES	CHLORINE CYLINDERS	WATER FUND	WATER DEPARTMENT	100.00
10/25/19	BUCKHORN LLC	SOIL	WATER FUND	WATER DEPARTMENT	802.00
10/25/19	BUCKHORN LLC	SOIL	WATER FUND	WATER DEPARTMENT	56.00
10/25/19	SUN COAST RESOURCES, INC	FLEET FUEL	WATER FUND	WATER DEPARTMENT	208.35
10/25/19	T MOBILE	SECURITY	WATER FUND	WATER DEPARTMENT	35.04
10/25/19	UNITED RENTALS	MAIN BREAK ON HAPPY TRAIL	WATER FUND	WATER DEPARTMENT	150.00
10/25/19	WRC LLC	METER CALIBRATIONS	WATER FUND	WATER DEPARTMENT	1,940.46
10/25/19	WRC LLC	PARTS FOR WELL UPGRADES	WATER FUND	WATER DEPARTMENT	173.54
10/25/19	WRC LLC	PARTS FOR WELL UPGRADES	WATER FUND	WATER DEPARTMENT	173.54
10/25/19	WRC LLC	PARTS FOR WELL UPGRADES	WATER FUND	WATER DEPARTMENT	173.54
10/25/19	WRC LLC	PARTS FOR WELL UPGRADES	WATER FUND	WATER DEPARTMENT	173.54
10/25/19	KFW ENGINEERS	TASK ORDER 6 AREA 3-4	CAPITAL REPLACEMENT	PUBLIC WORKS	34,000.00
10/25/19	MORIDGE MANUFACTURING INC	LAWN MOWER	CAPITAL REPLACEMENT	PUBLIC WORKS	12,380.92
10/25/19	XYLEM WATER SOLUTIONS	COW POND	CAPITAL REPLACEMENT	PUBLIC WORKS	874.30
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	GENERAL FUND	NON-DEPARTMENTAL	7,237.21
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	GENERAL FUND	NON-DEPARTMENTAL	8,052.34
10/30/19	SOTO, CHRISTIAN GERARD	Bond Refund:180426 -01	GENERAL FUND	NON-DEPARTMENTAL	104.00
10/30/19	GE MONEY BANK	WATER/ SODAS	GENERAL FUND	CITY COUNCIL	41.62
10/30/19	GE MONEY BANK	HANDSOAP, GATORADE,WATER	GENERAL FUND	CITY ADMINISTRATION	24.10
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	GENERAL FUND	CITY ADMINISTRATION	2,338.87
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	GENERAL FUND	CITY ADMINISTRATION	2,466.85
10/30/19	JOSEPH GRUNWALD dba RUSTIC OUTDOORS	REPLACED ROTORS	GENERAL FUND	CITY ADMINISTRATION	175.00
10/30/19	Dell Marketing L.P.	COMPUTER UPGRADES	GENERAL FUND	CITY ADMINISTRATION	1,197.85
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	GENERAL FUND	MUNICIPAL COURT	252.79
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	GENERAL FUND	MUNICIPAL COURT	284.55
10/30/19	Dell Marketing L.P.	COMPUTER UPGRADES	GENERAL FUND	MUNICIPAL COURT	1,197.85
10/30/19	GE MONEY BANK	HANDSOAP, GATORADE,WATER	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	136.98
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	715.47
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	793.94
10/30/19	GRUENE ENVIRONMENTAL COMPANIES	CRACK FILLER	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	790.30
10/30/19	Dell Marketing L.P.	COMPUTER UPGRADES	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	598.93
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	GENERAL FUND	FIRE DEPARTMENT	5,026.46
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	GENERAL FUND	FIRE DEPARTMENT	5,960.98
10/30/19	O'REILLY AUTO PARTS	WINDSHIELD WIPERS	GENERAL FUND	FIRE DEPARTMENT	35.66
10/30/19	O'REILLY AUTO PARTS	WINDSHIELD WIPERS	GENERAL FUND	FIRE DEPARTMENT	39.31
10/30/19	TEXAS MED CLINIC	HOTCHKISS, CARRASCO	GENERAL FUND	FIRE DEPARTMENT	459.00
10/30/19	THE RUGGED STORE	TABLET MOUNTING HARDWARE	GENERAL FUND	FIRE DEPARTMENT	242.00
10/30/19	ZUBIE OPERATING SYSTEMS INC	PPE BAGS	GENERAL FUND	FIRE DEPARTMENT	500.00

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
10/30/19	ZUBIE OPERATING SYSTEMS INC	UNIFORMS	GENERAL FUND	FIRE DEPARTMENT	738.00
10/30/19	WITMER PUBLIC SAFETY GRP	STRUCTURAL HELMET SHIELDS	GENERAL FUND	FIRE DEPARTMENT	143.96
10/30/19	FRAZER, LTD.	BUMPER PROTECTORS M139	GENERAL FUND	FIRE DEPARTMENT	35.48
10/30/19	Dell Marketing L.P.	COMPUTER UPGRADES	GENERAL FUND	FIRE DEPARTMENT	1,197.85
10/30/19	HEAT SAFETY EQUIPMENT	AIR PACK TESTING	GENERAL FUND	FIRE DEPARTMENT	637.50
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	GENERAL FUND	POLICE DEPARTMENT	6,089.14
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	GENERAL FUND	POLICE DEPARTMENT	6,540.79
10/30/19	GOODYEAR AUTO SERVICE CTR.	TIRE FOR UNIT 508	GENERAL FUND	POLICE DEPARTMENT	164.79
10/30/19	GOODYEAR AUTO SERVICE CTR.	BRAKES UNIT 519	GENERAL FUND	POLICE DEPARTMENT	339.90
10/30/19	GOODYEAR AUTO SERVICE CTR.	OIL CHANGE UNIT 520	GENERAL FUND	POLICE DEPARTMENT	57.45
10/30/19	GOODYEAR AUTO SERVICE CTR.	VEH INSPECTION UNIT 520	GENERAL FUND	POLICE DEPARTMENT	7.00
10/30/19	GOODYEAR AUTO SERVICE CTR.	OIL CHANGE UNIT 509	GENERAL FUND	POLICE DEPARTMENT	136.45
10/30/19	VERIZON	MDT'S	GENERAL FUND	POLICE DEPARTMENT	222.75
10/30/19	VERIZON	MDT'S	GENERAL FUND	POLICE DEPARTMENT	455.88
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	WATER FUND	NON-DEPARTMENTAL	464.84
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	WATER FUND	NON-DEPARTMENTAL	525.09
10/30/19	WILEY, PHILLIP & DAW	1-0145-01	WATER FUND	NON-DEPARTMENTAL	250.00
10/30/19	FALLON, BELINDA	1-0421-02	WATER FUND	NON-DEPARTMENTAL	250.00
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	WATER FUND	WATER DEPARTMENT	926.36
10/30/19	TMRS	EMPLOYEE AND EMPLOYER CONT	WATER FUND	WATER DEPARTMENT	1,046.44
10/30/19	Dell Marketing L.P.	COMPUTER UPGRADES	WATER FUND	WATER DEPARTMENT	598.93
10/30/19	Dell Marketing L.P.	COMPUTER UPGRADES	CRIME CONTROL DIST	POLICE DEPARTMENT	1,197.85
10/30/19	DARRELL DOVER	TRUNK OR TREAT CANDY	CHILD SAFETY FUND	FIRE DEPARTMENT	43.17
10/30/19	Dell Marketing L.P.	COMPUTER UPGRADES	CAPITAL REPLACEMEN	ADMINISTRATION	3,593.54
10/31/19	FROST - VISA DEBIT CARD	FROST - FOGO DE CHAO	GENERAL FUND	CITY COUNCIL	160.00
10/31/19	FROST - VISA DEBIT CARD	FROST - BORN 2 BOUNCE	GENERAL FUND	CITY COUNCIL	758.86
10/31/19	FROST - VISA DEBIT CARD	FROST - GREAT EVENTS	GENERAL FUND	CITY COUNCIL	360.00
10/31/19	FROST - VISA DEBIT CARD	FROST - ADOBE	GENERAL FUND	CITY ADMINISTRATION	119.88
10/31/19	FROST - VISA DEBIT CARD	FROST - ARBOR DAY FOUNDATI	GENERAL FUND	CITY ADMINISTRATION	64.85
10/31/19	FROST - VISA DEBIT CARD	FROST - TML CLERKS ASSOC	GENERAL FUND	CITY ADMINISTRATION	100.00
10/31/19	FROST - VISA DEBIT CARD	FROST -HR SPEC. EMPLOYMENT	GENERAL FUND	CITY ADMINISTRATION	97.00
10/31/19	FROST - VISA DEBIT CARD	FROST - TML COURT CLERKS	GENERAL FUND	MUNICIPAL COURT	200.00
10/31/19	FROST - VISA DEBIT CARD	FROST - NEW EARTH	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	94.80
10/31/19	FROST - VISA DEBIT CARD	FROST - DOUGLAS KING CO	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	510.00
10/31/19	FROST - VISA DEBIT CARD	FROST - MISSION LANSCAPE	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	373.00
10/31/19	FROST - VISA DEBIT CARD	FROST - FANICK'S	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	1,922.96
10/31/19	FROST - VISA DEBIT CARD	FROST - FANICK'S	GENERAL FUND	PUBLIC WORKS/GOV. BLDG	720.00-
10/31/19	FROST - VISA DEBIT CARD	FROST - TATAMUSA -TX A&M	GENERAL FUND	FIRE DEPARTMENT	28.50
10/31/19	FROST - VISA DEBIT CARD	FROST - HW LINEN	GENERAL FUND	FIRE DEPARTMENT	168.22
10/31/19	FROST - VISA DEBIT CARD	FROST - MY LOR	GENERAL FUND	FIRE DEPARTMENT	37.65
10/31/19	FROST - VISA DEBIT CARD	FROST - LONESTAR LEADERSHI	GENERAL FUND	FIRE DEPARTMENT	180.00
10/31/19	FROST - VISA DEBIT CARD	FROST - ACE MART	GENERAL FUND	POLICE DEPARTMENT	630.97
10/31/19	FROST - VISA DEBIT CARD	FROST - EMBASSY SUITES HOT	GENERAL FUND	POLICE DEPARTMENT	529.00
10/31/19	FROST - VISA DEBIT CARD	FROST - ESET	WATER FUND	WATER DEPARTMENT	81.18
10/31/19	FROST - VISA DEBIT CARD	FROST - WAREHOUSE RACK	WATER FUND	WATER DEPARTMENT	338.00
10/31/19	FROST - VISA DEBIT CARD	FROST - WAREHOUSE RACK	WATER FUND	WATER DEPARTMENT	1,522.74
10/31/19	FROST - VISA DEBIT CARD	FROST - TML	WATER FUND	WATER DEPARTMENT	185.00
10/31/19	FROST - VISA DEBIT CARD	FROST -TCEQ	WATER FUND	WATER DEPARTMENT	111.00
10/31/19	FROST - VISA DEBIT CARD	FROST - TCEQ	WATER FUND	WATER DEPARTMENT	111.00
10/31/19	FROST - VISA DEBIT CARD	FROST - CHEESY JANES	CRIME CONTROL DIST	POLICE DEPARTMENT	1,772.36
TOTAL:					717,197.57

DATE	VENDOR NAME	DESCRIPTION	FUND	DEPARTMENT	AMOUNT
===== FUND TOTALS =====					
10		GENERAL FUND	580,154.58		
20		WATER FUND	54,463.82		
40		CRIME CONTROL DISTRICT	3,598.49		
52		CHILD SAFETY FUND	2,119.38		
53		LEOSE	500.00		
70		CAPITAL REPLACEMENT FUND	76,361.30		

		GRAND TOTAL:	717,197.57		

TOTAL PAGES: 13

SELECTION CRITERIA

SELECTION OPTIONS

VENDOR SET: 01-CITY OF SHAVANO PARK
VENDOR: All
CLASSIFICATION: All
BANK CODE: All
ITEM DATE: 0/00/0000 THRU 99/99/9999
ITEM AMOUNT: 99,999,999.00CR THRU 99,999,999.00
GL POST DATE: 0/00/0000 THRU 99/99/9999
CHECK DATE: 10/01/2019 THRU 10/31/2019

PAYROLL SELECTION

PAYROLL EXPENSES: NO
EXPENSE TYPE: N/A
CHECK DATE: 0/00/0000 THRU 99/99/9999

PRINT OPTIONS

PRINT DATE: Check Date
SEQUENCE: By Date
DESCRIPTION: Distribution
GL ACCTS: YES
REPORT TITLE: C O U N C I L A / P R E P O R T
SIGNATURE LINES: 0

PACKET OPTIONS

INCLUDE REFUNDS: YES
INCLUDE OPEN ITEM:NO

1. CALL MEETING TO ORDER

Mayor Werner called the meeting to 6:30 p.m.

PRESENT:

ABSENT:

Alderman Colemere

Alderman Kautz

Alderman Heintzelman

Mayor Pro Tem Ross

Alderman Powers

Mayor Werner

2. PLEDGE OF ALLEGIANCE AND INVOCATION

Alderman Heintzelman led the Pledge of Allegiance to the flag. Alderman Kautz led the Invocation.

3. CITIZENS TO BE HEARD

Citizens Linahan, Atkinson, Kennett, Maisel, LaCasse, Fitzpatrick addressed City Council regarding the natural walking trail.

4. CITY COUNCIL COMMENTS

City Council welcomed everyone to the meeting.

5. PRESENTATIONS, COMMENDATIONS AND ANNOUNCEMENTS

5.1. Proclamation – Breast Cancer Awareness Month – Mayor Werner

Mayor Werner read the proclamation proclaiming the Month of October as Breast Cancer Awareness Month.

6. REGULAR AGENDA ITEMS

- 6.1. Public Hearing - To receive testimony and comments from members of the public regarding the proposed rezoning of property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) from B-2 Zoning Category District to a Planned Unit Development (PUD) zoning district including B-2 Base Zoning Category with the following exceptions: Minimum Parking Requirement, Maximum Building Height, Rear Setback Requirement, Side Setback Requirement, Front Landscape Buffer Requirement and Rear Landscape Buffer Requirement and granting a Special Use Permit for an Assisted Living Facility (CC) use.**

Public Hearing opened at 6:50 p.m.

City Manager Hill presented a brief overview of this agenda item.

Public Hearing closed at 6:54 p.m.

- 6.2. Discussion / action – Adoption of Ordinance O-2019-013 amending the City of Shavano Park Master Zoning Plan to rezone the property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) from B-2 Business and Office District to a Planned Unit Development (PUD) zoning district including B-2 Base Zoning Category and granting a Special Use Permit for an Assisted Living Facility (CC) use (First Reading) - City Manager**

Alderman Powers made a motion to approve Ordinance O-2019-013 amending the City of Shavano Park Master Zoning Plan to rezone the property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) from B-2 Business and Office District to a Planned Unit Development (PUD) zoning district including B-2 Base Zoning Category and granting a Special Use Permit for an Assisted Living Facility (CC) use (First Reading).
Alderman Colemere seconded the motion.

The motion to approve Ordinance O-2019-013 amending the City of Shavano Park Master Zoning Plan to rezone the property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) from B-2 Business and Office District to a Planned Unit Development (PUD) zoning district including B-2 Base Zoning Category and granting a Special Use Permit for an Assisted Living Facility (CC) use (First Reading) carried with a unanimous vote.

6.3. Presentation / discussion / action – City Council Ad Hoc Community Amenities Committee (CAC) regarding natural walking trail on Muni-tract and take action on plan to move forward - Mayor Pro Tem Ross

Mayor Pro Tem Ross began the discussion on this item and turned the briefing over to Committee Member Holzhauer, who then presented a slide presentation outlining the proposed natural walking trail on muni-tract.

Mayor Werner read the emails sent to him in support of the natural trail from K. Solomon, Thomas & Kathleen Peyton, A. Aleman, D. Jauer, R. Bates, M. Berrier, Mike & Barb Janssen, Chris & Mike Dillard, Bob & Cathie Campion, G. Bibb, E. Palmer, T. Bibb, G. Reamey, J. Countryman, N. Bula, Cindy & Bill Coppola, J. Bradley, Dana & Tim Orihel, and Pat Moore.

Mayor Pro Tem Ross made a motion to approve the walking trail plan and direct staff to proceed in building using funds allocated in the Capital Improvement Fund.

Alderman Colemere seconded the motion.

The motion to approve the walking trail plan and direct staff to proceed in building using funds allocated in the Capital Improvement Fund carried with the following vote:

AYES: 4; NAYES: 1 (Alderman Powers)

Mayor Pro Tem Ross indicated that she was leaving the meeting due to illness and asked City Council consensus to postpone agenda item 6.7.

6.4. Public Hearing - A public hearing to receive comments from members of the public regarding proposed amendments to the City of Shavano Park Code of Ordinances clarifying & establishing definitions for building setback lines, porches, porte cocheres and front yards and establishing that open porches and porte cocheres are allowed to extend from the primary residence into the front setback under certain conditions

Public Hearing opened at 7:40 p.m.

City Manager Hill presented an overview of this agenda item.

Public Hearing closed at 7:47 p.m.

6.5. Discussion/action - Ordinance O-2019-014 amending the City of Shavano Park Code of Ordinances, Chapter 28 and Chapter 36 to clarify front setbacks in relation to entryway features and exterior architectural features (First Reading) - City Manager

Alderman Heintzelman made a motion to approve Ordinance O-2019-014 amending the City of Shavano Park Code of Ordinances, Chapter 28 and Chapter 36 to clarify front setbacks in relation to entryway features and exterior architectural features (First Reading).

Alderman Colemere seconded the motion.

The motion to approve Ordinance O-2019-014 amending the City of Shavano Park Code of Ordinances, Chapter 28 and Chapter 36 to clarify front setbacks in relation to entryway features and exterior architectural features (First Reading) carried with the following vote:

AYES: 4; NAYES: 0

6.6. Discussion / action - Ordinance O-2019-015 amending the City of Shavano Park Code of Ordinances, Chapter 8, Article II Soliciting and Peddling, Section 8.24 (Hours of Solicitation). Possible Executive Session pursuant to Texas Government Code, §551.071, Consultation with Attorney on legal issues related to solicitation - City Manager

Alderman Heintzelman made a motion to discuss Ordinance O-2019-015 amending the City of Shavano Park Code of Ordinances, Chapter 8, Article II Soliciting and Peddling, Section 8.24 (Hours of Solicitation).

Alderman Kautz seconded the motion.

After discussion was held, Alderman Heintzelman amended his motion to approve Ordinance O-2019-015 amending the City of Shavano Park Code of Ordinances, Chapter 8, Article II Soliciting and Peddling, Section 8.24 (Hours of Solicitation) Version 2.

Alderman Kautz amended her second to the motion.

The motion to approve Ordinance O-2019-015 amending the City of Shavano Park Code of Ordinances, Chapter 8, Article II Soliciting and Peddling, Section 8.24 (Hours of Solicitation) carried with the following vote:

AYES: 4; NAYES: 0

6.7. Discussion / action - City Manager 363 Review. Possible Executive Session pursuant to Texas Government Code §551.074, Personnel Matters - Mayor Pro Tem Ross

Mayor Pro Tem Ross, with the consensus of City Council, requested that this item be postponed until the next meeting (7:40 p.m.)

7. CITY MANAGER'S REPORT

All matters listed under this item are considered routine by the City Council and will only be considered at the request of one or more Aldermen. Coincident with each listed item, discussion will generally occur.

7.1. Building Permit Activity Report

7.2. Fire Department Activity Report

7.3. Municipal Court Activity Report

7.4. Police Department Activity Report

7.5. Public Works Activity Report

7.6. Finance Report

8. CONSENT AGENDA

All matters listed under this item are considered routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired by any Alderman on any item, that item will be removed from the consent agenda and will be considered separately.

8.1. Approval - City Council Special Minutes, September 16, 2019

8.2. Approval - City Council Meeting Minutes, September 23, 2019

8.3. Accept - Planning & Zoning Commission Meeting Minutes, September 4, 2019

8.4. Approval - Resolution R-2019-013, Designation of City of Shavano Park Official Paper

8.5. Accept - Preliminary Plat of Subdivision Plat Napier Park Unit-3 (Planned Unit Development), a 4.0 acre tract of land out of that 289.5 acre tract described in deed to Rogers Shavano Park Unit 18/19, LTD.

8.6. Approval - Services Agreement between the City of Shavano Park and ARDMOR

Alderman Kautz made a motion to approve / accept Consent Agenda Items 8.1 - 8.6 as presented.

Alderman Colemere seconded the motion.

The motion to approve the Consent Agenda Items 8.1 – 8.6 carried with the following vote:

AYES: 4; NAYES: 0

9. ADJOURNMENT

Alderman Kautz made a motion to adjourn the meeting.

Alderman Heintzelman seconded the motion.

The meeting adjourned at 8:12 p.m.

Robert Werner
Mayor

Zina Tedford, City Secretary

1. Call to order

Vice Chairman Aleman called the meeting to order at 6:30 p.m.

PRESENT:

ABSENT:

Konrad Kuykendall

Albert Aleman

Carla Laws

Jason Linahan

William Stipek

Bill Simmons

Kerry Dike

Shawn Fitzpatrick

Damon Perrin

2. Vote under Section 36-69 of the Shavano Park City Code (“Code”) concerning a finding that each of the items following item 2 on the agenda are “planning issues” or otherwise prescribed Planning & Zoning Commission duties under 36-69(l) of the Code or the severance of one or more of such items for an individual vote on such item or items.

Upon a motion made by Commissioner Laws and a second made by Commissioner Linahan, the Planning & Zoning Commission voted eight (8) for and none (0) opposed to approve the agenda as it was provided as Planning & Zoning Commission issues. The motion carried.

3. Citizens to be heard

No one signed up to address the Planning & Zoning Commission.

4. Consent Agenda:

A. Approval – Planning & Zoning Commission minutes, September 4, 2019

Upon a motion made by Commissioner Simmons and a second made by Commissioner Stipek, the Planning & Zoning Commission voted eight (8) for and none (0) opposed to approve the Planning & Zoning Commission September 4, 2019 minutes as presented. The motion carried.

5. Nomination and appointment of Chairman

Upon a motion made by Commissioner Dike and a second made by Commissioner Stipek, the Planning & Zoning Commission voted eight (8) for and none (0) opposed to appoint Albert (Buddy) Aleman as Chairman. The motion carried.

6. Nomination and appointment of Vice-chairman

Upon a motion made by Commissioner Simmons and a second made by Commissioner Stipek, the Planning & Zoning Commission voted eight (8) for and none (0) opposed to appoint Carla Laws as Vice-Chairman. The motion carried.

7. **Discussion – Welcome new members and thanks to departing members and information on open meeting and open records training - Chairman**

Chairman Aleman welcomed all new members and thanked the departing members for their contributions service to the Planning & Zoning Commission.

8. **Discussion / action – Possible approval of Preliminary Plat of Subdivision Plat Napier Park Unit-3 (Planned Unit Development), a 4.0 acre tract of land out of that 289.5 acre tract described in deed to Rogers Shavano Park Unit 18/19, LTD. – City Manager**

Upon a motion made by Commissioner Laws and a second made by Commissioner Linahan, the Planning & Zoning Commission voted eight (8) for and none (0) opposed to approve the Preliminary Plat of Subdivision Plat Napier Park Unit-3 (Planned Unit Development), a 4.0 acre tract of land out of that 289.5 acre tract described in deed to Rogers Shavano Park Unit 18/19, LTD. The motion carried.

9. **Public Hearing – A public hearing to receive comments from members of the public regarding the proposed rezoning of property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) from B-2 Business and Office District to a Planned Unit Development (PUD) zoning district with B-2 Business and Office base district with the following exceptions: Minimum Parking Requirement, Maximum Building Height, Rear Setback Requirement, Side Setback Requirement, Front Landscape Buffer Requirement and Rear Landscape Buffer Requirement**

Public hearing opened at 6:39 p.m.

City Manager Hill presented an overview of the proposed rezoning of property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) from B-2 Business and Office District to a Planned Unit Development (PUD) zoning district with B-2 Business and Office base district with the following exceptions: Minimum Parking Requirement, Maximum Building Height, Rear Setback Requirement, Side Setback Requirement, Front Landscape Buffer Requirement and Rear Landscape Buffer Requirement.

Public hearing closed at 6:45 p.m.

10. **Discussion / action – Possible recommendation to rezone the property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) from B-2 Business and Office District to a Planned Unit Development (PUD) zoning district with B-2 Business and Office base district - City Manager**

Upon a motion made by Commissioner Perrin and a second made by Commissioner Simmons, the Planning & Zoning Commission voted eight (8) for and none (0) opposed to approve recommendation to rezone the property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) from B-2 Business and Office District to a Planned Unit Development (PUD) zoning district with B-2 Business and Office base district. The motion carried.

11. **Public Hearing – A public hearing to receive comments from members of the public regarding the proposed granting a Special Use Permit to the property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) for an Assisted Living Facility (CC) use in B-2 Business and Office District zoning category**

Public hearing opened at 6:48 p.m.

Public hearing closed at 6:50 p.m.

12. **Discussion / action – Possible recommendation of granting a Special Use Permit to the property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) for an Assisted Living Facility (CC) use in B-2 Business and Office District zoning category- City Manager**

Upon a motion made by Commissioner Laws and a second made by Commissioner Linahan, the Planning & Zoning Commission voted eight (8) for and none (0) opposed to approve recommendation of granting a Special Use Permit to the property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) for an Assisted Living Facility (CC) use in B-2 Business and Office District zoning category. The motion carried.

13. **Public Hearing – A public hearing to receive comments from members of the public regarding proposed amendments to the City of Shavano Park Code of Ordinances clarifying & establishing definitions for building setback lines, porches, porte cocheres and front yards and establishing that open porches and porte cocheres are allowed to extend from the primary residence into the front setback under certain conditions**

Public hearing opened at 6:51 p.m.

City Manager Hill presented an overview of the proposed amendments to the City of Shavano Park Code of Ordinances clarifying & establishing definitions for building setback lines, porches, porte cocheres and front yards and establishing that open porches and porte cocheres are allowed to extend from the primary residence into the front setback under certain conditions.

Public hearing closed at 6:58 p.m.

14. **Discussion / action – Possible amendments to the City of Shavano Park Code of Ordinances clarifying & establishing definitions for building setback lines, porches, porte cocheres and front yards and establishing that open porches and porte cocheres are allowed to extend from the primary residence into the front setback under certain conditions - City Manager**

Upon a motion made by Commissioner Dike and a second made by Commissioner Simmons, the Planning & Zoning Commission voted eight (8) for and none (0) opposed to approve proposed amendments to the City of Shavano Park Code of Ordinances clarifying & establishing definitions for building setback lines, porches, porte cocheres and front yards and establishing that open porches and porte cocheres are allowed to extend from the primary residence into the front setback under certain conditions with changes discussed. The motion carried.

15. **Discussion / action – Proposed amendments to Chapter 28 – Subdivisions regarding changes in plat procedures - City Manager**

City Manager Hill discussed the proposed amendments to – Proposed amendments to Chapter 28 – Subdivisions regarding changes in plat procedures as outlined in HB 3167 approved during the 86th Legislative Session.

16. Discussion – Possible amendments to Chapter 24 – Signs regarding banner signs and allowed signage in residential and business zoning districts - City Manager

City Manager provide a brief overview of the upcoming discussion regarding possible amendments to Chapter 24 – Signs regarding banner signs and allowed signage in residential and business zoning districts.

17. Report / update - City Council items considered at previous City Council meetings and discussion concerning the same - City Manager

City Manager Hill provided an overview of items considered at the previous City Council Meeting.

18. Chairman Announcements:

- A. Advise members to contact City staff to add new or old agenda items.
- B. Advise members of pending agenda items, as follows:
 - i. November, 2019 - Review of City Policy #15 Public Information Act update in accordance with new Texas Senate Bill 944
 - ii. November, 2019 – Public Hearing & action item for possible amendments to Chapter 24 – Signs regarding banner signs and allowed signage in residential and business zoning districts.
 - iii. November, 2019 – Public Hearing & action item for proposed rezoning of the commercial property located at the intersection of Huebner Road and Lockhill Selma Road to a PUD and discussion concerning same.
 - iv. November, 2019 – Possible amendments to the City of Shavano Park Code of Ordinances regarding building construction material requirements to comply with H.B. 2439.
 - v. TBD’ed - Amendments to Chapter 36 regarding MXD & PUD site plan approval to comply with the 30-day shot clocks from Texas Legislature
 - vi. February, 2020 – Semiannual presentation by Denton Communities regarding residential and commercial development in Shavano Park and surrounding areas and discussion concerning the same.

19. Adjournment

Upon a motion made by Commissioner Dike and a second made by Commissioner Linahan, the Planning & Zoning Commission voted (8) for and none (0) opposed to adjourn the meeting. The meeting adjourned at 7:52 p.m.

ALBERT ALEMAN
Chairman

ZINA TEDFORD
City Secretary

CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 8.3

Prepared by: Curtis Leeth

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

8.3. Approval - Adoption of Ordinance O-2019-013 amending the City of Shavano Park Master Zoning Plan to rezone the property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) from B-2 Business and Office District to a Planned Unit Development (PUD) zoning district including B-2 Base Zoning Category and granting a Special Use Permit for an Assisted Living Facility (CC) use (Final Reading)

X

Attachments for Reference:

- 1) 8.3a Brookdale PUD & SUP Request
- 2) 8.3b Engineer Letter
- 3) 8.3c Ordinance O-2019-013

BACKGROUND / HISTORY: The Brookdale Shavano Park Assisted Living Community at 4096 De Zavala Road was built in 1999 and was the first commercial building in Shavano Park. The construction was initiated while the property was still in the ETJ and was completed after the City Annexed the property in April 1999. It is likely that the City had not established a comprehensive zoning code for office and business properties.

This summer, the City received a zoning verification request for the property and during review staff noted that the property did not have a special use permit for an assisted living facility (CC) use. The property is currently zoned B-2 Business and Office District.

On September 11, 2019, staff received a Planned Unit Development (PUD) with B-2 base district rezoning request for 4096 De Zavala Road from the property owner, S-H Twenty-One Properties, LLC. In addition this letter requested the authorizing of a special use permit for the Assisted Living Facility (CC) use.

Rezoning Public Notice: On September 18, 2019, staff provided paper notice and mailed notices to all properties within 500 feet as required by the City of Shavano Park Code of Ordinances.

Special Use Permit Public Notice: On September 18, 2019, staff provided paper notice for this public hearing as required by the City of Shavano Park Code of Ordinances.

At the October 2, 2019 Planning & Zoning Commission, the Commission recommended approval of the rezoning and special use permit requests.

At the October 28, 2019 City Council meeting, the Council approved Ordinance O-2019-013 (first reading).

DISCUSSION: After review by staff and S-H Twenty-One Properties, LLC, it is concluded the property has six non-conforming uses under B-2 Business and Office Zoning District. The property owner is therefore requesting approval of these non-conforming uses to the following B-2 zoning regulations:

Chapter 36. - ZONING, ARTICLE VI, Table No. 6 Other District Setbacks and Other Limitations:

1. *Minimum Parking Requirement – Exception to allow reduced parking ratio from 1/200 square feet to 1/670 square feet (158 spaces to 47 spaces with current building size).*
2. *Maximum Building Height – Exception to allow increased building height from 45 feet to 46 feet.*
3. *Rear Setback Requirement – Exception to allow reduced rear building setback from 100 feet to 39.14 feet.*
4. *Side Setback Requirement – Exception to allow reduced side building setback from 53.6 feet to 20.5 feet.*
5. *Front Buffer Requirement – Exception to allow reduced front landscape buffer from 40 feet to 32 feet.*
6. *Rear Buffer Requirement – Exception to allow reduced rear landscape buffer from 30 feet to 10 feet.*

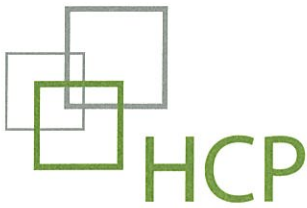
In addition, after review by staff it is concluded a special use permit for an assisted living facility (CC) was never authorized for the property (these zoning regulations did not exist when it was built).

Staff note that these requests are not for a new proposed construction but to bring a legally non-conforming structure in the City into conformance with the City's zoning regulations. The property and business has been operating since 2000 without any significant issues. The rezoning and special use permits are presented in Ordinance O-2019-013 (attachment 6.1c).

COURSES OF ACTION: Adoption of Ordinance O-2019-013 to rezone the property from B-2 Business and Office District to a Planned Unit Development (PUD) zoning district including B-2 Base Zoning Category and granting a Special Use Permit for an Assisted Living Facility (CC) use; or alternatively decline and provide further guidance to staff.

FINANCIAL IMPACT: N/A

MOTION REQUESTED: To approve Ordinance 0-2019-013 amending the City of Shavano Park Master Zoning Plan to rezone the property legally described as County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) from B-2 Business and Office District to a Planned Unit Development (PUD) zoning district including B-2 Base Zoning Category and granting a Special Use Permit for an Assisted Living Facility (CC) use (final reading).



September 11, 2019

Bill Hill, City Manager
City of Shavano Park
900 Saddletree Court
Shavano Park, TX 78231

Re: Planned Unit Development Rezoning and Special Use Permit Requests for the Brookdale Shavano Park Assisted Living Facility Located at 4096 De Zavala Road, Shavano Park, Texas

Dear Mr. Hill,

S-H TWENTY-ONE PROPERTIES, LLC is the owner of the Brookdale Shavano Park Assisted Living Community ("Community") at 4096 De Zavala Road ("Property"). The Property is located within the boundaries of the City of Shavano Park ("City"). We are proud to say that the Community has been open and operating within Shavano Park for the past 20 years. As you are aware, the Community was built in conformance with City requirements at the time of construction.

Due to City initiated modification to Code, the Property is no longer properly zoned for assisted facility uses. The Property is zoned "B-2" Business District. Per the Shavano Park Code of Ordinances ("Code"), an Assisted Living Facility now requires a Special Use Permit ("SUP"). Additionally, the existing buildings do not conform with all "B-2" lot and building development standards, such as setbacks, height, and minimum parking. While the Community is legally operating as a non-conforming use, it is our desire to bring the use and improvements into conformance with the Code. With this in mind, please accept this letter as our formal request to: 1) rezone the Property to Planned Unit Development ("PUD") district; and 2) authorize the assisted living facility at the Property through an SUP.

The purpose of the PUD request is to allow for development standards that differ from those of the Property's current "B-2" zoning. As previously noted, this request is to bring the improvements that currently exist on the Property into conformance with current Code. We are requesting the following variances from "B-2" standards be included with the PUD, all of which are further detailed in the attached site plan:

Chapter 36. - ZONING, ARTICLE VI, Table No. 6 Other District Setbacks and Other Limitations:

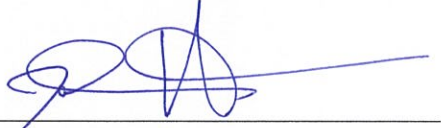
1. *Minimum Parking Requirement – Exception to allow reduced parking ratio from 1/200 square feet to 1/670 square feet (158 spaces to 47 spaces with current building size).*

2. *Maximum Building Height – Exception to allow increased building height from 45 feet to 46 feet.*
3. *Rear Setback Requirement – Exception to allow reduced rear building setback from 100 feet to 39.14 feet.*
4. *Side Setback Requirement – Exception to allow reduced side building setback from 53.6 feet to 20.5 feet.*
5. *Front Buffer Requirement – Exception to allow reduced front landscape buffer from 40 feet to 32 feet.*
6. *Rear Buffer Requirement – Exception to allow reduced rear landscape buffer from 30 feet to 10 feet.*

Please schedule both the PUD rezoning and SUP request for the October 2, 2019 Planning and Zoning Commission hearing, followed by City Council as soon as possible thereafter. Additionally, S-H TWENTY-ONE PROPERTIES, LLC authorizes Kaufman & Killen, Inc. to represent us in the processing of the PUD and SUP requests and at the public hearings. If you have any further questions please do not hesitate to contact me at (949) 407-0499/jweiss@HCPI.com, Daniel Bruce at (949) 407-0468/dbruce@HCPI.com, or Ashley Farrimond with Kaufman & Killen, Inc. at (210) 448-9981/ashley@kk-lawfirm.com.

Sincerely,

S-H TWENTY-ONE PROPERTIES, LLC,
a Delaware limited liability company

By: 
Name: Joshua D. Weiss
Title: Vice President

cc: Curtis Leeth, Assistant to City Manager
Talley J. Williams, Metcalfe Wolff Stuart & Williams LLP

attached:

- 1) Site Plan/Detail Plan for Property
- 2) Bexar County Appraisal District Information
- 3) Deed

ITEMS CORRESPONDING TO SCHEDULE B

1. The following restrictive covenants of record itemized below:
Any covenants, conditions or restrictions indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin are hereby deleted to the extent such covenants, conditions or restrictions violate 42 USC 3604 (d). Restrictions contained in the plat recorded in Volume 9538, Pages 66-69, of the Deed and Plat Records, of Bexar County, Texas; and Restrictive covenants imposed in the instrument recorded under Volume 7752, Page 1938, of the Real Property Records, of Bexar County, Texas.
NOT SHOWN, IT IS A BLANKET ITEM

10. The following matters and all terms of the documents creating or offering evidence of the matters:
e. A 30 foot building setback line along the Lockhill-Selma Road property line as set forth on the recorded plat and dedication.
THIS ITEM IS PLOTTED AND SHOWN HEREON.

f. A 30 foot building setback line along the DeZavala Road property line as set forth on the recorded plat and dedication.
THIS ITEM IS PLOTTED AND SHOWN HEREON.

g. Easement as shown on the recorded plat and dedication:
Purpose: Gas, Electric, Telephone and Cable TV Easement
Location: 14' along the Lockhill-Selma Road property line
THIS EASEMENT IS PLOTTED AND SHOWN HEREON.

h. Easement as shown on the recorded plat and dedication:
Purpose: Sanitary Sewer, Gas, Electric, Telephone and Cable TV Easement
Location: 16' along the DeZavala Road property line
THIS EASEMENT IS PLOTTED AND SHOWN HEREON.

i. Easement as shown on the recorded plat and dedication:
Purpose: Wall and Landscaping Easement
Location: 10' along the most Northeastly and most Southeastly property lines
THIS EASEMENT IS PLOTTED AND SHOWN HEREON.

j. Easement:
To: City of San Antonio
Recorded: November 22, 2000 in Volume 8650, Page 1457, of the Real Property Records, of Bexar County, Texas.
Purpose: Electric Easement
THIS EASEMENT IS PLOTTED AND SHOWN HEREON.

k. Pollution Abatement Plan referenced by Affidavit as recorded November 02, 1994 in Volume 6249, Page 24, of the Real Property Records, of Bexar County, Texas.
NOT SHOWN, IT IS A BLANKET ITEM

l. Deed Recordation Affidavit concerning Edwards Aquifer Protection Plan as set forth in instrument recorded October 02, 2001 as Volume 9075, Page 558, of the Real Property of Bexar County, Texas.
NOT SHOWN, IT IS A BLANKET ITEM

n. Terms, conditions and stipulations contained in Agreement:
Recorded: February 15, 2005 in Volume 11227, Page 1942, Official Public Records, of Bexar County, Texas.
Type: Easement and Memorandum of Agreement
NOT SHOWN, IT IS A BLANKET AGREEMENT

o. Terms, conditions and stipulations contained in Agreement:
Recorded: September 26, 2011 in Volume 15150, Page 2300, Official Public Records, of Bexar County, Texas.
Type: License and Memorandum of Agreement
NOT SHOWN, IT IS A BLANKET AGREEMENT

ZONING INFORMATION

THE SURVEYED PROPERTY IS ZONED "B-2" - BUSINESS DISTRICT

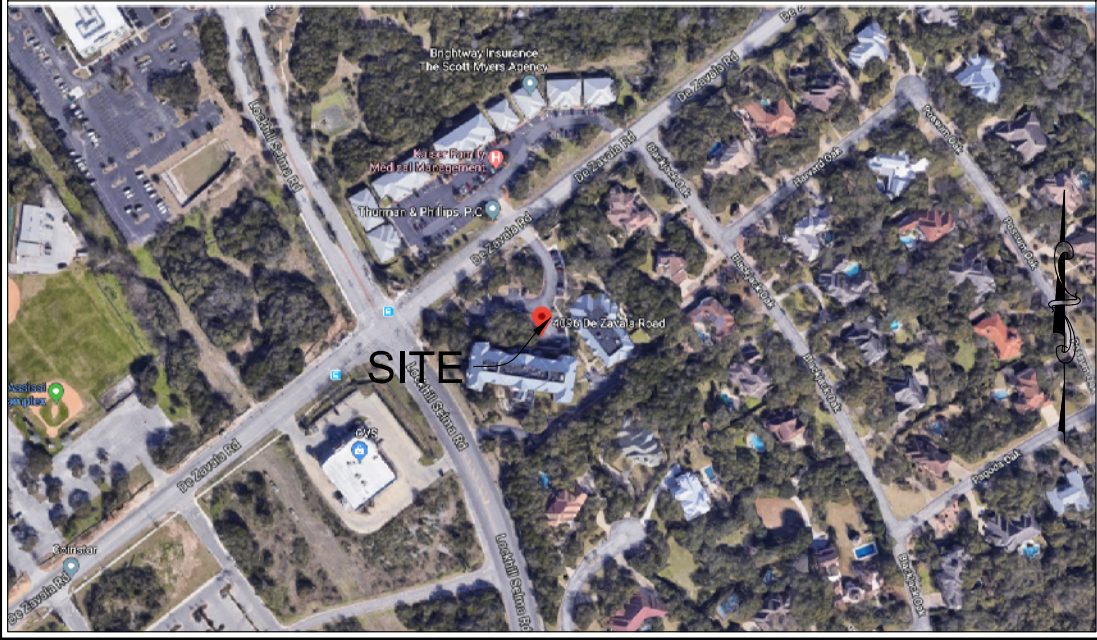
FRONT SETBACK: 80'
STREET SIDE SETBACK: 80'
SIDE SETBACK: 25'
REAR SETBACK: 100'

HEIGHT RESTRICTIONS: 45'

PARKING REQUIREMENTS (FORMULA): 1 SPACE PER 200 SQ.FT. OF GFA
351 SPACES REQUIRED

THE ZONING INFORMATION SHOWN ABOVE WAS OBTAINED FROM PZR ZONING REPORT DATED JULY 30, 2019, SITE NO. 130760-1, PURSUANT TO TABLE A 6A.

VICINITY MAP - NOT TO SCALE



MISCELLANEOUS NOTES

- MN1** SURVEY PERFORMED BY: BOCK AND CLARK CORPORATION, AN NV5 COMPANY, 501 THOMSON PARK DRIVE, CRANBERRY TOWNSHIP, PA 16066
PHONE: (800) 787-8394 FAX: (724) 934-0062 BYRON.HOWELL@NV5.COM
- MN2** THIS SURVEY IS CERTIFIED TO DATE OF FIELD SURVEY, NOT DATE OF SIGNATURE, NOT VALID UNLESS SIGNED, DATED AND STAMPED WITH SURVEYOR'S SEAL.
- MN3** TABLE A 2: AN ADDRESS OF 4096 DE ZAVALA ROAD WAS POSTED ON THE SURVEYED PROPERTY.
- MN4** TABLE A 4: THE SURVEYED PROPERTY CONTAINS AN AREA OF 3.50± ACRES (152,580± SQUARE FEET), MORE OR LESS.
- MN5** TABLE A 6b: THE INFORMATION SHOWN HEREON WAS TAKEN FROM THE REFERENCED RECORDED PLAN(S) AND MAY NOT BE THE CURRENT STANDARD OR HOW THE STANDARD IS INTERPRETED BY THE TOWNSHIP, COUNTY AND STATE. THE SETBACKS SHOWN (IF ANY) MAY NOT REFLECT THE ZONING REQUIREMENTS AT THE TIME OF CONSTRUCTION, IF ANY WERE REQUIRED AT THAT TIME
- MN6** TABLE A 8: ONLY OBSERVABLE SURFACE AND ABOVE GROUND STRUCTURES WERE LOCATED. NO UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATION FOOTINGS, WERE LOCATED, SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY, ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.
- MN7** TABLE A 9: THERE ARE 43 STRIPED REGULAR PARKING SPACES AND 4 STRIPED HANDICAPPED PARKING SPACES FOR A TOTAL OF 47 STRIPED PARKING SPACES ON THE SURVEYED PROPERTY.
- MN8** TABLE A 16: AT THE TIME OF SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION, BUILDING ADDITIONS.
- MN9** TABLE A 17: AT THE TIME OF SURVEY, THE SURVEYOR WAS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES OR OBSERVABLE EVIDENCE OF STREET OR SIDEWALK REPAIRS.
- MN10** TABLE A 18: THE SURVEYOR WAS NOT PROVIDED ANY DOCUMENTATION, WAS NOT MADE AWARE AND DID NOT OBSERVE ANY GROUND MARKINGS ON THE SURVEYED PROPERTY WITH REGARDS TO WETLANDS ON THE SURVEYED PROPERTY. NO ENVIRONMENTAL ASSESSMENT OR AUDIT WAS PERFORMED ON THE SURVEYED PROPERTY BY THE SURVEYOR.
- MN11** TABLE A 19: THERE ARE NO PLOTTABLE OFFSITE EASEMENTS OR SERVITUDE THAT WERE DISCLOSED IN THE RECORD DOCUMENTS PROVIDED TO THE SURVEYOR OR WERE OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY.
- MN12** THE SURVEYED PROPERTY HAS ACCESS TO DE ZAVALA ROAD AND LOCKHILL-SELMA ROAD, BOTH DEDICATED PUBLIC RIGHT-OF-WAY(S), AS SHOWN HEREON.
- MN13** OWNERSHIP OF FENCES, IF ANY, WAS NOT DETERMINED UNDER THE SCOPE OF THIS SURVEY.
- THERE ARE NO GAPS, GORES, OVERLAPS OR HIATUS INHERENT TO THE SURVEYED PROPERTY BASED ON THE FIELD SURVEY PERFORMED AND THE TITLE COMMITMENTS PROVIDED.
- MN15** BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHEAST RIGHT OF WAY LINE OF DE ZAVALA ROAD TO BEAR N 52° 47' 03" E, AS SHOWN HEREON.
- MN16** THIS SURVEY IS NOT INTENDED FOR CONSTRUCTION OR CONSTRUCTION DESIGN PURPOSES.
- MN17** THIS SURVEY CONFORMS TO THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS FOR A BOUNDARY SURVEY UNDER CATAGORY 1-A URBAN SURVEY.
- MN18** CALCULATED SQUARE FOOTAGE OF THE BUILDING DOES NOT ACCOUNT FOR THE THICKNESS OF WALLS AND INTERIOR FRAMING AND IS NOT TO BE USED FOR THE INTERIOR SQUARE FOOTAGE CALCULATION.
- MN19** SURVEYOR NOT LIABLE FOR UTILITIES OBSTRUCTED OR COVERED FROM VIEW.
- MN20** THIS SURVEY IS BASED UPON THE TITLE COMMITMENT REFERENCED HEREON, THE SURVEYOR IS NOT RESPONSIBLE FOR DOCUMENTS OF RECORD NOT INCLUDED IN THE COMMITMENT PROVIDED.
- MN21** ENTRY INTO SANITARY AND STORM STRUCTURES REQUIRES A CONFINED SPACE PERMIT WHICH IS NOT INCLUDED IN THE SCOPE OF WORK.
- MN22** AT THE TIME OF SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A BURIAL GROUND OR CEMETERY.
- MN23** BUILDING HEIGHT DOES NOT TAKE IN TO ACCOUNT HEIGHT OF PARAPET WALLS.
- MN24** ONLY VISIBLE ABOVE GROUND EVIDENCE OF IMPROVEMENTS AND UTILITIES WERE LOCATED BY SURVEYOR. UNDERGROUND UTILITIES SHOWN HEREON PER RECORD INFORMATION.

RECORD DESCRIPTION

BEING LOT 1650, A REPLAT & SUBDIVISION PLAT OF SHAVANO PARK, UNIT-16F, BEXAR COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME 9538, PAGES 66-69, DEED AND PLAT RECORDS OF BEXAR COUNTY, TEXAS.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-958886-02-SA1, DATED APRIL 17, 2019.

LEGEND OF SYMBOLS & ABBREVIATIONS

	POWER POLE		TRAFFIC SIGNAL BOX		SANITARY MANHOLE
	LIGHT POLE		SIGNAL LIGHT POLE		CLEAN OUT
	GUY WIRE		SIGNAL LIGHT		GAS MANHOLE
	ELECTRIC MANHOLE		VAULT		GAS VALVE
	ELECTRIC METER		SIGN (AS NOTED)		GAS METER
	ELECTRIC VAULT		TOWER		HANDICAPPED PARKING
	TRANSFORMER		MONITORING WELL		MITERED END SECTION
	AIR CONDITIONER UNIT		FLAG POLE		BENCHMARK
	TELEPHONE MANHOLE		WATER VALVE		RECORD
	TELEPHONE PEDESTAL		FIRE HYDRANT		MEASURED
	CABLE BOX		SIAMESE FIRE HYDRANT		CALCULATED
	STORM DRAIN MANHOLE		WATER MANHOLE		VOLUME
	STORM DRAIN INLET		BACKFLOW PREVENTER		PAGE
	STORM PIPE		WATER METER		OFFICIAL RECORDS
	GREASE TRAP		WELL HEAD		PLAT BOOK
	#5 REBAR WITH B/C CAP SET UNLESS OTHERWISE NOTED		POINT OF ACCESS		CORRUGATED METAL PIPE
	CONCRETE HATCH				
	OVERHEAD WIRES				
	UNDERGROUND ELECTRIC LINE				
	GAS LINE				
	WATER LINE				
	STORM DRAIN LINE				
	SEWER LINE				

FLOOD NOTE

PURSUANT TO TABLE A 3, DEPICTED BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48029C 0230 G, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2010 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC.FEMA.GOV) BY FIRMETTE CREATED ON JULY 24, 2019. WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
7/25/2019	FIRST DRAFT		
8/7/2019	NETWORK COMMENTS		
FIELD WORK: JM	DRAFTED: BRM	CHECKED BY: BH	FB & PG:

SIGNIFICANT OBSERVATIONS

- A** OVERHANG EXTENDS OVER SETBACK LINE BY 1.2±
- B** BUILDING EXTENDS OVER SETBACK LINE BY 48.6±

LEGAL

THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORPORATION, AN NV5 COMPANY.
© 2019 BOCK AND CLARK CORPORATION, AN NV5 COMPANY

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE CERTIFIED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION

ALTA/NSPS LAND TITLE SURVEY

for
Brookdale Shavano Park
NV5 Project No. 201903015, 001
4096 De Zavala Rd, San Antonio, TX 78249

based upon Title Commitment No. NCS-958886-02-SA1
of First American Title Insurance Company
bearing an effective date of April 17, 2019 @ 8:00 a.m.

Surveyor's Certification

To: PAL Shavano Park Owner, LLC, a Delaware limited liability company; First American Title Insurance Company, and Bock & Clark Corporation, an NV5 Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6a, 6b, 7a, 7b1, 7c, 8, 9, 13, 14, 16, 17, 18, 19, and 20 of Table A thereof. The field work was completed on July 17, 2019.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE

BYRON D. HOWELL
REGISTRATION NO. 6048
IN THE STATE OF TEXAS
EXPIRATION DATE: 12-31-2019
FIRM REGISTRATION NUMBER 10116902
DATE OF FIELD SURVEY: JULY 17, 2019
DATE OF LAST REVISION: AUGUST 12, 2019
NETWORK PROJECT NO. 201903015-001 RLS

SHEET 1 OF 2

Bock & Clark Corporation
an NV5 Company

NV5

Transaction Services 1-800-SURVEYS (787-8397)
3550 W. Market Street, Suite 200, Akron, Ohio 44333

www.BockandClark.com maywehelpyou@bockandclark.com www.NV5.com

SURVEY • ZONING • ENVIRONMENTAL • ASSESSMENT

PITTSBURGH PROJECT NO. 4201900448



BCAD, Texas Parks & Wildlife, Esq. HERE, Garmin, INCREM...

This product is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The Bexar County Appraisal District expressly disclaims any and all liability in connection herewith.

Bexar CAD

Property Search Results > 259150 S-H TWENTY-ONE
PROPERTIES LLC for Year 2019

Tax Year: 2019

Property

Account

Property ID:	259150	Legal Description:	CB 4773A BLK LOT 1650 (SHAVANO PARK UT-16F)
Geographic ID:	04773-100-1650	Zoning:	OCL
Type:	Real	Agent Code:	60709
Property Use Code:	154		
Property Use Description:	MULTI-RES RETIREMENT COMPLEX		

Protest

Protest Status:

Informal Date:

Formal Date:

Location

Address:	4096 DE ZAVALA RD SAN ANTONIO, TX 78249	Mapsco:	515B7
Neighborhood:	NBHD code13990	Map ID:	
Neighborhood CD:	13990		

Owner

Name:	S-H TWENTY-ONE PROPERTIES LLC	Owner ID:	3040675
Mailing Address:	1920 MAIN ST STE 1200 IRVINE, CA 92614-7230	% Ownership:	100.0000000000%

Exemptions:

Values

(+) Improvement Homesite Value:	+	\$0	
(+) Improvement Non-Homesite Value:	+	\$4,919,490	
(+) Land Homesite Value:	+	\$0	
(+) Land Non-Homesite Value:	+	\$1,980,510	Ag / Timber Use Value
(+) Agricultural Market Valuation:	+	\$0	\$0
(+) Timber Market Valuation:	+	\$0	\$0

(=) Market Value:	=	\$6,900,000	
(-) Ag or Timber Use Value Reduction:	-	\$0	

(=) Appraised Value:	=	\$6,900,000	
(-) HS Cap:	-	\$0	

(=) Assessed Value:	=	\$6,900,000	

Taxing Jurisdiction

Owner: S-H TWENTY-ONE PROPERTIES LLC

% Ownership: 100.000000000000%

Total Value: \$6,900,000

Entity	Description	Tax Rate	Appraised Value	Taxable Value	Estimated Tax		
06	BEXAR CO RD & FLOOD	0.023668	\$6,900,000	\$6,900,000	\$1,633.09		
08	SA RIVER AUTH	0.018580	\$6,900,000	\$6,900,000	\$1,282.02		
09	ALAMO COM COLLEGE	0.149150	\$6,900,000	\$6,900,000	\$10,291.35		
10	UNIV HEALTH SYSTEM	0.276235	\$6,900,000	\$6,900,000	\$19,060.22		
11	BEXAR COUNTY	0.277429	\$6,900,000	\$6,900,000	\$19,142.60		
36	CITY OF SHAVANO PARK	0.287742	\$6,900,000	\$6,900,000	\$19,854.20		
56	NORTHSIDE ISD	1.375500	\$6,900,000	\$6,900,000	\$94,909.50		
CAD	BEXAR APPRAISAL DISTRICT	0.000000	\$6,900,000	\$6,900,000	\$0.00		
Total Tax Rate:		2.408304					
					Taxes w/Current Exemptions:	\$166,172.98	
					Taxes w/o Exemptions:	\$166,172.98	

Improvement / Building

Improvement #1:	Commercial	State Code:	F1	Living Area:	50974.0 sqft	Value: \$3,963,565
------------------------	------------	-------------	----	--------------	--------------	--------------------

Type	Description	Class CD	Exterior Wall	Year Built	SQFT
150	RETIREMENT HOME	D - V	SN	1999	18536.0
150	RETIREMENT HOME	D - V	SN	1999	15941.0
150	RETIREMENT HOME	D - V	SN	1999	16497.0

Improvement #2:	Commercial	State Code:	F1	Living Area:	11988.0 sqft	Value: \$920,995
------------------------	------------	-------------	----	--------------	--------------	------------------

Type	Description	Class CD	Exterior Wall	Year Built	SQFT
150	RETIREMENT HOME	D - V	SN	1999	11988.0

Improvement #3:	Commercial	State Code:	F1	Living Area:	sqft	Value: \$26,104
------------------------	------------	-------------	----	--------------	------	-----------------

Type	Description	Class CD	Exterior Wall	Year Built	SQFT
ASP	Asphalt	* - A		0	17000.0

Improvement #4:	Commercial	State Code:	F1	Living Area:	sqft	Value: \$5,438
------------------------	------------	-------------	----	--------------	------	----------------

Type	Description	Class CD	Exterior Wall	Year Built	SQFT
CON	Concrete	* - A		0	2200.0

Improvement #5:	Commercial	State Code:	F1	Living Area:	sqft	Value: \$3,388
------------------------	------------	-------------	----	--------------	------	----------------

Type	Description	Class CD	Exterior Wall	Year Built	SQFT
------	-------------	----------	---------------	------------	------

FEN

Fence

S - A

0

360.0

Land

#	Type	Description	Acres	Sqft	Eff Front	Eff Depth	Market Value	Prod. Value
1	PAD	Commercial Pad	3.5028	152581.97	0.00	0.00	\$1,980,510	\$0

Roll Value History

Year	Improvements	Land Market	Ag Valuation	Appraised	HS Cap	Assessed
2020	N/A	N/A	N/A	N/A	N/A	N/A
2019	\$4,919,490	\$1,980,510	0	6,900,000	\$0	\$6,900,000
2018	\$3,952,470	\$1,922,530	0	5,875,000	\$0	\$5,875,000
2017	\$4,146,130	\$1,853,870	0	6,000,000	\$0	\$6,000,000
2016	\$4,089,790	\$1,785,210	0	5,875,000	\$0	\$5,875,000

Deed History - (Last 3 Deed Transactions)

#	Deed Date	Type	Description	Grantor	Grantee	Volume	Page	Deed Number
1	12/1/2016	CD	Correction Deed	SHAVANO PARK HCP LLC	S-H TWENTY-ONE PROPERTIES LLC	18235	447	20160237238
2	12/1/2016	GWD	General Warranty Deed	SHAVANO PARK HCP LLC	S-H TWENTY-ONE PROPERTIES LLC	18234	0327	20160236844
3	9/24/2008	GWD	General Warranty Deed	TEXAS HCP HOLDING LP	SHAVANO PARK HCP LLC	13697	0740	20080211819

2020 data current as of Aug 30 2019 1:33AM.

2019 and prior year data current as of Aug 2 2019 5:52PM

For property information, contact (210) 242-2432 or (210) 224-8511 or email.

For website information, contact (210) 242-2500.

RECORDING REQUESTED BY:

FIRST AMERICAN TITLE COMPANY
NATIONAL COMMERCIAL SERVICES

WHEN RECORDED MAIL TO:

Paul, Weiss, Rifkind, Wharton, & Garrison LLP
Attn: Salvatore Gogliormella
1285 Avenue of the Americas
New York, New York 10019-6064

NCS-823422-02

THIS SPACE FOR RECORDER'S USE ONLY

GENERAL WARRANTY DEED

THIS INSTRUMENT FILED FOR RECORD BY
FIRST AMERICAN TITLE COMPANY AS AN ACCOMMODATION
ONLY IT HAS NOT BEEN EXAMINED AS TO ITS EXECUTION
OR AS TO ITS EFFECTS UPON THE TITLE

*****GENERAL WARRANTY DEED BEING RE-RECORDED TO ADD EFFECTIVE DATE*****

FILED IN
BOOK
PAGE
DATE

RECORDING REQUESTED BY
 FIRST AMERICAN TITLE INSURANCE CO.
 NATIONAL COMMERCIAL SERVICES
 NCS- 823422-02-SA1

WHEN RECORDED RETURN TO:
 Paul, Weiss, Rifkind, Wharton & Garrison LLP
 1285 Avenue of the Americas
 New York, New York 10019-6064
 Attn: Salvatore Gogliormella

(Space Above For Recorder's Use Only)

GENERAL WARRANTY DEED

STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
 COUNTY OF BEXAR §

SHAVANO PARK HCP, LLC, a Delaware limited liability company, hereinafter referred to as "Grantor," whether one or more, for and in consideration of TEN DOLLARS (\$10) and other good and valuable consideration paid to Grantor by Grantee herein named, the receipt and sufficiency of which are hereby acknowledged, has GRANTED, SOLD and CONVEYED, and by these presents does GRANT, SELL AND CONVEY to S-H TWENTY-ONE PROPERTIES, LLC, a Delaware limited liability company, hereinafter referred to as "Grantee," whether one or more, whose address is 1920 Main Street, Suite 1200 Irvine, California 92614, all of the following described real estate situated in Bexar County, Texas (together with all improvements, rights, appurtenances, and hereditaments located thereon or pertaining thereto, including all rights, title and interest of Grantor in and to easements, water rights and mineral rights and other rights appurtenant thereto) to wit:

Lot 1650, SHAVANO PARK, UNIT 16F, Bexar County, Texas, according to the Plat recorded in Volume 9538, Pages 66-69, Deed and Plat Records, Bexar County, Texas (the "Property").

APN: 04773-100-1650

This conveyance is made and accepted subject to any and all matters described on Schedule B to that certain title insurance policy issued by Lawyers Title Insurance Corporation, dated as of April 1, 2002 with policy number 0363447, hereinafter referred to as the "Title Policy," to the extent such matters are still in force and effect.


In addition, Grantor hereby grants, sells and conveys to Grantee, without warranty, all of Grantor's right, title and interest in and to (a) strips or gores, if any, between the Property and abutting properties, whether owned or claimed by deed, limitations or otherwise, and whether or not they are located inside or outside the Property, and (b) any land lying in or

under the bed of any highway, avenue, street, road, alley, easement or right-of-way, open or proposed, in, on, across, abutting or adjacent to the Property and any and all awards made, or to be made in lieu thereof, for damage by reason of change in grade of any such highway, avenue, street, road, alley, easement, or right-of-way.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in any wise belonging, unto the above named Grantee and Grantee's heirs, successors and assigns forever. Grantor does bind Grantor and Grantor's heirs, successors and assigns to WARRANT AND DEFEND, all and singular, the Property unto the immediate Grantee only (and only so long as no controlling (direct or indirect) interest in Grantee is transferred) against every person whomsoever, lawfully claiming or to claim the same, or any part thereof. Notwithstanding the foregoing, Grantor's liability hereunder shall be limited to the net amount of proceeds of insurance available under the Title Policy which are or may become due and payable to Grantor as an insured thereunder and which arise from or relate to the above described premises.

Dated this 29th day of November, 2016 but effective as of the 01 day of DECEMBER, 2016.

SHAVANO PARK HCP, LLC,
a Delaware limited liability company

By: 
Name: Kendall K. Young
Title: Executive Vice President

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

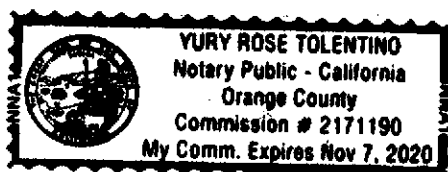
State of California)
County of Orange)

On November 29, 2016 before me, Yury Rose Tolentino, Notary Public, personally appeared Kendall K. Young, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct

WITNESS my hand and official seal.





Doc# 20160236844
Pages 4
12/01/2016 2:52PM
e-Filed & e-Recorded in the
Official Public Records of
BEXAR COUNTY
GERARD C. RICKHOFF
COUNTY CLERK
Fees \$34.00

STATE OF TEXAS
COUNTY OF BEXAR
This is to Certify that this document
was e-FILED and e-RECORDED in the Official
Public Records of Bexar County, Texas
on this date and time stamped thereon.
12/01/2016 2:52PM
COUNTY CLERK, BEXAR COUNTY TEXAS



Gerard C. Rickhoff

Doc# 20160237238
Pages 6
12/02/2016 9:59AM
e-Filed & e-Recorded in the
Official Public Records of
BEXAR COUNTY
GERARD C. RICKHOFF
COUNTY CLERK
Fees \$42.00

STATE OF TEXAS
COUNTY OF BEXAR
This is to Certify that this document
was e-FILED and e-RECORDED in the Official
Public Records of Bexar County, Texas
on this date and time stamped thereon.
12/02/2016 9:59AM
COUNTY CLERK, BEXAR COUNTY TEXAS



Gerard C. Rickhoff

September 25, 2019

City of Shavano Park
Permitting Department
Attn: Marisa Knuffke
900 Saddletree Court
San Antonio, Texas 78231

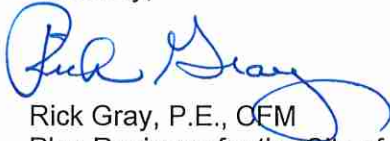
Re: Plan Review Comments
Brookdale (PUD) - Rezoning

Staff;

We have completed our review of the rezoning request submitted by S-H Twenty-one Properties, LLC.. We find that the rezoning request for the Brookdale Assisted Living Facility located at 4096 De Zavala Rd, Shavano Park Tx. generally conform to the City of Shavano Park's Ordinances and have no additional engineering comments.

Our review of the plat does not relieve or release the Engineer, Architect or Surveyor of Record or from complying with any and all the requirements of the local, state, and federal rules and regulations or guidelines impacting this project. If you require additional information, please contact our office.

Sincerely,



Rick Gray, P.E., CFM
Plan Reviewer for the City of Shavano Park



On behalf of the:



M:\622101\01\Reviews\City Plan Review\190925 Brookdale PUD rezoning\19925 Brookdale PUD rezoning.docx

ORDINANCE NO. O-2019-013

AN ORDINANCE REZONING COUNTY BLOCK 4773A, LOT 1650, SHAVANO PARK UNIT-16F FROM B-2 ZONING DISTRICT TO A PLANNED UNIT DEVELOPMENT WITH A B-2 BASE ZONING DISTRICT WITH THE FOLLOWING DEVELOPMENT STANDARD EXCEPTIONS: PARKING RATIO, BUILDING HEIGHT, BUILDING SETBACKS AND LANDSCAPE BUFFERS AND PROVIDING A SPECIAL USE PERMIT FOR AN ASSISTED LIVING FACILITY (CC) USE; PROVIDING REPEALING AND SEVERABILITY CLAUSES; PROVIDING A TEXAS OPEN MEETINGS ACT CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Chapter 211 of Texas Local Government Code empowers the City Council of the City of Shavano Park to enact zoning regulations and provides for their administration, enforcement and amendment; and

WHEREAS, the City Council of the City of Shavano Park may authorize the creation of a planned unit development ("PUD") under Chapter 36, Section 40 of the City's Code of Ordinances; and

WHEREAS, the City Council may authorize the development of the uses designated as "CC" uses for zoning districts O-1, B-1, and B-2 under Chapter 36, Section 101 of the City's Code of Ordinances; and

WHEREAS, the City Council of the City of Shavano Park has complied with notice of a public hearing as required by the Code of Ordinances of the City of Shavano Park and Chapter 211 of the Local Government Code; and

WHEREAS, in keeping with the spirit and objectives of the area, the City Council has given due consideration to all components of said proposed zoning change and the recommendations of the Planning and Zoning Commission concerning recommended requirements, conditions and safeguards necessary to protect adjoining property; and

WHEREAS, the City Council specifically finds that the requirements specified herein are rationally related to protecting the public purposes of lessening congestion in the streets, securing the safety of its citizens from fire, panic, and other dangers, promoting the health and the general welfare of its citizens; preventing the overcrowding of land, and avoiding undue concentration of population.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS:

SECTION I

THAT the Zoning Map of the City of Shavano Park is hereby amended by rezoning County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd) from B-2 Business and Office District to a Planned Unit Development (PUD) zoning district with B-2 Business and Office base district, as more particularly described in the attached Exhibit "A"; and

THAT the Planned Unit Development (PUD) zoning district with B-2 Business and Office base district shall adopt the following development standard exceptions:

1. Parking Ratio:
 - a. Allow up to 1:670 square feet parking stall ratio.
2. Building Height:
 - a. Allow Building height up to 46 feet.
3. Rear Building Setback:
 - a. Allow rear setback of 39 feet.
4. Side Building Setback:
 - a. Allow side setback of 20 feet.
5. Front Landscape Buffer
 - a. Allow front landscape buffer of 32 feet.
6. Rear Landscape Buffer
 - a. Allow rear landscape buffer of 10 feet.

All other standards of the B-2 Business and Office base district and city ordinances shall apply.

SECTION II

THAT a special use permit for an Assisted Living Facility (CC) use is hereby granted for County Block 4773A, Lot 1650, Shavano Park Unit-16F (4096 De Zavala Rd).

SECTION III CUMULATIVE CLAUSE

That this ordinance shall be cumulative of all provisions of the City of Shavano Park, Texas, except where the provisions of this Ordinance are in direct conflict with the provisions of such Ordinance, in which event the conflicting provisions of such Ordinance are hereby repealed.

**SECTION IV
SEVERABILITY**

That it is hereby declared to be the intention of the City Council of the City of Shavano Park that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinances, since the same would have been enacted by the City Council without incorporation in this ordinance of any such unconstitutional phrases, clause, sentence, paragraph or section.

**SECTION V
PROPER NOTICE AND MEETING**

It is hereby officially found and determined that the meeting at which this Ordinance was adopted was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government

**SECTION VI
EFFECTIVE DATE**

This ordinance shall be effective upon passage and publication as required by State and Local law.

PASSED AND APPROVED on the first reading by the City Council of the City of Shavano Park this the 28th day of October, 2019.

PASSED AND APPROVED on the second reading by the City Council of the City of Shavano Park this the 25th day of November, 2019.

ROBERT WERNER, MAYOR

Attest:

ZINA TEDFORD, City Secretary



CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 8.4

Prepared by: Curtis Leeth

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

8.4. Approval - Ordinance O-2019-014 amending the City of Shavano Park Code of Ordinances, Chapter 28 and Chapter 36 to clarify front setbacks in relation to entryway features and exterior architectural features (Final Reading)

☒

Attachments for Reference: 1) 8.4a Proposed Amendments
2) 8.4b Ordinance O-2019-014

BACKGROUND / HISTORY:

Recently staff received a permit request for a covered entryway over the door of a primary residence. The proposed covered entryway extended into the setback and language from our Code permitted this. During review, however, staff noted inconsistencies and unclear language regarding if a porte cochere, porch, covered entryway and other entryway features are allowed to extend from the front setback of a residential lot.

At the October 2, 2019 Planning & Zoning Commission, the Commission, after a public hearing, recommended approval of the proposed amendments with changes to the porch definition to remove “living area” language and references to screens.

At the October 28, 2019 City Council meeting, the Council approved Ordinance O-2019-014 (first reading).

DISCUSSION:

Staff prepared a Memo analyzing the inconsistencies in the City’s Codes in attachment 6b. This memo shows that the definition for *Front Yard* are inconsistent between Chapters 32 and 36 and that code is not explicit in whether a porte cochere, porch, covered entryway or other entryway feature is allowed into the front setback. The provisions of Chapter 36 only put distance limitations on how far a porte cochere or porch may extend from the building.

Staff has prepared proposed amendments to Chapters 6, 32, and 36 to alleviate the inconsistencies. Key proposed amendments are pasted in below (see attachment 6.3a for full code with proposed amendments).

Building setback line means the line within a ~~lot property~~ defining the minimum horizontal distance between a building and the ~~adjacent street and/or~~ property line.

Building setback lines include front, rear and side setbacks that are measured from the front, rear and side property lines.

Front yard means an area extending along the whole length of the front ~~property lot~~ line between the side ~~property lot~~ lines, and being the minimum horizontal distance between the ~~property street~~ line and the main building and any ~~projections portion~~ thereof, other than any ~~steps~~, open porch or porte cochere.

Porch means a covered area at the entrance of a building and serving as an outdoor living area. An open porch is a porch that is open on a minimum of three sides.

Porte cochere means a roofed structure extending from the entrance of a building over an adjacent driveway and sheltering those getting in or out of vehicles. A porte cochere must be attached to the main building, remain open on three sides and cannot extend more than 25 feet from the main building. A porte cochere located at the front of a residence shall not be used for long-term storage of vehicles and is not considered a carport.

(6) *Entryway Features and the Front Setback.* Porches or porte cocheres at the front of a residence are only allowed to extend from the primary residence into the front setback under the following conditions:

- a. A porte cochere must be attached to the main building, remain open on three sides and ~~must shall~~ not project more than 25 feet ~~from the main building into the front setback~~. See Section 36-1 for full definition of a porte cochere.
- b. Only an open porch that is open on a minimum of three sides and no wider than 25 feet may project into the front setback. -An open porch ~~must shall~~ not project more than ten feet ~~into the front setback from the main building~~. See Section 36-1 for full definition of a porch.

After Planning and Zoning approval, staff proposed minor clerical edits to ensure the Rear and Side Yard definitions under Chapter 36 are consistent with the changes to the Front Yard definition:

Yard, rear, means a yard extending across the rear of a lot between the side ~~property lot~~ lines and being the minimum horizontal distance between the rear ~~property lot~~ line and the rear of the principal building or any projections thereof, other than any ~~steps~~, balcony or open porch.

Yard, side, means a yard extending along the side ~~property lot~~ line from the front yard to the rear yard, being the minimum horizontal distance between any building sidewall or projections thereof, except any ~~steps~~, balcony or open porch.

COURSES OF ACTION: Approve Ordinance O-2019-014 as presented, put forth additional amendments or alternatively decline and provide further guidance to staff.

FINANCIAL IMPACT: N/A

MOTION REQUESTED: Approve Ordinance O-2019-014 amending the City of Shavano Park Code of Ordinances, Chapter 28 and Chapter 36 to clarify front setbacks in relation to entryway features (final reading).

Proposed amendments to clarify front setbacks in relation to entryway features
Changes are in Red.

Chapter 6 – BUILDING AND BUILDING REGULATIONS, Article IV. – MISCELLANEOUS CONSTRUCTION REQUIREMENTS

...

Sec. 6-91. - Garages and carports.

(a) *Garages.*

- (1) In A-1, A-2, A-3, A-4, and A-5 PUD Single-Family Residential Districts, a minimum two-car garage shall be provided for at each residence. Residential garage doors are not to exceed ten feet zero inches in height. An additional garage may be provided as an accessory building pursuant to regulations in section 36-36(a)(2). No garage shall open onto any street, roadway or cul-de-sac unless the lot in question fronts two streets which will allow the garage to face the street perpendicular to the front of the residential structure. All attached garages shall be rear or 90-degree side loaded. Conversion of an existing garage to another use shall be permitted only where replacement garage space is provided. Doors on secondary garages for the purpose of storing recreational vehicles may be of a height necessary to store the vehicle. Detached garages shall conform to building setback lines and structural regulations and may or may not face the street (final decision is the Building Official's decisions but may not be substantially visible from the street).
- (2) In a CE Single-Family Cottage Estates Residential District, a minimum two-car garage shall be provided for at each residence. Substitution of another type of structure (accessory building, workshop, storage building, etc.) for an existing garage shall not be permitted; however, an additional garage may be provided as an accessory building pursuant to regulations in section 36-36(a)(2). Conversion of an existing garage to another use shall be permitted only where replacement garage space is provided.

- #### **(b) *Carports.***
- Carports may not, under any circumstances, be substituted for garage space. No carport in A-1, A-2, A-3, A-4, and A-5 PUD Single-Family Residential Districts may open on any street, roadway or cul-de-sac. In situations where a lot fronts two streets and the garage opens to the street perpendicular to the front of the structure, no carport will be allowed. All carports shall conform to all building setback lines, structural regulations and be rear or 90-degree loaded. All carports must be built in conjunction with existing garage space and not as freestanding structures. A porte cochere is not considered a carport.

Chapter 28 – SUBDIVISIONS, Article I. – IN GENERAL

...

Sec. 28-6. - Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning. Definitions not expressly prescribed herein are to be construed in accordance with customary usage in municipal planning and engineering practices.

Alley means a minor public right-of-way not intended to provide the primary means of access to abutting lots, and which is used primarily for vehicular service access to the back or side of properties otherwise abutting on a public or private alley, and affords only secondary means of access to property abutting thereon.

Building setback line means the line within a ~~lot property~~ defining the minimum horizontal distance between a building and the ~~adjacent street and/or~~ property line. Building setback lines include front, rear and side setbacks that are measured from the front, rear and side property lines.

Cul-de-sac means a street having but one outlet to another street, and terminated on the opposite end by a vehicular turnaround.

Dead-end street means a street, other than a cul-de-sac, with only one outlet.

Drainage easement means an interest in land granted the City, to the public generally, for the construction, use, and maintenance of drainage facilities across, over, and under the private land, together with the right to enter thereon with machinery and vehicles necessary for the maintenance of said drainage facilities.

Drainage right-of-way means a public right-of-way granted to the City, to the public generally, for the construction, use and maintenance of drainage facilities across, over and under said public right-of-way.

Engineer means a person duly authorized and properly registered under the provisions of the Texas Engineering Registration Act, as heretofore or hereafter amended, to practice the profession of engineering as evidenced by a current Texas Engineer's Seal.

Lot means an undivided tract or parcel of land having frontage on a public or private street and which is, or in the future may be, offered for sale, conveyance, transfer or improvement; or which is designated as a distinct and separate tract, and which is identified by a tract or lot number or symbol in a duly approved subdivision plat which has been properly filed of record.

Non-access easement means easement across which vehicular access is prohibited.

Office means any office referred to in this chapter by title means the person employed or appointed by the City in that position, or his duly authorized representative.

Pavement width means the portion of a street available for vehicular traffic; where curbs are laid, it is the portion between the face of curbs.

Person means any individual, association, firm, corporation, governmental agency, or political subdivision.

Planned unit development (PUD) means a tract of land developed for residential, office, and commercial uses, or a combination thereof, according to a plan as a single entity that protects adjacent properties, in compliance with these regulations.

Plat means a complete and exact plan for the subdivision of a tract of land into lots for building purposes, which, if approved, may be submitted to the County Clerk for recording.

Private drainage easement means an interest in, and granted to, the City and to the public generally, for the use of a watercourse, drainageway, natural channel or stream across private property. Maintenance of said private drainage is a responsibility of the property owner.

Private streets means any non-public right-of-way used for vehicular access and constructed and maintained by a private entity.

Reserve strip means any unplatted parcel of land that prevents access to platted property.

Safety lane means a designated area on an approved plat which has a primary purpose of providing access for safety vehicles in any development where public streets do not adequately provide such access.

Street means a public or private right-of-way, however designated, which provide vehicular access to adjacent land. A "street" includes a public or private thoroughfare or highway, as well as alley ways.

- (1) A secondary street primarily provides vehicular circulation to various sections of the City.
- (2) A collector street primarily provides circulation within neighborhoods, to carry traffic from minor streets to arterial streets, or to carry traffic through or adjacent to commercial or industrial areas.
- (3) A marginal access street is a street which is parallel to and adjacent to an arterial street, which primarily provides access to abutting properties and protection from through traffic.
- (4) A minor street is one used primarily for access to abutting residential property.

Subdivider means any person or any agent thereof, dividing or proposing to divide land so as to constitute a subdivision as that term is defined herein. In any event, the term "subdivider" shall be restricted to include only the owner, equitable owner or authorized agent of such owner or equitable owner of land sought to be subdivided.

Subdivision means a division of any tract of land situated within corporate limits, or within or partly within the extraterritorial jurisdiction of the City, into two or more parts for the purpose of laying out any subdivision of any tract of land or any addition of any town or City, or for laying out suburban lots or building lots, or any lots, and streets,

alleys, or parts or other portions intended for public use or the use of purchasers or owners of lots fronting thereon or adjacent thereto. The term "subdivision" includes re-subdivision.

Surveyor means a licensed State land surveyor or a registered professional land surveyor, as authorized by the State statutes to practice the profession of surveying, as evidenced by a valid State seal.

Utility easement means an interest in land granted to the City, to the public generally, and/or to a private utility corporation, for installing or maintaining utilities across, over and under private land, together with the right to enter thereon with machinery and vehicles necessary for the maintenance of said utilities.

Chapter 32 – TRAFFIC AND VEHICLES, Article II. - STOPPING, STANDING AND PARKING

Sec. 32-19. - Definitions.

The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

A-1 District means single-family residential, one-acre minimum lots.

All weather surface means concrete, asphalt, concrete or brick pavers, compacted gravel base, compacted road base, interlocking pavers, or any similar materials approved by the City.

Compact parking space means a parking space that is designated for use by compact vehicles with minimum dimensions of eight feet in width and 16 feet in length. Compact parking spaces are not an allowed use in any zoning district and will only be considered through a planned unit development as described under section 36-40.

Driveway means an area surfaced with concrete, asphalt or similar all-weather material and shall lead from an authorized curb cut (or if there is no curb cut from the City street) to a garage, carport, or required parking space.

Front yard means an area extending along the whole length of the front ~~property lot~~ line between the side ~~property lot~~ lines, and being the minimum horizontal distance between the ~~property street~~ line and the main building and any ~~projections portion~~ thereof ~~from~~, other than any ~~steps~~, open porch or porte cochere.

Motor vehicle means any titled or previously titled vehicle.

Parking space means an area surfaced with concrete, asphalt, or similar all-weather material being not less than ten feet by 20 feet, enclosed or unenclosed, that is sufficient in size to store, at minimum, one motorized vehicle together with a driveway connecting the parking space with the street or alley and permitting ingress and egress. For all nonresidential parking spaces, the parking space size shall not be less than nine feet by 18 feet.

Rear yard means an area extending along the side lot line from the front yard to the rear yard, being the minimum horizontal distance between any building sidewall and projections therefrom, other than any steps or open porch.

Side yard means an area extending along the side lot line from the front yard to the rear yard, being the minimum horizontal distance between any building sidewall and projections therefrom, other than any steps or open porch.

Chapter 36 – ZONING, Article I. – IN GENERAL

Sec. 36-1. - Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning; terms not expressly defined herein are to be construed in accordance with customary usage in municipal planning and engineering practices:

Accessory building or use means an enclosed four-wall building or use customarily incident to a principal building or principal use; and is subordinate in area, extent and purpose to the comfort, convenience and necessity of occupants of the principal building or principal use served; and contributes to the comfort, convenience and necessity of and is located on the same building lot as the principal building or principal use served. An accessory use may be part of the principal building.

Administrative official means any official designated to perform administrative functions that involve, relate to and/or have an effect on this chapter.

Alley means a minor public right-of-way not intended to provide the primary means of access to abutting lots and, which is used primarily for vehicular service access to the back or side of properties otherwise abutting on a public or private alley and affords only secondary means of access to property abutting thereon.

Assisted living facility means an establishment under Tex. Health and Safety Code Ch. 247 that furnishes food and shelter to four or more persons who are unrelated to the proprietor of the establishment and provides personal care services. Types of assisted living facilities as established by the State of Texas are as follows:

- (1) *Type A.* In a Type A facility, a resident:
 - a. Must be physically and mentally capable of evacuating the facility unassisted. This may include mobile or ambulatory persons such as those who are in wheelchairs or electric carts and have the capacity to transfer and evacuate themselves in an emergency;
 - b. Does not require routine attendance during nighttime sleeping hours; and
 - c. Must be capable of following directions under emergency conditions.
- (2) *Type B.* In a Type B facility, a resident may:
 - a. Require staff assistance to evacuate;
 - b. Be incapable of following directions under emergency conditions;
 - c. Require attendance during nighttime sleeping hours; or
 - d. Not be permanently bedfast, but may require assistance in transferring to and from a wheelchair.

Basement means a story, wholly or partly, at least 50 percent, measured from floor to ceiling, below the average level of the ground surrounding the building. A basement or cellar is not counted when measuring the height of a building.

Block means an area within the City enclosed by streets and occupied by or intended for buildings.

Board , unless otherwise specified, means the Board of Adjustment of the City of Shavano Park.

Breezeway means a covered passage one standard story in height connecting a main building and an accessory building.

Building line or *setback* means the line within a lot defining the minimum horizontal distance between a building and the ~~adjacent street and/or~~ property line. Building setback lines include front, rear and side setbacks that are measured from the front, rear and side property lines.

Building lot or *lot* means an undivided tract or parcel of land having frontage on a public or private street and which is, or in the future may be offered for sale, conveyance, transfer or improvement; or which is designated as a distinct and separate tract, and which is identified by a tract or lot number or symbol in a duly approved subdivision plat which has been properly filed of record.

Carport means a covered parking area that is open on two or more sides.

CC uses means uses approved by the City Council, after Planning and Zoning Commission hearings, permitting specific uses as authorized in the district and prescribing conditions of such use.

Commercial vehicle means any motor vehicle or piece of equipment one ton and over designed for or used primarily in connection with a commercial business enterprise.

Commission means the Planning and Zoning Commission of the City of Shavano Park, Texas.

Community Homes for Disabled Persons as used in this Chapter shall mean a shared residential living arrangement which provides a family type environment for up six persons with disabilities, supervised by no more than two primary care givers and qualifies as a Community Home under Tex. Human Resources Code § 123.004, as amended.

- (1) As used in this section "person with a disability" means a person whose ability to care for himself, perform manual tasks, learn, work, walk, see, hear, speak, or breathe is substantially limited because the person has:
 - a. An orthopedic, visual, speech, or hearing impairment;
 - b. Alzheimer's disease;
 - c. Pre-senile dementia;
 - d. Cerebral palsy;
 - e. Epilepsy;

- f. Muscular dystrophy;
- g. Multiple sclerosis;
- h. Cancer;
- i. Heart disease;
- j. Diabetes;
- k. Mental retardation;
- l. Autism; or
- m. Emotional illness.

Compact parking space means a parking space that is designated for use by compact vehicles with minimum dimensions of eight feet in width and 16 feet in length. Compact parking spaces are not an allowed use in any zoning district and will only be considered through a Planned Unit Development as described under section 36-40.

Constructed landscape structures means any element of nature that would normally be found in a natural state but is artificially created for the purposes of adding the natural element as a feature to a yard.

Convenience Store means a retail store with inside grocery and small convenience sales and may include outdoor pay at the pump gasoline sales and stand-alone self-service car wash.

Court means an open, unoccupied space, bounded on more than two sides by the walls of a building. An inner court is a court entirely surrounded by the exterior walls of a building. An outer court is a court having one side open to a street, alley, yard, or other permanently open space.

Covered vehicle/equipment means any vehicle or equipment covered with a cover or tarp type material with or without framework.

District means a geographical zoned area of the City, that has regulations governing the height, numbers of stories, and size of buildings and other structures; the percentage of a lot that may be occupied; the size of yards, courts and other open spaces; population density and the location and use of buildings, other structures and land.

Dwelling, single-family, means a building containing only one dwelling unit and occupied by only one family. The term does not include a mobile home.

Dwelling unit means a structure or portion of a structure which is arranged, occupied or intended to be occupied as human living quarters.

Family means any number of individuals living together as a single housekeeping unit, in which not more than two individuals are unrelated by blood, marriage or adoption.

Farm means an area of five acres or more, which is used for growing, for personal use, customary farm products such as vegetables, fruits, trees, and grain (not for profit) and their storage on the area, as well as the raising thereon of customary farm poultry

and farm animals, such as horses, cattle, and sheep, and including dairy farms with the necessary accessory uses for treating and storing the produce; provided, however, that the operation of such accessory use shall be secondary to that of the normal activities.

Fence means a freestanding structure of metal, masonry, or wood, or any combination thereof, resting on or partially buried in the ground and rising above ground level, and used for confinement, screening, landscaping, or partition purposes, but which does not pose a threat to public safety or health.

Garage, attached, means a structure designed to house motor vehicles and is attached to the main dwelling house either as an integral part thereof or by a connection such as a breezeway.

Gross floor area means the total interior area of a building lying within the outside dimensions of the building at each floor level, excluding, however, the floor area of basements or attics not used for residential or commercial purposes.

Height. The "height" of a building or portion of a building shall be measured from the average finished ground level to the highest point of the roof's surface if a flat surface; or to the deck line of mansard roofs; or to the mean height level between eaves and ridge for hip and gable roofs. In measuring the height of a building, the following structures shall be excluded: chimneys, cooling towers, ornamental cupolas, domes or spires, parapet walls not exceeding four feet in height, and basements.

Home occupations means any occupation or activity that is clearly incidental and secondary to the use of the premises for dwelling purposes.

Landscaping means any plant material, including, but not limited to, grass, ground covers, shrubs, vines, hedges, trees or palms; and nonliving durable material commonly used in landscaping, including, but not limited to, rocks, pebbles, sand, walls or fences, but excluding permanent, nonporous paving, except for pedestrian walkways.

Long-term rental means a rental of real property for a period of 90 or more consecutive days whereby the owner of the real property and tenant have entered into a written rental or lease agreement in which the tenant acquires the right to reside in the single-family residence for a period of 90 or more days and in which the tenant is required to pay the owner periodic monthly based rent for the privilege of residing in the residence, including a fractional payment for the first and/or last month of such residence. In the event an owner sells such property to a new owner and immediately following the sale date the selling party continues to occupy such real property as a single-family dwelling, then notwithstanding the rental period and payment terms, such occupancy shall be deemed a long-term rental. In the event a written rental or lease agreement authorizes a tenant to sublease real property and a tenant enters into a sublease agreement, such tenant shall be treated as the owner when applying this definition. Except as provided above, all rental or lease agreements shall be treated as short-term rentals.

Lot means land occupied or to be occupied by a building, its accessory building, and including such open spaces as are required under this chapter, and having its principal frontage upon a public or private street; or an area of land designated as a lot on a plat

of a subdivision recorded pursuant to statutes of the State of Texas with the County Clerk of Bexar County, Texas; or, an area of land in single ownership described by metes and bounds upon a deed recorded or registered with the Bexar County Clerk.

Manufactured home means a structure transportable in one or more sections, which is built on a permanent chassis and is designed for use with or without a permanent foundation when connected to the required utilities. The term "manufactured home" does not include a "recreational vehicle".

Manufactured home park or subdivision means a parcel (or contiguous parcels) of land divided into two or more manufactured home lots for rent or sale. Manufactured homes shall only be allowed to be placed in a manufactured home park.

Mobile home means a structure constructed before June 15, 1976; built on a permanent chassis; designed for use as a dwelling with or without a permanent foundation when the structure is connected to the required utilities; transportable in one or more sections; and in the traveling mode, at least eight body feet in width or at least 40 feet in length or, when erected on site, at least 320 square feet. The structure includes the plumbing, heating, air conditioning, and electrical systems of the home.

Nonconforming use means the use of any building, structure, or land that is prohibited by any zoning, building, or other regulatory ordinance, but which lawfully existed prior to the effective date of such ordinance.

Open storage means the storage of any equipment, machinery, commodities, raw or, semi-finished materials, and building materials, not accessory to a residential use, which is visible from any point on the building lot line when viewed from ground level to six feet above ground level.

Parking space means an area surfaced with concrete, asphalt, or similar all-weather material being not less than ten feet by 20 feet, enclosed or unenclosed, that is sufficient in size to store, at minimum, one motorized vehicle together with a driveway connecting the parking space with the street or alley and permitting ingress and egress. For all nonresidential parking spaces, the parking space size shall not be less than nine feet by 18 feet.

Porch means a covered area at the entrance of a building. An open porch is a porch that is open on a minimum of three sides.

Portable building means a building designed and built to be movable rather than permanently located. See section 6-95 for portable building regulations. All portable buildings not meeting the requirements of section 6-95 will be regulated as accessory building(s).

Portable construction building means a structure transportable in one or more sections, which is built on a permanent chassis and is used solely as a construction office with or without a permanent foundation when connected to the required utilities. The structure shall not provide for and shall not be used as a temporary or permanent dwelling unit.

Portable on-demand storage structures means any container, storage unit, shed-like container or other portable structure that can or is used for the storage of personal property of any kind and which is located for such purposes outside an enclosed building other than an accessory building or shed complying with all building codes and land use requirements. See section 36-45 for portable on-demand storage structure regulations.

Porte cochere means a roofed structure extending from the entrance of a building over an adjacent driveway and sheltering those getting in or out of vehicles. A porte cochere must be attached to the main building, remain open on three sides and cannot extend more than 30 feet from the main building. A porte cochere located at the front of a residence shall not be used for long-term storage of vehicles and is not considered a carport.

Recreational vehicle means a vehicle or piece of equipment designed or intended for recreational use, including but not limited to all terrain vehicles, airplanes, golf carts, boats, floats, camping or travel trailers, motor homes, detachable travel equipment of a type adaptable to light duty trucks, boat trailers, utility trailers over eight feet in length, and other equipment or vehicles of similar nature.

Religious, cultural and fraternal activity means a use or building owned or maintained by organized religious organizations or nonprofit associations for social, civic or philanthropic purposes, or the purpose for which persons regularly assemble for worship.

Screening device. A "screening device" shall consist of a barrier of stone, brick (pierced or block), uniformly colored wood, or other permanent affixed material of quality character, density, and acceptable design, where the solid area equals at least 65 percent of the wall surface, including an entrance gate or gates. Such screening device shall be regularly maintained.

Short-term rental means a rental of real property for a period shorter than 90 consecutive days. Except as specifically permitted under the definition of long-term rental, short-term rental of real property is considered for all purposes a commercial use of real property. Short-term rental includes vacation rentals and similar uses as well as rental for a period during which renters pay the owner, or such other person with authority to lease the property, a fee to stay in the residence or other structure.

Sign. The definition of signs is set forth in Ordinance No. 100-02-07, City of Shavano Park Sign Ordinance, as may be amended from time to time.

Single-family residence means a structure designed for use as one dwelling unit and actually used for permanent or seasonal occupation by the owner, the owner's family or long term rental tenant under a written long-term rental agreement as a principal residence where the owner, owner's family or long term rental tenant intends to maintain a permanent or long-term residence. Short-term rentals are expressly excluded from this definition and shall not constitute single-family residential use.

Street means a public or private right-of-way, however designated, which provides vehicular access to adjacent land.

Street line means the dividing line between a lot, tract or parcel of land, and a contiguous street.

Use means the purpose or activity for which the land, or structures thereon is designed, arranged or intended, to be occupied or used, or for which it is occupied, maintained, rented or leased.

Yard, front, means ~~an area a-yard~~ extending along the whole length of the front ~~property lot~~ line between the side ~~property lot~~ lines, and being the minimum horizontal distance between the ~~property street~~ line and the main building or any ~~portion projections~~ thereof, other than any ~~steps, planter boxes, and~~ open porch or porte cochere.

Yard, rear, means ~~an area a-yard~~ extending across the rear of a lot between the side ~~property lot~~ lines and being the minimum horizontal distance between the rear ~~property lot~~ line and the rear of the principal building or any projections thereof, other than any ~~steps,~~ balcony or open porch.

Yard, side, means ~~an area a-yard~~ extending along the side ~~property lot~~ line from the front yard to the rear yard, being the minimum horizontal distance between any building sidewall or projections thereof, except any ~~steps,~~ balcony or open porch.

Zoning district map means the map or maps delineating the boundaries of an area within each zoning district which map are incorporated into this chapter as part hereof by reference thereto, as amended from time to time in accordance with this chapter.

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Sec. 36-36. - A-1, A-2, A-3, A-4 and A-5 PUD Single-Family Residential Districts.

(a) *Use regulations.* In A-1, A-2, A-3, A-4 and A-5 PUD Single-Family Residential Districts, no land shall be used and no building shall be erected for or converted to any use other than:

- (1) Single-family residence.
- (2) Accessory buildings.
 - a. Size limitations.
 - i. The gross floor area of all accessory buildings shall not occupy more than 20 percent of the rear yard.
 - ii. In no case shall any accessory building be built closer than ten feet to the principal main building. The height of an accessory building shall not exceed one story.
 - b. An unattached garage, as described in section 36-36(e) and section 6-91 is regulated as an accessory building.
- (3) Portable construction buildings under the following conditions:

- a. Authorization may be issued by the City Building Official to permit a portable construction building to be temporarily located on a lot upon which a building permit has been previously issued for construction of any building or structure.
 - b. A certificate of occupancy related to construction shall not be issued by the City Building Official until the portable construction building has been removed from the premises and further, that the certificate of occupancy shall not be issued until the electrical connection which served the portable construction building has been removed from the lot in question.
 - c. A temporary permit issued pursuant to this section shall be void upon issuance of the certificate of occupancy, or 12 months after issuance of the building permit, whichever time is shorter.
 - d. In any case in which construction is not completed within the 12-month period, the City Building Official, after due consideration and determination that active construction is being accomplished, may issue an extension of time for the temporary permit, not to exceed a six-month period.
- (4) Swimming pools pursuant to all applicable City regulations.
- (5) Private tennis courts pursuant to all applicable City regulations.
- (6) Entryway Features and the Front Setback. Porches or porte cocheres at the front of a residence are only allowed to extend from the primary residence into the front setback under the following conditions:
- a. A porte cochere must be attached to the main building, remain open on three sides and ~~must shall~~ not project more than 25 feet ~~from the main building into the front setback~~. See Section 36-1 for full definition of a porte cochere.
 - b. Only an open porch that is open on a minimum of three sides and no wider than 25 feet may project into the front setback. -An open porch ~~must shall~~ not project more than ten feet ~~into the front setback from the main building~~. See Section 36-1 for full definition of a porch.
- (b) *Storage or parking of recreational/commercial and covered vehicles/equipment.* Storage or parking of recreational/commercial and covered vehicles/equipment is prohibited in all residential districts. This restriction and the following requirements do not apply when any such vehicle is used for the primary transportation of the owner:
- (1) Storage or parking of recreational/commercial and covered vehicles/equipment is allowed when such vehicles and equipment is placed within a completely enclosed/building on any residential lot;
 - (2) Any such vehicle eight feet or less in height may be placed on a residential lot behind the dwelling unit to include side setbacks, if properly screened from the view from the front property line by either a fence or screening device; or

- (3) Any such vehicle greater than eight feet in height may be placed on a residential lot that is greater than 0.7 acre if properly screened from view by a fence that is at least eight feet in height or a screening device. The vehicle must be placed behind the front face of the dwelling unit. Side and rear setbacks may be used provided that a five-foot side and rear setback be maintained at all times.
- (4) Properly permitted recreational vehicles and boats are excepted from the regulations of this subsection. A recreational vehicle or boat is properly permitted if the owner of a recreational vehicle or boat is issued a recreational vehicle or boat storage permit ("RVBSP") by the City prior to 90 days after approval of this ordinance by the City Council. RVBSPs are nontransferable and may be issued to an owner of [a] recreational vehicle including owners with residential lots of less than one acre upon receipt of the following:
 - a. A completed, signed, RVBSP application;
 - b. Documentary proof that the recreational vehicle or boat was purchased prior to January 1, 2011;
 - c. A copy of the recreational vehicle's title; indicating owner and homeowner are the same;
 - d. Proof of insurance for the recreational vehicle if applicable;
 - e. The RVBSP can be transferred to a replacement recreational vehicle or boat, only when the new or replacement recreational vehicle or boat does not exceed the size in length and height of the original recreational vehicle or boat being replaced; and
 - f. An administrative processing fee in the amount of \$10.00 for the original RVBSP or to transfer it to a replacement recreational vehicle or boat.
- (c) *Other use regulations.* See Table No. 1.
- (d) *Exterior architectural features.* Each new structure must possess an exterior in keeping with the residence and general atmosphere of the surrounding area.
 - (1) *Exterior walls in A-1 Districts.* Exterior walls of residences in areas zoned in A-1 shall have a minimum of 60 percent masonry, exclusive of openings.
 - (2) *Exterior walls A-2, A-3, A-4 and A-5 PUD.* Exterior walls of residences shall have a minimum of 75 percent masonry, exclusive of openings. Perm stone or asbestos shingles, concrete block and cinder block, and metal exterior wall coverings, are not acceptable except that concrete and cinder blocks may be used structurally if faced with rock, brick or stucco in accordance with the International Building Code most recently adopted by the City of Shavano Park.
- (e) *Garages and carports.*
 - (1) *Garages.* A minimum two-car garage shall be provided at each residence. Residential garage doors are not to exceed ten feet in height. An additional garage may be provided as an accessory building pursuant to regulations in

section 36-36(a). No garage shall open onto any street, roadway or cul-de-sac unless the lot in question fronts two streets which will allow the garage to face the street perpendicular to the front of the residential structure. All attached garages shall be rear or 90-degree side loaded. Conversion of an existing garage to another use shall be permitted only where replacement garage space is provided. Doors on secondary garages for the purpose of storing recreational vehicles may be of a height necessary to store the vehicle. Detached garages shall conform to building setback lines and structural regulations and may or may not face the street final decision is the Building Official's decision), but may not be substantially visible from the street.

- (2) *Carports.* Carports may not, under any circumstances, be substituted for garage space. No carport may open on any street, roadway or cul-de-sac. In situations where a lot fronts two streets and the garage opens to the street perpendicular to the front of the structure, no carport will be allowed. All carports shall conform to all building setback lines, structural regulations and be rear or 90-degree loaded. All carports must be built in conjunction with existing garage space and not as freestanding structures. A porte cochere is not considered a Carport.

(f) *Fences.*

- (1) Front fencing past the front edge of a residence or building is only allowed in an A-1 zoning district.
- (2) Front fencing in A-2 zoning shall not be past the front edge of the residence or building.
- (3) Side and rear fencing is allowed in all districts provided they meet the following criteria, including front fences:
 - a. Fences not more than eight feet in height are permitted and shall be constructed of masonry, brick or stone, wood, concrete, or wrought iron. In A-1 District, chainlink and hog-wire style fences are additionally permitted.
 - b. On a corner lot, no shrubbery, when mature with a height greater than 18 inches, may be planted within the area created by a straight line connecting two points that are respectively 30 feet along the side and front property lines from a street intersection.
 - c. Fences must be constructed in such a way that does not change the natural drainage of water.
 - d. Except in A-1 District and Unit 19 (Huntington Subdivision) A-1 PUD District, fencing shall not be permitted beyond the front face of the residence. Front driveway gates shall have at least a minimum of a 12-foot opening. In A-1 District and excluding Unit 19 (Huntington Subdivision) A-1 PUD, no one shall construct fencing beyond the front face of the residence in a manner that impedes the view of persons beyond the residence's property line. In no event shall a base footer exceed 36 inches.

- e. No shrubbery, when mature height is greater than 18 inches may be within three feet of a fire hydrant.
 - f. Front fences must not encompass any fire hydrant that may be present.
 - g. For any property within the City limits with a property line abutting one or more of the City streets known as Lockhill Selma Road, NW Military Hwy., De Zavala Road and Huebner Road (where such property presently has a solid wall along or parallel to one or more of such streets at the property line), such property owner may not construct a gate or other opening on such property line. Any property with an existing gate on property lines described above is considered a non-conforming use and may continue to exist.
- (g) *Height regulations.* No residential building shall exceed the maximum vertical height specified in Tables 1, 2 and 6 of this chapter, and no residential building shall have more than two livable stories.
- (h) *Portable buildings.* Except in A-I District, a single unattached portable building (movable) constructed of light metal, wood or fiberglass used for storage only, not greater than 200 square feet in size may be erected in the rear yard providing the building is suitably screened from adjacent property, is not used temporarily or permanently as a habitation, is unattached and to a solid foundation. The highest point of the building may not exceed 12 feet from foundation. No portable building higher than eight feet in height measured from grade level base foundation to the buildings highest point shall be permitted in the building setbacks. In A-I District no more than two unattached portable buildings described in this subsection shall be permitted.
- (i) *Certain equipment allowed in setbacks.* Notwithstanding any other provision found within the City of Shavano Park Code of Ordinances, HVAC equipment and pool equipment are allowed within setbacks, so long as an unobstructed width of five feet exists to allow for emergency services access.

ORDINANCE NO. O-2019-014

AN ORDINANCE AMENDMENDING THE CITY OF SHAVANO PARK CODE OF ORDINANCES CLARIFYING & ESTABLISHING DEFINITIONS FOR BUILDING SETBACK LINES, PORCHES, PORTE COCHERES AND FRONT YARDS AND ESTABLISHING THAT OPEN PORCHES AND PORTE COCHERES ARE ALLOWED TO EXTEND FROM THE PRIMARY RESIDENCE INTO THE FRONT SETBACK UNDER CERTAIN CONDITIONS; PROVIDING INDEMNITY FOR THE CITY; PROVIDING REPEALING AND SAVINGS CLAUSES; PROVING A TEXAS OPEN MEETINGS ACT CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Texas Local Government Code Chapter 211 authorizes the City of Shavano Park City Council to regulate the height, number of stories, and size of buildings and other structures; and

WHEREAS, Texas Local Government Code Chapter 211 authorizes the authorizes the City of Shavano Park City Council to regulate the percentage of a lot that may be occupied; and

WHEREAS, Texas Local Government Code Chapter 211 authorizes the authorizes the City of Shavano Park City Council to regulate the location and use of buildings, other structures, and land for business, industrial, residential or other purposes; and

WHEREAS, the City Council of the City of Shavano Park believes this zoning ordinance improves the clarity and consistency of the City's zoning regulations; and

WHEREAS, the City Council has determined that this zoning ordinance is in the best interest of the general welfare of the City of Shavano Park.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS:

I

CODE AMENDMENT

Chapter 6 – BUILDING AND BUILDING REGULATIONS, Article IV. – MISCELLANEOUS CONSTRUCTION REQUIREMENTS, Sec. 6-91 of the City of Shavano Park Code of Ordinances is hereby amended to read as follows:

Sec. 6-91. - Garages and carports.

(a) *Garages.*

(1) . . .

(2) . . .

(b) *Carports.* Carports may not, under any circumstances, be substituted for garage space. No carport in A-1, A-2, A-3, A-4, and A-5 PUD Single-Family Residential Districts may open on any street, roadway or cul-de-sac. In situations where a lot fronts two streets and the garage opens to the street perpendicular to the front of the structure, no carport will be allowed. All carports shall conform to all building setback lines, structural regulations and be rear or 90-degree loaded. All carports must be built in conjunction with existing garage space and not as freestanding structures. A porte cochere is not considered a carport.

II

CODE AMENDMENT

Chapter 28 – SUBDIVISIONS, Article I. – IN GENERAL, Sec. 28-6 of the City of Shavano Park Code of Ordinances is hereby amended for the following definition to read as follows:

Building setback line means the line within a lot defining the minimum horizontal distance between a building and the property line. Building setback lines include front, rear and side setbacks that are measured from the front, rear and side property lines.

III

CODE AMENDMENT

Chapter 32 – TRAFFIC AND VEHICLES, Article II. - STOPPING, STANDING AND PARKING, Sec. 32-19 of the City of Shavano Park Code of Ordinances is hereby amended for the following definition to read as follows:

Front yard means an area extending along the whole length of the front property line between the side property lines, and being the minimum horizontal distance between the property line and the main building and any projections portion thereof, other than any open porch or porte cochere.

IV CODE AMENDMENT

Chapter 36 – ZONING, Article I. – IN GENERAL, Sec. 36-1 of the City of Shavano Park Code of Ordinances is hereby amended for the following definitions to read as follows:

Building line or *setback* means the line within a lot defining the minimum horizontal distance between a building and the property line. Building setback lines include front, rear and side setbacks that are measured from the front, rear and side property lines.

Porch means a covered area at the entrance of a building. An open porch is a porch that is open on a minimum of three sides.

Porte cochere means a roofed structure extending from the entrance of a building over an adjacent driveway and sheltering those getting in or out of vehicles. A porte cochere must be attached to the main building, remain open on three sides and cannot extend more than 30 feet from the main building. A porte cochere located at the front of a residence shall not be used for long-term storage of vehicles and is not considered a carport.

Yard, front, means an area extending along the whole length of the front property line between the side property lines, and being the minimum horizontal distance between the property line and the main building or any portion thereof, other than any open porch or porte cochere.

Yard, rear, means an area extending across the rear of a lot between the side property lines and being the minimum horizontal distance between the rear property line and the rear of the principal building or any projections thereof, other than any balcony or open porch.

Yard, side, means an area extending along the side property line from the front yard to the rear yard, being the minimum horizontal distance between any building sidewall or projections thereof, except any balcony or open porch.

V
CODE AMENDMENT

Chapter 36 – ZONING, Article II. – DISTRICTS, Sec. 36-36 of the City of Shavano Park Code of Ordinances is hereby amended to read as follows:

Sec. 36-36. - A-1, A-2, A-3, A-4 and A-5 PUD Single-Family Residential Districts.

(a) . . .

(1) . . .

(2) . . .

(3) . . .

(4) . . .

(5) . . .

(6) *Entryway Features and the Front Setback.* Porches or porte cocheres at the front of a residence are only allowed to extend from the primary residence into the front setback under the following conditions:

a. A porte cochere must be attached to the main building, remain open on three sides and shall not project more than 25 feet into the front setback. See Section 36-1 for full definition of a porte cochere.

b. Only an open porch that is open on a minimum of three sides and no wider than 25 feet may project into the front setback. An open porch shall not project more than ten feet into the front setback. See Section 36-1 for full definition of a porch.

(b) . . .

(c) . . .

(d) . . .

(e) *Garages and carports.*

(1) . . .

(2) *Carports.* Carports may not, under any circumstances, be substituted for garage space. No carport may open on any street, roadway or cul-de-sac. In situations where a lot fronts two streets and the garage opens to the street perpendicular to the front of the structure, no carport will be allowed. All carports shall conform to all building setback lines, structural regulations and be rear or 90-degree

loaded. All carports must be built in conjunction with existing garage space and not as freestanding structures. A porte cochere is not considered a Carport.

(f) . . .

(g) . . .

(h) . . .

(i) . . .

VI CUMULATIVE CLAUSE

That this ordinance shall be cumulative of all provisions of the City of Shavano Park, Texas, except where the provisions of this Ordinance are in direct conflict with the provisions of such Ordinance, in which event the conflicting provisions of such Ordinance are hereby repealed.

VII SEVERABILITY

That it is hereby declared to be the intention of the City Council of the City of Shavano Park that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinances, since the same would have been enacted by the City Council without incorporation in this ordinance of any such unconstitutional phrases, clause, sentence, paragraph or section.

VIII PROPER NOTICE AND MEETING

It is hereby officially found and determined that the meeting at which this Ordinance was adopted was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government

IX
EFFECTIVE DATE

This ordinance shall be effective upon passage and publication as required by State and Local law.

PASSED AND APPROVED on the first reading by the City Council of the City of Shavano Park this the 28th day of October, 2019.

PASSED AND APPROVED on the second reading by the City Council of the City of Shavano Park this the 25th day of November, 2019.

ROBERT WERNER, MAYOR

Attest:

ZINA TEDFORD, City Secretary

CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 8.5

Prepared by: Bill Hill

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

8.5. Approval - Ordinance O-2019-015 amending the City of Shavano Park Code of Ordinances, Chapter 8, Article II Soliciting and Peddling, Section 8.24 (Hours of Solicitation) (Final Reading)

☒

Attachments for Reference: 1) 8.5a Attorney Memo - Proposed Amendments
2) 8.5b Ordinance O-2019-015

BACKGROUND / HISTORY: Updates are highlighted in Yellow. As per City of Shavano Park's Code of Ordinances, Chapter 8 Section 8-24, Hours of solicitation - During Central Standard Time, permissible solicitation hours are 10:00 a.m. to 6:00 p.m. and during Daylight Savings Time permissible solicitation hours are from 10:00 a.m. – 8:00 p.m. Monday through Saturday. No solicitation whatsoever is permissible on Sunday.

On May 30, 2018, the City Secretary received a letter from law firm Lynn, Pinker Cox Hurst representing Moxie Pest Services regarding the City of Shavano Park's solicitation restrictions and its constitutionality.

At the June 25, 2018 City Council meeting, Council adopted Ordinance O-2018-006 to temporarily extending of evening solicitation hours from July through September 2018.

On July 23rd, 2019 the City received a 104 page letter from the Lynn Pinker Cox Hurst law firm representing Moxie Pest Services titled Shavano Park Texas – Unconstitutional Solicitation Curfew.

At the August 26, 2019 City Council meeting, Council adopted Ordinance O-2019-009 temporarily extending of evening solicitation hours from August through September 2019.

At the October 28, 2019 City Council meeting, Council adopted Ordinance O-2019-015 (first reading) (the version specified was version 2 that established time limits to solicitation to ensure public safety and security).

DISCUSSION: The City Attorney recommends amending our solicitation ordinance to meet new constitutional standards issued by the Supreme Court as it relates to charitable solicitation

and concerns regarding the solicitation hours for commercial solicitors (see Attorney / Client privileged and confidential memo – attachment 1).

The City Attorney provided two versions of amendments to the City's regulations for Hours of Solicitation. Version 1 provides no limitation on hours of solicitation, while Version 2 provides limitations on hours of solicitation reading as follows:

Permissible solicitation hours are from one hour after sunrise to sunset. Sunrise and sunset times as determined by the National Weather Service.

COURSES OF ACTION: Approve Ordinance O-2019-015 (final reading); or alternatively decline and provide further guidance to staff.

FINANCIAL IMPACT: N/A

MOTION REQUESTED: Approve Ordinance O-2019-015 amending the City of Shavano Park Code of Ordinances, Chapter 8, Article II Soliciting and Peddling, Section 8.24 (Hours of Solicitation) (final reading).

ORDINANCE NO. O-2019-015

AN ORDINANCE AMENDING CHAPTER 8; ARTICLE II – SOLICITING AND PEDDLING, OF THE CITY OF SHAVANO PARK CODE OF ORDINANCES TO PROVIDE FOR HOURS OF SOLICITATION; PROVIDING A CUMULATIVE & CONFLICTS CLAUSE, PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council desires to regulate the commercial activity of solicitors to protect each resident's right to be left alone and to promote public safety; and

WHEREAS, the City has the authority to regulate solicitors pursuant to Texas Local Government Code Section 215.031; and

WHEREAS, the City Council finds that changes to the solicitation ordinance are necessary due to recent case law related to the First Amendment as it relates to non-commercial messages; and

WHEREAS, the City finds that unregulated solicitation within the City is a threat to the safety and privacy of its residents; and

WHEREAS, the City Council desires to provide tools for residents and neighborhoods to regulate who has access to their homes; and

WHEREAS, the City Council finds that solicitation during late evening hours can create dangerous conditions for residents; and

WHEREAS, the City Council finds that this regulation is good for the general welfare and safety of the residents, neighborhoods, and business community in the City.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS:

I
CODE AMENDMENT
ARTICLE II. - SOLICITING AND PEDDLING

Sec. 8-19. - Definitions.

The following words, terms and phrases, when used in this article, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

License , unless the context requires otherwise, shall be synonymous with a permit issued under this article.

Person means any firm, company, partnership, corporation association, club, society or other organization.

Soliciting and *solicitation* include all activities ordinarily performed by a solicitor as indicated under the definition of "solicitor" in this section.

Solicitor means any person who goes upon the premises of any private residence in the City, not having been invited by the occupant thereof, for the purpose of taking or attempting to take orders for the sale or lease of goods, merchandise, wares, or other personal property of any nature for immediate or future delivery, or for services to be performed for payment, either immediately or in the future, and shall include the term peddler, itinerant merchant or vendor, and canvasser. The term "solicitor" also includes any person who, without invitation, goes upon private property to request contribution of funds or anything of value or to sell goods or services for political, charitable, religious, or other noncommercial purposes.

Sec. 8-20. - Soliciting without permit unlawful.

It shall be unlawful for any person to go soliciting from house to house or from place to place in the City without first obtaining a permit to do so from the City Secretary.

Sec. 8-21. - Application for permit and identification badge.

(a) Every person subject to the provisions of the article shall file with the City Secretary an application in writing on a form to be furnished by the City, which shall provide the following information:

- (1) Proof of age, address and identification of the applicant, to be provided through the applicant's driver's license, articles of creation or incorporation as applicable, or other legally recognized form of identification;
- (2) A brief description of the business or activity to be conducted;
- (3) The hours and location for which the right to solicit is desired;
- (4) If soliciting pursuant to employment, the name, address and telephone number of the employer; or, if acting as an agent, the name, address and telephone

number of the principal who is being represented, with credentials in written form establishing the relationship and authority of the employee or agent to act for the employer or principal, as the case may be;

(5) A statement as to whether or not the applicant has been convicted of a felony, misdemeanor or ordinance violation (other than traffic violations), the nature of the offense or violation, the penalty or punishment imposed, the date when and place where such offense occurred, and other pertinent details thereof;

(6) Proof of possession of any license or permit which, under federal, State, or local laws or regulations, the applicant is required to have in order to conduct the proposed business, or which, under any such law or regulation, would exempt the applicant from the permitting requirements of this article; and

(7) Two photographs of the applicant, which show the head and shoulders of the applicant in a manner which permits a clear identification of the applicant, and which shall have been taken within 60 days immediately prior to the date of filing of the application.

(b) At the time the application is filed with the City Secretary the applicant shall pay a fee in an amount as established by the City Council from time to time to cover the cost to the City of processing the application and investigating the facts stated therein.

(c) The City Secretary shall review the application for compliance with this article. If the City Secretary finds the application to be satisfactory, he shall endorse his approval on the application and shall deliver the required permit to the applicant.

(d) Upon the City Secretary's review of the application, the City Secretary may refuse to issue a permit to the applicant under this article for any of the following reasons:

(1) The location and time of the solicitation would fall outside of the times or locations permitted for solicitation by this article;

(2) An investigation reveals that the applicant falsified information on the application;

(3) The applicant has been convicted of a felony involving trafficking in controlled substances, theft, burglary, robbery, or any violent acts against persons or property, or any crime against the elderly, such conviction being entered within the ten years preceding the date of application or any time thereafter;

(4) The applicant is a person against whom a judgment based upon, or a conviction involving, fraud, deceit or misrepresentation, conversion or theft, or any crime against the elderly, has been entered within the five years immediately preceding the date of application or any time thereafter;

(5) There is no proof as to the authority of the applicant to serve as an agent of the principal;

(6) The applicant has been denied a permit under this article within the immediate past 12 months, unless the applicant can and does show to the satisfaction of the

City Secretary that the reasons for such earlier denial no longer exist; or

(7) The applicant has been convicted of a felony sex offense at any time.

(e) The City Secretary's denial and the reasons for denial shall be noted on the application, and the applicant shall be notified that his application has been denied and that no permit will be issued. Notice shall be mailed to the applicant at the address shown on the application form, or at the applicant's last known address.

(f) At the same time the permit is issued, the City Secretary shall issue to each permittee a badge, which shall be worn by the permittee in such a way as to be conspicuous at all times while the permittee is soliciting in the City.

(g) A solicitor who is exempt from the permitting and identification badge requirements of this article as required by state law may request the issuance of an identification badge from the City for the purpose of demonstrating to City residents the solicitor's compliance with this article; provided, however, that any person desiring the issuance of such a badge shall make an application in accordance with this section. The City Secretary shall grant or deny the issuance of such a badge on the same basis as for an applicant required to apply under this article.

Sec. 8-22. - Bond required.

(a) The solicitor's application shall be accompanied by a bond in the amount of \$500.00, signed by the applicant and signed, as surety, by some surety company authorized to do business in the State, conditioned for the final delivery of goods, wares, merchandise, services, photographs, magazines or newspapers in accordance with the terms of any order obtained prior to delivery and also conditioned to indemnify any and all purchasers or customers for any and all defects in material or workmanship that may exist in the article sold by the principal of said bond, at the time of delivery, and that may be discovered by such purchaser or customer within 30 days after delivery, and which bond shall be for the use and benefit of all persons, firms, or corporations that may make any purchase or give any order to the principal on said bond, or to an agent or employee of the principal.

(b) Provided that in case applicant is a person, firm, company, partnership, corporation or association engaging in any activity mentioned hereof through one or more agents or employees, such persons, firm, company, partnership, corporation or association shall be required to enter into only one bond, in the sum of \$1,000.00 as required in subsection (a) of this section, which bond shall be made to cover the activities of all its agents or employees.

Sec. 8-23. - Exemptions.

The permitting and bonding requirements of this article and the requirements related to identification badges shall not apply to any person whose only purpose is:

(1) Attempting to promote or oppose a non-commercial message including enlisting support or attempting to obtain the action of the occupant or a donation for a non-commercial purpose enlists support for or against a particular religion, philosophy, ideology, political party, issue, or candidate, even if incidental to such purpose the person accepts the donation of money for or against such cause; or

(2) Distributing a handbill or flyer providing notification of a noncommercial event or service.

Sec. 8-24. - Hours of solicitation.

~~During Central Standard Time, p~~Permissible solicitation hours are from one hour after sunrise to sunset. Sunrise and sunset times as determined by the National Weather Service. 10:00 a.m. to 6:00 p.m., and during Daylight Saving Time permissible solicitation hours are from 10:00 a.m. to 8:00 p.m. only, Monday through Saturday. No solicitation whatsoever is permissible on Sunday.

Sec. 8-25~~4~~. - Certain entry upon premises unlawful.

It is an offense under this code ~~shall be unlawful~~ for any person, whether a solicitation permittee or not, while soliciting, to enter upon any residential premises in the City where the owner, manager, occupant, or person having a legal right to manage access to the legally in charge of the premises has:

(1) Posted, at the entry to the premises, or at the entry to the principal building on the premises, a sign bearing the words "No Peddlers," "No Solicitors," or words of similar import indicating a prohibition of access to a solicitor, peddler, or itinerant vendor; or

(2) ~~Posted, at the entry to a subdivision or neighborhood with limited access by gate, whose streets are maintained by the subdivision or neighborhood, a sign bearing the words "No Peddlers," "No Solicitors," or words of similar import indicating a prohibition of access to a solicitor, peddler, or itinerant vendor; or~~

(3) Filed a "Non-Solicitation Registration Form" with the City on a form furnished by the City for that purpose. The City will maintain a "No Solicitation List" of those persons who wish to restrict solicitation on their property by solicitors. The "No Solicitation List" shall be a public document and a copy of the list shall be provided to each recipient of a permit to engage in solicitation. It will be the responsibility of each solicitor to obtain a copy of the "No Solicitation List."

Sec. 8-26~~5~~. - Revocation of license.

(a) Permits and licenses issued under provisions of this article may be revoked by the City Council after notice and hearing for any of the following causes:

- (1) Fraud, misrepresentation, or false statement contained in the application for license;
- (2) Fraud, misrepresentation, or false statement made in the course of carrying on a business as solicitor;
- (3) Any violation of this article;
- (4) Conviction of any crime misdemeanor involving moral turpitude; or
- (5) Conducting the business of a solicitor in such a manner as to constitute a breach of the peace, or to constitute a menace to the health, safety, or general welfare of the public.

(b) Notice of the hearing for revocation of a license shall be given in writing, setting forth specifically the grounds of complaint and the time and place of hearing. Such notice shall be mailed, postage prepaid, to the licensee at his the solicitor's last known address at least five days prior to the date set for hearing.

Sec. 8-276. - Appeal.

Any person aggrieved by the action of the Chief of Police or City Secretary in the denial of the permit or license, or the action of the City Secretary in assessing a fee, shall have the right of appeal to the City Council. Such appeal shall be taken by filing with the City Council, within ten days after the action complained of, a written statement setting forth fully the grounds for the appeal. The City Council shall set a time and place for hearing of such appeal, and notice of such hearing shall be given to the appellant in the same manner as provided in section 8-265 for the notice of hearing on revocation. The decision and order of the City Council on such appeal shall be final and conclusive.

Sec. 8-287. - Penalty.

Any person violating any provisions of this article or failing to observe any provisions hereof shall be deemed guilty of a misdemeanor and, upon conviction, shall be fined not more than \$500.00 and each and every day or fraction of a day during which this article or any part thereof shall be violated shall be deemed a separate offense and punishable as such.

Secs. 8-298—8-40. - Reserved.

II CUMULATIVE CLAUSE

That this ordinance shall be cumulative of all provisions of the City of Shavano Park, Texas, except where the provisions of this Ordinance are in direct conflict with the provisions of such Ordinance, in which event the conflicting provisions of such Ordinance are hereby repealed.

III SEVERABILITY

That it is hereby declared to be the intention of the City Council of the City of Shavano Park that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinances, since the same would have been enacted by the City Council without incorporation in this ordinance of any such unconstitutional phrases, clause, sentence, paragraph or section.

IV PROPER NOTICE AND MEETING

It is hereby officially found and determined that the meeting at which this Ordinance was adopted was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government

V EFFECTIVE DATE

This ordinance shall be effective upon passage and publication as required by State and Local law.

PASSED AND APPROVED on the first reading by the City Council of the City of Shavano Park this the 28th day of October, 2019.

PASSED AND APPROVED on the second reading by the City Council of the City of Shavano Park this the 25th day of November, 2019.

ROBERT WERNER, MAYOR

Attest:

ZINA TEDFORD, CITY SECRETARY

CITY COUNCIL STAFF SUMMARY

Meeting Date: Nov. 25, 2019

Agenda item: 8.6

Prepared by: Zina Tedford

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

Approval – 2020 Official Holiday Schedule

X

Attachments for Reference:

1) 2020 Official Holiday Schedule

BACKGROUND / HISTORY:

DISCUSSION: As per the City of Shavano Park Employee Handbook, the Official Holiday schedule will be approved annually by City Council. No significant conflicts appear with proposed holidays at this time.

COURSES OF ACTION: Approve or disapprove.

FINANCIAL IMPACT: N/A

MOTION REQUESTED: Staff recommends approval of the 2020 Official Holiday Schedule.

Official Holidays – The following legal holidays will be observed as official holidays of the City of Shavano Park. If a holiday falls on a Saturday, it will be observed on the preceding Friday. If a holiday falls on a Sunday, it will normally be observed on the following Monday.

2020 HOLIDAYS	DATE	DATE OBSERVED
New Year's Day	January 1 st	Wednesday, January 1 st
Martin Luther King Jr. Day	3 rd Monday in January	Monday, January 20 th
President's Day	3 rd Monday in February	Monday, February 17 th
Good Friday	Friday before Easter	Friday, April 10 th
Battle of the Flowers	Friday of Fiesta Week	Friday, April 24 th
Memorial Day	Last Monday in May	Monday, May 25 th
Independence Day	July 4 th	Friday, July 3 rd
Labor Day	1 st Monday in September	Monday, September 7 th
*Patriots' Day	September 11 th	Friday, September 11 th
Veterans Day	November 11 th	Wednesday, November 11 th
Thanksgiving Day	4 th Thursday in November	Thursday, November 26 th
Day After Thanksgiving	4 th Friday in November	Friday, November 27 th
Christmas Eve	December 24 th	Thursday, December 24 th
Christmas Day	December 25 th	Friday, December 25 th

*State law entitles firefighters to a paid day off from work on September 11th (Patriot's Day) with the option of using a personal paid vacation day or switching a paid holiday. The firefighter is entitled the holiday only if their supervisor does not require them to work that day to maintain minimum staffing necessary for public safety.

CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 8.7

Prepared by: Brenda Morey

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION: Approval - Resolution No. R-2019-016 approving the 2019 tax roll for the City of Shavano Park

X

Attachments for Reference:

- a.) Resolution No. R-2019-016
- b.) Letter and Tax Roll Statement 2019 from Bexar County Tax Assessor-Collector
- c.) Tax Roll (PDF in Dropbox)

BACKGROUND / HISTORY:

Texas Municipal Tax Code 26.09(e) “requires the tax roll to be approved by the taxing units governing body”.

DISCUSSION: Bexar County Tax Assessor- Collector office has submitted the 2019 tax roll values and levies to the City of Shavano Park as is required by the Tax Code. Included as supporting documentation (attachment b) is the letter and summary report of values and levies for the 2019 tax year provided by the tax office. Also submitted from the Tax Assessor-Collector is the entire “2019 Tax Roll Detail”, which if printed is 224 pages, and is included in Dropbox. Hard copies can be printed upon request.

COURSES OF ACTION: Approve Resolution No. R-2019-016 approving the 2019 tax roll for the City of Shavano Park.

FINANCIAL IMPACT: N/A

STAFF RECOMMENDATION: Approve Resolution No. 2019-016 approving the 2019 tax roll for the City of Shavano Park.

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS,
APPROVING THE 2019 SHAVANO PARK TAX ROLL.**

WHEREAS, Section 26.09(e) of the State Property Tax Code requires the tax roll be approved by the taxing units governing body; and

WHEREAS, the City Council of the City of Shavano Park has reviewed the Tax Assessment Rolls of Shavano Park for the year 2019;

NOW, THEREFORE, BE IT RESOLVED AND ORDERED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS:

The Tax Rolls Statement as forwarded by the Tax Assessor-Collector for Bexar County and included as "Attachment A" are hereby approved

PASSED AND APPROVED by the City Council of the City of Shavano Park this the 25th day of November, 2019.

ROBERT WERNER
Mayor

Attest: _____
ZINA TEDFORD
City Secretary



Albert Uresti, MPA, PCC
Office of the Tax Assessor - Collector

October 16, 2019

Ms. Brenda Morey, Finance Director
City of Shavano Park
900 Saddletree Court
Shavano Park, Texas 78231

RE: City of Shavano Park – 2019 Tax Roll

Dear Ms. Morey:

Enclosed is a summary of values and levies taken from the initial Tax Roll for the City of Shavano Park.

Section 26.09(e) of the State Property Tax Code requires the Tax Roll to be approved by the taxing units governing body. Please notify this office, at your earliest convenience, when the tax roll is approved by your governing body.

If you have any question, please contact Mr. Carlos Gutierrez at 210-335-6600.

Sincerely,

A handwritten signature in green ink, appearing to read "AU", is located below the "Sincerely," text.

Albert Uresti, MPA, PCC
Tax Assessor-Collector
Bexar County

AU:PH/ea

A handwritten signature in blue ink, appearing to read "PH/ea", is located below the "AU:PH/ea" text.
Enclosure

2019 CERTIFIED TAX ROLL AS OF OCTOBER 1, 2019

TAX ASSESSMENT ROLLS OF SHAVANO PARK FOR THE YEAR 2019 SHOW THE FOLLOWING SUMMARIES:

ROLL	NUMBER ACCTS	MARKET VALUE	TAXABLE VALUE	FREEZE LOSS	TOTAL LEVY
REAL PROPERTY	1,722	1,340,985,201	1,293,465,307	159,961.22	3,561,168.73
PERSONAL PROPERTY	275	39,543,747	29,608,210	.00	87,014.47
MOBILE HOME PROPERTY	0	0	0	.00	.00
MINERAL PROPERTY	0	0	0	.00	.00
OTHER PROPERTY	0	0	0	.00	.00
TOTAL	1,997	1,380,528,948	1,323,073,517	159,961.22	3,648,183.20

RATE OF TAXATION ASSESSMENT RATIO 100%
TOTAL TAX RATE 00.287742

ALBERT URESTI, MPA, PCC
TAX ASSESSOR-COLLECTOR BEXAR COUNTY
BY :



BEXAR COUNTY TAXROLL AS OF 10/01/2019

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ACCOUNT NO.	DESCRIPTION	NAME	PARCEL ADDRESS	EXEMPTIONS	DEFERRAL	VALUES	JURS	TAX VALUE	EXEMPT	LEVY	JURS	TAX VALUE	EXEMPT	LEVY
000000360728 CB: 5938 LOT: 1417 SHAVANO PARK UNIT-16A		ERA ANTHONY M JR 107 LACEY OAK SHAVANO PARK TX 78230-5611 107 LACEY OAK HOM O65				LAND: 93,470 IMPR: 314,030 PROD: 0 ASE: 407,500	0036	405,000	2,500	1,074.43		TOTAL		1,074.43
000001056909 PAESANOS 1604 3622 PAESANOS PKWY INV FURN FIXT EQPT SUP		PAESANOS DI SAN ANTONIO LTD ATTN: TAX DEPT 1121 PATRICIA SAN ANTONIO TX 78213-1332 3622 PAESANOS PKWY				LAND: 0 IMPR: 344,070 PROD: 0 ASE: 344,070	0036	344,070	0	990.03		TOTAL		990.03
000001061160 WABASHA LEASING LLC VARIOUS LOC EQ		WABASHA LEASING LLC 386 WABASHA ST N STE 1200 SAINT PAUL MN 55102-1362 0 VARIOUS LOCATIONS HB3				LAND: 0 IMPR: 1,990,670 PROD: 0 ASE: 1,990,670	0036	6,000	0	17.26		TOTAL		17.26
000001061174 TIME PAYMENT CORP VARIOUS LOCATIONS EQUIP		TIME PAYMENT CORP 1600 DISTRICT AVE STE 200 BURLINGTON MA 01803-5233 0 VARIOUS LOCATIONS				LAND: 0 IMPR: 1,615,630 PROD: 0 ASE: 1,615,630	0036	2,120	0	6.10		TOTAL		6.10
000001064105 CB: 5938 LOT: 1417 SHAVANO PARK UNIT-16A		DUHRKOPF KEVIN L 107 LACEY OAK SHAVANO PARK TX 78230-5611 107 LACEY OAK				LAND: 93,470 IMPR: 314,030 PROD: 0 ASE: 407,500	0036	407,500	0	1,172.55		TOTAL		1,172.55
000001073929 U S B LEASING REG BEXAR VEH		U S B LEASING ATTN: PROPERTY TAX DEPT PO BOX 2466 OSHKOSH WI 54903-2466 0 REG BEXAR COUNTY LV				LAND: 0 IMPR: 5,288,790 PROD: 0 ASE: 5,288,790	0036	0	121,470	0.00		TOTAL		0.00
000001090779 SEIDENBERGER & COMPANY 4091 DE ZAVALA RD FURN FIXT MACH SUP		SEIDENBERGER & COMPANY 4091 DE ZAVALA RD STE 1 SHAVANO PARK TX 78249-2068 4091 DE ZAVALA RD-1				LAND: 0 IMPR: 2,440 PROD: 0 ASE: 2,440	0036	2,440	0	7.02		TOTAL		7.02
000001094918 GREATER S A BLDRS ASSN 3625 PAESANOS PKWY FURN FIXT LI MACH EQPT SUP		GREATER S A BLDRS ASSN CHARLES HEPLER-VP 3625 PAESANOS PKWY SAN ANTONIO TX 78231-1251 3625 PAESANOS PKWY				LAND: 0 IMPR: 15,620 PROD: 0 ASE: 15,620	0036	15,620	0	44.95		TOTAL		44.95
000001095144 HOTCHKISS INSURANCE AGENCY 3625 PAESANOS PKWY #200 FURN FIXT EQUIP SUP		HOTCHKISS INSURANCE AGENCY ATTN: TAX DEPT 4120 INTERNATIONAL PKWY STE 2000 CARROLLTON TX 75007-1960 3625 PAESANOS PKWY-200				LAND: 0 IMPR: 29,120 PROD: 0 ASE: 29,120	0036	29,120	0	83.79		TOTAL		83.79

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000001095484	AT&T MOBILITY LLC VARIOUS LOCATIONS	AT&T MOBILITY	ATTN PROP TAX DEPT			LAND: 0	0036	359,168	0	1,033.48				
	TELECOMM EQPT	1010 PINE ST 9E-L-01	SAINT LOUIS MO 63101-2015			IMPR: 120,692,870								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		1,033.48
						ASE: 120,692,870								
000001101444	MB FINANCIAL BANK NA VARIOUS LOC EQPT ONLY	MB FINANCIAL BANK NA	7851 185TH ST			LAND: 0	0036	1,211	0	3.48				
		TINLEY PARK IL 60477-6248				IMPR: 35,390								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		3.48
		HB3				ASE: 35,390								
000001118328	TIME WARNER DIGITAL PHONE LLC VARIOUS LOCATIONS CABLE DISTR	TIME WARNER DIGITAL PHONE LLC	ATTN PROPERTY TAX DEPT			LAND: 0	0036	118,349	0	340.54				
		PO BOX 7467	CHARLOTTE NC 28241-7467			IMPR: 12,701,940								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		340.54
						ASE: 12,701,940								
000001119555	SAN ANTONIO HOUSING CENTER 3625 PAESANOS PKWY FURN FIX SUP	SAN ANTONIO HOUSING CENTER	3625 PAESANOS PKWY			LAND: 0	0036	18,510	0	53.26				
		SAN ANTONIO TX 78231-1251				IMPR: 18,510								
		3625 PAESANOS PKWY				PROD: 0						TOTAL		53.26
						ASE: 18,510								
000001120064	HYUNDAI LEASE TITLING TRUST REG BEXAR CO LEASED VEH ONLY	HYUNDAI LEASE TITLING TRUST	LOIS RAMEY-TITLE DEPT PP TAX			LAND: 0	0036	0	132,960	0.00				
		PO BOX 4747	OAK BROOK IL 60522-			IMPR: 14,898,290								
		0 REG BEXAR CO				PROD: 0						TOTAL		0.00
		LV				ASE: 14,898,290								
000001120270	DAIMLER TRUST (DT) REG BEXAR CO VEH ONLY	DAIMLER TRUST (DT)	PO BOX 22089			LAND: 0	0036	0	1,644,410	0.00				
		NASHVILLE TN 37202-2089				IMPR: 46,764,860								
		0 REG BEXAR CO				PROD: 0						TOTAL		0.00
		LV				ASE: 46,764,860								
000001133176	ALLERGY INSTITUTE OF SAN ANTONIO PA 3619 PAESANOS PKWY STE112 FURN FIX SUP	ALLERGY INSTITUTE OF SAN ANTONIO PA	3619 PAESANOS PKWY STE 112			LAND: 0	0036	20,000	0	63.31				
		SAN ANTONIO TX 78231-1263				IMPR: 20,000								
		3619 PAESANOS PKWY-112				PROD: 0						TOTAL		63.31
						ASE: 20,000								
000001133521	GLOBALSCAPE INC 4500 LOCKHILL SELMA RD STE 150 FURN FIXT MACH EQPT SUP	GLOBALSCAPE INC	4500 LOCKHILL SELMA RD STE 150			LAND: 0	0036	623,770	0	1,794.85				
		SAN ANTONIO TX 78249-3553				IMPR: 623,770								
		4500 LOCKHILL SELMA RD-				PROD: 0						TOTAL		1,794.85
						ASE: 623,770								
000001136171	DISH NETWORK LLC VARIOUS LOCATIONS EQPT	DISH NETWORK LLC	ATTN PROPERTY TAX DEPT			LAND: 0	0036	4,610	0	13.26				
		PO BOX 6623	ENGLEWOOD CO 80155-6623			IMPR: 1,740,990								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		13.26
						ASE: 1,740,990								

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000001136687	NUCO2 SUPPLY LLC VARIOUS LOCATIONS	NUCO2 SUPPLY LLC TAX DEPT 10 RIVERVIEW DR DANBURY CT 06810-6268 0 VARIOUS LOCATIONS			LAND: 0 IMPR: 2,222,160 PROD: 0 ASE: 2,222,160	0036	1,820	0	5.24			TOTAL	5.24
000001137161	MITEL LEASING INC - EQ @ VARIOUS LOCATIONS	MITEL LEASING INC PO BOX 609 CEDAR RAPIDS IA 52406-0609 0 VARIOUS LOC			LAND: 0 IMPR: 206,540 PROD: 0 ASE: 206,540	0036	1,180	0	3.40			TOTAL	3.40
000001139224	AMCORP INS & FINANCIAL SERVICES 3519 PAESANOS PKWY STE 106 FURN FIXT MACH EQPT SUP	AMCORP INS & FINANCIAL SERVICES 3519 PAESANOS PKWY STE 106 SAN ANTONIO TX 78231-1266 3519 PAESANOS PKWY-106			LAND: 0 IMPR: 26,340 PROD: 0 ASE: 26,340	0036	26,340	0	75.79			TOTAL	75.79
000001145571	LORENZANA PERIODONTICS 3519 PAESANOS PKWY 103 FURN FIXT EQPT SUP	LORENZANA PERIODONTICS GROUP PA 11422 ANAQUA SPGS BOERNE TX 78006-8495 3519 PAESANOS PKWY-103			LAND: 0 IMPR: 335,820 PROD: 0 ASE: 335,820	0036	335,820	0	966.30			TOTAL	966.30
000001145590	RLU OIL AND GAS INC 3519 PAESANOS PKWY 104 FURN FIXT EQPT SUP	RLU OIL AND GAS INC 3519 PAESANOS PKWY STE 104 SAN ANTONIO TX 78231-1266 3519 PAESANOS PKWY-104			LAND: 0 IMPR: 18,700 PROD: 0 ASE: 18,700	0036	18,700	0	53.81			TOTAL	53.81
000001145606	NEUROLOGY INSTITUTE OF SAN ANTONIO 3603 PAESANOS PKWY 300 FURN FIXT EQPT SUP	SUZANNE K GAZDA MD PA NEUROLOGY INSTITUTE OF SAN ANTONIO 3603 PAESANOS PKWY STE 300 SAN ANTONIO TX 78231-1270 3603 PAESANOS PKWY-300			LAND: 0 IMPR: 34,080 PROD: 0 ASE: 34,080	0036	34,080	0	98.06			TOTAL	98.06
000001145625	FROST BANK FROST INSURANCE AGENCY 3611 PAESANOS PKWY 100 FURN FIXT EQPT SUP	FROST BANK 3611 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-1256 3611 PAESANOS PKWY-100			LAND: 0 IMPR: 135,860 PROD: 0 ASE: 135,860	0036	135,860	0	390.93			TOTAL	390.93
000001146572	SPINE & PAIN CENTER 3603 PAESANOS PKWY 100 FURN FIXT EQPT SUP	SPINE & PAIN CENTER 3603 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-1268 3603 PAESANOS PKWY-100			LAND: 0 IMPR: 9,560 PROD: 0 ASE: 9,560	0036	9,560	0	27.51			TOTAL	27.51
000001148716	MCI COMMUNICATION SERVICES VARIOUS LOCATIONS APPORTIONED TELECOM SYSTEM EQPT OT	MCI COMMUNICATION SERVICES INC C/O DUFF & PHELPS PO BOX 2749 ADDISON TX 75001-2749 0 VARIOUS LOCATIONS HB3			LAND: 0 IMPR: 7,459,017 PROD: 0 ASE: 7,459,017	0036	0	170	0.00			TOTAL	0.00

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000001148854	QLT CONSUMER LEASE SERVICES INC	QLT CONSUMER LEASE SERVICES INC	C/O RYAN PTS DEPT 807		LAND:	0	0036	0	2	0.00				
	VARIOUS LOCATIONS EQPT	PO BOX 460049	HOUSTON TX 77056-8049		IMPR:	130								
		0 VARIOUS LOCATIONS	HB3		PROD:	0						TOTAL		0.00
					ASE:	130								
000001150322	NEOPOST USA VARIOUS LOC EQPT ONLY	NEOPOST USA	478 WHEELERS FARMS RD		LAND:	0	0036	2,110	0	6.07				
		MILFORD CT 06461-9105	0 VARIOUS LOCATIONS		IMPR:	146,180								
		HB3			PROD:	0						TOTAL		6.07
					ASE:	146,180								
000001154682	PINA EDUARDO CPA 124 CLIFFSIDE DR	PINA EDUARDO CPA	124 CLIFFSIDE DR		LAND:	0	0036	0	380	0.00				
	FURN	SHAVANO PARK TX 78231-1509	124 CLIFFSIDE DR		IMPR:	380								
	FIXT EQPT SUP	HB3			PROD:	0						TOTAL		0.00
					ASE:	380								
000001156296	MLAW CONSULTANTS & ENGINEERS INC	MEYER LYTTON ALLEN WHITAKER INC	ATTN JANET HAVELKA		LAND:	0	0036	76,470	0	220.04				
	3625 PAESANOS PKWY STE 204 FURN FIXT EQPT	2804 LONGHORN BLVD	AUSTIN TX 78758-7625		IMPR:	76,470								
	VEH SUP	3625 PAESANOS PKWY-204			PROD:	0						TOTAL		220.04
					ASE:	76,470								
000001156455	PNC EQUIPMENT FINANCE ME @ VARIOUS LOCATIONS	PNC EQUIPMENT FINANCE	995 DALTON AVE		LAND:	0	0036	88,760	0	255.40				
		CINCINNATI OH 45203-1100	0 VARIOUS LOCATIONS		IMPR:	5,127,210								
					PROD:	0						TOTAL		255.40
					ASE:	5,127,210								
000001157778	SHAVANO PARK FACIAL SURGERY 3519 PAESANOS PKWY STE 102 FURN FIXT EQPT SUP	SHAVANO PARK FACIAL SURGERY	3519 PAESANOS PKWY STE 102		LAND:	0	0036	100,290	0	288.58				
		SAN ANTONIO TX 78231-1266	3519 PAESANOS PKWY-102		IMPR:	100,290								
					PROD:	0						TOTAL		288.58
					ASE:	100,290								
000001158290	PAESANOS PARKWAY IMAGING LLC 3603 PAESANOS PARKWAY STE 110 FURN FIXT EQPT SUP	PAESANOS PARKWAY IMAGING LLC	3603 PAESANOS PKWY STE 110		LAND:	0	0036	279,760	0	804.99				
		SAN ANTONIO TX 78231-1269	3603 PAESANOS PKWY-110		IMPR:	279,760								
					PROD:	0						TOTAL		804.99
					ASE:	279,760								
000001158478	SHAVANO PARK TENNIS CLUB 4111 POND HILL RD FURN FIXT EQPT SUP	SHAVANO PARK TENNIS CLUB LLC	MICHAEL KELLY-MEMBER		LAND:	0	0036	15,920	0	45.81				
		406 CAMERON CIR	SAN ANTONIO TX 78258-2946		IMPR:	15,920								
		4111 POND HILL RD			PROD:	0						TOTAL		45.81
					ASE:	15,920								
000001158649	STEEPER USA 3619 PAESANOS PKWY STE 200 FURN FIXT EQPT SUP	RSL STEEPER	3619 PAESANOS PKWY STE 200		LAND:	0	0036	541,190	0	1,712.95				
		SAN ANTONIO TX 78231-1255	3619 PAESANOS PKWY-200		IMPR:	541,190								
					PROD:	0						TOTAL		1,712.95
					ASE:	541,190								

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000001160467	GRAYHAWK LEASING LLC EQ @ VARIOUS LOCATIONS	GRAYHAWK LEASING LLC	MD 3A-300 PO BOX 660634 DALLAS TX 75266-0634 0 VARIOUS LOCATIONS HB3			LAND: 0 IMPR: 6,218,930 PROD: 0 ASE: 6,218,930	0036	3,952	0	11.37		TOTAL		11.37
000001160535	QUENCH USA INC 100 VARIOUS LOCATIONS EQPT	QUENCH USA INC	PO BOX 59365 SCHAUMBURG IL 60159-0365 100 VARIOUS LOCATIONS HB3			LAND: 0 IMPR: 139,550 PROD: 0 ASE: 139,550	0036	9,813	0	28.24		TOTAL		28.24
000001160620	MAILFINANCE INC 100 VARIOUS LOCATIONS EQPT	MAILFINANCE INC	TAX DEPARTMENT 478 WHEELERS FARMS RD MILFORD CT 06461-9105 100 VARIOUS LOCATIONS			LAND: 0 IMPR: 1,996,630 PROD: 0 ASE: 1,996,630	0036	40,510	0	116.56		TOTAL		116.56
000001160773	ALLY BANK VEHICLES REG IN BEXAR COUNTY	ALLY BANK	ATTN PROPERTY TAX PO BOX 198169 NASHVILLE TN 37219-8169 0 REG BEXAR COUNTY LV			LAND: 0 IMPR: 5,341,500 PROD: 0 ASE: 5,341,500	0036	0	425,130	0.00		TOTAL		0.00
000001160776	ALLY BANK VEHICLES REG IN BEXAR COUNTY	ALLY BANK	ATTN PROPERTY TAX PO BOX 198169 NASHVILLE TN 37219-8169 0 REG BEXAR COUNTY			LAND: 0 IMPR: 1,613,400 PROD: 0 ASE: 1,613,400	0036	119,230	0	343.07		TOTAL		343.07
000001162264	ENTERPRISE FM TRUST REG BEXAR CO LEASEVD VEH	ENTERPRISE FM TRUST	600 CORPORATE PARK DR SAINT LOUIS MO 63105-4204 0 REG BEXAR CO			LAND: 0 IMPR: 45,156,900 PROD: 0 ASE: 45,156,900	0036	26,690	0	76.80		TOTAL		76.80
000001163615	SHAVANO PARK FAMILY DENTISTRY 4462 LOCKHILL SELMA RD STE 102 FURN FIXT EQPT SUP	SHAVANO PARK FAMILY DENTISTRY	4462 LOCKHILL SELMA RD STE 102 SAN ANTONIO TX 78249-2078 4462 LOCKHILL SELMA RD-			LAND: 0 IMPR: 57,830 PROD: 0 ASE: 57,830	0036	57,830	0	183.04		TOTAL		183.04
000001163664	CHESAPEAKE ENERGY CORPORATION 4350 LOCKHILL SELMA RD STE 250 FURN FIXT EQPT SUP	CHESAPEAKE ENERGY CORPORATION	ATTN TAX DEPT 6100 N WESTERN AVE OKLAHOMA CITY OK 73118-1044 4350 LOCKHILL SELMA RD-			LAND: 0 IMPR: 203,810 PROD: 0 ASE: 203,810	0036	203,810	0	586.45		TOTAL		586.45
000001163954	PEDRAZA ANTONIO JR ATTY AT LAW 3519 PAESANOS PKWY STE 105 FURN FIXT EQPT SUP	PEDRAZA ANTONIO JR ATTY AT LAW	3519 PAESANOS PKWY STE 105 SAN ANTONIO TX 78231-1266 3519 PAESANOS PKWY-105			LAND: 0 IMPR: 4,200 PROD: 0 ASE: 4,200	0036	4,200	0	12.09		TOTAL		12.09

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000001163955	GROTHUES FINANCIAL 3619 PAESANOS PKWY STE 312 FURN FIXT EQPT SUP	GROTHUES BROTHERS MGMT LLC	GROTHUES FINANCIAL 3619 PAESANOS PKWY STE 312 SAN ANTONIO TX 78231-1259 3619 PAESANOS PKWY-312			LAND: 0 IMPR: 19,200 PROD: 0 ASE: 19,200	0036	19,200	0	55.25		TOTAL		55.25
000001163960	PLATINUM WEALTH SOLUTIONS OF TEXAS LLC 3522 PAESANOS PKWY STE 100 FURN FIXT EQPT SUP	PLATINUM WEALTH SOLUTIONS OF TEXAS L	3522 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-1231 3522 PAESANOS PKWY-100			LAND: 0 IMPR: 58,290 PROD: 0 ASE: 58,290	0036	58,290	0	184.49		TOTAL		184.49
000001163980	SHAVANO OAKS PHARMACY 3603 PAESANOS PKWY STE 102 INV FURN FIXT EQPT SUP	DENNIS KARASEK MC PLLC	SHAVANO OAKS PHARMACY 3603 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-1268 3603 PAESANOS PKWY-102			LAND: 0 IMPR: 44,380 PROD: 0 ASE: 44,380	0036	44,380	0	127.70		TOTAL		127.70
000001165607	HASSLE INTERNATIONAL CORP 3512 PAESANOS PKWY STE 100 FURN FIXT EQPT SUP	HASSLE INTERNATIONAL CORP	3512 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-1247 3512 PAESANOS PKWY-100			LAND: 0 IMPR: 17,400 PROD: 0 ASE: 17,400	0036	17,400	0	50.07		TOTAL		50.07
000001166944	PRECISE SECURITIES 3519 PAESANOS PKWY STE 105 FURN FIXT EQPT SUP	PRECISE SECURITIES	RICARDO LLANOS 3519 PAESANOS PKWY STE 105 SAN ANTONIO TX 78231-1266 3519 PAESANOS PKWY-105			LAND: 0 IMPR: 1,410 PROD: 0 ASE: 1,410	0036	1,410	0	4.47		TOTAL		4.47
000001167898	DEZAVALA SHAVANO VETRYNY CLNC 4408 LOCKHILL SELMA RD INV FURN FIXT EQPT SUP LI	DEZAVALA SHAVANO VETRYNY CLNC	4408 LOCKHILL SELMA RD SAN ANTONIO TX 78249-2078 4408 LOCKHILL SELMA RD			LAND: 0 IMPR: 284,290 PROD: 0 ASE: 284,290	0036	284,290	0	818.02		TOTAL		818.02
000001167917	BROKERAGE STORE INC THE 4114 POND HILL RD STE 100 FURN FIXT EQPT SUP	BROKERAGE STORE INC THE	DAVID CATES-PRES 4091 DE ZAVALA RD STE 3 SAN ANTONIO TX 78249-2068 4114 POND HILL RD-100			LAND: 0 IMPR: 6,730 PROD: 0 ASE: 6,730	0036	6,730	0	19.37		TOTAL		19.37
000001174172	M/I HOMES OF SAN ANTONIO LLC 3619 PAESANOS PKWY STE 202 FURN FIXT MACH EQUIP SUP	M/I HOMES OF SAN ANTONIO LLC	3619 PAESANOS PKWY STE 202 SAN ANTONIO TX 78231-1255 3619 PAESANOS PKWY-202			LAND: 0 IMPR: 139,310 PROD: 0 ASE: 139,310	0036	139,310	0	400.85		TOTAL		400.85
000001174260	DELL EQUIPMENT FINANCING LP EQ @ VARIOUS LOCATIONS	DELL EQUIPMENT FUNDING LP	ATTN TAX DEPT 1 DELL WAY SPC 1 ROUND ROCK TX 78682-7000 0 VARIOUS LOCATIONS HB3			LAND: 0 IMPR: 86,177,840 PROD: 0 ASE: 86,177,840	0036	136,830	0	393.72		TOTAL		393.72

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000001175725	DIRECTV LLC VARIOUS LOCATIONS EQUIPMENT	DIRECTV LLC	ATTN PROPERTY TAX DEPT PO BOX 7207 BEDMINSTER NJ 07921-7207 0 VARIOUS LOCATIONS HB3			LAND: 0 IMPR: 10,169,290 PROD: 0 ASE: 10,169,290	0036	18,450	0	53.09		TOTAL		53.09
000001175812	GLECO FLEET TRUST 100 REG BEXAR COUNTY VEH	GELCO FLEET TRUST	PERSONAL PROPERTY TAX DEPT PO BOX 13085 BALTIMORE MD 21203-3085 100 REG BEXAR COUNTY			LAND: 0 IMPR: 28,078,280 PROD: 0 ASE: 28,078,280	0036	60,630	0	174.46		TOTAL		174.46
000001176293	D & M AUTO LEASING 100 REG BEXAR COUNTY VEH	D & M AUTO LEASING	17090 DALLAS PKWY STE 200 DALLAS TX 75248-1968 100 REG BEXAR COUNTY LV			LAND: 0 IMPR: 2,453,710 PROD: 0 ASE: 2,453,710	0036	0	55,300	0.00		TOTAL		0.00
000001176382	INSIGHT INVESTMENTS LLC 100 VARIOUS LOCATIONS EQPT	INSIGHT INVESTMENTS LLC	611 ANTON BLVD STE 700 COSTA MESA CA 92626-7050 100 VARIOUS LOCATIONS HB3			LAND: 0 IMPR: 529,330 PROD: 0 ASE: 529,330	0036	4,770	0	13.73		TOTAL		13.73
000001176383	NATIONAL CONSTRUCTION RENTALS INC 100 VARIOUS LOCATIONS EQPT	NATIONAL CONSTRUCTION RENTALS INC	15319 CHATSWORTH ST MISSION HILLS CA 91345-2040 100 VARIOUS LOCATION HB3			LAND: 0 IMPR: 96,820 PROD: 0 ASE: 96,820	0036	0	160	0.00		TOTAL		0.00
000001176424	NCR CORPORATION 100 VARIOUS LOCATIONS EQPT	NCR CORPORATION	CORPORATE PROPERTY TAXES 3095 SATELLITE BLVD DULUTH GA 30096-5814 100 VARIOUS LOCATIONS HB3			LAND: 0 IMPR: 902,500 PROD: 0 ASE: 902,500	0036	0	250	0.00		TOTAL		0.00
000001179793	HIGHLAND HOMES 3619 PAESANOS PKWY STE 114 FURN FIXT EQPT SUP	HIGHLAND HOMES LTD	ATTN SAN ANTONIO ACCTS PAYABLE 5601 DEMOCRACY DR STE 300 PLANO TX 75024-3674 3619 PAESANOS PKWY-114			LAND: 0 IMPR: 22,320 PROD: 0 ASE: 22,320	0036	22,320	0	64.22		TOTAL		64.22
000001180269	TOYOTA LEASE TRUST REG BEXAR CO VEHICLES	TOYOTA LEASE TRUST	19001 S WESTERN AVE # NF20 TORRANCE CA 90501-1106 0 REG BEXAR CO VEHIC LV			LAND: 0 IMPR: 151,810,150 PROD: 0 ASE: 151,810,150	0036	0	1,280,710	0.00		TOTAL		0.00
000001180270	C A C I INC-FEDERAL 4560 LOCKHILL SELMA RD STE 600 FURN FIXT EQPT SUP	C A C I INC-FEDERAL	ATTN TAX DEPT 1100 N GLEBE RD STE 200 ARLINGTON VA 22201-4797 4560 LOCKHILL SELMA RD-			LAND: 0 IMPR: 209,400 PROD: 0 ASE: 209,400	0036	209,400	0	602.53		TOTAL		602.53

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000001182756	HOME INSTEAD SENIOR CARE 4466 LOCKHILL SELMA STE 101 FURN FIXT EQPT SUP	HOME INSTEAD SENIOR CARE 4466 LOCKHILL SELMA RD-4466 LOCKHILL SELMA RD-				LAND: 0 IMPR: 15,600 PROD: 0 ASE: 15,600	0036	15,600	0	49.38			TOTAL	49.38
000001187414	LORENZANA PERIODONTICS SOLAR PANELS 3519 PAESANOS PKWY STE 103 SOLAR PANEL EQPT	LORENZANA PERIODONTICS GROUP PA 11422 ANAQUA SPGS BOERNE TX 78006-8495 3519 PAESANOS PKWY-103 EXXV				LAND: 0 IMPR: 17,160 PROD: 0 ASE: 17,160	0036	0	17,160	0.00			TOTAL	0.00
000001188500	ALAMO ADVISORS LP 4114 POND HILL RD STE 201 FURN FIXT EQPT SUP	ALAMO ADVISORS LP 4114 POND HILL RD STE 201 SAN ANTONIO TX 78231-1273 4114 POND HILL RD-201				LAND: 0 IMPR: 28,000 PROD: 0 ASE: 28,000	0036	28,000	0	80.57			TOTAL	80.57
000001188691	CAWLEY CARMEN MD 4114 POND HILL RD STE 202 FURN FIXT EQPT SUP	SAGE MEDICINE CAWLEY CARMEN MD 4114 POND HILL RD STE 202 SAN ANTONIO TX 78231-1273 4114 POND HILL RD-202				LAND: 0 IMPR: 25,100 PROD: 0 ASE: 25,100	0036	25,100	0	72.22			TOTAL	72.22
000001188760	PEDIATRIC THERAPY SPECIALISTS LLC 4600 LOCKHILL SELMA RD STE 103 FURN FIXT EQPT SUP	PEDIATRIC THERAPY SPECIALISTS LLC 4600 LOCKHILL SELMA RD STE 103 SAN ANTONIO TX 78249-2186 4600 LOCKHILL SELMA RD-				LAND: 0 IMPR: 3,990 PROD: 0 ASE: 3,990	0036	3,990	0	11.48			TOTAL	11.48
000001189311	7 ELEVEN INC #36582 4150 N LOOP 1604 W INV FURN FIXT EQPT SUP LI	7 ELEVEN INC ATTN: TAX DEPT 1722 ROUTH ST STE 1000 DALLAS TX 75201-2506 4150 N LOOP 1604 W POL				LAND: 0 IMPR: 485,980 PROD: 0 ASE: 485,980	0036	479,060	6,920	1,378.46			TOTAL	1,378.46
000001189476	GM FINANCIAL VEHICLES REG BEXAR COUNTY	GM FINANCIAL PO BOX 100 WILLIAMSVILLE NY 14231-0100 0 REG BEXAR COUNTY LV				LAND: 0 IMPR: 79,239,510 PROD: 0 ASE: 79,239,510	0036	0	951,240	0.00			TOTAL	0.00
000001189730	HYUNDAI LEASE TITLING TRUST VEHICLES REG BEXAR COUNTY	HYUNDAI LEASE TITLING TRUST LOIS RAMEY - TAX DEPT PO BOX 4747 OAK BROOK IL 60522-0 REG BEXAR COUNTY				LAND: 0 IMPR: 1,078,870 PROD: 0 ASE: 1,078,870	0036	23,840	0	68.60			TOTAL	68.60
000001189820	MANPOWER PROFESSIONAL SERVICES INC 3512 PAESANOS PKWY STE 204 FURN FIXT EQPT SUP	EXPERIS US INC ATTN TAX DEPT 100 W MANPOWER PL MILWAUKEE WI 53212-4030 3512 PAESANOS PKWY-204				LAND: 0 IMPR: 9,860 PROD: 0 ASE: 9,860	0036	9,860	0	28.37			TOTAL	28.37

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000001190006	XL HEALTH CORP 4350 LOCKHILL SELMA RD STE 300 EQPT SUP	UNITED HEALTHCARE SERVICES USATX049	ATTN: TAX DEPT MN008-T390 9900 BREN RD E STE 300W MINNETONKA MN 55343-4402 4350 LOCKHILL SELMA RD-		LAND: 0 IMPR: 912,630 PROD: 0 ASE: 912,630	0036	912,630	0	2,626.02			TOTAL		2,626.02
000001190076	TIME WARNER CABLE INTERNET LLC VARIOUS LOCATIONS CABLE DISTRIBUTOR	TIME WARNER CABLE INTERNET LLC	ATTN PROPERTY TAX DEPT PO BOX 7467 CHARLOTTE NC 28241-7467 0 VARIOUS LOCATIONS		LAND: 0 IMPR: 16,265,290 PROD: 0 ASE: 16,265,290	0036	34,509	0	99.30			TOTAL		99.30
000001190085	TIME WARNER CABLE TEXAS LLC VARIOUS LOCATIONS CABLE EQPT	TIME WARNER CABLE TEXAS LLC	ATTN PROPERTY TAX DEPT PO BOX 7467 CHARLOTTE NC 28241-7467 0 VARIOUS LOCATIONS		LAND: 0 IMPR: 153,821,230 PROD: 0 ASE: 153,821,230	0036	292,260	0	840.95			TOTAL		840.95
000001190769	BARBER & BARBER ASSOCIATES INC 120 LONG BOW FURN FIXT EQPT SUP	BARBER & BARBER ASSOCIATES INC	120 LONG BOW RD SHAVANO PARK TX 78231-1209 120 LONG BOW RD		LAND: 0 IMPR: 2,050 PROD: 0 ASE: 2,050	0036	2,050	0	5.90			TOTAL		5.90
000001190881	COST CENTER 6015 3619 PAESANOS PKWY STE 114A FURN FIXT EQPT SUP	PRIME LENDING VENTURES LLC	ATTN ACCTG DEPT 18111 PRESTON RD STE 900 DALLAS TX 75252-6601 3619 PAESANOS PKWY-114A		LAND: 0 IMPR: 11,740 PROD: 0 ASE: 11,740	0036	11,740	0	33.78			TOTAL		33.78
000001191287	IMAGE NET CONSULTING VARIOUS LOCATION	IMAGE NET COSULTING	ATTN TAX DEPT 913 N BROADWAY AVE OKLAHOMA CITY OK 73102-5810 0 VARIOUS LCOATOIN		LAND: 0 IMPR: 54,300 PROD: 0 ASE: 54,300	0036	1,170	0	3.37			TOTAL		3.37
000001194981	FALK CLINTON W DDS PA 4466 LOCKHILL SELMA RD STE 102 FURN FIXT SUP	FALK CLINTON W DDS	4466 LOCKHILL SELMA RD STE 102 SAN ANTONIO TX 78249-2078 4466 LOCKHILL SELMA RD-		LAND: 0 IMPR: 72,000 PROD: 0 ASE: 72,000	0036	72,000	0	207.17			TOTAL		207.17
000001196297	ANDERSON, JOHNS & YAO CPA PC 4126 POND HILL ROAD STE 100 FURN FIXT EQPT	ANDERSON, JOHNS & YAO CPA PC	4126 POND HILL RD STE 100 SAN ANTONIO TX 78231-1245 4126 POND HILL RD-100		LAND: 0 IMPR: 73,310 PROD: 0 ASE: 73,310	0036	73,310	0	210.94			TOTAL		210.94
000001199302	M W CUDE ENGINEERS LLC 4122 POND HILL FURN FIXT EQPT VEH SUP	M W CUDE ENGINEERS LLC	4122 POND HILL RD STE 101 SAN ANTONIO TX 78231-1245 4122 POND HILL RD		LAND: 0 IMPR: 580,420 PROD: 0 ASE: 580,420	0036	580,420	0	1,670.11			TOTAL		1,670.11

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000001199315	APRIA HEALTHCARE LLC 4600 LOCKHILL SELMA RD INV FURN FIXT EQPT SUP LI OT	APRIA HEALTHCARE LLC ATTN: TAX DEPT 26220 ENTERPRISE CT LAKE FOREST CA 92630-8405 4600 LOCKHILL SELMA RD				LAND: 0 IMPR: 1,737,230 PROD: 0 ASE: 1,737,230	0036	1,737,230	0	4,998.74		TOTAL		4,998.74
000001201572	ARMADILLO HOMES 3602 PAESANOS PKWY STE 200 FURN FIXT EQPT VEH SUP	ARMADILLO HOMES 3602 PAESANOS PKWY STE 200 SAN ANTONIO TX 78231-1278 3602 PAESANOS PKWY-200				LAND: 0 IMPR: 135,270 PROD: 0 ASE: 135,270	0036	135,270	0	389.23		TOTAL		389.23
000001202947	LEGACY MUTUAL MORTGAGE 3503 PAESANOS PKWY FURN FIXT EQPT SUP	GARDNER FINANCIAL SVCS LTD ATTN: ELAINE GARDNER-ACCTING MGR 3503 PAESANOS PKWY SAN ANTONIO TX 78231-1225 3503 PAESANOS PKWY				LAND: 0 IMPR: 536,170 PROD: 0 ASE: 536,170	0036	536,170	0	1,542.79		TOTAL		1,542.79
000001203360	BREATH OF HOPE PROFESSIONAL COUNSELING 4081 DE ZAVALA RD STE 101 FURN FIXT EQPT SUP	BREATH OF HOPE PROFESSIONAL COUNSELING 4081 DE ZAVALA RD STE 101 SHAVANO PARK TX 78249-2083 4081 DE ZAVALA RD-101				LAND: 0 IMPR: 950 PROD: 0 ASE: 950	0036	950	0	2.73		TOTAL		2.73
000001203361	IMAGINE COUNSELING LLC 4081 DE ZAVALA RD STE 1 FURN FIXT EQPT SUP	IMAGINE COUNSELING LLC 4081 DE ZAVALA RD STE 1 SHAVANO PARK TX 78249-2082 4081 DE ZAVALA RD-1				LAND: 0 IMPR: 1,930 PROD: 0 ASE: 1,930	0036	1,930	0	5.55		TOTAL		5.55
000001203390	FIRST AMERICAN TITLE 3602 PAESANOS PKWY STE 202 FURN FIXT EQPT SUP	FIRST AMERICAN FINANCIAL CORP ATTN TAX DEPT 1 FIRST AMERICAN WAY SANTA ANA CA 92707-5913 3602 PAESANOS PKWY-202				LAND: 0 IMPR: 64,180 PROD: 0 ASE: 64,180	0036	64,180	0	184.67		TOTAL		184.67
000001206267	BENSON ENTERPRISES INC 4114 POND HILL STE 302 FURN FIXT EQPT SUP	BENSON ENTERPRISES INC 4114 POND HILL RD STE 302 SAN ANTONIO TX 78231-1273 4114 POND HILL RD-302				LAND: 0 IMPR: 73,060 PROD: 0 ASE: 73,060	0036	73,060	0	210.22		TOTAL		210.22
000001206860	BOOTING ROSS REALTY 99 BENT OAK DR FURN FIXT EQUIP SUP	BUNTING ROSS REALTY ATTN MICHELE ROSS 99 BENT OAK DR SHAVANO PARK TX 78231-1502 99 BENT OAK DR				LAND: 0 IMPR: 1,050 PROD: 0 ASE: 1,050	0036	1,050	0	3.32		TOTAL		3.32
000001207596	AT&T SERVICES INC 15606 MILITARY HY NW EQPT	AT&T SERVICES INC ATTN:PROPERTY TAX DEPT 909 CHESTNUT ST RM 36M01 SAINT LOUIS MO 63101-2065 15606 NW MILITARY HWY				LAND: 0 IMPR: 650 PROD: 0 ASE: 650	0036	650	0	1.87		TOTAL		1.87

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000001207884	CCAP AUTO LEASE LTD 100 REG BEXAR COUNTY VEH	CCAP AUTO LEASE LTD ATTN TAX DEPT PO BOX 660616 DALLAS TX 75266-0616 100 REG BEXAR COUNTY LV				LAND: 0 IMPR: 6,996,060 PROD: 0 ASE: 6,996,060	0036	0	59,480	0.00			TOTAL	0.00
000001208886	CROCKETT NATIONAL BANK 3503 PAESANOS PKWY FURN FIXT EQPT SUP	CROCKETT NATIONAL BANK ATTN TAX DEPT 3503 PAESANOS PKWY SAN ANTONIO TX 78231-1225 3503 PAESANOS PKWY				LAND: 0 IMPR: 13,640 PROD: 0 ASE: 13,640	0036	13,640	0	39.25			TOTAL	39.25
000001209141	ADT LLC 100 VARIOUS LOCATION EQPT	ADT LLC ATTN: TAX DEPT PO BOX 54767 LEXINGTON KY 40555-4767 100 VARIOUS LOCATION HB3				LAND: 0 IMPR: 3,450,820 PROD: 0 ASE: 3,450,820	0036	15,946	0	45.88			TOTAL	45.88
000001209146	SMUCKER FOODSERVICE INC 100 VARIOUS LOCATION EQPT	SMUCKER FOODSERVICE INC PO BOX 3576 CHICAGO IL 60654-0576 100 VARIOUS LOCATION HB3				LAND: 0 IMPR: 935,230 PROD: 0 ASE: 935,230	0036	3,060	0	8.80			TOTAL	8.80
000001209152	WHOLESOME SELECTIONS LLC 100 VARIOUS LOCATION EQPT	WHOLESOME SELECTIONS LLC BILL BEEDLE 416 RAINBOW DR LAKEHILLS TX 78063-6400 100 VARIOUS LOCATION				LAND: 0 IMPR: 36,650 PROD: 0 ASE: 36,650	0036	1,533	0	4.41			TOTAL	4.41
000001209163	ZAYO GROUP LLC 100 VARIOUS LOCATION EQPT	ZAYO GROUP LLC ATTN PROPERTY TAX DEPT 1621 18TH ST STE 100 DENVER CO 80202-5905 100 VARIOUS LOCATION				LAND: 0 IMPR: 7,381,990 PROD: 0 ASE: 7,381,990	0036	81,778	0	235.31			TOTAL	235.31
000001209165	PAC-VAN INC 100 VARIOUS LOCATION EQPT	PAC-VAN INC 9155 HARRISON PARK CT INDIANAPOLIS IN 46216-2108 100 VARIOUS LOCATION HB3				LAND: 0 IMPR: 57,800 PROD: 0 ASE: 57,800	0036	0	281	0.00			TOTAL	0.00
000001209170	CSC LEASING COMPANY 100 VARIOUS LOCATION EQPT	CSC LEASING COMPANY 6806 PARAGON PL STE 170 RICHMOND VA 23230-1829 100 VARIOUS LOCATION				LAND: 0 IMPR: 51,950 PROD: 0 ASE: 51,950	0036	590	0	1.70			TOTAL	1.70
000001209196	VCFS AUTO LEASING CO 100 REG BEXAR COUNTY VEH	VCFS AUTO LEASING CO PO BOX 91300 MOBILE AL 36691-1300 100 REG BEXAR COUNTY LV				LAND: 0 IMPR: 6,001,330 PROD: 0 ASE: 6,001,330	0036	0	80,150	0.00			TOTAL	0.00

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000001212490	OMNICARE OF SAN ANTONIO VARIOUS LOCATIONS MACH EQPT	NEIGHBORCARE PHARMAC SERVICES INC	201 EAST FOURTH ST 900 OMNICARE CTR		LAND: 0 IMPR: 312,410 PROD: 0 ASE: 312,410	0036	15,799	0	45.46			TOTAL		45.46
000001214590	ADVANCED SMILE CARE 3829 LOCKHILL SELMA STE 100 RD FURN FIXT EQPT SUP	ADVANCED SMILE CARE	3829 LOCKHILL SELMA RD STE 100 SAN ANTONIO TX 78230-1762		LAND: 0 IMPR: 560,870 PROD: 0 ASE: 560,870	0036	560,870	0	1,613.86			TOTAL		1,613.86
000001215027	MCALISTER'S DELI 16820 NW MILITARY HWY #1386 INV FURN FIXT EQPT SUP	MCALISTER'S DELI	ATTN TAX DEPT 3527 BILLY HEXT RD ODESSA TX 79765-8972 16820 NW MILITARY HWY		LAND: 0 IMPR: 139,490 PROD: 0 ASE: 139,490	0036	139,490	0	401.37			TOTAL		401.37
000001223792	MEDTRONIC USA INC 100 VARIOUS LOCATIONS INV MACH EQPT	MEDTRONIC USA INC	ATTN TAX DEPT 710 MEDTRONIC PKWY # LC355 MINNEAPOLIS MN 55432-5604 100 VARIOUS LOCATIONS HB3		LAND: 0 IMPR: 6,600,570 PROD: 0 ASE: 6,600,570	0036	243,130	0	699.59			TOTAL		699.59
000001223809	UNIFI EQUIPMENT FINANCE VARIOUS LOCATIONS LEASED EQPT	UNIFI EQUIPMENT FINANCE	3893 RESEARCH PARK DR ANN ARBOR MI 48108-2217 0 VARIOUS LOCATIONS		LAND: 0 IMPR: 16,290 PROD: 0 ASE: 16,290	0036	12,770	0	36.74			TOTAL		36.74
000001224033	ADP LLC 000000 00 VARIOUS LOC LEASED EQPT	ADP LLC	ATTN PROPERTY TAX DEPT MS #B401 1 ADP BLVD STE 1 ROSELAND NJ 07068-1786 0 VARIOUS LOCATIONS HB3		LAND: 0 IMPR: 179,890 PROD: 0 ASE: 179,890	0036	0	96	0.00			TOTAL		0.00
000001224175	LITTLE BIRD VINTAGE DESIGNS 416 CLIFFSIDE DR FURN FIXT EQUIP SUP	LITTLE BIRD VINTAGE DESIGNS	ATTN GRACE BERIOS OWNERS 416 CLIFFSIDE DR SHAVANO PARK TX 78231-1513 416 CLIFFSIDE DR		LAND: 0 IMPR: 29,250 PROD: 0 ASE: 29,250	0036	29,250	0	84.16			TOTAL		84.16
000001224237	M/I TITLE LLC 3619 PAESANOS PKWY STE 104 FURN FIXT MACH EQUIP SUP	M/I HOMES LLC	3619 PAESANOS PKWY STE 202 SAN ANTONIO TX 78231-1255 3619 PAESANOS PKWY-104		LAND: 0 IMPR: 7,250 PROD: 0 ASE: 7,250	0036	7,250	0	20.86			TOTAL		20.86
000001224288	SOUTHWEST BUSINESS CORP 4500 LOCKHILL SELMA RD #100 FURN FIXT EQPT SUP	SOUTHWEST BUSINESS CORP	ATTN TAX DEPT 9311 SAN PEDRO AVE STE 600 SAN ANTONIO TX 78216-4459 4500 LOCKHILL SELMA RD		LAND: 0 IMPR: 651,960 PROD: 0 ASE: 651,960	0036	651,960	0	1,875.96			TOTAL		1,875.96

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000001224659	GLOBAL CAPACITY 100 SADDLETREE TELECOMM EQPT	GC PIVOTAL LLC	ATTN PROPERTY TAX DEPT 7900 TYSONS ONE PL STE 1450 MCLEAN VA 22102-5973 100 SADDLETREE RD			LAND: 0 IMPR: 3,730 PROD: 0 ASE: 3,730	0036	3,730	0	10.73		TOTAL		10.73
000001224757	CHICAGO TITLE OF TEXAS LLC 4114 POND HILL RD STE 200 FURN FIXT EQPT SUP	CHICAGO TITLE OF TEXAS LLC	ATTN: FNF TAX DEPARTMENT 601 RIVERSIDE AVE REAR JACKSONVILLE FL 32204-2946 4114 POND HILL RD-200			LAND: 0 IMPR: 4,110 PROD: 0 ASE: 4,110	0036	4,110	0	11.83		TOTAL		11.83
000001231659	DOCUMATION INC 4560 LOCKHILL SELMA RD STE 100 FURN FIXT EQPT SUP	DOCUMATION INC	ATTN JANE COELHO-CFO 4560 LOCKHILL SELMA RD STE 100 SAN ANTONIO TX 78249-2076 4560 LOCKHILL SELMA RD-			LAND: 0 IMPR: 1,145,060 PROD: 0 ASE: 1,145,060	0036	1,145,060	0	3,294.82		TOTAL		3,294.82
000001233078	BADER HOUSE OF SHAVANO PARK 3411 PAESANOS PKWY FURN FIXT EQUIP SUP INV	BADER HOUSE OF SHAVANO PARK I LTD	3210 MEREDITH ST AUSTIN TX 78703-2238 3411 PAESANOS PKWY			LAND: 0 IMPR: 171,540 PROD: 0 ASE: 171,540	0036	171,540	0	493.59		TOTAL		493.59
000001233098	BEXAR COUNTY MEDICAL SOCIETY 4334 N LOOP 1604 W FURN FIXT EQUIP SUP	BEXAR COUNTY MEDICAL SOCIETY	ATTN TAX DEPT 4334 N LOOP 1604 W STE 200 SAN ANTONIO TX 78249-3485 4334 N LOOP 1604 W EXXV			LAND: 0 IMPR: 17,840 PROD: 0 ASE: 17,840	0036	0	17,840	0.00		TOTAL		0.00
000001233101	THE HEIGHTS AT SHAVANO PARK 3220 N LOOP 1604 W FURN FIXT EQUIP SUP INV	MERIDIAN SHAVANO PARK AL/ALZRE LP	ATTN TAX DEPT 3811 TURTLE CREEK BLVD STE 1050 DALLAS TX 75219-4476 3220 N LOOP 1604 W			LAND: 0 IMPR: 703,490 PROD: 0 ASE: 703,490	0036	703,490	0	2,024.24		TOTAL		2,024.24
000001235793	DE LAGE LANDEN FINANCIAL SERVICES INC VARIOUS LOCATIONS EQPT	DE LAGE LANDEN FINANCIAL SERVICES IN	ATTN CORPORATE TAX DEPT 1111 OLD EAGLE SCHOOL RD STE 1 WAYNE PA 19087-1453 0 VARIOUS LOCATIONS			LAND: 0 IMPR: 36,138,740 PROD: 0 ASE: 36,138,740	0036	213,440	0	614.16		TOTAL		614.16
000001236418	ROSTOMIAN SUZANNE CPA 4085 DE ZAVALA RD STE 200 FURN FIXT EQPT SUP	ROSTOMIAN SUZANNE CPA	SUZANNE ROSTOMIAN-ONER 4085 DE ZAVALA RD STE 200 SHAVANO PARK TX 78249-2084 4085 DE ZAVALA RD-200			LAND: 0 IMPR: 34,030 PROD: 0 ASE: 34,030	0036	34,030	0	97.92		TOTAL		97.92
000001244726	SOUTH TEXAS SPINE & JOINT INSTITUTE 4095 DE ZAVALA RD FURN FIXT EQPT SUP	SOUTH TEXAS SPINE & JOINT INSTITUTE	4095 DE ZAVALA RD SHAVANO PARK TX 78249-2066 4095 DE ZAVALA RD			LAND: 0 IMPR: 49,740 PROD: 0 ASE: 49,740	0036	49,740	0	157.43		TOTAL		157.43

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000001244758	HALF PRICED REAL ESTATE 211 HUNTERS BRANCH ST FURN FIXT SUP	DAVID MARNE-OWNER	211 HUNTERS BRANCH ST S SHAVANO PARK TX 78231-1208 211 HUNTERS BRANCH ST HB3			LAND: 0 IMPR: 390 PROD: 0 ASE: 390	0036	0	390	0.00		TOTAL		0.00
000001245325	HARKINS & ASSOCIATES 4118 POND HILL RD STE 200 FF ME SUP	HARKINS & ASSOCIATES	4118 POND HILL RD STE 200 SAN ANTONIO TX 78231-1282 4118 POND HILL RD-200			LAND: 0 IMPR: 51,410 PROD: 0 ASE: 51,410	0036	51,410	0	162.72		TOTAL		162.72
000001245387	THURMAN & PHILLIPS PC 4093 DE ZAVALA RD FURN FIXT EQUIP SUP	THURMAN & PHILLIPS PC	4093 DE ZAVALA RD SHAVANO PARK TX 78249-2066 4093 DE ZAVALA RD			LAND: 0 IMPR: 15,050 PROD: 0 ASE: 15,050	0036	15,050	0	47.64		TOTAL		47.64
000001245493	ROSS MOLINA OLIVEROS PC 4118 POND HILL RD STE 100 FF ME SUP	ROSS MOLINA OLIVEROS PC	4118 POND HILL RD STE 100 SAN ANTONIO TX 78231-1282 4118 POND HILL RD-100			LAND: 0 IMPR: 63,150 PROD: 0 ASE: 63,150	0036	63,150	0	181.71		TOTAL		181.71
000001246181	CHRISTUS FAMILY MEDICINE SHAVANO PARK 4118 POND HILL RD STE 202 FF ME SUP	CHRISTUS SANTA ROSA HEALTH CARE	ATTN: PROPERTY TAX 919 HIDDEN RDG IRVING TX 75038-3813 4118 POND HILL RD-202 EXXV			LAND: 0 IMPR: 85,500 PROD: 0 ASE: 85,500	0036	0	85,500	0.00		TOTAL		0.00
000001246192	ALSTON COMPANIES 4118 POND HILL RD STE 201 FF ME SUP	ALSTON WILLIAM W III	ATTN WILLIAM ALSTON 17735 VIA DEL ORO SAN ANTONIO TX 78257-5008 4118 POND HILL RD-201			LAND: 0 IMPR: 6,190 PROD: 0 ASE: 6,190	0036	6,190	0	17.81		TOTAL		17.81
000001248421	STARBUCKS #20133 16852 NW MILITARY HWY INV FURN FIXT MACH EQP LI SU	CHH CAFE OF TEXAS LLC	ATTN TAX DEPT PO BOX 34442 MSC S-TAX3 SEATTLE WA 98124-1442 16852 NW MILITARY HWY			LAND: 0 IMPR: 134,950 PROD: 0 ASE: 134,950	0036	134,950	0	388.31		TOTAL		388.31
000001248923	PUTNAM LEASING CO I LLC REG BEXAR COUNTY VEH	PUTNAM LEASING CO I LLC	500 W PUTNAM AVE STE 4 GREENWICH CT 06830-6079 0 REG BEXAR COUNTY LV			LAND: 0 IMPR: 147,900 PROD: 0 ASE: 147,900	0036	0	147,900	0.00		TOTAL		0.00
000001249003	NESTLE PROFFESIONAL BEVERAGES VARIOUS LOCATIONS EQPT	VITALITY FOODSERVICE INC	11471 N US HIGHWAY 301 STE 101 THONOTOSASSA FL 33592-3532 0 VARIOUS LOCATIONS			LAND: 0 IMPR: 332,740 PROD: 0 ASE: 332,740	0036	1,524	0	4.39		TOTAL		4.39

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000001249180	TESLA LEASE TRUST REG BEXAR COUNTY VEH	TESLA LEASE TRUST	3500 DEER CREEK RD			LAND: 0	0036	0	310,530	0.00				
		3500 DEER CREEK RD	PALO ALTO CA 94304-1317			IMPR: 3,725,830								
		0 REG BEXAR				PROD: 0						TOTAL		0.00
		LV				ASE: 3,725,830								
000001250185	CIT BANK NA VARIOUS LOCATIONS EQPT	CIT BANK NA	10201 CENTURION PKWY N STE 100			LAND: 0	0036	312,190	0	898.30				
		10201 CENTURION PKWY N STE 100	JACKSONVILLE FL 32256-4114			IMPR: 7,643,270								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		898.30
						ASE: 7,643,270								
000001250197	DELL MARKETING LP (REMOTE EMPLOYEE) VARIOUS LOCATIONS MACH EQPT	DELL MARKETING LP REMOTE EMPLOYEE	1 DELL WAY RR I-35			LAND: 0	0036	0	80	0.00				
		1 DELL WAY RR I-35	ROUND ROCK TX 78682-0001			IMPR: 13,440								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		0.00
		HB3				ASE: 13,440								
000001250316	FAIRWAY INDEPENDENT MORTGAGE 3512 PAESANOS PKWY STE 303 FURN FIXT EQPT SUP	FAIRWAY INDEPENDENT MORTGAGE	ATTN TAX DEPT			LAND: 0	0036	11,070	0	31.85				
		ATTN TAX DEPT	4750 S BILTMORE LN			IMPR: 11,070								
		4750 S BILTMORE LN	MADISON WI 53718-2106			PROD: 0						TOTAL		31.85
		3512 PAESANOS PKWY-303				ASE: 11,070								
000001250477	DAVIS CUSTOM HOMES 115 PENNS WAY FF EQUIP	W STEVE DAVIS CUSTOM HOMES LTD	ATTN TAX DEPT			LAND: 0	0036	8,700	0	27.53				
		ATTN TAX DEPT	PO BOX 91066			IMPR: 8,700								
		PO BOX 91066	SAN ANTONIO TX 78209-9095			PROD: 0						TOTAL		27.53
		115 PENNS WAY				ASE: 8,700								
000001250479	PLATINUM TITLE PARTNERS 3512 PAESANOS PKWY #102 FURN FIXT MACH EQPT VEH	PLATINUM TITLE PARTNERS	ATTN: KATHLEEN MARTIN-VP			LAND: 0	0036	17,050	0	49.06				
		ATTN: KATHLEEN MARTIN-VP	5325 KATY FWY STE 2			IMPR: 17,050								
		5325 KATY FWY STE 2	HOUSTON TX 77007-2287			PROD: 0						TOTAL		49.06
		3512 PAESANOS PKWY-102				ASE: 17,050								
000001252689	NATIONAL NEUROMONITORING SERVICES 3502 PAESANOS PKWY STE 100 FF ME SU INV	NATIONAL NEUROMONITORING SERVICES LL	3502 PAESANOS PKWY			LAND: 0	0036	4,084,640	0	12,928.54				
		3502 PAESANOS PKWY	SAN ANTONIO TX 78231-1225			IMPR: 4,084,640								
		3502 PAESANOS PKWY-100				PROD: 0						TOTAL		12,928.54
						ASE: 4,084,640								
000001252694	CORNERSTONE HOME LENDING INC 4372 N LOOP 1604 W STE 300 FF ME SU	CORNERSTONE HOME LENDING INC	ATTN TAX DEPT			LAND: 0	0036	220,550	0	698.07				
		ATTN TAX DEPT	1177 WEST LOOP S STE 700			IMPR: 220,550								
		1177 WEST LOOP S STE 700	HOUSTON TX 77027-9083			PROD: 0						TOTAL		698.07
		4372 N LOOP 1604 W-300				ASE: 220,550								
000001252698	WELLAWARE HOLDINGS INC 3424 PAESANOS PKWY STE 200 FF ME SU	WELLAWARE HOLDINGS INC	3424 PAESANOS PKWY STE 200			LAND: 0	0036	424,520	0	1,221.52				
		3424 PAESANOS PKWY STE 200	SAN ANTONIO TX 78231-4413			IMPR: 424,520								
		3424 PAESANOS PKWY-200				PROD: 0						TOTAL		1,221.52
						ASE: 424,520								

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000001253588	K F W ENGINEERS 3421 PAESANOS PKWY FF ME SU LI	K F W ENGINEERS STEVE KRAUSKOPF-OWN 3421 PAESANOS PKWY SAN ANTONIO TX 78231-4405 3421 PAESANOS PKWY			LAND: 0 IMPR: 988,460 PROD: 0 ASE: 988,460	0036	988,460	0	2,844.21			TOTAL	2,844.21
000001253590	PROVIDENCE TITLE 3421 PAESANOS PKWY STE 103 FF ME SU	PROVIDENCE TITLE ATTN TAX DEPT 5001 HIGHWAY 287 STE 105 ARLINGTON TX 76017-2819 3421 PAESANOS PKWY-103			LAND: 0 IMPR: 21,090 PROD: 0 ASE: 21,090	0036	21,090	0	60.68			TOTAL	60.68
000001254149	FAVORITE HEALTHCARE STAFFING INC 4334 N LOOP 1604 W STE 104 FURN FIXT EQUIP SUP	FAVORITE HEALTHCARE STAFFING INC GERHARD J KUTI-PRES 7255 W 98TH TER STE 150 OVERLAND PARK KS 66212-2215 4334 N LOOP 1604 W			LAND: 0 IMPR: 8,760 PROD: 0 ASE: 8,760	0036	8,760	0	25.21			TOTAL	25.21
000001254873	COMBINED RESOURCES 4416 LOCKHILL SELMA RD FURN FIXT EQPT SUP	COMBINED RESOURCES 4416 LOCKHILL SELMA RD SHAVANO PARK TX 78249-2078 4416 LOCKHILL SELMA RD			LAND: 0 IMPR: 38,450 PROD: 0 ASE: 38,450	0036	38,450	0	110.64			TOTAL	110.64
000001255974	NUTT TERRI J DR 4432 LOCKHILL SELMA RD FURN FIXT MACH EQPT SUP	NUTT TERRI J DR 4432 LOCKHILL SELMA RD SAN ANTONIO TX 78249-2078 4432 LOCKHILL SELMA RD			LAND: 0 IMPR: 44,840 PROD: 0 ASE: 44,840	0036	44,840	0	129.02			TOTAL	129.02
000001257295	JONES & CARTER INC 4350 LOCKHILL SELMA RD STE 100 FURN FIXT EQPT SUP	JONES & CARTER INC ATTN: TAX DEPT 6330 WEST LOOP S STE 150 BELLAIRE TX 77401-2920 4350 LOCKHILL SELMA RD-			LAND: 0 IMPR: 243,550 PROD: 0 ASE: 243,550	0036	243,550	0	770.88			TOTAL	770.88
000001257713	TEXAS MEDICAL AND SLEEP SPECIALISTS PLLC 4114 POND HILL RD STE 101 FURN FIXT MACH EQPT SUP	TEXAS MEDICAL AND SLEEP SPECIALISTS 4114 POND HILL RD STE 101 SAN ANTONIO TX 78231-1273 4114 POND HILL RD-101			LAND: 0 IMPR: 17,460 PROD: 0 ASE: 17,460	0036	17,460	0	50.24			TOTAL	50.24
000001258247	B C M S SERVICE BUREAU 4334 N LOOP 1604 W FURN FIXT MACH EQPT SUP	B C M S SERVICE BUREAU PO BOX 781145 SAN ANTONIO TX 78278-1145 4334 N LOOP 1604 W			LAND: 0 IMPR: 8,610 PROD: 0 ASE: 8,610	0036	8,610	0	24.77			TOTAL	24.77
000001258251	BEXAR CREDENTIALS VERIFICATION 4334 N LOOP 1640 W FURN FIXT MACH EQPT SUP	BEXAR CREDENTIALS VERIFICATION ATTN TAX DEPT 4334 N LOOP 1604 W SHAVANO PARK TX 78249-3484 4334 N LOOP 1604 W			LAND: 0 IMPR: 11,410 PROD: 0 ASE: 11,410	0036	11,410	0	32.83			TOTAL	32.83

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000001259425	CHAMPION GROUP THE 4416 LOCKHILL SELMA DR FURN FIXT EQPT SUP	CHAMPION GROUP THE	4416 LOCKHILL SELMA RD			LAND: 0 IMPR: 6,560 PROD: 0 ASE: 6,560	0036	6,560	0	20.77		TOTAL		20.77
000001261499	PRIORITY GROUP INC THE 3424 PAESANOS PKWY STE 114 FF ME SU	PRIORITY GROUP INC THE	ATTN CECILIA GARCIA PO BOX 120277 SAN ANTONIO TX 78212-9477 3424 PAESANOS PKWY-114			LAND: 0 IMPR: 4,530 PROD: 0 ASE: 4,530	0036	4,530	0	14.33		TOTAL		14.33
000001261502	LONE STAR NATIONAL BANK 3424 PAESANOS PKWY STE 102 FF ME SU LI	LONE STAR NATIONAL BANK	3424 PAESANOS PKWY STE 102 SAN ANTONIO TX 78231-4411 3424 PAESANOS PKWY-102			LAND: 0 IMPR: 149,610 PROD: 0 ASE: 149,610	0036	149,610	0	430.49		TOTAL		430.49
000001261516	KEATON CONSTRUCTION MANAGEMENT 3424 PAESANOS PKWY STE 114 FF ME SU	KEATON CONSTRUCTION MANAGEMENT LLC	ATTN HELEN KEATON - PRINCIPAL 2122 PIPESTONE DR SAN ANTONIO TX 78232-2404 3424 PAESANOS PKWY-114			LAND: 0 IMPR: 2,470 PROD: 0 ASE: 2,470	0036	2,470	0	7.11		TOTAL		7.11
000001261803	DIABETES & METABOLISM SPECIALISTS 4118 POND HILL DR STE 300 FURN FIXT EQPT SUP	DIABETES & METABOLISM SPECIALISTS	4118 POND HILL RD STE 300 SAN ANTONIO TX 78231-1282 4118 POND HILL RD-300			LAND: 0 IMPR: 217,850 PROD: 0 ASE: 217,850	0036	217,850	0	626.85		TOTAL		626.85
000001262335	BRIOVA 4590 LOCKHILL SELMA RD INV FURN FIXT EQPT SUP	BRIOVA RX OF TEXAS INC	PO BOX 59365 SCHAUMBURG IL 60159-0365 4590 LOCKHILL SELMA RD			LAND: 0 IMPR: 903,580 PROD: 0 ASE: 903,580	0036	903,580	0	2,599.98		TOTAL		2,599.98
000001263207	CADENCE MCSHANE CONSTRUCTION COMPANY LLC 3512 PAESANOS PKWY STE 300 FURN FIXT EQPT SUP	CADENCE MCSHANE CONSTRUCTION COMPANY	3512 PAESANOS PKWY STE 300 SAN ANTONIO TX 78231-1249 3512 PAESANOS PKWY-300			LAND: 0 IMPR: 75,250 PROD: 0 ASE: 75,250	0036	75,250	0	216.53		TOTAL		216.53
000001263210	NFLO LLC 3522 PAESANOS PKWY STE 302 FURN FIXT EQPT SUP	NFLO LLC	ATTN TAX DEPT 10632 FOXEN WAY HELOTES TX 78023-4697 3522 PAESANOS PKWY-302			LAND: 0 IMPR: 36,140 PROD: 0 ASE: 36,140	0036	36,140	0	114.39		TOTAL		114.39
000001263629	BRIGHTWAY INSURANCE 4081 DE ZAVALA RD STE 2 FURN FIXT SUP	J S MYERS INSURANCE AGENCY INC	BRIGHTWAY INSURANCE 4081 DE ZAVALA RD STE 2 SHAVANO PARK TX 78249-2082 4081 DE ZAVALA RD-2			LAND: 0 IMPR: 1,740 PROD: 0 ASE: 1,740	0036	1,740	0	5.01		TOTAL		5.01

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000001269587	EXMET PARTNERS LLC 4079 DE ZAVALA RD FURN FIXT ME SUP OT	EXMET PARTNERS LLC	4079 DE ZAVALA RD			LAND: 0 IMPR: 16,000 PROD: 0 ASE: 16,000	0036	16,000	0	46.04				
			SHAVANO PARK TX 78249-2066									TOTAL		46.04
000001270132	LOCAL COFFEE SHAVANO PARK 4115 POND HILL RD STE 101 FF ME SU INV LI	LOCAL COFFEE ENTERPRISES LLC	ATTN TAX DEPT 70 NE LOOP 410 STE 250 SAN ANTONIO TX 78216-8415 4115 POND HILL RD-101			LAND: 0 IMPR: 80,280 PROD: 0 ASE: 80,280	0036	80,280	0	231.00				
												TOTAL		231.00
000001271236	EDWARD JONES/ANDERSON RON 4114 POND HILL STE 304 FURN FIXT EQPT SUP	EDWARD JONES & CO	ATTN TAX REPORTING #6859 12555 MANCHESTER RD SAINT LOUIS MO 63131-3710 4114 POND HILL RD-304			LAND: 0 IMPR: 5,400 PROD: 0 ASE: 5,400	0036	5,400	0	15.54				
												TOTAL		15.54
000001272895	SCUBA SMILES FOR KIDS 3829 LOCKHILL SELMA STE 105 RD FURN FIXT EQPT SU	SCUBA SMILES FOR KIDS	3829 LOCKHILL SELMA RD STE 105 SAN ANTONIO TX 78230-1762 3829 LOCKHILL SELMA RD-			LAND: 0 IMPR: 342,890 PROD: 0 ASE: 342,890	0036	342,890	0	986.64				
												TOTAL		986.64
000001272910	KALYPSO WELLNESS CENTERS 4600 LOCKHILL SELMA RD STE 108 INV FURN FIXT EQPT SUP LI	KALYPSO WELLNESS CENTERS	4600 LOCKHILL SELMA RD STE 108 SAN ANTONIO TX 78249-2186 4600 LOCKHILL SELMA RD-			LAND: 0 IMPR: 37,940 PROD: 0 ASE: 37,940	0036	37,940	0	109.17				
												TOTAL		109.17
000001274350	WESTAR ALAMO LANDSURVEYORS 4374 LOCKHILL SELMA RD STE 110 FF ME SU	WESTAR ALAMO LANDSURVEYORS	DAVID BREAUX-PRES PO BOX 1645 BOERNE TX 78006-6645 4374 LOCKHILL SELMA RD-			LAND: 0 IMPR: 85,480 PROD: 0 ASE: 85,480	0036	85,480	0	245.96				
												TOTAL		245.96
000001277121	WEEKLEY HOMES LLC 3424 PAESANOS PKWY STE 202 FF ME SU	WEEKLEY HOMES LLC	ATTN TAX DEPT 1111 N POST OAK RD HOUSTON TX 77055-7310 3424 PAESANOS PKWY-202			LAND: 0 IMPR: 6,630 PROD: 0 ASE: 6,630	0036	6,630	0	19.08				
												TOTAL		19.08
000001277125	PARK HILL DENTAL 4115 POND HILL RD STE 102 FF ME SU LI	PARK HILL DENTAL	4115 POND HILL RD STE 102 SAN ANTONIO TX 78231-1285 4115 POND HILL RD-102			LAND: 0 IMPR: 157,800 PROD: 0 ASE: 157,800	0036	157,800	0	454.06				
												TOTAL		454.06
000001277186	HOLLOWAY INTERIORS 4372 N LOOP 1604 W STE 100 FF ME SU	HOLLOWAY ENT INC	MICHAEL R HOLLOWAY-PRES 1315 TWILIGHT RDG SAN ANTONIO TX 78258-3630 4372 N LOOP 1604 W-100			LAND: 0 IMPR: 44,840 PROD: 0 ASE: 44,840	0036	44,840	0	141.92				
												TOTAL		141.92

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000001277696	MERCURY INSURANCE 4500 LOCKHILL SELMA RD STE 250 FURN FIXT EQUIP SUP	MERCURY INSURANCE ATTN: TAX DEPT 4484 WILSHIRE BLVD LOS ANGELES CA 90010-3700 4500 LOCKHILL SELMA RD-				LAND: 0 IMPR: 564,130 PROD: 0 ASE: 564,130	0036	564,130	0	1,623.24		TOTAL		1,623.24
000001279350	BROWNING PHYLLIS CO REAL EST 4372 N LOOP 1604 W STE 102 FF ME SU	BROWNING PHYLLIS CO REAL EST PHILLIS BROWNING-PRES 4372 N LOOP 1604 W STE 102 SAN ANTONIO TX 78249-1200 4372 N LOOP 1604 W-102				LAND: 0 IMPR: 13,320 PROD: 0 ASE: 13,320	0036	13,320	0	38.33		TOTAL		38.33
000001280728	JONES EDWARD D & CO 3602 PAESANOS PKWY STE 110 FURN FIXT EQPT SUP	JONES EDWARD D & CO ATTN BRANCH TAX PO BOX 66528 SAINT LOUIS MO 63166-6528 3602 PAESANOS PKWY-110				LAND: 0 IMPR: 5,710 PROD: 0 ASE: 5,710	0036	5,710	0	16.43		TOTAL		16.43
000001280858	GM FINANCIAL REG BEXAR COUNTY VEHS	GM FINANCIAL PO BOX 100 WILLIAMSVILLE NY 14231-0100 0 REG BEXAR COUNTY				LAND: 0 IMPR: 3,295,770 PROD: 0 ASE: 3,295,770	0036	69,970	0	201.33		TOTAL		201.33
000001280868	ELEMENT FLEET CORPORATION REG BEXAR COUNTY VEHS	ELEMENT FLEET CORPORATION PROPERTY TAX DEPT PO BOX 13085 BALTIMORE MD 21203-3085 0 REG BEXAR COUNTY				LAND: 0 IMPR: 7,442,320 PROD: 0 ASE: 7,442,320	0036	43,422	0	124.94		TOTAL		124.94
000001281732	UNION HOME MORTGAGE CORP 4372 N LOOP 1604 W STE 208 ME	UNION HOME MORTGAGE CORP ATTN C W COSGROVE JR 8241 DOW CIR STRONGSVILLE OH 44136-1761 4372 N LOOP 1604 W-208				LAND: 0 IMPR: 10,940 PROD: 0 ASE: 10,940	0036	10,940	0	31.48		TOTAL		31.48
000001281756	WATERLOGIC AMERICAS LLC VARIOUS LOCATIONS EQPT	WATERLOGIC AMERICAS LLC 100 BIDDLE AVE STE 203 NEWARK DE 19702- 0 VARIOUS LOCATIONS HB3				LAND: 0 IMPR: 226,950 PROD: 0 ASE: 226,950	0036	907	0	2.61		TOTAL		2.61
000001282207	GATEWAY MORTGAGE GROUP 3602 PAESANOS PKWY STE 106 FURN FIXT EQPT SUP	GATEWAY MORTGAGE GROUP ATTN : CORP ACCTG 244 S GATEWAY PL JENKS OK 74037-3460 3602 PAESANOS PKWY-106				LAND: 0 IMPR: 8,910 PROD: 0 ASE: 8,910	0036	8,910	0	25.64		TOTAL		25.64
000001282476	RIGHT MANAGEMENT INC 3512 PAESANOS PKWY STE 204 FURN FIXT EQPT SUP	RIGHT MANAGEMENT INC C/O RYAN TAX COMPLIANCE SVCS LLC PO BOX 4900 DEPT 505 SCOTTSDALE AZ 85261-4900 3512 PAESANOS PKWY-204				LAND: 0 IMPR: 32,970 PROD: 0 ASE: 32,970	0036	32,970	0	94.87		TOTAL		94.87

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000001282563	M/I FINANCIAL LLC 3619 PAESANOS PKWY STE 208 FURN FIXT EQPT SUP	M/I FINANCIAL LLC	ATTN TAX DEPT 3 EASTON OVAL STE 420 COLUMBUS OH 43219-6011 3619 PAESANOS PKWY-208			LAND: 0 IMPR: 2,350 PROD: 0 ASE: 2,350	0036	2,350	0	6.76		TOTAL		6.76
000001282783	LOGIX COMMUNICATIONS LP VARIOUS LOCATIONS EQPT	LOGIX COMMUNICATIONS LP	FKA ALPHEUS COMMUNICATIONS LP 2950 NORTH LOOP W FL 8 HOUSTON TX 77092-8846 0 VARIOUS LOCATIONS			LAND: 0 IMPR: 3,316,020 PROD: 0 ASE: 3,316,020	0036	17,137	0	49.31		TOTAL		49.31
000001287194	COCA COLA SOUTHWEST BEVERAGES VARIOUS LOCATIONS MACH EQPT	COCA COLA SOUTHWEST BEVERAGE	ATTN TAX DEPT 14185 DALLAS PKWY STE 1300 DALLAS TX 75254-1341 0 VARIOUS LOCATIONS			LAND: 0 IMPR: 14,514,500 PROD: 0 ASE: 14,514,500	0036	4,472	0	12.87		TOTAL		12.87
000001287355	AMERIPRISE FINANCIAL-MULDOWNEY JEROME 3522 PAESANOS PKWY STE 303 FURN FIXT EQPT SUP	AMERIPRISE FINANCIAL-MULDOWNEY JEROME	3522 PAESANOS PKWY STE 303 SHAVANO PARK TX 78231-1231 3522 PAESANOS PKWY-303			LAND: 0 IMPR: 11,000 PROD: 0 ASE: 11,000	0036	11,000	0	31.65		TOTAL		31.65
000001287398	TRINITY OAKS 4372 N LOOP 1604 W STE 206 FURN FIXT SUP	TRINITY OAKS	4372 N LOOP 1604 W STE 206 SAN ANTONIO TX 78249-1201 4372 N LOOP 1604 W-206			LAND: 0 IMPR: 19,340 PROD: 0 ASE: 19,340	0036	19,340	0	61.22		TOTAL		61.22
000001287418	DEERWOOD FAMILY PRACTICE PLLC 4358 LOCKHILL SELMA RD STE 110 INV FURN FIXT EQPT SUP	DEERWOOD FAMILY PRACTICE PLLC	SHAWN MOLLIKA-MEMBER 4358 LOCKHILL SELMA RD STE 110 SHAVANO PARK TX 78249-4167 4358 LOCKHILL SELMA RD-			LAND: 0 IMPR: 13,030 PROD: 0 ASE: 13,030	0036	13,030	0	37.49		TOTAL		37.49
000001288074	ALPHA SENIOR CARE HOME 96 WINDMILL RD FF ME SU	ALPHA SENIOR CARE HOME LLC	ATTN GREG BILA PRESIDENT 96 WINDMILL RD SHAVANO PARK TX 78231-1545 96 WINDMILL RD			LAND: 0 IMPR: 15,820 PROD: 0 ASE: 15,820	0036	15,820	0	45.52		TOTAL		45.52
000001288403	FIRSTSERVICE RESIDENTIAL SAN ANTONIO LLC 3424 PAESANOS PKWY STE 100 FURN FIXT EQPT INV SU	FIRSTSERVICE RESIDENTIAL SAN ANTONIO	ATTN TAX DEPT 3102 OAK LAWN AVE STE 202 DALLAS TX 75219-6400 3424 PAESANOS PKWY-100			LAND: 0 IMPR: 90,400 PROD: 0 ASE: 90,400	0036	90,400	0	286.13		TOTAL		286.13
000001289393	FRONTIER TITLE 4372 N LOOP 1604 W STE 206 FURN FIXT SU	FRONTIER TITLE	4372 N LOOP 1604 W SAN ANTONIO TX 78249-3486 4372 N LOOP 1604 W-216			LAND: 0 IMPR: 16,790 PROD: 0 ASE: 16,790	0036	16,790	0	53.14		TOTAL		53.14

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000001290051	INGENUITY FINANCIAL SVCS	INGENUITY FINANCIAL SVCS	4374 LOCKHILL SELMA RD STE 101		LAND:	0	0036	18,210	0	52.40				
	INGENUITY FINANCIAL SVCS 4374 LOCKHILL		4374 LOCKHILL SELMA RD STE 101		IMPR:	18,210								
	SELMA RD STE 101 FURN FIXT MACH EQPT		SAN ANTONIO TX 78249-3539		PROD:	0						TOTAL		52.40
	SU		4374 LOCKHILL SELMA RD-		ASE:	18,210								
000001290397	PAYMENT DATA SYSTEMS INC	PAYMENT DATA SYSTEMS INC	3611 PAESANOS PKWY STE 300		LAND:	0	0036	296,140	0	852.12				
	PAYMENT DATA SYSTEMS INC 3611		3611 PAESANOS PKWY STE 300		IMPR:	296,140								
	PAESANOS		SAN ANTONIO TX 78231-1258		PROD:	0						TOTAL		852.12
	PKWY STE 300 FURN FIXT EQPT SUP		3611 PAESANOS PKWY-300		ASE:	296,140								
000001290418	CONSULTANTS IN PAIN MEDICINE PA	CONSULTANTS IN PAIN MEDICINE PA	ATTN: ACCOUNTING DEPT		LAND:	0	0036	39,770	0	114.43				
	CONSULTANTS IN PAIN MEDICINE PA 4680		45 NE LOOP 410 STE 850		IMPR:	39,770								
	LOCKHILL SELMA RD STE 200 FUR FIX SUP		SAN ANTONIO TX 78216-5824		PROD:	0						TOTAL		114.43
			4680 LOCKHILL SELMA RD-		ASE:	39,770								
000001290428	CENTURY COMMUNITIES	CENTURY COMMUNITIES	3619 PAESANOS PKWY STE 304		LAND:	0	0036	14,800	0	46.85				
	CENTURY COMMUNITIES 3619 PAESANOS		3619 PAESANOS PKWY STE 304		IMPR:	14,800								
	PKWY		SAN ANTONIO TX 78231-1259		PROD:	0						TOTAL		46.85
	STE 304 FURN FIXT EQPT SUP		3619 PAESANOS PKWY-304		ASE:	14,800								
000001291704	PIZARRO ALLEN PC	PIZARRO ALLEN PC	3619 PAESANOS PKWY STE 300		LAND:	0	0036	17,000	0	48.92				
	PIZARRO ALLEN PC 3619 PAESANOS PKWY		3619 PAESANOS PKWY STE 300		IMPR:	17,000								
	STE		SAN ANTONIO TX 78231-1263		PROD:	0						TOTAL		48.92
	300 FURN FIXT EQPT SUP VEH		3619 PAESANOS PKWY-300		ASE:	17,000								
000001291705	PEARSON VUE/NCS PEARSON INC	PEARSON VUE/NCS PEARSON INC	ATTN TAX DEPT		LAND:	0	0036	118,160	0	340.00				
	PEARSON PROFESSIONAL CENTER 3619		5601 GREEN VALLEY DR STE 220		IMPR:	118,160								
	PAESANOS PKWY STE 301 FURN FIXT EQPT		BLOOMINGTON MN 55437-1186		PROD:	0						TOTAL		340.00
	SUP		3619 PAESANOS PKWY-301		ASE:	118,160								
000001291707	INSPIRE HOME LOANS INC	INSPIRE HOME LOANS INC	3619 PAESANOS PKWY STE 306		LAND:	0	0036	21,410	0	67.77				
	INSPIRE HOME LOANS INC 3619 PAESANOS		3619 PAESANOS PKWY STE 306		IMPR:	21,410								
	PKWY STE 306 FURN FIXT EQPT SUP		SAN ANTONIO TX 78231-1259		PROD:	0						TOTAL		67.77
			3619 PAESANOS PKWY-306		ASE:	21,410								
000001296488	EMPOWER WEALTH ADVISORS 4358	DAWSON & POWERS LLC	EMPOWER WEALTH ADVISORS		LAND:	0	0036	9,310	0	29.47				
	LOCKHILL		4358 LOCKHILL SELMA RD STE 102		IMPR:	9,310								
	SELMA RD STE 102 FURN FIXT EQPT SUP		SHAVANO PARK TX 78249-4167		PROD:	0						TOTAL		29.47
			4358 LOCKHILL SELMA RD		ASE:	9,310								
000001296493	RESTORE COMPLETE DENTAL 4334 N LOOP	BRYAN STEWART DDS PLLC	RESTORE COMPLETE DENTAL		LAND:	0	0036	103,800	0	328.55				
	1604 W STE 101A FURN FIXT EQPT SUP		4334 N LOOP 1604 W STE 101A		IMPR:	103,800								
			SHAVANO PARK TX 78249-3485		PROD:	0						TOTAL		328.55
			4334 N LOOP 1604-101A		ASE:	103,800								

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000001296546	PHYZDATA 3602 PAESANOS PKWY STE 300 FURN FIXT EQPT SUP	UNLIMITED HOME HEALTH CENTER INC BROCK RUSH-PRES 3602 PAESANOS PKWY STE 300 SAN ANTONIO TX 78231-1283 3602 PAESANOS PKWY-300				LAND: 0 IMPR: 299,900 PROD: 0 ASE: 299,900	0036	299,900	0	949.23		TOTAL		949.23
000001296547	BROOKHOLLOW MORTGAGE SERVICES 4372 W LOOP 1604 N STE 203 FURN FIXT MACH EQPT SUP	BROOKHOLLOW MORTGAGE SERVICES LTD ATTN: JUDITH A BELANGER 1177 WEST LOOP S STE 200 HOUSTON TX 77027-9083 4372 N LOOP 1604 W-203				LAND: 0 IMPR: 11,100 PROD: 0 ASE: 11,100	0036	11,100	0	35.13		TOTAL		35.13
000001296548	MATLOCK HOMES LLC 4372 N LOOP 1604 W STE 208 FURN FIXT MACH EQPT SUP	MATLOCK HOMES LLC DAVID L MATLOCK - PRES 4372 N LOOP 1604 W STE 208 SAN ANTONIO TX 78249-1599 4372 N LOOP 1604 W-208				LAND: 0 IMPR: 15,140 PROD: 0 ASE: 15,140	0036	15,140	0	47.92		TOTAL		47.92
000001296549	VELOCIO MORTGAGE LLC 4372 N LOOP 1604 W STE 206 FURN FIXT MACH EQPT SUP	VELOCIO MORTGAGE LLC ATTN: JUDITH A BELANGER 1177 WEST LOOP S STE 200 HOUSTON TX 77027-9083 4372 N LOOP 1604 W-206				LAND: 0 IMPR: 23,340 PROD: 0 ASE: 23,340	0036	23,340	0	73.88		TOTAL		73.88
000001296624	LOCKWOOD REALTY GROUP LLC 3522 PAESANOS PKWY STE 102 FURN FIXT MACH EQPT SUP	LOCKWOOD REALTY GROUP LLC CODY J LOCKWOOD-PRES 3522 PAESANOS PKWY STE 102 SAN ANTONIO TX 78231-1231 3522 PAESANOS PKWY-102				LAND: 0 IMPR: 15,350 PROD: 0 ASE: 15,350	0036	15,350	0	48.59		TOTAL		48.59
000001296628	LEADMAN TRADE INC 3519 PAESANOS PKWY STE 100 FURN FIXT MACH EQPT SUP	LEADMAN TRADE INC RAFAEL A OLVERA SILVA-MANAGER 3519 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-1265 3519 PAESANOS PKWY-100				LAND: 0 IMPR: 45,730 PROD: 0 ASE: 45,730	0036	45,730	0	144.74		TOTAL		144.74
000001296702	TEXAS SPECIALITY UNDERWRITERS INC 4077 DE ZAVALA RD STE 1 FURN FIXT LI MACH EQPT SUP	TEXAS SPECIALITY UNDERWRITERS INC 510 TURTLE COVE BLVD STE 200 ROCKWALL TX 75087-5374 4077 DE ZAVALA RD-1				LAND: 0 IMPR: 14,270 PROD: 0 ASE: 14,270	0036	14,270	0	41.06		TOTAL		41.06
000001296993	NORTH SAN ANTONIO FAMILY MEDICINE 4334 N LOOP 1604 W STE 102 FURN FIX SUP	NORTH SAN ANTONIO FAMILY MEDICINE PATRICIA A MACKIN MD 4334 N LOOP 1604 W STE 102 SAN ANTONIO TX 78249-3485 4334 N LOOP 1604 W-102				LAND: 0 IMPR: 22,210 PROD: 0 ASE: 22,210	0036	22,210	0	70.30		TOTAL		70.30
000001297012	POLISHED NAIL SALON 4115 POND HILL RD STE 104 INV FURN FIX MACH EQPT LI	POLISHED NAIL SALON 4115 POND HILL RD STE 104 SAN ANTONIO TX 78231-1285 4115 POND HILL RD-104				LAND: 0 IMPR: 12,940 PROD: 0 ASE: 12,940	0036	12,940	0	40.95		TOTAL		40.95

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000001297014	CRESTMARK MORTGAGE 4372 N LOOP 1604 W STE 202 FURN FIX SUP	CRESTMARK MORTGAGE	4372 N LOOP 1604 W STE 202			LAND: 0 IMPR: 18,850 PROD: 0 ASE: 18,850	0036	18,850	0	59.66			TOTAL	59.66
000001297032	ROAD RUNNER RESEARCH 4374 LOCKHILL SELMA RD STE 107 FURN FIXT MACH EQPT	ROAD RUNNER RESEARCH	4374 LOCKHILL SELMA RD STE 107			LAND: 0 IMPR: 53,730 PROD: 0 ASE: 53,730	0036	53,730	0	170.06			TOTAL	170.06
000001297162	SOUL FITNESS 4115 POND HILL RD STE 103 FURN FIXT EQPT SUP LI	SOUL FITNESS SAN ANTONIO	4115 POND HILL RD STE 103			LAND: 0 IMPR: 42,240 PROD: 0 ASE: 42,240	0036	42,240	0	133.69			TOTAL	133.69
000001297176	SAN ANTONIO MATCHMAKERS LLC 4114 POND HILL RD BLDG 3 FURN FIXT MACH EQPT SUP	SAN ANTONIO MATCHMAKERS LLC	4114 POND HILL RD-3			LAND: 0 IMPR: 5,780 PROD: 0 ASE: 5,780	0036	5,780	0	18.29			TOTAL	18.29
000001297217	BAUMHOLTZ PLASTIC SURGERY 4083 DE ZAVALA RD INV FURN FIXT EQPT SUP	BAUMHOLTZ PLASTIC SURGERY	4083 DE ZAVALA RD			LAND: 0 IMPR: 119,320 PROD: 0 ASE: 119,320	0036	119,320	0	343.33			TOTAL	343.33
000001297532	DIGETT 4358 LOCKHILL SELMA RD STE 108 FURN FIXT EQPT SUP	DIGETT	4358 LOCKHILL SELMA RD-			LAND: 0 IMPR: 8,850 PROD: 0 ASE: 8,850	0036	8,850	0	25.47			TOTAL	25.47
000001297642	TEXAS SPINE CARE 3619 PAESANOS PKWY STE 302 FURN FIXT MACH EQPT SUP	TEXAS SPINE CARE	3619 PAESANOS PKWY-302			LAND: 0 IMPR: 0 PROD: 0 ASE: 0	0036	0	0	0.00			TOTAL	0.00
000001297759	DUNLAP JUDY D 4372 N LOOP 1604 W STE 102 FF ME SU	JUDY D DUNLAP	4372 N LOOP 1604 W-102			LAND: 0 IMPR: 350 PROD: 0 ASE: 350	0036	0	350	0.00			TOTAL	0.00
000001297824	HARWELL WAYNE PROPERTIES 3602 PAESANOS PKWY STE 112 FURN FIXT EQPT SUP	HARWELL WAYNE PROPERTIES	3602 PAESANOS PKWY-112			LAND: 0 IMPR: 530 PROD: 0 ASE: 530	0036	530	0	1.53			TOTAL	1.53

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000001297916	OLD REPUBLIC TITLE	OLD REPUBLIC TITLE	3522 PAESANOS PKWY STE 200			LAND: 0	0036	112,570	0	323.91				
000001297916	OLD REPUBLIC TITLE 3522 PAESANOS PKWY	3522 PAESANOS PKWY STE 200				IMPR: 112,570								
000001297916	200 FURN FIXT EQPT SUP	SAN ANTONIO TX 78231-1260				PROD: 0						TOTAL		323.91
		3522 PAESANOS PKWY-200				ASE: 112,570								
000001298059	TIAA COMMERCIAL FINANCE INC EQPT @	TIAA COMMERCIAL FINANCE INC	10 WATERVIEW BLVD STE 200			LAND: 0	0036	109,120	0	313.98				
000001298059	VARIOUS LOCATIONS	PARSIPPANY NJ 07054-7607				IMPR: 16,506,040								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		313.98
						ASE: 16,506,040								
000001298361	BRAMETELECOM INC 115 WARBLER WAY	BRAMETELECOM INC	ATT JEAN MICHAEL BRAVO			LAND: 0	0036	7,290	0	23.08				
000001298361	FURN	115 WARBLER WAY				IMPR: 7,290								
000001298361	FIXT EQPT SUP	SHAVANO PARK TX 78231-1453				PROD: 0						TOTAL		23.08
		115 WARBLER WAY				ASE: 7,290								
000001299023	JOHNSON CONTROLS SECURITY SOLUTIONS	JOHNSON CONTROLS SECURITY SOLUTIONS	PO BOX 5006			LAND: 0	0036	2,500	0	7.19				
000001299023	VARIOUS LOCATIONS EQPT	BOCA RATON FL 33431-0806				IMPR: 313,150								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		7.19
		HB3				ASE: 313,150								
000001299027	TEXAS MEDICAL & SLEEP SPECIALISTS PL	TEXAS MEDICAL & SLEEP SPECIALISTS PL	ATTN TAX DEPT			LAND: 0	0036	56,800	0	163.44				
000001299027	4374 LOCKHILL SELMA RD STE 107 FURN	4114 POND HILL RD STE 101				IMPR: 56,800								
000001299027	FIXT MACH EQPT	SAN ANTONIO TX 78231-1273				PROD: 0						TOTAL		163.44
		4374 LOCKHILL SELMA RD-				ASE: 56,800								
000001299101	CG COMMERCIAL GROUP 3512 PAESANOS	CONSULTANTS GROUP COMMERCIAL FUNDING	CG COMMERCIAL GROUP			LAND: 0	0036	8,880	0	25.55				
000001299101	PKWY	625 1ST ST SE				IMPR: 8,880								
000001299101	FURN FIX SUP	CEDAR RAPIDS IA 52401-2030				PROD: 0						TOTAL		25.55
		3512 PAESANOS PKWY				ASE: 8,880								
000001299932	ALAMO LEASING CORP 002010 00 MILITARY	ALAMO LEASING CORP	EVERETT CAUGHEY-PRES			LAND: 0	0036	21,950	0	63.16				
000001299932	HY NW FURN FIXT EQPT SUP	4350 LOCKHILL SELMA RD STE 210				IMPR: 21,950								
		SAN ANTONIO TX 78249-2166				PROD: 0						TOTAL		63.16
		4350 LOCKHILL SELMA RD-				ASE: 21,950								
047710000014	CB 4771 P-1 ABS 201 (2.507) CB 4782	ROGERS SHAVANO RANCH LTD	4040 BROADWAY ST STE 605			LAND: 7,810	0036	7,810	0	22.47				
047710000014	P-18 ABS 482 (2.375)	SAN ANTONIO TX 78209-6353				IMPR: 0								
		9 DE ZAVALA RD				PROD: 0						TOTAL		22.47
						ASE: 7,810								
047710000015	CB 4774 P-1B (.6287) ABS 201 CB 4782	DAWSON LORI A	12 DE ZAVALA PL			LAND: 189,310	0036	1,020,150	0	2,935.40				
047710000015	P-56A (.0343) ABS 482 CB 5938 BLK LOT	SHAVANO PARK TX 78231-1446				IMPR: 830,840								
047710000015	1383 (2.159)	12 DE ZAVALA PL				PROD: 0						TOTAL		2,935.40
						ASE: 1,020,150								

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047730000020	CB 4773 P-2 (DRAINAGE R.O.W.) SHAVANO PARK UNIT-15A	CITY OF SHAVANO PARK	900 SADDLETREE CT			LAND: 331,790 IMPR: 0 PROD: 0 ASE: 331,790	0036	0	331,790	0.00		TOTAL		0.00
047730000063	CB 4773 P-6 ABS 202 4.958 CB 4782 P-49 ABS 482 2.027 (OLMOS CREEK DRAINAGE ESMT)	SHAVANO CREEK UNIT 16D LTD	C/O THE POWELL COMPANIES			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047730000064	CB 4773 P-6A & P-8 ABS 202 (4.32) & CB 4782 P-51 ABS 482 (1.385) /DRAIN ESMT/	SHAVANO UNIT 16 PROPERTY	HOLDING PARTNERSHIP LTD			LAND: 2,100 IMPR: 0 PROD: 0 ASE: 2,100	0036	2,100	0	6.04		TOTAL		6.04
047731001000	CB 4773A BLK LOT P-100 (GREENBELT) SHAVANO PARK UT-16G	SHAVANO CREEK UNIT 16G LTD	11 LYNN BATTS LN STE 100			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047731001330	CB 4773A BLK LOT 1330 (SHAVANO PARK UT-15C)	GRANADOS MARK D & CYNTHIA C	5602 W HAUSMAN RD # E201			LAND: 238,020 IMPR: 776,080 PROD: 0 ASE: 1,014,100	0036	1,014,100	0	2,917.99		TOTAL		2,917.99
047731001331	CB 4773A BLK LOT 1331 (SHAVANO PARK UT-15C)	VALADEZ RAMIOR JR & JANIE	10010 SAN PEDRO AVE STE 550			LAND: 246,830 IMPR: 703,170 PROD: 0 ASE: 950,000	0036	950,000	0	2,733.55		TOTAL		2,733.55
047731001332	CB 4773A BLK LOT 1332 (SHAVANO PARK UT-15C)	GOLDBERG DAVID S & GOLDBERG STEFANIE	116 WARBLER WAY			LAND: 226,330 IMPR: 473,670 PROD: 0 ASE: 700,000	0036	700,000	0	2,014.19		TOTAL		2,014.19
047731001335	CB 4773A BLK LOT 1335 (SHAVANO PARK UT-15C)	BODE WILLIAM E & SUSAN C	107 OTTAWA RUN			LAND: 227,240 IMPR: 461,320 PROD: 0 ASE: 688,560	0036	683,560	5,000	1,868.16		TOTAL		1,868.16
047731001336	CB 4773A BLK LOT 1336 (SHAVANO PARK UT-15C)	BIBB THOMAS F & GLENDA L	109 OTTAWA RUN			LAND: 217,000 IMPR: 542,160 PROD: 0 ASE: 759,160	0036	754,160	5,000	2,170.04		TOTAL		2,170.04

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047731001337 CB 4773A BLK LOT 1337 (SHAVANO PARK UT-15C)	CURRENT PROPERTY OWNER 111 OTTAWA RUN SHAVANO PARK TX 78231-1457 111 OTTAWA RUN HOM	LAND: IMPR: PROD: ASE:	217,070 637,480 0 854,550	0036	854,550	0	2,458.90			TOTAL		2,458.90
047731001338 CB 4773A BLK LOT 1338 (SHAVANO PARK UT-15C)	LYND MICHAEL J SR & PATRICIA A 8000 W INTERSTATE 10 STE 1200 SAN ANTONIO TX 78230-3872 113 OTTAWA RUN VET HOM O65	LAND: IMPR: PROD: ASE:	217,070 442,930 0 660,000	0036	643,000	17,000	1,850.18			TOTAL		1,850.18
047731001339 CB 4773A BLK LOT 1339 (SHAVANO PARK UT-15C)	LEE MARK STEWART & THERESIA 115 OTTAWA RUN SHAVANO PARK TX 78231-1457 115 OTTAWA RUN HOM	LAND: IMPR: PROD: ASE:	263,820 628,160 0 891,980	0036	891,980	0	2,566.60			TOTAL		2,566.60
047731001340 CB 4773A BLK LOT 1340 (SHAVANO PARK UT-15C)	ZARS FELICITAS M & LEIF A 101 CANTER GAIT SHAVANO PARK TX 78231-1458 101 CANTER GAIT HOM O65	LAND: IMPR: PROD: ASE:	262,870 684,240 0 947,110	0036	942,110	5,000	2,105.72			TOTAL		2,105.72
047731001341 CB 4773A BLK LOT 1341 (SHAVANO PARK UT-15C)	BURKE MICAHEL J & CAROL A 103 CANTER GAIT SHAVANO PARK TX 78231-1458 103 CANTER GAIT HOM O65	LAND: IMPR: PROD: ASE:	237,840 472,160 0 710,000	0036	705,000	5,000	2,028.58			TOTAL		2,028.58
047731001342 CB 4773A BLK LOT 1342 (SHAVANO PARK UT-15C)	AHUJA SUNIL 105 CANTER GAIT SHAVANO PARK TX 78231-1458 105 CANTER GAIT HOM	LAND: IMPR: PROD: ASE:	213,550 518,010 0 731,560	0036	731,560	0	2,105.01			TOTAL		2,105.01
047731001345 CB 4773A BLK LOT 1345 (SHAVANO PARK UT-15C)	ROMAN FAMILY PARTNERSHIP LTD 10102 OAKLAND RD SAN ANTONIO TX 78240-1733 111 CANTER GAIT	LAND: IMPR: PROD: ASE:	215,140 0 0 215,140	0036	215,140	0	619.05			TOTAL		619.05
047731001346 CB 4773A BLK LOT 1346 (SHAVANO PARK UT-15C)	SPAUR C E BARIDO & BARBARA 113 CANTER GAIT SHAVANO PARK TX 78231-1458 113 CANTER GAIT HOM O65	LAND: IMPR: PROD: ASE:	268,050 423,950 0 692,000	0036	687,000	5,000	1,849.34			TOTAL		1,849.34
047731001347 CB 4773A BLK LOT 1347 (SHAVANO PARK UT-15C)	LATIF WASIF & ROSHNIC 115 CANTER GAIT SHAVANO PARK TX 78231-1458 115 CANTER GAIT	LAND: IMPR: PROD: ASE:	224,020 620,550 0 844,570	0036	844,570	0	2,430.18			TOTAL		2,430.18

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ACCOUNT NO.	DESCRIPTION	NAME	PARCEL ADDRESS	EXEMPTIONS	DEFERRAL	VALUES	JURS	TAX VALUE	EXEMPT	LEVY	JURS	TAX VALUE	EXEMPT	LEVY
047731001348	CB 4773A BLK LOT 1348 (SHAVANO PARK UT-15C)	WILLIAMS VERNON F & PETRONA A	112 CANTER GAIT SHAVANO PARK TX 78231-1458			LAND: 270,760 IMPR: 1,149,240 PROD: 0 ASE: 1,420,000	0036	1,420,000	0	4,085.94		TOTAL		4,085.94
047731001349	CB 4773A BLK LOT 1349 (SHAVANO PARK UT-15C)	ANDRY JAMES MICHAEL & PATRICIA JEAN	110 CANTER GAIT SHAVANO PARK TX 78231-1458			LAND: 215,140 IMPR: 364,860 PROD: 0 ASE: 580,000	0036	580,000	0	1,668.90		TOTAL		1,668.90
047731001350	CB 4773A BLK LOT 1350 (SHAVANO PARK UT-15C)	OSORIO DANIEL ENRIQUE PEREZ & ARGUEL	108 CANTER GAIT SHAVANO PARK TX 78231-1458			LAND: 206,950 IMPR: 491,960 PROD: 0 ASE: 698,910	0036	698,910	0	2,011.06		TOTAL		2,011.06
047731001351	CB 4773A BLK LOT 1351 (SHAVANO PARK UT-15C)	SLAYTER LARRY W & PAMELA R	106 CANTER GAIT SHAVANO PARK TX 78231-1458			LAND: 206,940 IMPR: 420,430 PROD: 0 ASE: 627,370	0036	622,370	5,000	1,595.24		TOTAL		1,595.24
047731001352	CB 4773A BLK LOT 1352 (SHAVANO PARK UT-15C)	KARAM HAROLD J & PRISCILLA	112 OTTAWA RUN SHAVANO PARK TX 78231-1456			LAND: 208,290 IMPR: 640,040 PROD: 0 ASE: 848,330	0036	843,330	5,000	2,169.37		TOTAL		2,169.37
047731001353	CB 4773A BLK LOT 1353 (SHAVANO PARK UT-15C)	CANTU JORGE A & TEENA M	110 OTTAWA RUN SHAVANO PARK TX 78231-1456			LAND: 208,910 IMPR: 702,090 PROD: 0 ASE: 911,000	0036	911,000	0	2,621.33		TOTAL		2,621.33
047731001354	CB 4773A BLK LOT 1354 (SHAVANO PARK UT-15C)	RAMIREZ ARNALDO & GLORIA D	108 OTTAWA RUN SHAVANO PARK TX 78231-1455			LAND: 212,850 IMPR: 449,050 PROD: 0 ASE: 661,900	0036	656,900	5,000	1,890.18		TOTAL		1,890.18
047731001355	CB 4773A BLK LOT 1355 (SHAVANO PARK UT-15C)	BASTONI JAMES W & AMY B	106 OTTAWA RUN SHAVANO PARK TX 78231-1455			LAND: 207,980 IMPR: 371,020 PROD: 0 ASE: 579,000	0036	579,000	0	1,666.03		TOTAL		1,666.03
047731001356	CB 4773A BLK LOT 1356 (SHAVANO PARK UT-15C)	WILEY SANDRA K	102 OTTAWA RUN SHAVANO PARK TX 78231-1455			LAND: 236,880 IMPR: 278,120 PROD: 0 ASE: 515,000	0036	510,000	5,000	1,467.48		TOTAL		1,467.48

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047731001357	CB 4773A BLK LOT 1357 (SHAVANO PARK UT-15C)	NORRIS MATTHEW & BRANDI	120 WARBLER WAY SHAVANO PARK TX 78231-1459			LAND: 230,560 IMPR: 695,680 PROD: 0 ASE: 926,240	0036	926,240	0	2,665.18		TOTAL		2,665.18
047731001358	CB 4773A BLK LOT 1358 (SHAVANO PARK UT-15C)	SLOAN JEREMY R & ERICA B	122 WARBLER WAY SHAVANO PARK TX 78231-1459			LAND: 240,270 IMPR: 470,900 PROD: 0 ASE: 711,170	0036	711,170	0	2,046.33		TOTAL		2,046.33
047731001361	CB 4773A BLK LOT 1361 (SHAVANO PARK UT-15C)	DAVIS MICHAEL K & PATRICIA A	125 WARBLER WAY SHAVANO PARK TX 78231-1453			LAND: 234,170 IMPR: 410,830 PROD: 0 ASE: 645,000	0036	645,000	0	1,855.94		TOTAL		1,855.94
047731001362	CB 4773A BLK LOT 1362 (SHAVANO PARK UT-15C)	FILLIS GEORGE & KAREN	123 WARBLER WAY SHAVANO PARK TX 78231-1453			LAND: 222,410 IMPR: 201,590 PROD: 0 ASE: 424,000	0036	419,000	5,000	1,205.64		TOTAL		1,205.64
047731001363	CB 4773A BLK LOT 1363 (SHAVANO PARK UT-15C)	GUION WILLIAM G & FRED T LIVING TRU	121 WARBLER WAY SHAVANO PARK TX 78231-1453			LAND: 232,160 IMPR: 511,720 PROD: 0 ASE: 743,880	0036	738,880	5,000	2,126.07		TOTAL		2,126.07
047731001367	CB 4773A BLK LOT 1367 (SHAVANO PARK UT-15C)	BUSH RICHARD A & IVELISSE ROGER	111 WARBLER WAY SHAVANO PARK TX 78231-1453			LAND: 208,180 IMPR: 386,210 PROD: 0 ASE: 594,390	0036	577,390	17,000	1,594.75		TOTAL		1,594.75
047731001368	CB 4773A BLK LOT 1368 (SHAVANO PARK UT-15C)	CARMINA SOMERS-SULLIVAN REV/TR	CARMINA SOMERS-SULLIVAN TRSTES 1407 JACKSON KELLER RD STE 5 SAN ANTONIO TX 78213-3289			LAND: 211,450 IMPR: 189,750 PROD: 0 ASE: 401,200	0036	0	401,200	0.00		TOTAL		0.00
047731001369	CB 4773A BLK LOT 1369 (SHAVANO PARK UT-15C)	STANUSH CHRIS A & SHARON M	108 WARBLER WAY SHAVANO PARK TX 78231-1447			LAND: 225,500 IMPR: 512,500 PROD: 0 ASE: 738,000	0036	733,000	5,000	1,902.69		TOTAL		1,902.69
047731001370	CB 4773A BLK LOT 1370 (SHAVANO PARK UT-15C)	PUCCIO JUAN & KRISANA	110 WARBLER WAY SHAVANO PARK TX 78231-1447			LAND: 253,590 IMPR: 386,410 PROD: 0 ASE: 640,000	0036	640,000	0	1,841.55		TOTAL		1,841.55

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047731001371	CB 4773A BLK LOT 1371 (SHAVANO PARK UT-15C)	MCMILLIAN SCOTT R & ELIZABETH C 606 HAPPY TRL SHAVANO PARK TX 78231-1452 606 HAPPY TRL HOM			LAND: 227,000 IMPR: 660,440 PROD: 0 ASE: 887,440	0036	887,440	0	2,553.54			TOTAL	2,553.54
047731001372	CB 4773A BLK LOT 1372 (SHAVANO PARK UT-15C)	GERECKE JAMES D FAMILY TR GERECKE SUE E TRSTE 604 HAPPY TRL SHAVANO PARK TX 78231-1452 604 HAPPY TRL			LAND: 219,300 IMPR: 238,580 PROD: 0 ASE: 457,880	0036	457,880	0	1,317.51			TOTAL	1,317.51
047731001373	CB 4773A BLK LOT 1373 (SHAVANO PARK UT-15C)	FREEMAN ROBERT & HENRIETTA 602 HAPPY TRL SHAVANO PARK TX 78231-1452 602 HAPPY TRL HOM			LAND: 218,360 IMPR: 450,310 PROD: 0 ASE: 668,670	0036	668,670	0	1,924.04			TOTAL	1,924.04
047731001374	CB 4773A BLK LOT 1374 (SHAVANO PARK UT-15C)	LEROY CHARLES F & LESLIE ANN 603 HAPPY TRL SHAVANO PARK TX 78231-1451 603 HAPPY TRL HOM O65			LAND: 212,150 IMPR: 464,570 PROD: 0 ASE: 676,720	0036	671,720	5,000	1,910.43			TOTAL	1,910.43
047731001375	CB 4773A BLK LOT 1375 (SHAVANO PARK UT-15C)	DREHER DANIEL & LY-DRECHER CHANTAL 605 HAPPY TRL SHAVANO PARK TX 78231-1451 605 HAPPY TRL HOM			LAND: 208,180 IMPR: 570,450 PROD: 0 ASE: 778,630	0036	778,630	0	2,240.45			TOTAL	2,240.45
047731001381	CB 4773A BLK LOT 1333A (SHAVANO PARK UT-15C)	GEORGE ELTON G & LESLIE J 4019 DE ZAVALA RD STE 2 SHAVANO PARK TX 78249- 105 OTTAWA RUN HOM O65			LAND: 401,210 IMPR: 1,163,790 PROD: 0 ASE: 1,565,000	0036	1,560,000	5,000	4,488.78			TOTAL	4,488.78
047731001382	CB: 4773A BLK: LOT: 1364A (SHAVANO PARK UT-15C)	BATES MICHAEL & ANA IBANEZ 119 WARBLER WAY SHAVANO PARK TX 78231-1453 119 WARBLER WAY HOM			LAND: 277,480 IMPR: 454,680 PROD: 0 ASE: 732,160	0036	732,160	0	2,106.73			TOTAL	2,106.73
047731001383	CB 4773A BLK LOT 1366A (SHAVANO PARK UT-15C)	KUKAWSKA EWA BEATA WOZAKOWSKA 5 DE FEBRERO S/N METEPEC MEXICO 52177 00000- 115 WARBLER WAY			LAND: 264,510 IMPR: 612,600 PROD: 0 ASE: 877,110	0036	877,110	0	2,523.81			TOTAL	2,523.81
047731001481	CB 4773A BLK LOT 1481 (SHAVANO PARK UT-16B)	QUINTANILLA ROLAND & MOHUNDRO KENNET 202 BLACKJACK OAK SHAVANO PARK TX 78230-5600 202 BLACKJACK OAK HOM			LAND: 230,560 IMPR: 841,840 PROD: 0 ASE: 1,072,400	0036	1,072,400	0	3,085.75			TOTAL	3,085.75

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047731001482	CB 4773A BLK LOT 1482 (SHAVANO PARK UT-16B)	OROVEST HOLDINGS LLC	206 BLACKJACK OAK SHAVANO PARK TX 78230-5600			LAND: 192,760 IMPR: 743,240 PROD: 0 ASE: 936,000	0036	936,000	0	2,693.27		TOTAL		2,693.27
047731001483	CB 4773A BLK LOT 1483 (SHAVANO PARK UT-16B)	SALVATORE LIVING TRUST	SALVATORE CARLO & VERA L TRSTES 210 BLACKJACK OAK SHAVANO PARK TX 78230-5600			LAND: 185,390 IMPR: 924,210 PROD: 0 ASE: 1,109,600	0036	1,104,600	5,000	2,568.03		TOTAL		2,568.03
047731001484	CB 4773A BLK LOT 1484 (SHAVANO PARK UT-16B)	YARRITO-FLORES OSCAR	% CHRISTINE THARP 214 BLACKJACK OAK SHAVANO PARK TX 78230-5600			LAND: 189,270 IMPR: 932,430 PROD: 0 ASE: 1,121,700	0036	1,121,700	0	3,227.60		TOTAL		3,227.60
047731001485	CB 4773A BLK LOT 1485 (SHAVANO PARK UT-16B)	ARANDA RAFAEL & MARTHA	211 BLACKJACK OAK SHAVANO PARK TX 78230-5617			LAND: 207,710 IMPR: 922,540 PROD: 0 ASE: 1,130,250	0036	1,125,250	5,000	2,943.69		TOTAL		2,943.69
047731001486	CB 4773A BLK LOT 1486 (SHAVANO PARK UT-16B)	HEALY MARK E & MICHELLE W	207 BLACKJACK OAK SHAVANO PARK TX 78230-5617			LAND: 204,390 IMPR: 663,490 PROD: 0 ASE: 867,880	0036	867,880	0	2,497.26		TOTAL		2,497.26
047731001487	CB 4773A BLK LOT 1487 (SHAVANO PARK UT-16B)	WONDER STEVEN MICHAEL & LISA ANN	203 BLACKJACK OAK SHAVANO PARK TX 78230-5617			LAND: 213,630 IMPR: 759,230 PROD: 0 ASE: 972,860	0036	972,860	0	2,799.33		TOTAL		2,799.33
047731001488	CB 4773A BLK LOT 1488 (SHAVANO PARK UT-16B)	CUMMINGS ARTHUR D & DONNA M	202 DURAND OAK SHAVANO PARK TX 78230-5620			LAND: 192,980 IMPR: 764,160 PROD: 0 ASE: 957,140	0036	957,140	0	2,754.09		TOTAL		2,754.09
047731001489	CB 4773A BLK LOT 1489 (SHAVANO PARK UT-16B)	MASON DOUGLAS & JUDIANNE KELLAWAY	206 DURAND OAK SHAVANO PARK TX 78230-5620			LAND: 171,080 IMPR: 1,027,060 PROD: 0 ASE: 1,198,140	0036	1,193,140	5,000	3,380.97		TOTAL		3,380.97
047731001490	CB 4773A BLK LOT 1490 (SHAVANO PARK UT-16B)	MOTZ STEPHAN F & ELIZABETH MARY FOX	210 DURAND OAK SHAVANO PARK TX 78230-5620			LAND: 178,130 IMPR: 577,860 PROD: 0 ASE: 755,990	0036	755,990	0	2,175.30		TOTAL		2,175.30

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047731001491	CB 4773A BLK LOT 1491 (SHAVANO PARK UT-16B)	GRIFFIN TIMOTHY C & MARIANNE D	211 DURAND OAK SHAVANO PARK TX 78230-5620			LAND: 191,310 IMPR: 764,410 PROD: 0 ASE: 955,720	0036	955,720	0	2,750.01		TOTAL		2,750.01
047731001492	CB 4773A BLK LOT 1492 (SHAVANO PARK UT-16B)	DULLNIG DARRELL & CHERI	207 DURAND OAK SHAVANO PARK TX 78230-5620			LAND: 169,120 IMPR: 545,880 PROD: 0 ASE: 715,000	0036	710,000	5,000	2,042.97		TOTAL		2,042.97
047731001493	CB 4773A BLK LOT 1493 (SHAVANO PARK UT-16B)	KNOCKE DENNIS R & CYNTHIA	203 DURAND OAK SHAVANO PARK TX 78230-5620			LAND: 186,130 IMPR: 560,630 PROD: 0 ASE: 746,760	0036	741,760	5,000	1,894.26		TOTAL		1,894.26
047731001494	CB 4773A BLK LOT 1494 (SHAVANO PARK UT-16B)	LANE SAUNDRA S	218 POST OAK WAY SHAVANO PARK TX 78230-5622			LAND: 209,360 IMPR: 568,390 PROD: 0 ASE: 777,750	0036	777,750	0	2,237.91		TOTAL		2,237.91
047731001495	CB 4773A BLK LOT 1495 (SHAVANO PARK UT-16B)	FINNIE MITCHELL F & CHRISTINE R	4819 SHAVANO CT SAN ANTONIO TX 78230-5890			LAND: 192,170 IMPR: 556,020 PROD: 0 ASE: 748,190	0036	748,190	0	2,152.86		TOTAL		2,152.86
047731001496	CB 4773A BLK LOT 1496 (SHAVANO PARK UT-16B)	RIMAS ANTHONY TODD & DANNIA LOERA-RI	226 POST OAK WAY SHAVANO PARK TX 78230-5622			LAND: 181,690 IMPR: 532,630 PROD: 0 ASE: 714,320	0036	709,320	5,000	2,041.01		TOTAL		2,041.01
047731001497	CB 4773A BLK LOT 1497 (SHAVANO PARK UT-16B)	CARVAJAL CHARLES E & KATHERINE G	218 SWITCH OAK SHAVANO PARK TX 78230-5621			LAND: 191,930 IMPR: 797,060 PROD: 0 ASE: 988,990	0036	983,990	5,000	2,345.56		TOTAL		2,345.56
047731001498	CB 4773A BLK LOT 1498 (SHAVANO PARK UT-16B)	FRAZER ALAN & GAIL	210 SWITCH OAK SHAVANO PARK TX 78230-5621			LAND: 168,200 IMPR: 484,280 PROD: 0 ASE: 652,480	0036	647,480	5,000	1,711.14		TOTAL		1,711.14
047731001499	CB: 4773A BLK: LOT: 1499 (SHAVANO PARK UT-16B)	RAPP ROBERT A & CATHERINE	206 SWITCH OAK SHAVANO PARK TX 78230-5621			LAND: 212,270 IMPR: 346,730 PROD: 0 ASE: 559,000	0036	554,000	5,000	1,508.89		TOTAL		1,508.89

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047731001500	CB 4773A BLK LOT 1500 (SHAVANO PARK UT-16B)	SALAME ORALIA	203 SWITCH OAK			LAND: 240,830 IMPR: 451,960 PROD: 0 ASE: 692,790	0036	685,459	7,331	1,693.88				
		203 SWITCH OAK TX 78230-5621										TOTAL		1,693.88
047731001501	CB 4773A BLK LOT 1501 (SHAVANO PARK UT-16B)	NASH WILLIAM B & JODY A	207 SWITCH OAK			LAND: 175,490 IMPR: 534,510 PROD: 0 ASE: 710,000	0036	710,000	0	2,042.97				
		SHAVANO PARK TX 78230-5621										TOTAL		2,042.97
047731001502	CB 4773A BLK LOT 1502 (SHAVANO PARK UT-16B)	VALENCIANO CARLOS G & SOLEDAD M	211 SWITCH OAK			LAND: 166,940 IMPR: 713,060 PROD: 0 ASE: 880,000	0036	875,000	5,000	2,517.74				
		SHAVANO PARK TX 78230-5621										TOTAL		2,517.74
047731001503	CB 4773A BLK LOT 1503 (SHAVANO PARK UT-16B)	COLEMAN JAMES & KRISTINA L/R TR	215 SWITCH OAK			LAND: 172,590 IMPR: 587,410 PROD: 0 ASE: 760,000	0036	760,000	0	2,186.84				
		COLEMAN JAMES D & KRISTINA C COTRSTE										TOTAL		2,186.84
047731001504	CB 4773A BLK LOT 1504 (SHAVANO PARK UT-16B)	POOL THOMAS B	219 SWITCH OAK			LAND: 187,540 IMPR: 605,450 PROD: 0 ASE: 792,990	0036	787,990	5,000	2,097.34				
		SHAVANO PARK TX 78230-5621										TOTAL		2,097.34
047731001508	CB 4773A BLK LOT 1508 (SHAVANO PARK UT-16C)	NANCHERLA PRAKASH & SWARNALATHA REV	106 BOX OAK			LAND: 213,750 IMPR: 574,250 PROD: 0 ASE: 788,000	0036	788,000	0	2,267.41				
		SHAVANO PARK TX 78230-5626										TOTAL		2,267.41
047731001509	CB 4773A BLK LOT 1509 (SHAVANO PARK UT-16C)	CROW KATHLEEN A	110 BOX OAK			LAND: 169,420 IMPR: 500,580 PROD: 0 ASE: 670,000	0036	665,000	5,000	1,730.76				
		SHAVANO PARK TX 78230-5626										TOTAL		1,730.76
047731001510	CB 4773A BLK LOT 1510 (SHAVANO PARK UT-16C)	SYKES JANELLE M & WILLIAM E	114 BOX OAK			LAND: 176,960 IMPR: 503,040 PROD: 0 ASE: 680,000	0036	680,000	0	1,956.65				
		SHAVANO PARK TX 78230-5626										TOTAL		1,956.65
047731001511	CB: 4773A BLK: LOT: 1511 (SHAVANO PARK UT-16C)	VAUGHN DAVID DARRELL & ABUMARIA IBRA	118 BOX OAK			LAND: 183,300 IMPR: 621,980 PROD: 0 ASE: 805,280	0036	805,280	0	2,317.13				
		SHAVANO PARK TX 78230-5626										TOTAL		2,317.13

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047731001512	CB 4773A BLK LOT 1512 (SHAVANO PARK UT-16C)	CARVAJAL RAYMOND R & BARBARA D	122 BOX OAK SHAVANO PARK TX 78230-5626			LAND: 174,050 IMPR: 578,740 PROD: 0 ASE: 752,790	0036	747,790	5,000	1,761.09		TOTAL		1,761.09
047731001513	CB: 4773A BLK: LOT: 1513 (SHAVANO PARK UT-16C)	HOLT TIMOTHY L & SARA L	126 BOX OAK SHAVANO PARK TX 78230-5626			LAND: 200,180 IMPR: 748,670 PROD: 0 ASE: 948,850	0036	948,850	0	2,730.24		TOTAL		2,730.24
047731001514	CB 4773A BLK LOT 1514 (SHAVANO PARK UT-16C)	GREIF W LAWRENCE & CYNTHIA ANN SWANN	130 BOX OAK SHAVANO PARK TX 78230-5628			LAND: 192,960 IMPR: 689,920 PROD: 0 ASE: 882,880	0036	877,880	5,000	2,526.03		TOTAL		2,526.03
047731001515	CB 4773A BLK LOT 1515 SHAVANO PARK UT-16C	TRIANA JOSE F & LESLIE E	202 BOX OAK SHAVANO PARK TX 78230-5629			LAND: 280,750 IMPR: 767,250 PROD: 0 ASE: 1,048,000	0036	1,048,000	0	3,015.54		TOTAL		3,015.54
047731001516	CB 4773A BLK LOT 1516 (SHAVANO PARK UT-16C)	BAYNTON BARR L & SALLY	206 BOX OAK SHAVANO PARK TX 78230-5629			LAND: 179,970 IMPR: 830,470 PROD: 0 ASE: 1,010,440	0036	1,005,440	5,000	2,589.16		TOTAL		2,589.16
047731001517	CB 4773A BLK LOT 1517 (SHAVANO PARK UT-16C)	KAVY JEFFREY	210 BOX OAK SAN ANTONIO TX 78230-5629			LAND: 174,710 IMPR: 636,670 PROD: 0 ASE: 811,380	0036	811,380	0	2,334.68		TOTAL		2,334.68
047731001518	CB 4773A BLK LOT 1518 (SHAVANO PARK UT-16C)	ORTIZ CARLOS R & ELVIRA	211 BOX OAK SHAVANO PARK TX 78230-5630			LAND: 175,650 IMPR: 434,790 PROD: 0 ASE: 610,440	0036	605,440	5,000	1,127.86		TOTAL		1,127.86
047731001519	CB 4773A BLK LOT 1519 (SHAVANO PARK UT-16C)	WULFE PERRY D & AMY K	PO BOX 37343 SAN ANTONIO TX 78237-0343			LAND: 199,680 IMPR: 575,320 PROD: 0 ASE: 775,000	0036	775,000	0	2,230.00		TOTAL		2,230.00
047731001520	CB 4773A BLK LOT 1520 (SHAVANO PARK UT-16C)	OIKNINE JACK & DANIELLE	302 MYRTLE OAK SHAVANO PARK TX 78230-5625			LAND: 178,270 IMPR: 636,570 PROD: 0 ASE: 814,840	0036	809,840	5,000	2,243.15		TOTAL		2,243.15

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ACCOUNT NO.	DESCRIPTION	NAME	PARCEL ADDRESS	EXEMPTIONS	DEFERRAL	VALUES	JURS	TAX VALUE	EXEMPT	LEVY	JURS	TAX VALUE	EXEMPT	LEVY
047731001521	CB 4773A BLK LOT 1521 (SHAVANO PARK UT-16C)	CLEARPOINT VENTURES INC	306 MYRTLE OAK SHAVANO PARK TX 78230-5625	LAND: IMPR: PROD: ASE:	171,170 1,035,230 0 1,206,400	0036	1,206,400	0	3,471.32			TOTAL		3,471.32
047731001522	CB 4773A BLK LOT 1522 (SHAVANO PARK UT-16C)	SPEAR JOHN C	310 MYRTLE OAK SHAVANO PARK TX 78230-5625	LAND: IMPR: PROD: ASE:	208,740 741,260 0 950,000	0036	950,000	0	2,733.55			TOTAL		2,733.55
047731001523	CB 4773A BLK LOT 1523 (SHAVANO PARK UT-16C)	HUTTING HALEY G	307 MYRTLE OAK SHAVANO PARK TX 78230-5625	LAND: IMPR: PROD: ASE:	195,910 720,770 0 916,680	0036	916,680	0	2,637.67			TOTAL		2,637.67
047731001524	CB 4773A BLK LOT 1524 (SHAVANO PARK UT-16C)	LARGOZA NACIAN A & MARISSA N	303 MYRTLE OAK SHAVANO PARK TX 78230-5625	LAND: IMPR: PROD: ASE:	220,650 699,350 0 920,000	0036	908,000	12,000	2,612.70			TOTAL		2,612.70
047731001525	CB 4773A BLK LOT 1525 (SHAVANO PARK UT-16C)	PAVLICH CRAIG & MARY	107 BOX OAK SHAVANO PARK TX 78230-5627	LAND: IMPR: PROD: ASE:	203,870 806,820 0 1,010,690	0036	1,010,690	0	2,908.18			TOTAL		2,908.18
047731001526	CB 4773A BLK LOT 1526 (SHAVANO PARK UT-16C)	BRAME CHARLES E & DOLORES D	103 BOX OAK SHAVANO PARK TX 78230-5627	LAND: IMPR: PROD: ASE:	187,260 563,450 0 750,710	0036	733,710	17,000	1,667.76			TOTAL		1,667.76
047731001527	CB 4773A BLK LOT 1527 (SHAVANO PARK UT-16C)	KEMMY THOMAS & VIRGINIA S	308 POST OAK WAY SHAVANO PARK TX 78230-5623	LAND: IMPR: PROD: ASE:	194,540 586,150 0 780,690	0036	780,690	0	2,246.37			TOTAL		2,246.37
047731001528	CB 4773A BLK LOT 1528 (1.1181 AC) & NE IRR 6.85 FT OF 1529 (.014 AC)(SHAVANO PARK UT-16C)	SCHEUERMAN SCOT TYLER & HELLA VANESS	303 POST OAK WAY SHAVANO PARK TX 78230-5624	LAND: IMPR: PROD: ASE:	224,040 745,960 0 970,000	0036	970,000	0	2,791.10			TOTAL		2,791.10
047731001529	CB 4773A BLK LOT 1529 EXC NE IRR 6.85 FT (SHAVANO PARK UT-16C)	MORONEY DENNIS C & MARY B	307 POST OAK WAY SHAVANO PARK TX 78230-5624	LAND: IMPR: PROD: ASE:	214,170 647,160 0 861,330	0036	856,330	5,000	2,376.74			TOTAL		2,376.74

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047731001548 CB: 4773A LOT: 1548 (SHAVANO PARK UT-16D)		WATERS LAURA L & JONATHAN P	311 POST OAK WAY SHAVANO PARK TX 78230-5624 311 POST OAK WAY			LAND: 203,950 IMPR: 633,020 PROD: 0 ASE: 836,970	0036	836,970	0	2,408.31		TOTAL		2,408.31
047731001549 CB: 4773A LOT: 1549 (SHAVANO PARK UT-16D)		HANKE DAN H & GENE G	315 POST OAK WAY SHAVANO PARK TX 78230-5624 315 POST OAK WAY HOM O65			LAND: 212,310 IMPR: 976,090 PROD: 0 ASE: 1,188,400	0036	1,183,400	5,000	3,405.14		TOTAL		3,405.14
047731001550 CB: 4773A LOT: 1550 (SHAVANO PARK UT-16D)		WICKERSHAM PENDLETON B & REYNOLDS VA	314 POST OAK WAY SHAVANO PARK TX 78230-5623 314 POST OAK WAY HOM			LAND: 199,410 IMPR: 720,590 PROD: 0 ASE: 920,000	0036	920,000	0	2,647.23		TOTAL		2,647.23
047731001551 CB: 4773A LOT: 1551 (SHAVANO PARK UT-16D)		SCARPINO STEVEN C & SHELLEY	335 BOX OAK SHAVANO PARK TX 78230-5632 335 BOX OAK HOM			LAND: 188,110 IMPR: 717,890 PROD: 0 ASE: 906,000	0036	906,000	0	2,606.94		TOTAL		2,606.94
047731001552 CB: 4773A LOT: 1552 (SHAVANO PARK UT-16D)		REICHMAN ITZHAK & ELIZABETH A	331 BOX OAK SHAVANO PARK TX 78230-5632 331 BOX OAK HOM			LAND: 195,560 IMPR: 637,410 PROD: 0 ASE: 832,970	0036	832,970	0	2,396.80		TOTAL		2,396.80
047731001553 CB: 4773A LOT: 1553 (SHAVANO PARK UT-16D)		GRIFFIN CHARLES J & BELINDA RAMIREZ	327 BOX OAK SHAVANO PARK TX 78230-5632 327 BOX OAK HOM			LAND: 175,180 IMPR: 764,820 PROD: 0 ASE: 940,000	0036	940,000	0	2,704.77		TOTAL		2,704.77
047731001554 CB: 4773A LOT: 1554 (SHAVANO PARK UT-16D)		STEIN JACK M & SHEILA R	323 BOX OAK SHAVANO PARK TX 78230-5632 323 BOX OAK HOM O65			LAND: 171,140 IMPR: 508,860 PROD: 0 ASE: 680,000	0036	675,000	5,000	1,879.20		TOTAL		1,879.20
047731001555 CB: 4773A LOT: 1555 (SHAVANO PARK UT-16D)		GARZA RICARDO A & IRMA L	319 BOX OAK SHAVANO PARK TX 78230-5632 319 BOX OAK HOM			LAND: 171,820 IMPR: 926,100 PROD: 0 ASE: 1,097,920	0036	1,097,920	0	3,159.18		TOTAL		3,159.18
047731001556 CB: 4773A LOT: 1556 (SHAVANO PARK UT-16D)		GARCIA PAUL D & BLANCA H	315 BOX OAK SHAVANO PARK TX 78230-5632 315 BOX OAK HOM O65			LAND: 169,890 IMPR: 821,070 PROD: 0 ASE: 990,960	0036	985,960	5,000	2,632.44		TOTAL		2,632.44

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047731001557	CB: 4773A LOT: 1557 (SHAVANO PARK UT-16D)	HAMILTON SCOTT D & LAURA K	311 BOX OAK SHAVANO PARK TX 78230-5632			LAND: 175,540 IMPR: 888,090 PROD: 0 ASE: 1,063,630	0036	1,063,630	0	3,060.51		TOTAL		3,060.51
047731001558	CB: 4773A LOT: 1558 (SHAVANO PARK UT-16D)	BLACKTHORNE MAUREEN K	223 BOX OAK SHAVANO PARK TX 78230-5630			LAND: 208,890 IMPR: 771,110 PROD: 0 ASE: 980,000	0036	980,000	0	2,819.87		TOTAL		2,819.87
047731001559	CB: 4773A LOT: 1559 (SHAVANO PARK UT-16D)	ANDREWS JOHN J & ALISON F	219 BOX OAK SHAVANO PARK TX 78230-5630			LAND: 169,310 IMPR: 547,430 PROD: 0 ASE: 716,740	0036	711,740	5,000	2,010.42		TOTAL		2,010.42
047731001560	CB: 4773A LOT: 1560 (SHAVANO PARK UT-16D)	MARINO CHARLES MICHAEL	214 BOX OAK SHAVANO PARK TX 78230-5629			LAND: 194,740 IMPR: 740,260 PROD: 0 ASE: 935,000	0036	930,000	5,000	2,422.79		TOTAL		2,422.79
047731001563	CB: 4773A LOT: 1563 (SHAVANO PARK UT-16D)	WILK GARY	226 BOX OAK SHAVANO PARK TX 78230-5629			LAND: 203,410 IMPR: 768,940 PROD: 0 ASE: 972,350	0036	972,350	0	2,797.86		TOTAL		2,797.86
047731001564	CB: 4773A LOT: 1564 (SHAVANO PARK UT-16D)	HILLIS FAMILY LIVING TRUST	304 BOX OAK SHAVANO PARK TX 78230-5631			LAND: 257,160 IMPR: 744,570 PROD: 0 ASE: 1,001,730	0036	996,730	5,000	2,742.56		TOTAL		2,742.56
047731001565	CB: 4773A LOT: 1565 (SHAVANO PARK UT-16D)	GLENNY CLINT M II & SUSAN G	308 BOX OAK SHAVANO PARK TX 78230-5631			LAND: 190,460 IMPR: 479,540 PROD: 0 ASE: 670,000	0036	670,000	0	1,927.87		TOTAL		1,927.87
047731001566	CB: 4773A LOT: 1566 (SHAVANO PARK UT-16D)	HAASE JAMES M & CHARLENE Y	312 BOX OAK SHAVANO PARK TX 78230-5631			LAND: 192,150 IMPR: 682,850 PROD: 0 ASE: 875,000	0036	863,000	12,000	2,483.21		TOTAL		2,483.21
047731001567	CB: 4773A LOT: 1567 (SHAVANO PARK UT-16D)	ISIGUZO REVOCABLE TRUST	316 BOX OAK SHAVANO PARK TX 78230-5631			LAND: 181,260 IMPR: 734,620 PROD: 0 ASE: 915,880	0036	915,880	0	2,635.37		TOTAL		2,635.37

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047731001568	CB: 4773A LOT: 1568 (SHAVANO PARK UT-16D)	SURIS ORLANDO J	320 BOX OAK SHAVANO PARK TX 78230-5631			LAND: 192,480 IMPR: 737,520 PROD: 0 ASE: 930,000	0036	930,000	0	2,676.00		TOTAL		2,676.00
047731001569	CB: 4773A LOT: 1569 (SHAVANO PARK UT-16D)	RHODES JESSE T & JOYE B	324 BOX OAK SHAVANO PARK TX 78230-5631			LAND: 196,810 IMPR: 543,190 PROD: 0 ASE: 740,000	0036	740,000	0	2,129.29		TOTAL		2,129.29
047731001570	CB: 4773A LOT: 1570 (SHAVANO PARK UT-16D)	MALAGAMBA ERIC & GABRIELA A PINSKE	328 BOX OAK SHAVANO PARK TX 78230-5631			LAND: 186,390 IMPR: 694,310 PROD: 0 ASE: 880,700	0036	880,700	0	2,534.14		TOTAL		2,534.14
047731001571	CB: 4773A LOT: 1571 (SHAVANO PARK UT-16D)	DOUGLAS CAROLYN & PRICE ADAM	2301 BROADWAY ST SAN ANTONIO TX 78215-1157			LAND: 176,960 IMPR: 743,040 PROD: 0 ASE: 920,000	0036	920,000	0	2,647.23		TOTAL		2,647.23
047731001572	CB: 4773A LOT: 1572 (SHAVANO PARK UT-16D)	WALSKI PAUL	336 BOX OAK SHAVANO PARK TX 78230-5631			LAND: 191,310 IMPR: 525,470 PROD: 0 ASE: 716,780	0036	704,780	12,000	2,027.95		TOTAL		2,027.95
047731001573	CB 4773A BLK LOT 1573 (SHAVANO PARK UT-15C)	COHEN STEPHEN C & ELAINE T	124 WARBLER WAY SHAVANO PARK TX 78231-1459			LAND: 228,510 IMPR: 623,250 PROD: 0 ASE: 851,760	0036	846,760	5,000	2,313.46		TOTAL		2,313.46
047731001574	CB 4773A BLK LOT 1574 (SHAVANO PARK UT-15C)	COHEN STEPHEN & ELAINE	124 WARBLER WAY SHAVANO PARK TX 78231-1459			LAND: 244,840 IMPR: 0 PROD: 0 ASE: 244,840	0036	244,840	0	704.51		TOTAL		704.51
047731001609	CB 4773A BLK LOT 1609 (SHAVANO PARK UT-16E)	GALT JEFFEREY S & JANA & GALT LIVING TRUST	303 RED CEDAR SHAVANO PARK TX 78230-5618			LAND: 199,200 IMPR: 807,910 PROD: 0 ASE: 1,007,110	0036	1,007,110	0	2,897.88		TOTAL		2,897.88
047731001610	CB 4773A BLK LOT 1610 (SHAVANO PARK UT-16E)	MULLINS DAVID C & VIRGINIA L	307 RED CEDAR SHAVANO PARK TX 78230-5618			LAND: 189,820 IMPR: 719,710 PROD: 0 ASE: 909,530	0036	904,530	5,000	2,077.22		TOTAL		2,077.22

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047731001611	CB 4773A BLK LOT 1611 (SHAVANO PARK UT-16E)	PIEPRZICA CHESTER DAVID JR & OLIVIA	311 RED CEDAR SHAVANO PARK TX 78230-5618 311 RED CEDAR HOM			LAND: 208,910 IMPR: 666,090 PROD: 0 ASE: 875,000	0036	875,000	0	2,517.74		TOTAL		2,517.74
047731001612	CB 4773A BLK LOT 1612 (SHAVANO PARK UT-16E)	LYDA TIMOTHY STUART & VIRGINIA M	306 RED CEDAR SHAVANO PARK TX 78230-5618 306 RED CEDAR HOM			LAND: 111,500 IMPR: 768,500 PROD: 0 ASE: 880,000	0036	880,000	0	2,532.13		TOTAL		2,532.13
047731001613	CB 4773A BLK LOT 1613 (SHAVANO PARK UT-16E)	NEGLEY LESLIE N	302 RED CEDAR SHAVANO PARK TX 78230-5618 302 RED CEDAR HOM O65			LAND: 155,020 IMPR: 1,219,980 PROD: 0 ASE: 1,375,000	0036	1,370,000	5,000	3,888.43		TOTAL		3,888.43
047731001614	CB 4773A BLK LOT 1614 (SHAVANO PARK UT-16E)	SWANNER JEFFREY ALLAN & MARGARET GRIFFITH BRISSETTE	503 POSSUM OAK SHAVANO PARK TX 78230-5634 503 POSSUM OAK HOM			LAND: 186,190 IMPR: 622,440 PROD: 0 ASE: 808,630	0036	808,630	0	2,326.77		TOTAL		2,326.77
047731001615	CB 4773A BLK LOT 1615 (SHAVANO PARK UT-16E)	WHITE AMY JO	507 POSSUM OAK SHAVANO PARK TX 78230-5634 507 POSSUM OAK DEF HOM O65 Deferral: 05/24/2005			LAND: 180,580 IMPR: 430,620 PROD: 0 ASE: 611,200	0036	606,200	5,000	1,291.31		TOTAL		1,291.31
047731001616	CB 4773A BLK LOT 1616 (SHAVANO PARK UT-16E)	ALLEN WILLIAM M & ALLYSON J	511 POSSUM OAK SHAVANO PARK TX 78230-5634 511 POSSUM OAK HOM			LAND: 178,980 IMPR: 1,127,440 PROD: 0 ASE: 1,306,420	0036	1,306,420	0	3,759.12		TOTAL		3,759.12
047731001617	CB 4773A BLK LOT 1617 (SHAVANO PARK UT-16E)	NICHOLS JOHN M	515 POSSUM OAK SHAVANO PARK TX 78230-5634 515 POSSUM OAK HOM			LAND: 180,480 IMPR: 967,160 PROD: 0 ASE: 1,147,640	0036	1,147,640	0	3,302.24		TOTAL		3,302.24
047731001618	CB 4773A BLK LOT 1618 (SHAVANO PARK UT-16E)	BUWAY MOISES & VIVIAN	519 POSSUM OAK SHAVANO PARK TX 78230-5634 519 POSSUM OAK HOM			LAND: 185,340 IMPR: 798,020 PROD: 0 ASE: 983,360	0036	983,360	0	2,829.54		TOTAL		2,829.54
047731001619	CB 4773A BLK LOT 1619 (SHAVANO PARK UT-16E)	HAVERMANN GERALD D	306 HARVARD OAK SHAVANO PARK TX 78230-5636 306 HARVARD OAK HOM			LAND: 168,440 IMPR: 753,060 PROD: 0 ASE: 921,500	0036	921,500	0	2,651.54		TOTAL		2,651.54

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047731001620	CB 4773A BLK LOT 1620 (SHAVANO PARK UT-16E)	BARBERIO ERNEST A	12820 W GOLDEN LN SAN ANTONIO TX 78249-2231			LAND: 173,930 IMPR: 516,070 PROD: 0 ASE: 690,000	0036	685,000	5,000	1,649.94			TOTAL	1,649.94
047731001621	CB 4773A BLK LOT 1621 (SHAVANO PARK UT-16E)	NAVA MICHAEL A	522 POSSUM OAK SHAVANO PARK TX 78230-5633			LAND: 231,880 IMPR: 488,120 PROD: 0 ASE: 720,000	0036	711,700	8,300	2,047.86			TOTAL	2,047.86
047731001622	CB 4773A BLK LOT 1622 (SHAVANO PARK UT-16E)	TRAUGOTT MICHAEL	9330 US HIGHWAY 87 E SAN ANTONIO TX 78263-6110			LAND: 197,340 IMPR: 676,980 PROD: 0 ASE: 874,320	0036	874,320	0	2,515.79			TOTAL	2,515.79
047731001623	CB 4773A BLK LOT 1623 (SHAVANO PARK UT-16E)	ZACHO MICHAEL W & JENNIFER R	30 ROGERS WOOD SAN ANTONIO TX 78248-1636			LAND: 194,240 IMPR: 673,340 PROD: 0 ASE: 867,580	0036	867,580	0	2,496.39			TOTAL	2,496.39
047731001624	CB 4773A BLK LOT 1624 (SHAVANO PARK UT-16E)	YBARRA MANUEL & ESTELLA C	510 POSSUM OAK SHAVANO PARK TX 78230-5633			LAND: 202,500 IMPR: 847,330 PROD: 0 ASE: 1,049,830	0036	1,049,830	0	3,020.80			TOTAL	3,020.80
047731001625	CB 4773A BLK LOT 1625 (SHAVANO PARK UT-16E)	WOOLEY MICHAEL W & BERNADETTE	506 POSSUM OAK SHAVANO PARK TX 78230-5633			LAND: 231,140 IMPR: 683,860 PROD: 0 ASE: 915,000	0036	910,000	5,000	2,529.57			TOTAL	2,529.57
047731001626	CB 4773A BLK LOT 1626 (SHAVANO PARK UT-16E)	BORSHCH YURII & PETKOVA ELENA	314 PAGODA OAK SHAVANO PARK TX 78230-5619			LAND: 199,330 IMPR: 723,290 PROD: 0 ASE: 922,620	0036	922,620	0	2,654.77			TOTAL	2,654.77
047731001627	CB 4773A BLK LOT 1627 (SHAVANO PARK UT-16E)	WEST ANDREW J & DOROTHY J	310 PAGODA OAK SHAVANO PARK TX 78230-5619			LAND: 184,320 IMPR: 705,680 PROD: 0 ASE: 890,000	0036	890,000	0	2,560.90			TOTAL	2,560.90
047731001628	CB 4773A BLK LOT 1628 (SHAVANO PARK UT-16E)	BERGERON JEREMY L & KIMBERLY C	302 PAGODA OAK SHAVANO PARK TX 78230-5619			LAND: 193,110 IMPR: 596,890 PROD: 0 ASE: 790,000	0036	790,000	0	2,273.16			TOTAL	2,273.16

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047731001629	CB 4773A BLK LOT 1629 (SHAVANO PARK UT-16E)	MELO JAIRO A & MARCELA	303 PAGODA OAK SHAVANO PARK TX 78230-5619			LAND: 190,240 IMPR: 786,990 PROD: 0 ASE: 977,230	0036	977,230	0	2,811.90		TOTAL		2,811.90
047731001630	CB 4773A BLK LOT 1630 (SHAVANO PARK UT-16E)	DARR FAMILY LIVING TRUST	DARR DAVID K & TRACI M TRUSTEE 12050 VANCE JACKSON RD STE 102 SAN ANTONIO TX 78230-1183			LAND: 221,330 IMPR: 912,280 PROD: 0 ASE: 1,133,610	0036	1,133,610	0	3,261.87		TOTAL		3,261.87
047731001631	CB 4773A BLK LOT 1631 (SHAVANO PARK UT-16E)	GHITIS JPSEPH & SARI	311 PAGODA OAK SHAVANO PARK TX 78230-5619			LAND: 186,700 IMPR: 783,500 PROD: 0 ASE: 970,200	0036	970,200	0	2,791.67		TOTAL		2,791.67
047731001632	CB 4773A BLK LOT 1632 (SHAVANO PARK UT-16E)	VELA M ANGELA	315 PAGODA OAK SHAVANO PARK TX 78230-5619			LAND: 184,390 IMPR: 740,610 PROD: 0 ASE: 925,000	0036	925,000	0	2,661.61		TOTAL		2,661.61
047731001633	CB 4773A BLK LOT 1633 (SHAVANO PARK UT-16E)	CARVAJAL MARK E	319 PAGODA OAK SHAVANO PARK TX 78230-5619			LAND: 171,590 IMPR: 700,410 PROD: 0 ASE: 872,000	0036	872,000	0	2,509.11		TOTAL		2,509.11
047731001634	CB 4773A BLK LOT 1634 (SHAVANO PARK UT-16E)	STEIN BRIAN & LAURA	323 PAGODA OAK SHAVANO PARK TX 78230-5619			LAND: 174,610 IMPR: 675,390 PROD: 0 ASE: 850,000	0036	850,000	0	2,445.81		TOTAL		2,445.81
047731001635	CB 4773A BLK LOT 1635 (SHAVANO PARK UT-16E)	KAUFMANN JONATHAN & MEGAN VICTORINE	327 PAGODA OAK SHAVANO PARK TX 78230-5619			LAND: 184,640 IMPR: 602,860 PROD: 0 ASE: 787,500	0036	787,500	0	2,265.97		TOTAL		2,265.97
047731001636	CB 4773A BLK LOT 1636 (SHAVANO PARK UT-16E)	TORRES LUIS N & EDA V	331 PAGODA OAK SHAVANO PARK TX 78230-5619			LAND: 174,360 IMPR: 780,640 PROD: 0 ASE: 955,000	0036	955,000	0	2,747.94		TOTAL		2,747.94
047731001637	CB 4773A BLK LOT 1637 (SHAVANO PARK UT-16F)	PRIETO JUAN C & NORMAN KIMBERLY JOAN	503 BLACKJACK OAK SHAVANO PARK TX 78230-5637			LAND: 185,360 IMPR: 634,790 PROD: 0 ASE: 820,150	0036	820,150	0	2,359.92		TOTAL		2,359.92

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2019 TAX ROLL DETAIL

Program Name: taxroll_list.rep v1.6

Request Seq.: 710980

SHAVANO PARK Volume: 1 Tax Unit: 36

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ACCOUNT NO.	DESCRIPTION	NAME	PARCEL ADDRESS	EXEMPTIONS	DEFERRAL	VALUES	JURS	TAX VALUE	EXEMPT	LEVY	JURS	TAX VALUE	EXEMPT	LEVY
047731001638	CB 4773A BLK LOT 1638 (SHAVANO PARK UT-16F)	GEORGE PETER R & JACQUELINE M	507 BLACKJACK OAK SHAVANO PARK TX 78230-5637			LAND: 169,960 IMPR: 659,560 PROD: 0 ASE: 829,520	0036	829,520	0	2,386.88		TOTAL		2,386.88
047731001639	CB 4773A BLK LOT 1639 (SHAVANO PARK UT-16F)	TOLCHER ANTHONY W & MARILYN	511 BLACKJACK OAK SHAVANO PARK TX 78230-5637			LAND: 171,980 IMPR: 741,100 PROD: 0 ASE: 913,080	0036	913,080	0	2,627.31		TOTAL		2,627.31
047731001640	CB 4773A BLK LOT 1640 (SHAVANO PARK UT-16F)	TERRY STUART A & JOAN Y	515 BLACKJACK OAK SHAVANO PARK TX 78230-5637			LAND: 170,250 IMPR: 729,750 PROD: 0 ASE: 900,000	0036	895,000	5,000	2,575.29		TOTAL		2,575.29
047731001641	CB 4773A BLK LOT 1641 (SHAVANO PARK UT-16F)	MURPHY JOE P	519 BLACKJACK OAK SHAVANO PARK TX 78230-5637			LAND: 170,960 IMPR: 873,210 PROD: 0 ASE: 1,044,170	0036	1,039,170	5,000	2,753.25		TOTAL		2,753.25
047731001642	CB 4773A BLK LOT 1642 (SHAVANO PARK UT-16F)	THRASH CHARLES I	310 HARVARD OAK SHAVANO PARK TX 78230-5636			LAND: 168,460 IMPR: 635,570 PROD: 0 ASE: 804,030	0036	799,030	5,000	1,337.92		TOTAL		1,337.92
047731001643	CB 4773A BLK LOT 1643 (SHAVANO PARK UT-16F)	CAIN TONY R & CARLA G	314 HARVARD OAK SHAVANO PARK TX 78230-5636			LAND: 183,300 IMPR: 687,820 PROD: 0 ASE: 871,120	0036	871,120	0	2,506.58		TOTAL		2,506.58
047731001644	CB 4773A BLK LOT 1644 (SHAVANO PARK UT-16F)	RODRIGUEZ LIVING TRUST	RODRIGUEZ ABRAHAM J & ALICIA TSTES			LAND: 186,880 IMPR: 601,410 PROD: 0 ASE: 788,290	0036	783,290	5,000	2,075.47		TOTAL		2,075.47
047731001645	CB 4773A BLK LOT 1645 (SHAVANO PARK UT-16F)	TULLOUS MICAM & REBECCA	602 BLACKJACK OAK SHAVANO PARK TX 78230-5638			LAND: 170,430 IMPR: 444,070 PROD: 0 ASE: 614,500	0036	614,500	0	1,768.17		TOTAL		1,768.17
047731001646	CB 4773A BLK LOT 1646 (SHAVANO PARK UT-16F)	WEST-THOMPSON AMANDA B	516 BLACKJACK OAK SHAVANO PARK TX 78230-5637			LAND: 173,770 IMPR: 616,230 PROD: 0 ASE: 790,000	0036	785,000	5,000	2,140.80		TOTAL		2,140.80

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047731001647	CB 4773A BLK LOT 1647 (SHAVANO PARK UT-16F)	ZAPATA NANCY F & VINCENT P	512 BLACKJACK OAK SHAVANO PARK TX 78230-5637			LAND: 182,460 IMPR: 672,540 PROD: 0 ASE: 855,000	0036	855,000	0	2,460.19		TOTAL		2,460.19
047731001648	CB 4773A BLK LOT 1648 (SHAVANO PARK UT-16F)	DELAGRANG FRANCIS R & AMELIA	508 BLACKJACK OAK SHAVANO PARK TX 78230-5637			LAND: 186,480 IMPR: 522,250 PROD: 0 ASE: 708,730	0036	708,730	0	2,039.31		TOTAL		2,039.31
047731001649	CB 4773A BLK LOT 1649 (SHAVANO PARK UT-16F)	NEGLEY LESLIE N	302 RED CEDAR SHAVANO PARK TX 78230-5618			LAND: 125,230 IMPR: 0 PROD: 0 ASE: 125,230	0036	125,230	0	360.34		TOTAL		360.34
047731001650	CB 4773A BLK LOT 1650 (SHAVANO PARK UT-16F)	S-H TWENTY-ONE PROPERTIES LLC	1920 MAIN ST STE 1200 IRVINE CA 92614-7230			LAND: 1,980,510 IMPR: 4,919,490 PROD: 0 ASE: 6,900,000	0036	6,900,000	0	19,854.20		TOTAL		19,854.20
047731001651	CB 4773A BLK LOT 1651 (SHAVANO PARK UT-16F)	JOHNSON ROBERT G & ANDREA J	233 BLACKJACK OAK SHAVANO PARK TX 78230-5635			LAND: 224,270 IMPR: 826,670 PROD: 0 ASE: 1,050,940	0036	1,045,940	5,000	2,699.45		TOTAL		2,699.45
047731001652	CB 4773A BLK LOT 1652 (SHAVANO PARK UT-16F)	WEINSTEIN RICHARD N & MARILYN	227 BLACKJACK OAK SHAVANO PARK TX 78230-5635			LAND: 189,590 IMPR: 530,410 PROD: 0 ASE: 720,000	0036	715,000	5,000	1,975.60		TOTAL		1,975.60
047731001653	CB 4773A BLK LOT 1653 (SHAVANO PARK UT-16F)	MCLENDON JAMES W & KAREN E	223 BLACKJACK OAK SHAVANO PARK TX 78230-5635			LAND: 168,010 IMPR: 873,640 PROD: 0 ASE: 1,041,650	0036	1,024,650	17,000	2,948.35		TOTAL		2,948.35
047731001654	CB 4773A BLK LOT 1654 (SHAVANO PARK UT-16F)	KHURANA ARSHDEEP S & DEEPINDER K	219 BLACKJACK OAK SHAVANO PARK TX 78230-5635			LAND: 179,930 IMPR: 652,570 PROD: 0 ASE: 832,500	0036	832,500	0	2,395.45		TOTAL		2,395.45
047731001655	CB 4773A BLK LOT 1655 (SHAVANO PARK UT-16F)	LEIPER MARTHA D & MICHAEL H	218 BLACKJACK OAK SHAVANO PARK TX 78230-5635			LAND: 221,210 IMPR: 1,118,670 PROD: 0 ASE: 1,339,880	0036	1,334,880	5,000	3,841.01		TOTAL		3,841.01

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047731001656	CB 4773A BLK LOT 1656 (SHAVANO PARK UT-16F)	PRUITT ALEJANDRO & KIMBERLY L/RT	PRUITT ALEJANDRO & KIMBERLY TRSTES			LAND: 203,550 IMPR: 778,450 PROD: 0 ASE: 982,000	0036	974,500	7,500	2,804.05			TOTAL	2,804.05
047731001657	CB 4773A BLK LOT 1657 (SHAVANO PARK UT-16F)	EILERS EMILY A	226 BLACKJACK OAK			LAND: 190,400 IMPR: 881,160 PROD: 0 ASE: 1,071,560	0036	1,071,560	0	3,083.33			TOTAL	3,083.33
047731001658	CB 4773A BLK LOT 1658 (SHAVANO PARK UT-16F)	ROLDEN JOSE F & ANGELA M VELEZ	230 BLACKJACK OAK			LAND: 184,190 IMPR: 799,870 PROD: 0 ASE: 984,060	0036	984,060	0	2,831.55			TOTAL	2,831.55
047731001659	CB 4773A BLK LOT 1659 (SHAVANO PARK UT-16F)	GUIRL MICHAEL JOSEPH & JENNIFER DIAN	234 BLACKJACK OAK			LAND: 208,100 IMPR: 771,900 PROD: 0 ASE: 980,000	0036	980,000	0	2,819.87			TOTAL	2,819.87
047731001660	CB 4773A BLK LOT 1660 SHAVANO PARK UT-16G	PEREZ REY & LORI BINDSEIL	311 PRINCETON OAK			LAND: 208,500 IMPR: 590,930 PROD: 0 ASE: 799,430	0036	799,430	0	2,300.30			TOTAL	2,300.30
047731001661	CB 4773A BLK LOT 1661 SHAVANO PARK UT-16G	BROWN PATRICK N & DIANA H	307 PRINCETON OAK			LAND: 229,720 IMPR: 770,280 PROD: 0 ASE: 1,000,000	0036	1,000,000	0	2,877.42			TOTAL	2,877.42
047731001662	CB 4773A BLK LOT 1662 SHAVANO PARK UT-16G	SHUMWAY NATHAN & JUDY	302 PRINCETON OAK			LAND: 247,160 IMPR: 1,080,750 PROD: 0 ASE: 1,327,910	0036	0	1,327,910	0.00			TOTAL	0.00
047731001663	CB 4773A BLK LOT 1663 SHAVANO PARK UT-16G	HENNESSY THOMAS G	306 PRINCETON OAK			LAND: 187,140 IMPR: 916,540 PROD: 0 ASE: 1,103,680	0036	1,103,680	0	3,175.75			TOTAL	3,175.75
047731001664	CB 4773A BLK LOT 1664 SHAVANO PARK UT-16G	ORTEGA ALONZO & DIANE PERRITANO	310 PRINCETON OAK			LAND: 211,560 IMPR: 774,580 PROD: 0 ASE: 986,140	0036	986,140	0	2,837.54			TOTAL	2,837.54

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047731001665	CB 4773A BLK LOT 1665 SHAVANO PARK UT-16G	OLIVA DAMASO A JR & BRIDGETTE S	311 BERKLEY OAK SHAVANO PARK TX 78230-5643			LAND: 205,570 IMPR: 1,089,430 PROD: 0 ASE: 1,295,000	0036	1,295,000	0	3,726.26		TOTAL		3,726.26
047731001666	CB 4773A BLK LOT 1666 SHAVANO PARK UT-16G	MATLOCK DAVID L & LORA M	307 BERKLEY OAK SHAVANO PARK TX 78230-5643			LAND: 193,370 IMPR: 768,630 PROD: 0 ASE: 962,000	0036	962,000	0	2,768.08		TOTAL		2,768.08
047731001667	CB 4773A BLK LOT 1667 SHAVANO PARK UT-16G	NAMBIAR ANOOP MANAYIL & KUMAR-NAMBIA	303 BERKLEY OAK SHAVANO PARK TX 78230-5643			LAND: 235,730 IMPR: 764,270 PROD: 0 ASE: 1,000,000	0036	1,000,000	0	2,877.42		TOTAL		2,877.42
047731001668	CB 4773A BLK LOT 1668 SHAVANO PARK UT-16G	DANIELS STEVEN E & GERALDINE F	PO BOX 781028 SAN ANTONIO TX 78278-1028			LAND: 194,360 IMPR: 876,110 PROD: 0 ASE: 1,070,470	0036	1,070,470	0	3,080.19		TOTAL		3,080.19
047731001669	CB 4773A BLK LOT 1669 SHAVANO PARK UT-16G	NAYAR SHAMILA BEHAL 2004 FAMILY TRUS	306 BERKLEY OAK SHAVANO PARK TX 78230-5643			LAND: 172,080 IMPR: 921,123 PROD: 0 ASE: 1,093,203	0036	1,093,203	0	3,145.60		TOTAL		3,145.60
047731001670	CB 4773A BLK LOT 1670 SHAVANO PARK UT-16G	ASH DAVID & ALLISON	310 BERKLEY OAK SHAVANO PARK TX 78230-5643			LAND: 168,650 IMPR: 522,780 PROD: 0 ASE: 691,430	0036	691,430	0	1,989.53		TOTAL		1,989.53
047731001671	CB 4773A BLK LOT 1671 SHAVANO PARK UT-16G	PATEL DIPAN L & DURGA S	319 CINNAMON OAK SHAVANO PARK TX 78230-5641			LAND: 238,030 IMPR: 1,480,970 PROD: 0 ASE: 1,719,000	0036	1,719,000	0	4,946.28		TOTAL		4,946.28
047731001672	CB 4773A BLK LOT 1672 SHAVANO PARK UT-16G	MILLER STEPHEN C & ROSE C	PO BOX 782448 SAN ANTONIO TX 78278-2448			LAND: 260,600 IMPR: 589,400 PROD: 0 ASE: 850,000	0036	845,000	5,000	2,272.47		TOTAL		2,272.47
047731001673	CB 4773A BLK LOT 1673 SHAVANO PARK UT-16G	COHEN ANDREW S	307 CINNAMON OAK SHAVANO PARK TX 78230-5641			LAND: 226,130 IMPR: 672,170 PROD: 0 ASE: 898,300	0036	898,300	0	2,584.79		TOTAL		2,584.79

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047731001674	CB 4773A BLK LOT 1674 SHAVANO PARK UT-16G	GARZA JACOB G & ARLEEN E	106 TRINITY OAK SHAVANO PARK TX 78230-5642			LAND: 195,290 IMPR: 619,390 PROD: 0 ASE: 814,680	0036	814,680	0	2,344.18		TOTAL		2,344.18
047731001675	CB 4773A BLK LOT 1675 SHAVANO PARK UT-16G	DELAGARZA RICARDO TRUST	102 TRINITY OAK SHAVANO PARK TX 78230-5642			LAND: 182,010 IMPR: 642,990 PROD: 0 ASE: 825,000	0036	825,000	0	2,373.87		TOTAL		2,373.87
047731001676	CB 4773A BLK LOT 1676 SHAVANO PARK UT-16G	ZIRKLE JOHN A & CATHERINE M	103 TRINITY OAK SHAVANO PARK TX 78230-5642			LAND: 206,100 IMPR: 528,900 PROD: 0 ASE: 735,000	0036	735,000	0	2,114.90		TOTAL		2,114.90
047731001677	CB 4773A BLK LOT 1677 SHAVANO PARK UT-16G	RAMIREZ VIRGINIA	107 TRINITY OAK SHAVANO PARK TX 78230-5642			LAND: 200,840 IMPR: 875,540 PROD: 0 ASE: 1,076,380	0036	1,076,380	0	3,097.20		TOTAL		3,097.20
047731001678	CB 4773A BLK LOT 1678 SHAVANO PARK UT-16H	ARIZPE ROBERT C & SHIRLEY A	314 CHERRY OAK SHAVANO PARK TX 78230-5648			LAND: 186,720 IMPR: 523,280 PROD: 0 ASE: 710,000	0036	705,000	5,000	1,949.78		TOTAL		1,949.78
047731001679	CB 4773A BLK LOT 1679 SHAVANO PARK UT-16H	BURNS JASON	310 CHERRY OAK SHAVANO PARK TX 78230-5648			LAND: 168,890 IMPR: 546,110 PROD: 0 ASE: 715,000	0036	715,000	0	2,057.36		TOTAL		2,057.36
047731001680	CB 4773A BLK LOT 1680 SHAVANO PARK UT-16H	GONZALEZ MARIA GUADALUPE	306 CHERRY OAK SHAVANO PARK TX 78230-5648			LAND: 205,550 IMPR: 1,045,830 PROD: 0 ASE: 1,251,380	0036	1,251,380	0	3,600.75		TOTAL		3,600.75
047731001681	CB 4773A BLK LOT 1681 SHAVANO PARK UT-16H	QUINONES JOSE M & ROSA E	302 CHERRY OAK SHAVANO PARK TX 78230-5648			LAND: 170,130 IMPR: 586,030 PROD: 0 ASE: 756,160	0036	756,160	0	2,175.79		TOTAL		2,175.79
047731001682	CB 4773A BLK LOT 1682 SHAVANO PARK UT-16H	ADAMS CATHERINE J	307 CHERRY OAK SHAVANO PARK TX 78230-5648			LAND: 203,240 IMPR: 666,760 PROD: 0 ASE: 870,000	0036	870,000	0	2,503.36		TOTAL		2,503.36

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047731001683	CB 4773A BLK LOT 1683 SHAVANO PARK UT-16H	SNYDER EDWARD C III & AIDA C	311 CHERRY OAK SHAVANO PARK TX 78230-5648			LAND: 192,760 IMPR: 691,370 PROD: 0 ASE: 884,130	0036	884,130	0	2,544.01		TOTAL		2,544.01
047731001684	CB 4773A BLK LOT 1684 SHAVANO PARK UT-16H	WAGGENER VIRGINIA L & VIRGIL J	615 CINNAMON OAK SHAVANO PARK TX 78230-5649			LAND: 242,820 IMPR: 437,180 PROD: 0 ASE: 680,000	0036	680,000	0	1,956.65		TOTAL		1,956.65
047731001685	CB 4773A BLK LOT 1685 SHAVANO PARK UT-16H	FISHER PETER & TONI M	623 CINNAMON OAK SHAVANO PARK TX 78230-5649			LAND: 181,580 IMPR: 622,430 PROD: 0 ASE: 804,010	0036	804,010	0	2,313.47		TOTAL		2,313.47
047731001686	CB 4773A BLK LOT 1686 SHAVANO PARK UT-16H	GAINES THOMAS JR & CAROLE E	627 CINNAMON OAK SHAVANO PARK TX 78230-5649			LAND: 196,950 IMPR: 586,260 PROD: 0 ASE: 783,210	0036	778,210	5,000	2,153.06		TOTAL		2,153.06
047731001687	CB 4773A BLK LOT 1687 SHAVANO PARK UT-16H	LACASSE ALBERT L III & CARRIE D	630 CINNAMON OAK SHAVANO PARK TX 78230-5649			LAND: 191,800 IMPR: 868,200 PROD: 0 ASE: 1,060,000	0036	1,060,000	0	3,050.07		TOTAL		3,050.07
047731001688	CB 4773A BLK LOT S IRR 206.56 FT OF 1688 SHAVANO PARK UT-16H	DEAN LARRY R & CYNTHIA L	626 CINNAMON OAK SHAVANO PARK TX 78230-5649			LAND: 174,290 IMPR: 647,710 PROD: 0 ASE: 822,000	0036	805,000	17,000	2,316.32		TOTAL		2,316.32
047731001689	CB 4773A BLK LOT 1689 SHAVANO PARK UT-16H	LEVEY DAVID S LIVING TRUST	622 CINNAMON OAK SHAVANO PARK TX 78230-5649			LAND: 176,820 IMPR: 1,023,180 PROD: 0 ASE: 1,200,000	0036	1,200,000	0	3,452.90		TOTAL		3,452.90
047731001690	CB 4773A BLK LOT 1690 SHAVANO PARK UT-16H	LOZANO JAIME T & NELDA	614 CINNAMON OAK SHAVANO PARK TX 78230-5649			LAND: 227,390 IMPR: 572,610 PROD: 0 ASE: 800,000	0036	800,000	0	2,301.94		TOTAL		2,301.94
047731001691	CB 4773A BLK LOT 1691 SHAVANO PARK UT-16H	OKULICZ JASON F & MICHELLE C	706 CHEOS OAK SHAVANO PARK TX 78230-5650			LAND: 175,650 IMPR: 624,350 PROD: 0 ASE: 800,000	0036	800,000	0	2,301.94		TOTAL		2,301.94

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047731001692	CB 4773A BLK LOT 1692 SHAVANO PARK UT-16H	PENA CARLOS G & JESSICA F	710 CHEOS OAK SAN ANTONIO TX 78230-5650			LAND: 183,980 IMPR: 723,020 PROD: 0 ASE: 907,000	0036	907,000	0	2,609.82		TOTAL		2,609.82
047731001693	CB 4773A BLK LOT 1693 SHAVANO PARK UT-16H	SURESH TUNGA	714 CHEOS OAK SHAVANO PARK TX 78230-5650			LAND: 182,230 IMPR: 796,750 PROD: 0 ASE: 978,980	0036	978,980	0	2,816.94		TOTAL		2,816.94
047731001694	CB 4773A BLK LOT 1694 SHAVANO PARK UT-16H	LYDA TIMOTHY S & VIRGINIA M	306 RED CEDAR SHAVANO PARK TX 78230-5618			LAND: 115,000 IMPR: 0 PROD: 0 ASE: 115,000	0036	115,000	0	330.90		TOTAL		330.90
047731001695	CB 4773A BLK LOT 1695 SHAVANO PARK UT-16H	RUIZ ANTHONY	722 CHEOS OAK SHAVANO PARK TX 78230-5650			LAND: 135,910 IMPR: 523,090 PROD: 0 ASE: 659,000	0036	659,000	0	1,896.22		TOTAL		1,896.22
047731001696	CB 4773A BLK LOT 1696 SHAVANO PARK UT-16H	SMITH KENNETH W & BRENDA K	719 CHEOS OAK SHAVANO PARK TX 78230-5650			LAND: 223,970 IMPR: 706,750 PROD: 0 ASE: 930,720	0036	925,720	5,000	2,356.61		TOTAL		2,356.61
047731001697	CB 4773A BLK LOT 1697 SHAVANO PARK UT-16H	MARTINEZ-RUMAYOR ABELARDO	ROMERO ARAMINTA 715 CHEOS OAK SHAVANO PARK TX 78230-5650			LAND: 213,350 IMPR: 911,710 PROD: 0 ASE: 1,125,060	0036	1,125,060	0	3,237.27		TOTAL		3,237.27
047731001698	CB 4773A LOT 1698 (SHAVANO PARK UT-16D)	BARNETT PHILIP E & BETTE J	4830 N LOOP 1604 W STE 130 SAN ANTONIO TX 78249-3983			LAND: 280,880 IMPR: 1,054,630 PROD: 0 ASE: 1,335,510	0036	1,330,510	5,000	3,433.65		TOTAL		3,433.65
047731001699	CB 4773A BLK LOT 1699 GREENBELT SHAVANO PARK UT-16H	SHAVANO CREEK UNIT 16H	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047731001700	CB 4773A BLK LOT N TRI 97.18 FT OF 1688 SHAVANO PARK UT-16H	MULLINS DAVID C & VIRGINIA	307 RED CEDAR SHAVANO PARK TX 78230-5618			LAND: 500 IMPR: 0 PROD: 0 ASE: 500	0036	500	0	1.44		TOTAL		1.44

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047732001699 CB 4773B BLK LOT 1699 (SHAVANO PARK UT-15C)		HUNTE GARTH & MARJORIE	107 CANTER GAIT SHAVANO PARK TX 78231-1458 107 CANTER GAIT HOM O65			LAND: 281,420 IMPR: 425,580 PROD: 0 ASE: 707,000	0036	702,000	5,000	2,019.95		TOTAL		2,019.95
047820000102 CB 4782 P-10B ABS 482		SIXT DAVID R & NANCY J	99 WINDMILL RD SHAVANO PARK TX 78231-1546 99 WINDMILL RD HOM O65			LAND: 238,780 IMPR: 502,670 PROD: 0 ASE: 741,450	0036	736,450	5,000	1,880.19		TOTAL		1,880.19
047820000150 CB 4782 P-15 (DRAINAGE EASEMENT) SHAVANO PARK UNIT-15A		CITY OF SHAVANO PARK	900 SADDLETREE CT SHAVANO PARK TX 78231-1599 405 HAPPY TRL EXXV			LAND: 1,298,850 IMPR: 0 PROD: 0 ASE: 1,298,850	0036	0	1,298,850	0.00		TOTAL		0.00
047820000363 CB 4783 P-2C (.0512 AC) , CB 4784 P-1H (.6061 AC)		ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 KINNAN WAY			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047820000364 CB 4782 P-36C (4.1849 AC), CB 4783 P-2A (1.2102 AC), P-4 (5582 AC)		ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 W LOOP 1604			LAND: 2,674,260 IMPR: 0 PROD: 0 ASE: 2,674,260	0036	2,674,260	0	7,694.97		TOTAL		7,694.97
047820000365 CB 4782 P-36 (21.7293 AC), CB 4783 P-2 (1.0093 AC)		ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 COLLINS CIR OSP			LAND: 6,022,200 IMPR: 0 PROD: 1,910 ASE: 6,022,200	0036	164,415	5,857,785	473.09		TOTAL		473.09
047820000430 CB 4782 P-43 (DRAINAGE R.O.W.) SHAVANO PARK UNIT-15A		CITY OF SHAVANO PARK	900 SADDLETREE CT SHAVANO PARK TX 78231-1599 405 HAPPY TRL EXXV			LAND: 458,910 IMPR: 0 PROD: 0 ASE: 458,910	0036	0	458,910	0.00		TOTAL		0.00
047820000440 CB 4782 P-44 (2.167),P45 (1.957) (DRAINAGE R.O.W.) SHAVANO PARK UNIT-15A		CITY OF SHAVANO PARK	900 SADDLETREE CT SHAVANO PARK TX 78231-1599 405 HAPPY TRL EXXV			LAND: 451,000 IMPR: 0 PROD: 0 ASE: 451,000	0036	0	451,000	0.00		TOTAL		0.00
047820000492 CB 4782 P-49C ABS 482		BAYNTON BARR & SALLY	206 BOX OAK SHAVANO PARK TX 78230-5629 206 BOX OAK			LAND: 5,000 IMPR: 0 PROD: 0 ASE: 5,000	0036	5,000	0	14.39		TOTAL		14.39

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047820000590	CB 4782 P-59 (2.109 AC) ABS 482, CB 4783 P-1G (7.28 AC) ABS 336	ROGERS SHAVANO PARK UNIT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 N LOOP 1604 W OSP			LAND: 811,180 IMPR: 0 PROD: 640 ASE: 811,180	0036	356,666	454,514	1,026.28		TOTAL		1,026.28
047820000591	CB 4782 P-59A (.5911 AC), CB 4783 P-1 (10.7484 AC)	ROGERS SHAVANO PARK UNIT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 NW MILITARY HWY OSP			LAND: 36,870 IMPR: 0 PROD: 940 ASE: 36,870	0036	4,370	32,500	12.57		TOTAL		12.57
047820000593	CB 4782 P-59C ABS 482	ROGERS SHAVANO PARK UNIT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 POND HILL RD OSP			LAND: 15,550 IMPR: 0 PROD: 120 ASE: 15,550	0036	120	15,430	0.35		TOTAL		0.35
047820000600	CB 4782 P-60 (FORMERLY P-17C) (12.4169 AC)	ROGERS SHAVANO PARK UT 17 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 LOCKHILL SELMA RD OSP			LAND: 48,680 IMPR: 0 PROD: 980 ASE: 48,680	0036	5,100	43,580	14.67		TOTAL		14.67
047820011817	CB 4782 LOT 1817 SHAVANO PARK UT-15D	CITY OF SHAVANO PARK	900 SADDLETREE CT SHAVANO PARK TX 78231-1599 0 DE ZAVALA RD EXXV			LAND: 0 IMPR: 0 PROD: 0 ASE: 0	0036	0	0	0.00		TOTAL		0.00
047820211812	CB 4782F (POND HILL COMMERCIAL WEST, PHASE I), BLOCK 21 LOT 1812	SV POND HILL LLC	200 CONCORD PLAZA DR STE 800 SAN ANTONIO TX 78216-6942 4372 LOOP 1604			LAND: 1,954,740 IMPR: 10,370,260 PROD: 0 ASE: 12,325,000	0036	12,325,000	0	35,464.20		TOTAL		35,464.20
047820262204	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2204	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 LAZENBY			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262205	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2205	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 LAZENBY			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262206	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2206	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 LAZENBY			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73

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047820262207	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2207	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 LAZENBY			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262208	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2208	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 LAZENBY			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262209	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2209	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047820262210	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2210	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047820262211	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2211	STRAUSBURG NELLIE A	2 CAMDEN OAKS SAN ANTONIO TX 78248-1602 176 BEDINGFELD			LAND: 112,090 IMPR: 328,610 PROD: 0 ASE: 440,700	0036	440,700	0	1,268.08		TOTAL		1,268.08
047820262212	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2212	ARREOLA SYLVIA GUADALUPE	172 BEDINGFELD SHAVANO PARK TX 78231-4407 172 BEDINGFELD			LAND: 99,470 IMPR: 402,300 PROD: 0 ASE: 501,770	0036	501,770	0	1,443.80		TOTAL		1,443.80
047820262213	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2213	WEATHERMON DON E & PHYLIS SPEEDLIN	168 BEDINGFELD SHAVANO PARK TX 78231-4407 168 BEDINGFELD VET CAP HOM O65			LAND: 102,700 IMPR: 415,070 PROD: 0 ASE: 517,770	0036	407,171	110,599	943.40		TOTAL		943.40
047820262214	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2214	VIGER ANDREW S & KAREN S	164 BEDINGFELD SAN ANTONIO TX 78231-4407 164 BEDINGFELD			LAND: 106,750 IMPR: 407,690 PROD: 0 ASE: 514,440	0036	514,440	0	1,480.26		TOTAL		1,480.26
047820262215	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2215	ROOKS JAMES BYRON JR & SHERRY LYNN R	4646 AMESBURY DR APT 126 DALLAS TX 75206-4830 160 BEDINGFELD			LAND: 111,920 IMPR: 139,210 PROD: 0 ASE: 251,130	0036	251,130	0	722.61		TOTAL		722.61

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047820262216	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2216	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262217	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2217	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262218	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2218	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 144 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262219	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2219	W STEVE DAVIS CUSTOM HOMES LTD	PO BOX 91066 SAN ANTONIO TX 78209-9095 140 BEDINGFELD			LAND: 102,510 IMPR: 258,800 PROD: 0 ASE: 361,310	0036	361,310	0	1,039.64		TOTAL		1,039.64
047820262220	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2220	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262221	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2221	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262222	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2222	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262223	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2223	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262224	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2224	POND HILL VILLAS LLC	4372 N LOOP 1604 W SUITE 100 SAN ANTONIO TX 78249- 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73

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047820262225	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2225	POND HILL VILLAS LLC	4372 N LOOP 1604 W SUITE 100 SAN ANTONIO TX 78249- 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262226	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2226	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262227	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2227	SHEERAN PETER B & KATHRYN M	106 BEDINGFELD SHAVANO PARK TX 78231-4407 106 BEDINGFELD HOM			LAND: 104,650 IMPR: 408,740 PROD: 0 ASE: 513,390	0036	513,390	0	1,477.24		TOTAL		1,477.24
047820262228	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT IRR PART OF 2228	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047820262229	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2229	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262230	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2230	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262231	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2231	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262232	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2232	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262233	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2233	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73

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047820262234	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2234	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262235	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2235	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262236	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2236	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262237	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2237	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262238	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2238	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262239	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2239	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262240	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2240	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262241	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2241	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262242	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2242	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73

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047820262243	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2243	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262244	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2244	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 175 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262245	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2245	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 89,800 IMPR: 97,070 PROD: 0 ASE: 186,870	0036	186,870	0	537.70		TOTAL		537.70
047820262246	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2246	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 50,300 IMPR: 0 PROD: 0 ASE: 50,300	0036	50,300	0	144.73		TOTAL		144.73
047820262248	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT 2248 (PRIVATE STREET)	POND HILL GARDEN VILLAS LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047820262249	CB 4782E (POND HILL GARDEN VILLAS), BLOCK 26 LOT S 132.07 FT OF 2228	POND HILL COMMERCIAL ASSOC INC	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 BEDINGFELD			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047821000000	CB 4782E BLK 12 LOT 1890 (SHAVANO OFFICE PARK CONDOS)	SHAVANO OFFICE PARK OWNERS ASSOCIATI	PO BOX 781309 SAN ANTONIO TX 78278-1309 4077 DE ZAVALA RD EXXV			LAND: 0 IMPR: 0 PROD: 0 ASE: 0	0036	0	0	0.00		TOTAL		0.00
047821000010	CB 4782E UNIT 1 SHAVANO OFFICE PARK CONDOS	CATES DAVID & MARGARET C	51 EDGEWATER SAN ANTONIO TX 78260-4309 4095 DE ZAVALA RD			LAND: 205,190 IMPR: 534,810 PROD: 0 ASE: 740,000	0036	740,000	0	2,129.29		TOTAL		2,129.29
047821000020	CB 4782E UNIT 2 SHAVANO OFFICE PARK CONDOS	4093 DE ZAVALA LLC	4093 DE ZAVALA RD SHAVANO PARK TX 78249-2066 4093 DE ZAVALA RD			LAND: 206,860 IMPR: 546,440 PROD: 0 ASE: 753,300	0036	753,300	0	2,167.56		TOTAL		2,167.56

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047821000031	CB 4782E UNIT 3-1 SHAVANO OFFICE PARK CONDOS	SEIDENBERGER OWEN R & PATRICIA M	4091 DE ZAVALA RD STE 1		LAND:	113,680	0036	390,000	0	1,122.19				
			SHAVANO PARK TX 78249-2068		IMPR:	276,320								
			4091 DE ZAVALA RD		PROD:	0						TOTAL		1,122.19
					ASE:	390,000								
047821000032	CB 4782E UNIT 3-2 SHAVANO OFFICE PARK CONDOS	LEG INVESTMENTS LTD	4091 DE ZAVALA RD STE 2		LAND:	100,740	0036	345,000	0	992.71				
			SHAVANO PARK TX 78249-2068		IMPR:	244,260								
			4091 DE ZAVALA RD		PROD:	0						TOTAL		992.71
					ASE:	345,000								
047821000033	CB 4782E UNIT 3-3 SHAVANO OFFICE PARK CONDOS	CATES DAVID	4114 POND HILL RD		LAND:	174,200	0036	600,000	0	1,726.45				
			SAN ANTONIO TX 78231-1272		IMPR:	425,800								
			4091 DE ZAVALA RD		PROD:	0						TOTAL		1,726.45
					ASE:	600,000								
047821000040	CB 4782E UNIT 4 SHAVANO OFFICE PARK CONDOS	ARMEN HAIG PROPERTIES LLC	2 DUXBURY PARK		LAND:	435,520	0036	2,502,310	0	7,200.20				
			SAN ANTONIO TX 78257-1710		IMPR:	2,066,790								
			4085 DE ZAVALA RD		PROD:	0						TOTAL		7,200.20
					ASE:	2,502,310								
047821000080	CB 4782E UNIT 8 SHAVANO OFFICE PARK CONDOS	MAB SHAVANO PARK PROPERTIES LLC	9 GRANTHAM GLN		LAND:	154,450	0036	558,000	0	1,605.60				
			SAN ANTONIO TX 78257-1374		IMPR:	403,550								
			4083 DE ZAVALA RD		PROD:	0						TOTAL		1,605.60
					ASE:	558,000								
047821000090	CB 4782E UNIT 9 SHAVANO OFFICE PARK CONDOS	MYERS PROPERTY LLC	108 HAPPY TRL		LAND:	146,810	0036	530,000	0	1,525.03				
			SHAVANO PARK TX 78231-1428		IMPR:	383,190								
			4081 DE ZAVALA RD		PROD:	0						TOTAL		1,525.03
					ASE:	530,000								
047821000100	CB 4782E UNIT 10 SHAVANO OFFICE PARK CONDOS	4079 DE ZAVALA LP	4079 DE ZAVALA RD		LAND:	205,190	0036	747,225	0	2,150.08				
			SHAVANO PARK TX 78249-2066		IMPR:	542,035								
			4079 DE ZAVALA RD		PROD:	0						TOTAL		2,150.08
					ASE:	747,225								
047821000111	CB 4782E UNIT 11-1 SHAVANO OFFICE PARK CONDOS	DAVIS BRENT PAUL	1434 FM 740 S		LAND:	102,610	0036	370,000	0	1,064.65				
			HEATH TX 75126-5350		IMPR:	267,390								
			4077 DE ZAVALA RD		PROD:	0						TOTAL		1,064.65
					ASE:	370,000								
047821000112	CB 4782E UNIT 11-2 SHAVANO OFFICE PARK CONDOS	FORREST BRENT L	4077 DE ZAVALA RD UNIT 11-A		LAND:	102,610	0036	382,677	0	1,101.12				
			SHAVANO PARK TX 78249-2066		IMPR:	280,067								
			4077 DE ZAVALA RD		PROD:	0						TOTAL		1,101.12
					ASE:	382,677								

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047821010000	CB 4782E BLK 26 LOT 2186 (DUPLICATE W/#1120643)**MASTER FILE/COMMON ELEMENTS**(BILTMORE AT POND HILL CONDOMINIUM)	BILTMORE AT POND HILL OWNERS ASSOCIA	106 DEL CT		LAND:	0	0036	0	0	0.00				
			LAREDO TX 78041-2276		IMPR:	0								
			4114 POND HILL RD		PROD:	0						TOTAL		0.00
			EXXV		ASE:	0								
047821011000	CB 4782E (BILTMORE AT POND HILL CONDOMINIUM), BLDG 1 UNIT 100	HOLLSTEN ENTERPRISES LLC	9550 FLOYD CURL DR #702		LAND:	154,480	0036	614,000	0	1,766.74				
			SAN ANTONIO TX 78229-4114 POND HILL RD		IMPR:	459,520								
					PROD:	0						TOTAL		1,766.74
					ASE:	614,000								
047821011010	CB 4782E (BILTMORE AT POND HILL CONDOMINIUM), BLDG 1 UNIT 101	KLAS RANCH LLC	4114 POND HILL RD STE 101		LAND:	154,480	0036	613,981	0	1,766.68				
			SAN ANTONIO TX 78231-1273		IMPR:	459,501								
			4114 POND HILL RD		PROD:	0						TOTAL		1,766.68
					ASE:	613,981								
047821011020	CB 4782E (BILTMORE AT POND HILL CONDOMINIUM), BLDG 1 UNIT 102	KLAS RANCH LLC	4114 POND HILL RD STE 101		LAND:	308,950	0036	1,228,200	0	3,534.05				
			SAN ANTONIO TX 78231-1273		IMPR:	919,250								
			4114 POND HILL RD		PROD:	0						TOTAL		3,534.05
					ASE:	1,228,200								
047821022000	CB 4782E (BILTMORE AT POND HILL CONDOMINIUM), BLDG 2 UNIT 200	CATES DAVID	4114 POND HILL RD STE 100		LAND:	147,670	0036	600,000	0	1,726.45				
			SAN ANTONIO TX 78231-1273		IMPR:	452,330								
			4114 POND HILL RD		PROD:	0						TOTAL		1,726.45
					ASE:	600,000								
047821022010	CB 4782E (BILTMORE AT POND HILL CONDOMINIUM), BLDG 2 UNIT 201 & 202	DINGO REAL ESTATE PARTNERS LLC	4114 POND HILL RD STE 201		LAND:	308,860	0036	1,269,530	0	3,652.97				
			SAN ANTONIO TX 78231-1273		IMPR:	960,670								
			4114 POND HILL RD		PROD:	0						TOTAL		3,652.97
					ASE:	1,269,530								
047821022030	CB 4782E (BILTMORE AT POND HILL CONDOMINIUM), BLDG 2 UNIT 203	FONGS REAL ESTATE I LLC	2419 NOOR		LAND:	189,100	0036	779,770	0	2,243.73				
			SAN ANTONIO TX 78248-0958		IMPR:	590,670								
			4114 POND HILL RD		PROD:	0						TOTAL		2,243.73
					ASE:	779,770								
047821033000	CB 4782E (BILTMORE AT POND HILL CONDOMINIUM), BLDG 3 UNIT 300	IPAC PROPERTIES LLC	16003 VIA SHAVANO		LAND:	147,540	0036	613,981	0	1,766.68				
			SAN ANTONIO TX 78249-2354		IMPR:	466,441								
			4114 POND HILL RD		PROD:	0						TOTAL		1,766.68
					ASE:	613,981								
047821033010	CB 4782E (BILTMORE AT POND HILL CONDOMINIUM), BLDG 3 UNIT 301	IPAC PROPERTIES LLC	16003 VIA SHAVANO		LAND:	147,370	0036	553,271	0	1,591.99				
			SAN ANTONIO TX 78249-2354		IMPR:	405,901								
			4114 POND HILL RD		PROD:	0						TOTAL		1,591.99
					ASE:	553,271								

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047821033020	CB 4782E (BILTMORE AT POND HILL CONDOMINIUM), BLDG 3 UNIT 302	IPAC PROPERTIES LLC	16003 VIA SHAVANO SAN ANTONIO TX 78249-2354 4114 POND HILL RD			LAND: 220,460 IMPR: 886,082 PROD: 0 ASE: 1,106,542	0036	1,106,542	0	3,183.99		TOTAL		3,183.99
047822000000	CB 4782E BLK 26 LOT 2187 (DUPLICATE LOT TO PID 1120644) **MASTER FILE/COMMENT ELEMENTS ** (POND VIEW CONDOMINIUM)	POND VIEW CONDOMINIUM ASSOCIATION	106 DEL CT LAREDO TX 78041-2276 4118 POND HILL RD EXXV			LAND: 0 IMPR: 0 PROD: 0 ASE: 0	0036	0	0	0.00		TOTAL		0.00
047822010010	CB 4782E (POND VIEW CONDO), BLDG 1 UNIT SUITE A	RMO HOLDING COMPANY LLC	4118 POND HILL RD STE 100 SAN ANTONIO TX 78231-1282 4118 POND HILL RD			LAND: 195,570 IMPR: 974,430 PROD: 0 ASE: 1,170,000	0036	1,170,000	0	3,366.58		TOTAL		3,366.58
047822010020	CB 4782E (POND VIEW CONDO), BLDG 1 UNIT SUITE B	RMO HOLDING COMPANY LLC	4118 POND HILL RD STE 100 SAN ANTONIO TX 78231-1282 4118 POND HILL RD			LAND: 195,570 IMPR: 974,430 PROD: 0 ASE: 1,170,000	0036	1,170,000	0	3,366.58		TOTAL		3,366.58
047822020010	CB 4782E (POND VIEW CONDO), BLDG 2 UNIT SUITE A	CATES DAVID	4114 POND HILL RD STE 100 SAN ANTONIO TX 78231-1273 4118 POND HILL RD			LAND: 165,980 IMPR: 834,020 PROD: 0 ASE: 1,000,000	0036	1,000,000	0	2,877.42		TOTAL		2,877.42
047822020020	CB 4782E (POND VIEW CONDO), BLDG 2 UNIT SUITE B	4118 POND HILL LLC	5608 PARKCREST DR STE 325 AUSTIN TX 78731-4977 4118 POND HILL RD			LAND: 195,420 IMPR: 998,040 PROD: 0 ASE: 1,193,460	0036	1,193,460	0	3,434.09		TOTAL		3,434.09
047822020030	CB 4782E (POND VIEW CONDO), BLDG 2 UNIT SUITE C	ALSTON WILLIAM W III	17735 VIA DEL ORO SAN ANTONIO TX 78257-5008 4118 POND HILL RD			LAND: 29,940 IMPR: 149,060 PROD: 0 ASE: 179,000	0036	179,000	0	515.06		TOTAL		515.06
047823000000	CB 4782E BLK 15 LOT 2270 **MASTER FILE/Common Elements** (OPTIMO BENTLEY CONDOMINIUM)	OPTIMO BENTLEY OWNERS ASSOCIATION	310 CHAPARRAL CREEK DR BOERNE TX 78006-1806 0 LOCKHILL SELMA RD EXXV			LAND: 706,850 IMPR: 1,795,230 PROD: 0 ASE: 2,502,080	0036	0	2,502,080	0.00		TOTAL		0.00
047823000010	CB 4782E (OPTIMO BENTLEY CONDOMINIUM), UNIT A	INGENUITY FINANCIAL PARTNERS LLC	4374 LOCKHILL SELMA # 101 SAN ANTONIO TX 78249- 4374 LOCKHILL SELMA RD			LAND: 177,770 IMPR: 427,320 PROD: 0 ASE: 605,090	0036	605,090	0	1,741.10		TOTAL		1,741.10

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047823000020	CB 4782E (OPTIMO BENTLEY CONDOMINIUM), UNIT B	MEDICO SPECIALTY PROPERTIES LLC	4114 POND HILL RD STE 102 SAN ANTONIO TX 78231-1273 4374 LOCKHILL SELMA RD-			LAND: 382,530 IMPR: 918,960 PROD: 0 ASE: 1,301,490	0036	1,301,490	0	3,744.93		TOTAL		3,744.93
047823000030	CB 4782E (OPTIMO BENTLEY CONDOMINIUM), UNIT C	LA BELLE DAME LIMITED LIABILITY COMP	PO BOX 1645 BOERNE TX 78006-6645 4374 LOCKHILL SELMA RD			LAND: 146,550 IMPR: 352,000 PROD: 0 ASE: 498,550	0036	498,550	0	1,434.54		TOTAL		1,434.54
047823020010	CB 4782E (POND VIEW CONDO), BLDG 3 UNIT SUITE A	DMS MEDICAL LLC	525 OAK CENTRE DR STE 320 SAN ANTONIO TX 78258-3916 4118 POND HILL RD			LAND: 415,800 IMPR: 2,455,020 PROD: 0 ASE: 2,870,820	0036	2,870,820	0	8,260.55		TOTAL		8,260.55
047825000000	CB 4782E BLK 25 LOT 2023 **MASTER FILE/Common Elements**(BILTMORE PLAZA CONDOMINIUM)	BILTMORE PLAZA OWNERS ASSOCIATION	4888 WHIRLWIND DR SAN ANTONIO TX 78217-3715 3519 PAESANOS PKWY EXXV			LAND: 0 IMPR: 0 PROD: 0 ASE: 0	0036	0	0	0.00		TOTAL		0.00
047825000010	CB 4782E UNIT 1 (LA CASCADA AT HUNTINGTON PLACE CONDOMINIUM)	SLL PROPERTY HOLDINGS LLC	PO BOX 592442 SAN ANTONIO TX 78259-0172 3502 PAESANOS PKWY			LAND: 508,770 IMPR: 601,480 PROD: 0 ASE: 1,110,250	0036	1,110,250	0	3,194.66		TOTAL		3,194.66
047825000020	CB 4782E UNIT 2 (LA CASCADA AT HUNTINGTON PLACE CONDOMINIUM)	SLL PROPERTY HOLDINGS LLC	PO BOX 592442 SAN ANTONIO TX 78259-0172 3502 PAESANOS PKWY			LAND: 508,770 IMPR: 601,480 PROD: 0 ASE: 1,110,250	0036	1,110,250	0	3,194.66		TOTAL		3,194.66
047825002188	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2188 (DUPLICATE LOT # TO PID 1078823)	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 WELLESLEY LNDG			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825002189	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2189 (DUPLICATE TO PID 1078824)	NIR LTD	1803 ROAN XING SAN ANTONIO TX 78259-2670 0 WELLESLEY LNDG			LAND: 500,000 IMPR: 0 PROD: 0 ASE: 500,000	0036	500,000	0	1,438.71		TOTAL		1,438.71
047825010000	CB 4782E BLK 23 LOT 1927 **MASTER FILE/Common Elements ** (LA CASCADA AT HUNTINGTON PLACE CONDOMINIUM)	LA CASCADA AT HUNTINGTON PLACE CONDO	PO BOX 592442 SAN ANTONIO TX 78259-0172 3502 PAESANOS PKWY EXXV			LAND: 0 IMPR: 0 PROD: 0 ASE: 0	0036	0	0	0.00		TOTAL		0.00

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047825010001 CB 4782E BLK 23 LOT 1927		LA CASCADA AT HUNTINGTON PLACE CONDO PO BOX 592442 SAN ANTONIO TX 78259-0172 3502 PAESANOS PKWY				LAND: 508,880 IMPR: 1,677,290 PROD: 0 ASE: 2,186,170	0036	2,186,170	0	6,290.53			TOTAL	6,290.53
047825011000 CB 4782E (BILTMORE PLAZA CONDOMINIUM), BLDG A UNIT 100		HIGHLAND SAT INVESTMENTS LLC 3519 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-1265 3519 PAESANOS PKWY				LAND: 98,880 IMPR: 502,790 PROD: 0 ASE: 601,670	0036	601,670	0	1,731.26			TOTAL	1,731.26
047825011010 CB 4782E (BILTMORE PLAZA CONDOMINIUM), BLDG A UNIT 101		DIEGO & DIEGO CAPITOL LLC 2454 KARAT DR SAN ANTONIO TX 78232-5611 3519 PAESANOS PKWY				LAND: 98,880 IMPR: 502,790 PROD: 0 ASE: 601,670	0036	601,670	0	1,731.26			TOTAL	1,731.26
047825011809 CB 4782E BLK 1 LOT 1809 SHAVANO PARK UT-15D		CITY OF SHAVANO PARK 900 SADDLETREE CT SHAVANO PARK TX 78231-1599 0 DE ZAVALA RD EXXV				LAND: 0 IMPR: 0 PROD: 0 ASE: 0	0036	0	0	0.00			TOTAL	0.00
047825011810 CB 4782E BLK 1 LOT 1810 SHAVANO PARK UT-15D		CITY OF SHAVANO PARK 900 SADDLETREE CT SHAVANO PARK TX 78231-1599 911 SADDLETREE CT EXXV				LAND: 0 IMPR: 0 PROD: 0 ASE: 0	0036	0	0	0.00			TOTAL	0.00
047825011811 CB 4782E BLK 1 LOT 1811 SHAVANO PARK UT-15D		CITY OF SHAVANO PARK 900 SADDLETREE CT SHAVANO PARK TX 78231-1599 0 DE ZAVALA RD EXXV				LAND: 0 IMPR: 0 PROD: 0 ASE: 0	0036	0	0	0.00			TOTAL	0.00
047825021020 CB 4782E (BILTMORE PLAZA CONDOMINIUM), BLDG B UNIT 102		SCHMITZ JOHN P DDS PH D INC 3519 PAESANOS PKWY STE 102 SHAVANO PARK TX 78231-1266 3519 PAESANOS PKWY				LAND: 98,880 IMPR: 502,570 PROD: 0 ASE: 601,450	0036	601,450	0	1,730.62			TOTAL	1,730.62
047825021030 CB 4782E (BILTMORE PLAZA CONDOMINIUM), BLDG B UNIT 103		LORENZANA INVESTMENTS LLC 11422 ANAQUA SPGS BOERNE TX 78006-8495 3519 PAESANOS PKWY				LAND: 98,880 IMPR: 502,570 PROD: 0 ASE: 601,450	0036	601,450	0	1,730.62			TOTAL	1,730.62
047825031040 CB 4782E (BILTMORE PLAZA CONDOMINIUM), BLDG C UNIT 104		RLU OIL & GAS INC 3519 PAESANOS PKWY STE 104 SAN ANTONIO TX 78231-1266 3519 PAESANOS PKWY				LAND: 98,880 IMPR: 502,320 PROD: 0 ASE: 601,200	0036	601,200	0	1,729.90			TOTAL	1,729.90

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047825031050	CB 4782E (BILTMORE PLAZA CONDOMINIUM), BLDG C UNIT 105	ANAVALE MANAGEMENT LLC	3519 PAESANOS PKWY STE 105	LAND:		98,880	0036	601,670	0	1,731.26				
			SAN ANTONIO TX 78231-1266	IMPR:		502,790								
			3519 PAESANOS PKWY	PROD:		0						TOTAL		1,731.26
				ASE:		601,670								
047825041060	CB 4782E (BILTMORE PLAZA CONDOMINIUM), BLDG D UNIT 106	TRIPLE Z METROPOLITAN OAKS VENTURE LLC	3519 PAESANOS PKWY STE 106	LAND:		98,880	0036	600,720	0	1,728.52				
			SAN ANTONIO TX 78231-1266	IMPR:		501,840								
			3519 PAESANOS PKWY	PROD:		0						TOTAL		1,728.52
				ASE:		600,720								
047825041070	CB 4782E (BILTMORE PLAZA CONDOMINIUM), BLDG D UNIT 107	TRIPLE Z METROPOLITAN OAKS VENTURE LLC	3519 PAESANOS PKWY STE 106	LAND:		98,880	0036	600,500	0	1,727.89				
			SAN ANTONIO TX 78231-1266	IMPR:		501,620								
			3519 PAESANOS PKWY	PROD:		0						TOTAL		1,727.89
				ASE:		600,500								
047825111700	CB 4782E BLK 11 LOT 1700 (PRIVATE STREETS) SHAVANO PARK SUBD UT-17A & 17J	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100	LAND:		100	0036	100	0	0.29				
			SAN ANTONIO TX 78231-4412	IMPR:		0								
			0 LOCKHILL SELMA RD	PROD:		0						TOTAL		0.29
				ASE:		100								
047825121701	CB 4782E BLK 12 LOT 1701 (GREENBELT) SHAVANO PARK SUBD UT-17A	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100	LAND:		100	0036	100	0	0.29				
			SAN ANTONIO TX 78231-4412	IMPR:		0								
			0 BENTLEY MANOR	PROD:		0						TOTAL		0.29
				ASE:		100								
047825121702	CB 4782E BLK 12 LOT 1702 SHAVANO PARK SUBD UT-17A	LABARGE PARKER LAUREN & ELIZABETH TO	102 MANCHESTER WAY	LAND:		279,530	0036	825,000	0	2,373.87				
			SHAVANO PARK TX 78249-2023	IMPR:		545,470								
			102 MANCHESTER WAY	PROD:		0						TOTAL		2,373.87
			HOM	ASE:		825,000								
047825121703	CB 4782E BLK 12 LOT 1703 SHAVANO PARK SUBD UT-17A	BARNUM GARY E & CAROLYN G LIVING TRU	106 MANCHESTER WAY	LAND:		254,240	0036	752,290	5,000	2,136.83				
			SHAVANO PARK TX 78249-2023	IMPR:		503,050								
			106 MANCHESTER WAY	PROD:		0						TOTAL		2,136.83
			HOM O65	ASE:		757,290								
047825121704	CB 4782E BLK 12 LOT 1704 SHAVANO PARK SUBD UT-17A	WOLVERTON PETER M & BETTY J	110 MANCHESTER WAY	LAND:		240,930	0036	1,126,510	5,000	3,241.44				
			SHAVANO PARK TX 78249-2023	IMPR:		890,580								
			110 MANCHESTER WAY	PROD:		0						TOTAL		3,241.44
			HOM O65	ASE:		1,131,510								
047825121705	CB 4782E BLK 12 LOT 1705 SHAVANO PARK SUBD UT-17A	BUTCHER WILLIAM H	114 MANCHESTER WAY	LAND:		274,000	0036	1,101,250	5,000	3,000.66				
			SHAVANO PARK TX 78249-2023	IMPR:		832,250								
			114 MANCHESTER WAY	PROD:		0						TOTAL		3,000.66
			HOM O65	ASE:		1,106,250								

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047825121706	CB 4782E BLK 12 LOT 1706 SHAVANO PARK SUBD UT-17A	HERMANOS BATT A LLC	118 MANCHESTER WAY SHAVANO PARK TX 78249-2023			LAND: 276,000 IMPR: 1,164,000 PROD: 0 ASE: 1,440,000	0036	1,440,000	0	4,143.48		TOTAL		4,143.48
047825121707	CB 4782E BLK 12 LOT 1707 SHAVANO PARK SUBD UT-17A	JABAT HOLDING LLC	118 MANCHESTER WAY SHAVANO PARK TX 78249-2023			LAND: 240,930 IMPR: 1,264,070 PROD: 0 ASE: 1,505,000	0036	1,505,000	0	4,330.52		TOTAL		4,330.52
047825121708	CB 4782E BLK 12 LOT 1708 SHAVANO PARK SUBD UT-17A	PARSI LINDA & JOHN	126 MANCHESTER WAY SHAVANO PARK TX 78249-2023			LAND: 238,450 IMPR: 1,090,390 PROD: 0 ASE: 1,328,840	0036	1,328,840	0	3,823.63		TOTAL		3,823.63
047825121709	CB 4782E BLK 12 LOT 1709 SHAVANO PARK SUBD UT-17A	PHILLIPS BRADLEY S & MELISSA A	130 MANCHESTER WAY SHAVANO PARK TX 78249-2023			LAND: 238,450 IMPR: 659,190 PROD: 0 ASE: 897,640	0036	897,640	0	2,582.89		TOTAL		2,582.89
047825121710	CB 4782E BLK 12 LOT 1710 SHAVANO PARK SUBD UT-17A	JAMES ANDREA E & DAVID A	134 MANCHESTER WAY SHAVANO PARK TX 78249-2023			LAND: 238,450 IMPR: 653,730 PROD: 0 ASE: 892,180	0036	892,180	0	2,567.18		TOTAL		2,567.18
047825121711	CB 4782E BLK 12 LOT 1711 SHAVANO PARK SUBD UT-17A	BIGLARI SARDAR	138 MANCHESTER WAY SHAVANO PARK TX 78249-2023			LAND: 286,210 IMPR: 977,620 PROD: 0 ASE: 1,263,830	0036	1,263,830	0	3,636.57		TOTAL		3,636.57
047825121712	CB 4782E BLK 12 LOT 1712 (GREENBELT) SHAVANO PARK SUBD UT-17A	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825121713	CB 4782E BLK 12 LOT 1713 SHAVANO PARK SUBD UT-17A	GOYAL-GUPTA REVOCABLE TRUST	146 MANCHESTER WAY SHAVANO PARK TX 78249-2023			LAND: 260,660 IMPR: 1,016,300 PROD: 0 ASE: 1,276,960	0036	1,276,960	0	3,674.35		TOTAL		3,674.35
047825121714	CB 4782E BLK 12 LOT 1714 SHAVANO PARK SUBD UT-17A	REMKUS JAMES E & AVILES SYLVIA Y	150 MANCHESTER WAY SHAVANO PARK TX 78249-2023			LAND: 252,260 IMPR: 1,107,220 PROD: 0 ASE: 1,359,480	0036	1,354,480	5,000	2,832.00		TOTAL		2,832.00

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047825121715	CB 4782E BLK 12 LOT 1715 SHAVANO PARK SUBD UT-17A	TRAVIS RONALD A & PATRICIA	154 MANCHESTER WAY SHAVANO PARK TX 78249-2023 154 MANCHESTER WAY HOM O65			LAND: 238,450 IMPR: 543,550 PROD: 0 ASE: 782,000	0036	777,000	5,000	2,204.10		TOTAL		2,204.10
047825121716	CB 4782E BLK 12 LOT 1716 SHAVANO PARK SUBD UT-17A	SHELLEY JAMES B	158 MANCHESTER WAY SHAVANO PARK TX 78249-2023 158 MANCHESTER WAY HOM O65			LAND: 240,930 IMPR: 939,070 PROD: 0 ASE: 1,180,000	0036	1,175,000	5,000	3,270.99		TOTAL		3,270.99
047825131717	CB 4782E BLK 13 LOT 1717 SHAVANO PARK SUBD UT-17A	CONNOLLY WILLIAM G & CAROL J	115 MANCHESTER WAY SHAVANO PARK TX 78249-2023 115 MANCHESTER WAY HOM			LAND: 256,530 IMPR: 633,230 PROD: 0 ASE: 889,760	0036	889,760	0	2,560.21		TOTAL		2,560.21
047825131718	CB 4782E BLK 13 LOT 1718 SHAVANO PARK SUBD UT-17A	HECKMAN MICHAEL & CARRIE	119 MANCHESTER WAY SHAVANO PARK TX 78249-2023 119 MANCHESTER WAY HOM			LAND: 245,490 IMPR: 682,360 PROD: 0 ASE: 927,850	0036	927,850	0	2,669.81		TOTAL		2,669.81
047825131719	CB 4782E BLK 13 LOT 1719 SHAVANO PARK SUBD UT-17A	GARZA GERMAN E & LORELLA R	123 MANCHESTER WAY SHAVANO PARK TX 78249-2023 123 MANCHESTER WAY HOM			LAND: 238,450 IMPR: 661,550 PROD: 0 ASE: 900,000	0036	900,000	0	2,589.68		TOTAL		2,589.68
047825131720	CB 4782E BLK 13 LOT 1720 SHAVANO PARK SUBD UT-17A	CISKOWSKI MICHAEL S	127 MANCHESTER WAY SHAVANO PARK TX 78249-2023 127 MANCHESTER WAY HOM			LAND: 238,450 IMPR: 1,136,550 PROD: 0 ASE: 1,375,000	0036	1,375,000	0	3,956.45		TOTAL		3,956.45
047825131721	CB 4782E BLK 13 LOT 1721 SHAVANO PARK SUBD UT-17A	BURNS DIANNA	131 MANCHESTER WAY SHAVANO PARK TX 78249-2023 131 MANCHESTER WAY HOM O65			LAND: 258,430 IMPR: 824,700 PROD: 0 ASE: 1,083,130	0036	1,078,130	5,000	2,762.76		TOTAL		2,762.76
047825131722	CB 4782E BLK 13 LOT 1722 SHAVANO PARK SUBD UT-17A	SCHMIDT STEVEN & YANKA S	147 MANCHESTER WAY SHAVANO PARK TX 78249-2023 147 MANCHESTER WAY HOM			LAND: 240,930 IMPR: 959,070 PROD: 0 ASE: 1,200,000	0036	1,200,000	0	3,452.90		TOTAL		3,452.90
047825131723	CB 4782E BLK 13 LOT 1723 SHAVANO PARK SUBD UT-17A	GREEN KELLY & MEGAN	224 BENTLEY MNR SHAVANO PARK TX 78249-2020 224 BENTLEY MNR HOM			LAND: 247,560 IMPR: 798,580 PROD: 0 ASE: 1,046,140	0036	1,046,140	0	3,010.18		TOTAL		3,010.18

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047825131724	CB 4782E BLK 13 LOT 1724 SHAVANO PARK SUBD UT-17A	BUYANOV DMITRIY	220 BENTLEY MNR SHAVANO PARK TX 78249-2020			LAND: 247,560 IMPR: 990,100 PROD: 0 ASE: 1,237,660	0036	1,237,660	0	3,561.27			TOTAL	3,561.27
047825131725	CB 4782E BLK 13 LOT 1725 SHAVANO PARK SUBD UT-17A	ELIZONDO LAURA G & CARLOS A	216 BENTLEY MNR SHAVANO PARK TX 78249-2020			LAND: 238,450 IMPR: 625,560 PROD: 0 ASE: 864,010	0036	864,010	0	2,486.12			TOTAL	2,486.12
047825131726	CB 4782E BLK 13 LOT 1726 SHAVANO PARK SUBD UT-17A	HARRIS GARY S & STEPHANIE	212 BENTLEY MNR SHAVANO PARK TX 78249-2020			LAND: 238,450 IMPR: 598,810 PROD: 0 ASE: 837,260	0036	837,260	0	2,409.15			TOTAL	2,409.15
047825131727	CB 4782E BLK 13 LOT 1727 SHAVANO PARK SUBD UT-17A	ERNESTO & JUDITH GOMEZ LIVING TRUST	208 BENTLEY MNR SAN ANTONIO TX 78249-2020			LAND: 240,930 IMPR: 590,570 PROD: 0 ASE: 831,500	0036	826,500	5,000	2,045.27			TOTAL	2,045.27
047825131728	CB 4782E BLK 13 LOT 1728 SHAVANO PARK SUBD UT-17A	LASHWAY RICHARD F JR & YVETTE N	204 BENTLEY MNR SHAVANO PARK TX 78249-2020			LAND: 252,260 IMPR: 656,710 PROD: 0 ASE: 908,970	0036	908,970	0	2,615.49			TOTAL	2,615.49
047825141729	CB 4782E BLK 14 LOT 1729 SHAVANO PARK SUBD UT-17A	BROUMAND VARSHASB & BEHNOOSH SAFAVI	207 BENTLEY MNR SHAVANO PARK TX 78249-2020			LAND: 252,260 IMPR: 842,740 PROD: 0 ASE: 1,095,000	0036	1,095,000	0	3,150.77			TOTAL	3,150.77
047825141730	CB 4782E BLK 14 LOT 1730 SHAVANO PARK SUBD UT-17A	BOWE LISA	211 BENTLEY MNR SHAVANO PARK TX 78249-2020			LAND: 272,350 IMPR: 536,650 PROD: 0 ASE: 809,000	0036	809,000	0	2,327.83			TOTAL	2,327.83
047825141731	CB 4782E BLK 14 LOT 1731 SHAVANO PARK SUBD UT-17A	RIVERLAND CAPITAL LLC	19134 STONE OAK PKWY STE 200 SAN ANTONIO TX 78258-3386			LAND: 287,610 IMPR: 912,420 PROD: 0 ASE: 1,200,030	0036	1,200,030	0	3,452.99			TOTAL	3,452.99
047825141732	CB 4782E BLK 14 LOT 1732 SHAVANO PARK SUBD UT-17A	NAUMANN MICHAEL A & CHERYL K	223 BENTLEY MNR SHAVANO PARK TX 78249-2020			LAND: 262,510 IMPR: 687,490 PROD: 0 ASE: 950,000	0036	950,000	0	2,733.55			TOTAL	2,733.55

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047825141733	CB 4782E BLK 14 LOT 1733 SHAVANO PARK SUBD UT-17A	SANCHEZ IVAN & MARLENE L	303 BENTLEY MNR SHAVANO PARK TX 78249-2021			LAND: 256,530 IMPR: 1,075,550 PROD: 0 ASE: 1,332,080	0036	1,332,080	0	3,832.95		TOTAL		3,832.95
047825141734	CB 4782E BLK 14 LOT 1734 SHAVANO PARK SUBD UT-17A	VADAKEKALAM JACOB & SHINY	307 BENTLEY MNR SHAVANO PARK TX 78249-2021			LAND: 266,460 IMPR: 563,540 PROD: 0 ASE: 830,000	0036	830,000	0	2,388.26		TOTAL		2,388.26
047825141739	CB 4782E BLK 14 LOT 1739 (GREENBELT) SHAVANO PARK SUBD UT-17E	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100 SHAVANO PARK TX 78231-4412			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825141740	CB 4782E BLK 14 LOT 1740 SHAVANO PARK SUBD UT-17E	GRIFFIN CARRIE	110 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 111,890 IMPR: 357,880 PROD: 0 ASE: 469,770	0036	469,770	0	1,351.73		TOTAL		1,351.73
047825141741	CB 4782E BLK 14 LOT 1741 SHAVANO PARK SUBD UT-17E	TEJADA CARLOS G & MYRA R	114 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 111,890 IMPR: 388,230 PROD: 0 ASE: 500,120	0036	495,120	5,000	1,424.67		TOTAL		1,424.67
047825141742	CB 4782E BLK 14 LOT 1742 SHAVANO PARK SUBD UT-17E	COELLO INVESTMENTS LLC	PO BOX 692221 SAN ANTONIO TX 78269-2221			LAND: 113,000 IMPR: 405,940 PROD: 0 ASE: 518,940	0036	518,940	0	1,493.21		TOTAL		1,493.21
047825141743	CB 4782E BLK 14 LOT 1743 SHAVANO PARK SUBD UT-17E	SEMPE JON GURUTZ REMENTERIA ETAL	122 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 111,890 IMPR: 354,610 PROD: 0 ASE: 466,500	0036	466,500	0	1,342.32		TOTAL		1,342.32
047825141744	CB 4782E BLK 14 LOT 1744 SHAVANO PARK SUBD UT-17E	BRADLEY ROBERT P	126 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 111,890 IMPR: 383,790 PROD: 0 ASE: 495,680	0036	490,680	5,000	1,354.45		TOTAL		1,354.45
047825141745	CB 4782E BLK 14 LOT 1745 SHAVANO PARK SUBD UT-17E	BOWKER CHARLES S & BARBARA J	130 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 102,710 IMPR: 339,580 PROD: 0 ASE: 442,290	0036	437,290	5,000	1,178.02		TOTAL		1,178.02

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047825141746	CB 4782E BLK 14 LOT 1746 SHAVANO PARK SUBD UT-17E	HUNT PHILIP MASON	134 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 105,740 IMPR: 426,260 PROD: 0 ASE: 532,000	0036	532,000	0	1,530.79			TOTAL	1,530.79
047825141747	CB 4782E BLK 14 LOT 1747 SHAVANO PARK SUBD UT-17E	SCHROEDER CAROL B	138 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 110,320 IMPR: 406,480 PROD: 0 ASE: 516,800	0036	511,800	5,000	1,254.85			TOTAL	1,254.85
047825141748	CB 4782E BLK 14 LOT 1748 SHAVANO PARK SUBD UT-17E	MARTIN JEANNE C	142 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 110,320 IMPR: 455,230 PROD: 0 ASE: 565,550	0036	560,400	5,150	1,464.61			TOTAL	1,464.61
047825141749	CB 4782E BLK 14 LOT 1749 SHAVANO PARK SUBD UT-17E	VILLASTRIGO AARON C & IRINA SELETSKA	146 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 110,320 IMPR: 422,440 PROD: 0 ASE: 532,760	0036	515,760	17,000	1,353.60			TOTAL	1,353.60
047825141750	CB 4782E BLK 14 LOT 1750 SHAVANO PARK SUBD UT-17E	CANTU NORMA J	150 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 110,320 IMPR: 413,480 PROD: 0 ASE: 523,800	0036	518,800	5,000	1,492.81			TOTAL	1,492.81
047825141751	CB 4782E BLK 14 LOT 1751 SHAVANO PARK SUBD UT-17E	EPSTEIN FRANKLIN M	154 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 110,320 IMPR: 419,680 PROD: 0 ASE: 530,000	0036	525,000	5,000	1,475.20			TOTAL	1,475.20
047825141752	CB 4782E BLK 14 LOT 1752 SHAVANO PARK SUBD UT-17E	SAUNDERS JOHN & TONI	158 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 113,000 IMPR: 350,000 PROD: 0 ASE: 463,000	0036	458,000	5,000	1,301.28			TOTAL	1,301.28
047825141753	CB 4782E BLK 14 LOT 1753 (GREENBELT) SHAVANO PARK SUBD UT-17E	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29			TOTAL	0.29
047825141754	CB 4782E BLK 14 LOT 1754 SHAVANO PARK SUBD UT-17E	LEE DA-HAE	206 HAMPTON WAY SHAVANO PARK TX 78249-2044			LAND: 110,320 IMPR: 362,280 PROD: 0 ASE: 472,600	0036	467,600	5,000	1,281.82			TOTAL	1,281.82

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047825141755	CB 4782E BLK 14 LOT 1755 SHAVANO PARK SUBD UT-17E	PETTIT CARMEN H & LYLE S	210 HAMPTON WAY SHAVANO PARK TX 78249-2044			LAND: 113,000 IMPR: 393,650 PROD: 0 ASE: 506,650	0036	489,650	17,000	1,308.84		TOTAL		1,308.84
047825141818	CB 4782E BLK 14 LOT 1818 SHAVANO PARK SUBD UT-17F	JANIK ANDREA K	214 HAMPTON WAY SHAVANO PARK TX 78249-2044			LAND: 113,850 IMPR: 497,620 PROD: 0 ASE: 611,470	0036	611,470	0	1,759.46		TOTAL		1,759.46
047825141819	CB 4782E BLK 14 LOT 1819 SHAVANO PARK SUBD UT-17F	CURZIO SOFIA M	19134 STONE OAK PKWY STE 200 SAN ANTONIO TX 78258-3386			LAND: 113,000 IMPR: 437,420 PROD: 0 ASE: 550,420	0036	550,420	0	1,583.79		TOTAL		1,583.79
047825141820	CB 4782E BLK 14 LOT 1820 SHAVANO PARK SUBD UT-17F	BENAVIDES ROBERTO & IRMA S	222 HAMPTON WAY SHAVANO PARK TX 78249-2044			LAND: 111,890 IMPR: 434,330 PROD: 0 ASE: 546,220	0036	541,220	5,000	1,434.67		TOTAL		1,434.67
047825141821	CB 4782E BLK 14 LOT 1821 SHAVANO PARK SUBD UT-17F	CAPERTON SANDRA JO & BOBBY WAYNE REV	302 HAMPTON WAY SHAVANO PARK TX 78249-2069			LAND: 111,890 IMPR: 429,270 PROD: 0 ASE: 541,160	0036	536,160	5,000	1,542.76		TOTAL		1,542.76
047825141822	CB 4782E BLK 14 LOT 1822 SHAVANO PARK SUBD UT-17F	MEYERS WILLIAM J	306 HAMPTON WAY SHAVANO PARK TX 78249-2069			LAND: 113,000 IMPR: 440,200 PROD: 0 ASE: 553,200	0036	548,200	5,000	1,521.09		TOTAL		1,521.09
047825141823	CB 4782E BLK 14 LOT 1823 SHAVANO PARK SUBD UT-17F	SEEMAN LOUIS F & NORMA	310 HAMPTON WAY SHAVANO PARK TX 78249-2069			LAND: 110,310 IMPR: 397,650 PROD: 0 ASE: 507,960	0036	502,960	5,000	1,373.31		TOTAL		1,373.31
047825141824	CB 4782E BLK 14 LOT 1824 SHAVANO PARK SUBD UT-17F	CRIDDLE FRANK J & RITA P	314 HAMPTON WAY SHAVANO PARK TX 78249-2069			LAND: 110,310 IMPR: 386,070 PROD: 0 ASE: 496,380	0036	0	496,380	0.00		TOTAL		0.00
047825141825	CB 4782E BLK 14 LOT 1825 SHAVANO PARK SUBD UT-17F	GEDALA MURTHY V R	320 HAMPTON WAY SHAVANO PARK TX 78249-2069			LAND: 111,890 IMPR: 404,110 PROD: 0 ASE: 516,000	0036	516,000	0	1,484.75		TOTAL		1,484.75

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047825141826	CB 4782E BLK 14 LOT 1826 SHAVANO PARK SUBD UT-17F	CHORN KENNETH A	402 HAMPTON WAY SHAVANO PARK TX 78249-2070			LAND: 111,890 IMPR: 414,720 PROD: 0 ASE: 526,610	0036	509,610	17,000	1,466.36			TOTAL	1,466.36
047825141827	CB 4782E BLK 14 LOT 1827 SHAVANO PARK SUBD UT-17F	BOLFING BRANDON LEE & SHAHED I	406 HAMPTON WAY SHAVANO PARK TX 78249-2070			LAND: 113,000 IMPR: 494,730 PROD: 0 ASE: 607,730	0036	607,730	0	1,748.69			TOTAL	1,748.69
047825141828	CB 4782E BLK 14 LOT 1828 SHAVANO PARK SUBD UT-17F	PADIERNA-BARTNING PEDRO ET AL	ALBERT EINSTEIN NUM 89 PASEO DE LAS LOMAS MEXICO DF DF 01330-410 HAMPTON WAY			LAND: 113,500 IMPR: 482,740 PROD: 0 ASE: 596,240	0036	596,240	0	1,715.63			TOTAL	1,715.63
047825141829	CB 4782E BLK 14 LOT 1829 SHAVANO PARK SUBD UT-17F	SCHWESINGER KATHERINE	414 HAMPTON WAY SHAVANO PARK TX 78249-2070			LAND: 113,850 IMPR: 471,150 PROD: 0 ASE: 585,000	0036	568,000	17,000	1,555.82			TOTAL	1,555.82
047825141830	CB 4782E BLK 14 LOT 1830 SHAVANO PARK SUBD UT-17F	FANNING ETTA	418 HAMPTON WAY SHAVANO PARK TX 78249-2070			LAND: 113,850 IMPR: 558,650 PROD: 0 ASE: 672,500	0036	667,500	5,000	1,920.68			TOTAL	1,920.68
047825141831	CB 4782E BLK 14 LOT 1831 SHAVANO PARK SUBD UT-17F	CONN DAVID BLAINE	422 HAMPTON WAY SHAVANO PARK TX 78249-2070			LAND: 113,850 IMPR: 393,670 PROD: 0 ASE: 507,520	0036	507,520	0	1,460.35			TOTAL	1,460.35
047825141832	CB 4782E BLK 14 LOT 1832 SHAVANO PARK SUBD UT-17F	WELLS JAMES & RUTH N	426 HAMPTON WAY SHAVANO PARK TX 78249-2070			LAND: 113,850 IMPR: 373,460 PROD: 0 ASE: 487,310	0036	482,310	5,000	1,122.25			TOTAL	1,122.25
047825141833	CB 4782E BLK 14 LOT 1833 SHAVANO PARK SUBD UT-17F	GARRIDO DONALD P & LYDIA I	430 HAMPTON WAY SHAVANO PARK TX 78249-2070			LAND: 110,310 IMPR: 399,230 PROD: 0 ASE: 509,540	0036	504,540	5,000	1,441.59			TOTAL	1,441.59
047825141834	CB 4782E BLK 14 LOT 1834 SHAVANO PARK SUBD UT-17F	GUTIERREZ JOE E & YOLANDA E	PO BOX 780523 SAN ANTONIO TX 78278-0523			LAND: 113,000 IMPR: 312,110 PROD: 0 ASE: 425,110	0036	425,110	0	1,204.80			TOTAL	1,204.80

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047825141866	CB 4782E BLK 14 LOT 1866 (GREENBELT)	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100			LAND: 100	0036	100	0	0.29				
	SHAVANO PARK SUBD UT-17F		SHAVANO PARK TX 78231-4412			IMPR: 0								
			0 HAMPTON WAY			PROD: 0						TOTAL		0.29
						ASE: 100								
047825150010	CB 4782E BLK 15 LOT 1 (HARRISON PROPERTIES)	HARRISON PROFESSIONAL PROPERTIES LLC	8425 ARTESIA AVE			LAND: 609,010	0036	1,579,600	0	4,545.17				
			HELOTES TX 78023-4709			IMPR: 970,590								
			4408 LOCKHILL SELMA RD			PROD: 0						TOTAL		4,545.17
						ASE: 1,579,600								
047825150020	CB 4782E BLK 15 LOT 2 (LOCKHILL SHAVANO PARK U-17 TRACT A)	CRG REALTY HOLDINGS LLC	4416 LOCKHILL SELMA RD			LAND: 590,740	0036	2,310,000	0	6,646.84				
			SAN ANTONIO TX 78249-2078			IMPR: 1,719,260								
			4416 LOCKHILL SELMA RD			PROD: 0						TOTAL		6,646.84
						ASE: 2,310,000								
047825150030	CB 4782E BLK 15 LOT 3 (LOCKHILL SHAVANO PARK UT-17 TR-B)	WEDNESDAY PROPERTIES LLC	4432 LOCKHILL SELMA RD			LAND: 516,550	0036	1,595,000	0	4,589.48				
			SAN ANTONIO TX 78249-2078			IMPR: 1,078,450								
			4432 LOCKHILL SELMA RD			PROD: 0						TOTAL		4,589.48
						ASE: 1,595,000								
047825150040	CB 4782E (LOCKHILL SHAVANO PARK UT-17 TRACT C), BLOCK 15 LOT 4	LOMA CANDADO LP	106 DEF CT			LAND: 776,210	0036	1,954,520	0	5,623.97				
			LAREDO TX 78041-			IMPR: 1,178,310								
			4450 LOCKHILL SELMA RD			PROD: 0						TOTAL		5,623.97
						ASE: 1,954,520								
047825150050	CB 4782E BLK 15 LOT 5 (LOCKHILL SHAVANO PARK UT-17 TRACT C)	LOMA CANDADO LP	106 DEF CT			LAND: 676,560	0036	1,835,160	0	5,280.53				
			LAREDO TX 78041-			IMPR: 1,158,600								
			4456 LOCKHILL SELMA RD			PROD: 0						TOTAL		5,280.53
						ASE: 1,835,160								
047825150160	CB 4782E BLK 15 LOT 16 (SHAVANO PARK MEDICAL & DENTAL CENTER)	VNT MANAGEMENT LLC	4462 LOCKHILL SELMA RD STE 102			LAND: 498,280	0036	1,050,000	0	3,021.29				
			SAN ANTONIO TX 78249-2078			IMPR: 551,720								
			4462 LOCKHILL SELMA RD			PROD: 0						TOTAL		3,021.29
						ASE: 1,050,000								
047825151736	CB 4782E BLK 15 LOT 1736 EXC SE 296.41 FT (.020 AC) SHAVANO PARK SUBD UT-17B	ROGERS SHAVANO PARK UT-17 LTD	11 LYNN BATTS LN STE 100			LAND: 1,339,810	0036	1,339,810	0	3,855.20				
			SAN ANTONIO TX 78218-3077			IMPR: 0								
			0 DE ZAVALA RD			PROD: 0						TOTAL		3,855.20
						ASE: 1,339,810								
047825151737	CB 4782E BLK 15 LOT SE 296.41 FT OF 1736 SHAVANO PARK SUBD UT-17B (ROW DEDICATION)	CITY OF SAN ANTONIO	PO BOX 839966			LAND: 0	0036	0	0	0.00				
			SAN ANTONIO TX 78283-3966			IMPR: 0								
			0 DE ZAVALA RD			PROD: 0						TOTAL		0.00
			EXXV			ASE: 0								

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047825151811	CB 4782E BLK 15 LOT 1809 "DEZAVALA FAMILY PRACTICE SUBD"	4466 LOCKHILL SELMA LLC	4466 LOCKHILL SELMA RD			LAND: 553,650 IMPR: 491,350 PROD: 0 ASE: 1,045,000	0036	1,045,000	0	3,006.90				
												TOTAL		3,006.90
047825151812	CB 4782E BLK 15 LOT 1812 (SHAVANO PARK SUBD UT-17L)	LOCKHILL SELMA PROPERTY INTERESTS LT	9311 SAN PEDRO AVE STE 600 SAN ANTONIO TX 78216-4459 4500 LOCKHILL SELMA RD			LAND: 4,175,700 IMPR: 16,124,300 PROD: 0 ASE: 20,300,000	0036	20,300,000	0	58,411.63				
												TOTAL		58,411.63
047825151813	CB 4782E BLK 15 LOT 1810 (SHAVANO PARK SUBD UT-17L)	LS LOCKHILL PROPERTIES LLC	9 JUSTINIAN LN SAN ANTONIO TX 78257-1277 4560 LOCKHILL SELMA RD			LAND: 2,446,670 IMPR: 3,643,330 PROD: 0 ASE: 6,090,000	0036	6,090,000	0	17,523.49				
												TOTAL		17,523.49
047825151814	CB 4782E BLK 15 LOT 1811 (SHAVANO PARK SUBD UT-17L)	LS LOCKHILL PROPERTIES LLC	9 JUSTINIAN LN SAN ANTONIO TX 78257-1277 0 LOCKHILL SELMA RD			LAND: 1,247,000 IMPR: 0 PROD: 0 ASE: 1,247,000	0036	1,247,000	0	3,588.14				
												TOTAL		3,588.14
047825152269	CB 4782E BLK 15 LOT 2269 (SHAVANO PARK SUBD UT-17N)	DOMICILIO LHS LLC	14800 SAN PEDRO AVE STE 300 SAN ANTONIO TX 78232-3702 4350 LOCKHILL SELMA RD			LAND: 4,010,700 IMPR: 20,173,000 PROD: 0 ASE: 24,183,700	0036	24,183,700	0	69,586.66				
												TOTAL		69,586.66
047825152271	CB 4782E (SHAVANO PARK UT-17N), BLOCK 15 LOT 2271	GO PROPERTIES 3 LLC	6601 BLANCO RD STE 150 SAN ANTONIO TX 78216-6106 0 LOCKHILL SELMA RD			LAND: 2,132,890 IMPR: 0 PROD: 0 ASE: 2,132,890	0036	2,132,890	0	6,137.22				
												TOTAL		6,137.22
047825152308	CB 4782E BLK 15 LOT 2308 (SHAVANO PARK SUBD UT-17C)	NSHE TX FORNEY LLC	% JOHN A COLGLAZIER 1000 E BASSE RD STE 100 SAN ANTONIO TX 78209-3252 4600 LOCKHILL SELMA RD			LAND: 1,133,400 IMPR: 3,175,880 PROD: 0 ASE: 4,309,280	0036	4,309,280	0	12,399.61				
												TOTAL		12,399.61
047825152309	CB 4782E BLK 15 LOT 2309 (SHAVANO PARK SUBD UT-17C)	NSHE TX FORNEY LLC	% JOHN A COLGLAZIER 1000 E BASSE RD STE 100 SAN ANTONIO TX 78209-3252 4590 LOCKHILL SELMA RD			LAND: 1,774,690 IMPR: 1,795,100 PROD: 0 ASE: 3,569,790	0036	3,569,790	0	10,271.79				
												TOTAL		10,271.79
047825161756	CB 4782E BLK 16 LOT 1756 (GREENBELT) SHAVANO PARK SUBD UT-17E	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412 103 HAMPTON WAY			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29				
												TOTAL		0.29

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047825161757	CB 4782E BLK 16 LOT 1757 SHAVANO PARK SUBD UT-17E	LEWIS PETER WILLIAM REV LIVING TRUST	123 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 139,140 IMPR: 522,070 PROD: 0 ASE: 661,210	0036	656,210	5,000	1,731.11		TOTAL		1,731.11
047825161758	CB 4782E BLK 16 LOT 1758 SHAVANO PARK SUBD UT-17E	WOODS W BRADLEY & LISA MASTERS	127 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 112,690 IMPR: 377,310 PROD: 0 ASE: 490,000	0036	490,000	0	1,409.94		TOTAL		1,409.94
047825161759	CB 4782E BLK 16 LOT 1759 SHAVANO PARK SUBD UT-17E	STRUVE DONALD W & CYNTHIA D	131 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 129,240 IMPR: 486,470 PROD: 0 ASE: 615,710	0036	0	615,710	0.00		TOTAL		0.00
047825161760	CB 4782E BLK 16 LOT 1760 SHAVANO PARK SUBD UT-17E	GUELAN LLC	107 GEDDINGTON SHAVANO PARK TX 78249-2063			LAND: 118,670 IMPR: 403,440 PROD: 0 ASE: 522,110	0036	522,110	0	1,502.33		TOTAL		1,502.33
047825161761	CB 4782E BLK 16 LOT 1761 SHAVANO PARK SUBD UT-17E	PETERS STEPHEN & PAULA	139 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 113,700 IMPR: 443,730 PROD: 0 ASE: 557,430	0036	557,430	0	1,603.96		TOTAL		1,603.96
047825161762	CB 4782E BLK 16 LOT 1762 SHAVANO PARK SUBD UT-17E	VELA HUMBERTO GOMEZ & SUSANA PONCEDE	143 HAMPTON WAY SHAVANO PARK TX 78249-2041			LAND: 111,410 IMPR: 474,970 PROD: 0 ASE: 586,380	0036	581,380	5,000	1,626.81		TOTAL		1,626.81
047825161763	CB 4782E BLK 16 LOT 1763 SHAVANO PARK SUBD UT-17E	FRANKLIN JOHN THOMAS III & JANET KA	106 BINHAM HTS SHAVANO PARK TX 78249-2056			LAND: 113,700 IMPR: 497,020 PROD: 0 ASE: 610,720	0036	593,720	17,000	1,417.60		TOTAL		1,417.60
047825161764	CB 4782E BLK 16 LOT 1764 SHAVANO PARK SUBD UT-17E	DOEBBLER JAMES A & DAVILA MARIA E	110 BINHAM HTS SHAVANO PARK TX 78249-2056			LAND: 111,890 IMPR: 423,740 PROD: 0 ASE: 535,630	0036	530,630	5,000	1,439.03		TOTAL		1,439.03
047825161765	CB 4782E BLK 16 LOT 1765 SHAVANO PARK SUBD UT-17E	MCMANUS MITCHELL D & SHELLY L	PO BOX 781948 SAN ANTONIO TX 78278-1948			LAND: 113,000 IMPR: 377,000 PROD: 0 ASE: 490,000	0036	490,000	0	1,409.94		TOTAL		1,409.94

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047825161766	CB 4782E BLK 16 LOT 1766 SHAVANO PARK SUBD UT-17E	KRAMER JIM W & DOROTHY F	122 BINHAM HTS SHAVANO PARK TX 78249-2056			LAND: 111,890 IMPR: 396,820 PROD: 0 ASE: 508,710	0036	503,710	5,000	1,391.42		TOTAL		1,391.42
047825161767	CB 4782E BLK 16 LOT 1767 SHAVANO PARK SUBD UT-17E	FULLER GARY L & GENEY CATHERINE	126 BINHAM HTS SHAVANO PARK TX 78249-2056			LAND: 102,710 IMPR: 313,730 PROD: 0 ASE: 416,440	0036	399,440	17,000	1,149.36		TOTAL		1,149.36
047825161768	CB 4782E BLK 16 LOT 1768 SHAVANO PARK SUBD UT-17E	PARK MYUNG K & ISSUN K	130 BINHAM HTS SHAVANO PARK TX 78249-2056			LAND: 113,000 IMPR: 348,000 PROD: 0 ASE: 461,000	0036	456,000	5,000	1,239.54		TOTAL		1,239.54
047825161769	CB 4782E BLK 16 LOT 1769 SHAVANO PARK SUBD UT-17E	PARKINSON INGRID % HOMER LEWIS PO BOX 245 EAGLE PASS TX 78853-0245	131 BINHAM HTS HOM O65			LAND: 111,890 IMPR: 402,130 PROD: 0 ASE: 514,020	0036	509,020	5,000	1,337.51		TOTAL		1,337.51
047825161770	CB 4782E BLK 16 LOT 1770 SHAVANO PARK SUBD UT-17E	DAY MICHAEL C & MELONAE	127 BINHAM HTS SHAVANO PARK TX 78249-2056			LAND: 108,260 IMPR: 414,940 PROD: 0 ASE: 523,200	0036	518,200	5,000	1,417.70		TOTAL		1,417.70
047825161771	CB 4782E BLK 16 LOT 1771 SHAVANO PARK SUBD UT-17E	RHODES JONATHAN & PAULA	123 BINHAM HTS SHAVANO PARK TX 78249-2056			LAND: 111,890 IMPR: 418,110 PROD: 0 ASE: 530,000	0036	525,000	5,000	1,492.71		TOTAL		1,492.71
047825161772	CB 4782E BLK 16 LOT 1772 SHAVANO PARK SUBD UT-17E	ONE NINETEEN BINHAM HEIGHTS SPRING T	15810 LOFTY HEIGHTS SAN ANTONIO TX 78232-119			LAND: 111,890 IMPR: 380,260 PROD: 0 ASE: 492,150	0036	492,150	0	1,416.12		TOTAL		1,416.12
047825161773	CB 4782E BLK 16 LOT 1773 SHAVANO PARK SUBD UT-17E	RATHBONE A SUE	115 BINHAM HTS SAN ANTONIO TX 78249-2056			LAND: 111,890 IMPR: 444,460 PROD: 0 ASE: 556,350	0036	556,350	0	1,600.85		TOTAL		1,600.85
047825161774	CB 4782E BLK 16 LOT 1774 SHAVANO PARK SUBD UT-17E	KLEIN JOYCE C	111 BINHAM HTS SHAVANO PARK TX 78249-2056			LAND: 111,890 IMPR: 426,990 PROD: 0 ASE: 538,880	0036	533,880	5,000	1,402.49		TOTAL		1,402.49

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047825161775	CB 4782E BLK 16 LOT 1775 SHAVANO PARK SUBD UT-17E	REICHMAN ITZHAK	331 BOX OAK SHAVANO PARK TX 78230-5632			LAND: 111,890 IMPR: 380,120 PROD: 0 ASE: 492,010	0036	492,010	0	1,415.72			TOTAL	1,415.72
047825161776	CB 4782E BLK 16 LOT 1776 SHAVANO PARK SUBD UT-17E	COBEN CHARLES & DOROTHY	PO BOX 781489 SAN ANTONIO TX 78278-1489			LAND: 113,500 IMPR: 430,500 PROD: 0 ASE: 544,000	0036	539,000	5,000	1,524.25			TOTAL	1,524.25
047825161835	CB 4782E BLK 16 LOT 1835 SHAVANO PARK SUBD UT-17F	ROSS KAY M REVOCABLE TRUST	ROSS KAY M & JAMES A TRUSTEES 102 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 125,820 IMPR: 491,840 PROD: 0 ASE: 617,660	0036	612,660	5,000	1,676.55			TOTAL	1,676.55
047825161836	CB 4782E BLK 16 LOT 1836 SHAVANO PARK SUBD UT-17F	GRISSOM RICHARD D	106 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 113,000 IMPR: 396,660 PROD: 0 ASE: 509,660	0036	504,660	5,000	1,327.24			TOTAL	1,327.24
047825161837	CB 4782E BLK 16 LOT 1837 SHAVANO PARK SUBD UT-17F	ALLEN SHEILA M	110 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 111,890 IMPR: 425,110 PROD: 0 ASE: 537,000	0036	532,000	5,000	1,520.00			TOTAL	1,520.00
047825161838	CB 4782E BLK 16 LOT 1838 SHAVANO PARK SUBD UT-17F	RODRIGUEZ ENRIQUE & LUCILA CRISTINA	114 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 110,310 IMPR: 393,470 PROD: 0 ASE: 503,780	0036	498,780	5,000	1,355.59			TOTAL	1,355.59
047825161839	CB 4782E BLK 16 LOT 1839 SHAVANO PARK SUBD UT-17F	KAPLAN URSULA L & EDWARD D L/E	KAPLAN FAMILY REV L/TR 118 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 113,000 IMPR: 379,010 PROD: 0 ASE: 492,010	0036	487,010	5,000	1,192.26			TOTAL	1,192.26
047825161840	CB 4782E BLK 16 LOT 1840 SHAVANO PARK SUBD UT-17F	BURCHFIELD LARRY R & SANDRA C	122 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 113,700 IMPR: 410,180 PROD: 0 ASE: 523,880	0036	518,880	5,000	1,389.72			TOTAL	1,389.72
047825161841	CB 4782E BLK 16 LOT 1841 SHAVANO PARK SUBD UT-17F	BERRIER REVOCABLE TRUST	126 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 111,890 IMPR: 373,660 PROD: 0 ASE: 485,550	0036	480,550	5,000	1,281.47			TOTAL	1,281.47

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047825161842	CB 4782E BLK 16 LOT 1842 SHAVANO PARK SUBD UT-17F	OGDEN EDWARD W & NANCY J	130 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 113,700 IMPR: 405,610 PROD: 0 ASE: 519,310	0036	514,310	5,000	1,379.33		TOTAL		1,379.33
047825161843	CB 4782E BLK 16 LOT 1843 SHAVANO PARK SUBD UT-17F	GESAN REAL ESTATE VENTURES LLC	131 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 112,700 IMPR: 442,670 PROD: 0 ASE: 555,370	0036	555,370	0	1,598.03		TOTAL		1,598.03
047825161844	CB 4782E BLK 16 LOT 1844 SHAVANO PARK SUBD UT-17F	DFT REAL ESTATE LLC	24803 CALIZA TER BOERNE TX 78006-8590			LAND: 111,900 IMPR: 393,270 PROD: 0 ASE: 505,170	0036	500,170	5,000	1,439.20		TOTAL		1,439.20
047825161845	CB 4782E BLK 16 LOT 1845 SHAVANO PARK SUBD UT-17F	GEIMAN RICHARD A & JENNIFER J	123 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 110,310 IMPR: 403,610 PROD: 0 ASE: 513,920	0036	508,920	5,000	1,403.26		TOTAL		1,403.26
047825161846	CB 4782E BLK 16 LOT 1846 SHAVANO PARK SUBD UT-17F	ATAIDE RANDY & RUTH	115 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 110,310 IMPR: 378,370 PROD: 0 ASE: 488,680	0036	488,680	0	1,406.14		TOTAL		1,406.14
047825161847	CB 4782E BLK 16 LOT 1847 SHAVANO PARK SUBD UT-17F	MATHER VICTORIA & GASKILL HAROLD V III	111 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 110,310 IMPR: 413,370 PROD: 0 ASE: 523,680	0036	518,680	5,000	1,366.77		TOTAL		1,366.77
047825161848	CB 4782E BLK 16 LOT 1848 SHAVANO PARK SUBD UT-17F	HENDRYX LIVING TRUST	107 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 110,310 IMPR: 399,860 PROD: 0 ASE: 510,170	0036	505,170	5,000	1,270.32		TOTAL		1,270.32
047825161849	CB 4782E BLK 16 LOT 1849 SHAVANO PARK SUBD UT-17F	WAHL HELEN R	103 CALAIS WAY SHAVANO PARK TX 78249-2071			LAND: 113,850 IMPR: 459,350 PROD: 0 ASE: 573,200	0036	568,200	5,000	1,634.95		TOTAL		1,634.95
047825161850	CB 4782E BLK 16 LOT 1850 SHAVANO PARK SUBD UT-17F	MARBACH SHERRY	102 DOVERY WAY SAN ANTONIO TX 78249-2072			LAND: 113,850 IMPR: 438,150 PROD: 0 ASE: 552,000	0036	552,000	0	1,588.34		TOTAL		1,588.34

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047825161851	CB 4782E BLK 16 LOT 1851 SHAVANO PARK SUBD UT-17F	MADRID CAROLYN	106 DOVERY WAY SAN ANTONIO TX 78249-2072			LAND: 110,310 IMPR: 455,070 PROD: 0 ASE: 565,380	0036	560,380	5,000	1,533.38			TOTAL	1,533.38
047825161852	CB 4782E BLK 16 LOT 1852 SHAVANO PARK SUBD UT-17F	STEHLING MICHAEL J & CAROL	3542 HUNTWICK LN SAN ANTONIO TX 78230-4034			LAND: 111,890 IMPR: 431,930 PROD: 0 ASE: 543,820	0036	538,820	5,000	1,550.41			TOTAL	1,550.41
047825161853	CB 4782E BLK 16 LOT 1853 SHAVANO PARK SUBD UT-17F	WAYLETT SUSANNE M	114 DOVERY WAY SAN ANTONIO TX 78249-2072			LAND: 113,700 IMPR: 431,460 PROD: 0 ASE: 545,160	0036	528,160	17,000	1,519.74			TOTAL	1,519.74
047825161854	CB 4782E BLK 16 LOT 1854 SHAVANO PARK SUBD UT-17F	MORA CARLOS M & YOLANDA C	118 DOVERY WAY SAN ANTONIO TX 78249-2072			LAND: 111,890 IMPR: 413,110 PROD: 0 ASE: 525,000	0036	520,000	5,000	1,496.26			TOTAL	1,496.26
047825161855	CB 4782E BLK 16 LOT 1855 SHAVANO PARK SUBD UT-17F	HOLMES BARBARA G	122 DOVERY WAY SAN ANTONIO TX 78249-2072			LAND: 113,000 IMPR: 371,070 PROD: 0 ASE: 484,070	0036	484,070	0	1,392.87			TOTAL	1,392.87
047825161856	CB 4782E BLK 16 LOT 1856 SHAVANO PARK SUBD UT-17F	RUCKMAN PAUL	123 DOVERY WAY SAN ANTONIO TX 78249-2072			LAND: 111,890 IMPR: 332,370 PROD: 0 ASE: 444,260	0036	439,260	5,000	1,180.95			TOTAL	1,180.95
047825161857	CB 4782E BLK 16 LOT 1857 SHAVANO PARK SUBD UT-17F	WILEY GERALDINE M	119 DOVERY WAY SAN ANTONIO TX 78249-2072			LAND: 111,890 IMPR: 470,110 PROD: 0 ASE: 582,000	0036	577,000	5,000	1,610.01			TOTAL	1,610.01
047825161858	CB 4782E BLK 16 LOT 1858 SHAVANO PARK SUBD UT-17F	BURK JIM L & ANN P	111 DOVERY WAY SAN ANTONIO TX 78249-2072			LAND: 113,700 IMPR: 453,890 PROD: 0 ASE: 567,590	0036	562,590	5,000	1,618.81			TOTAL	1,618.81
047825161859	CB 4782E BLK 16 LOT 1859 SHAVANO PARK SUBD UT-17F	MURRAY JAMES J & VIRGINIA S	107 DOVERY WAY SAN ANTONIO TX 78249-2072			LAND: 108,260 IMPR: 428,630 PROD: 0 ASE: 536,890	0036	531,890	5,000	1,449.60			TOTAL	1,449.60

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047825161860	CB 4782E BLK 16 LOT 1860 SHAVANO PARK SUBD UT-17F	SANTOS URBANO & PATRICIA	103 DOVERY WAY SAN ANTONIO TX 78249-2072			LAND: 111,890 IMPR: 409,740 PROD: 0 ASE: 521,630	0036	521,630	0	1,500.95				
			103 DOVERY WAY HOM									TOTAL		1,500.95
047825161861	CB 4782E BLK 16 LOT 1861 SHAVANO PARK SUBD UT-17F	SICKLER PAUL HOWARD & SAAVEDRA CARLO	423 HAMPTON WAY SHAVANO PARK TX 78249-2070			LAND: 113,500 IMPR: 452,820 PROD: 0 ASE: 566,320	0036	549,320	17,000	1,552.00				
			423 HAMPTON WAY VET HOM O65									TOTAL		1,552.00
047825161862	CB 4782E BLK 16 LOT 1862 SHAVANO PARK SUBD UT-17F	FARIVAR MIRHASSAN	427 HAMPTON WAY SHAVANO PARK TX 78249-2070			LAND: 113,850 IMPR: 473,990 PROD: 0 ASE: 587,840	0036	587,840	0	1,691.46				
			427 HAMPTON WAY HOM									TOTAL		1,691.46
047825161863	CB 4782E BLK 16 LOT 1863 SHAVANO PARK SUBD UT-17F	HAMMER ROBERT E & CATHERINE M	431 HAMPTON WAY SHAVANO PARK TX 78249-2070			LAND: 110,310 IMPR: 356,140 PROD: 0 ASE: 466,450	0036	0	466,450	0.00				
			431 HAMPTON WAY HOM O65 VTX									TOTAL		0.00
047825161864	CB 4782E BLK 16 LOT 1864 SHAVANO PARK SUBD UT-17F	OVALLE GUADALUPE	435 HAMPTON WAY SHAVANO PARK TX 78249-2070			LAND: 111,890 IMPR: 349,740 PROD: 0 ASE: 461,630	0036	0	461,630	0.00				
			435 HAMPTON WAY HOM O65 VTX									TOTAL		0.00
047825161865	CB 4782E BLK 16 LOT 1865 (GREENBELT) SHAVANO PARK SUBD UT-17F	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100 SHAVANO PARK TX 78231-4412			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29				
			0 LOCKHILL SELMA RD									TOTAL		0.29
047825171777	CB 4782E BLK 17 LOT 1777 GREENBELT (SHAVANO PARK SUBD UT-17H)	BENTLEY MANOR HOMEOWNERS ASSN	% ASSOCIATION MGMT SERVICES 1600 NE LOOP 410 STE 202 SAN ANTONIO TX 78209-1613			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29				
			0 BENTLEY MANOR									TOTAL		0.29
047825171778	CB 4782E BLK 17 LOT 1778 (SHAVANO PARK SUBD UT-17H)	YANG YI & SHIWEN Z	118 GEDDINGTON SHAVANO PARK TX 78249-2063			LAND: 238,450 IMPR: 508,550 PROD: 0 ASE: 747,000	0036	735,000	12,000	2,114.90				
			118 GEDDINGTON VET HOM									TOTAL		2,114.90
047825171779	CB 4782E BLK 17 LOT 1779 (SHAVANO PARK SUBD UT-17H)	ZEBROWSKI STAN & YULIYA	114 GEDDINGTON SHAVANO PARK TX 78249-2063			LAND: 256,520 IMPR: 868,980 PROD: 0 ASE: 1,125,500	0036	1,125,500	0	3,238.54				
			114 GEDDINGTON HOM									TOTAL		3,238.54

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047825171780	CB 4782E BLK 17 LOT 1780 (SHAVANO PARK SUBD UT-17H)	WRIGHT GREGORY A & CAROLE S	110 GEDDINGTON SHAVANO PARK TX 78249-2063			LAND: 252,260 IMPR: 620,390 PROD: 0 ASE: 872,650	0036	867,650	5,000	2,330.30		TOTAL		2,330.30
047825171781	CB 4782E BLK 17 LOT 1781 (SHAVANO PARK SUBD UT-17H)	MULLER STEVE & KERRY	106 GEDDINGTON SHAVANO PARK TX 78249-2063			LAND: 309,020 IMPR: 1,415,980 PROD: 0 ASE: 1,725,000	0036	1,725,000	0	4,963.55		TOTAL		4,963.55
047825171782	CB 4782E BLK 17 LOT 1782 (SHAVANO PARK SUBD UT-17H)	GIBSON LARRY R & NANCY Y	102 GEDDINGTON SHAVANO PARK TX 78249-2063			LAND: 289,370 IMPR: 1,365,630 PROD: 0 ASE: 1,655,000	0036	1,650,000	5,000	4,425.60		TOTAL		4,425.60
047825171783	CB 4782E BLK 17 LOT 1783 (SHAVANO PARK SUBD UT-17H)	GUELAN2 REALTY GROUP LLC	107 GEDDINGTON SHAVANO PARK TX 78249-2063			LAND: 260,660 IMPR: 1,455,390 PROD: 0 ASE: 1,716,050	0036	1,716,050	0	4,937.80		TOTAL		4,937.80
047825171784	CB 4782E BLK 17 LOT 1784 (SHAVANO PARK SUBD UT-17H)	MILLER MICHAEL S & YVETTE M	111 GEDDINGTON SHAVANO PARK TX 78249-2063			LAND: 243,060 IMPR: 831,130 PROD: 0 ASE: 1,074,190	0036	1,074,190	0	3,090.90		TOTAL		3,090.90
047825171785	CB 4782E BLK 17 LOT 1785 (SHAVANO PARK SUBD UT-17H)	THARP ALLEN & ELENA R	16109 UNIVERSITY OAK SHAVANO PARK TX 78249-4017			LAND: 268,570 IMPR: 1,226,430 PROD: 0 ASE: 1,495,000	0036	1,495,000	0	4,301.74		TOTAL		4,301.74
047825171786	CB 4782E BLK 17 LOT 1786 (SHAVANO PARK SUBD UT-17H)	FLORES ANTONIO JR & IRMA E	410 BENTLEY MNR SHAVANO PARK TX 78249-2062			LAND: 279,530 IMPR: 1,210,470 PROD: 0 ASE: 1,490,000	0036	1,485,000	5,000	4,272.97		TOTAL		4,272.97
047825171787	CB 4782E BLK 17 LOT 1787 (SHAVANO PARK SUBD UT-17H)	414 BENTLEY MANOR HOLDINGS LLC	414 BENTLEY MNR SHAVANO PARK TX 78249-2062			LAND: 243,060 IMPR: 1,069,660 PROD: 0 ASE: 1,312,720	0036	1,312,720	0	3,777.25		TOTAL		3,777.25
047825171788	CB 4782E BLK 17 LOT 1788 (SHAVANO PARK SUBD UT-17H)	LANE RICHARD GARY II	418 BENTLEY MNR SHAVANO PARK TX 78249-2062			LAND: 238,450 IMPR: 1,101,650 PROD: 0 ASE: 1,340,100	0036	1,340,100	0	3,856.03		TOTAL		3,856.03

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047825171789	CB 4782E BLK 17 LOT 1789 (SHAVANO PARK SUBD UT-17H)	CLARK MICHAEL & CAROLE	422 BENTLEY MNR SHAVANO PARK TX 78249-2062			LAND: 243,060 IMPR: 1,006,940 PROD: 0 ASE: 1,250,000	0036	1,250,000	0	3,596.78		TOTAL		3,596.78
047825171790	CB 4782E BLK 17 LOT 1790 (SHAVANO PARK SUBD UT-17H)	CAMPOS ROGER S & CARMEN	426 BENTLEY MNR SHAVANO PARK TX 78249-2062			LAND: 247,560 IMPR: 932,440 PROD: 0 ASE: 1,180,000	0036	1,180,000	0	3,395.36		TOTAL		3,395.36
047825171791	CB 4782E BLK 17 LOT 1791 (SHAVANO PARK SUBD UT-17H)	JANSSEN MICHAEL L & BARBARA	430 BENTLEY MNR SHAVANO PARK TX 78249-2062			LAND: 247,560 IMPR: 678,270 PROD: 0 ASE: 925,830	0036	920,830	5,000	2,595.46		TOTAL		2,595.46
047825171792	CB 4782E BLK 17 LOT 1792 (SHAVANO PARK SUBD UT-17H)	HATCH MARK W & PAMELA A	434 BENTLEY MNR SHAVANO PARK TX 78249-2062			LAND: 243,060 IMPR: 609,120 PROD: 0 ASE: 852,180	0036	852,180	0	2,452.08		TOTAL		2,452.08
047825171793	CB 4782E BLK 17 LOT 1793 (SHAVANO PARK SUBD UT-17H)	COOLEY PHILIP L & WOODSELL SANDRA L	438 BENTLEY MNR SHAVANO PARK TX 78249-2062			LAND: 240,920 IMPR: 644,520 PROD: 0 ASE: 885,440	0036	880,440	5,000	2,533.40		TOTAL		2,533.40
047825171794	CB 4782E BLK 17 LOT 1794 (SHAVANO PARK SUBD UT-17H)	SCHMITZ JOHN PHILLIP & KAREN M GALLA	502 BENTLEY MNR SHAVANO PARK TX 78249-2065			LAND: 243,060 IMPR: 876,940 PROD: 0 ASE: 1,120,000	0036	1,115,000	5,000	3,078.84		TOTAL		3,078.84
047825171795	CB 4782E BLK 17 LOT 1795 (GREENBELT) (SHAVANO PARK SUBD UT-17H)	BENTLEY MANOR HOMEOWNERS ASSN % ASSOCIATION MGMT SERVICES 1600 NE LOOP 410 STE 202 SAN ANTONIO TX 78209-1613 0 GEDDINGTON				LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825171896	CB 4782E BLK 17 LOT 1896 SHAVANO PARK SUB'D UT-17I	DALRYMPLE NEAL C & MONICA A	506 BENTLEY MNR SHAVANO PARK TX 78249-2065			LAND: 279,530 IMPR: 1,199,810 PROD: 0 ASE: 1,479,340	0036	1,479,340	0	4,256.68		TOTAL		4,256.68
047825171897	CB 4782E BLK 17 LOT 1897 (SHAVANO PARK SUB'D UT-17I)	GORDER JOSEPH W & LACIE M	514 BENTLEY MNR SHAVANO PARK TX 78249-2065			LAND: 240,930 IMPR: 1,301,070 PROD: 0 ASE: 1,542,000	0036	1,542,000	0	4,436.98		TOTAL		4,436.98

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047825171898	CB 4782E BLK 17 LOT 1898 (SHAVANO PARK SUB'D UT-171)	GOMEZ RICHARD H & DIANE	518 BENTLEY MNR SHAVANO PARK TX 78249-2065			LAND: 240,930 IMPR: 1,250,260 PROD: 0 ASE: 1,491,190	0036	1,486,190	5,000	4,109.66		TOTAL		4,109.66
047825171899	CB 4782E BLK 17 LOT 1899 SHAVANO PARK SUB'D UT-171	SHAH JAYDEEP S & TRUPTI J	503 GEESE LNDG GLEN ALLEN VA 23060-5885			LAND: 252,270 IMPR: 1,671,650 PROD: 0 ASE: 1,923,920	0036	1,923,920	0	5,535.93		TOTAL		5,535.93
047825171900	CB 4782E BLK 17 LOT 1900 SHAVANO PARK SUB'D UT-171	KEETH RANDAL BERTON	606 BENTLEY MNR SHAVANO PARK TX 78249-2079			LAND: 281,050 IMPR: 637,080 PROD: 0 ASE: 918,130	0036	913,130	5,000	2,489.54		TOTAL		2,489.54
047825171901	CB 4782E BLK 17 LOT 1901 SHAVANO PARK SUB'D UT-171	BARRETT CHARLES T & MELISSA	610 BENTLEY MNR SHAVANO PARK TX 78249-2079			LAND: 289,380 IMPR: 1,260,620 PROD: 0 ASE: 1,550,000	0036	1,545,000	5,000	2,079.92		TOTAL		2,079.92
047825171902	CB 4782E BLK 17 LOT 1902 SHAVANO PARK SUB'D UT-171	PERRIN DAMON W & JENNIFER	614 BENTLEY MNR SHAVANO PARK TX 78249-2079			LAND: 295,340 IMPR: 1,224,660 PROD: 0 ASE: 1,520,000	0036	1,520,000	0	4,373.68		TOTAL		4,373.68
047825171903	CB 4782E BLK 17 LOT 1903 SHAVANO PARK SUB'D UT-171	NEVITT PAUL C & NICOLE S	618 BENTLEY MNR SHAVANO PARK TX 78249-2079			LAND: 297,410 IMPR: 792,590 PROD: 0 ASE: 1,090,000	0036	1,090,000	0	3,136.39		TOTAL		3,136.39
047825171904	CB 4872E BLK 17 LOT 1904 (SHAVANO PARK SUB'D UT-171)	STIPEK WILLIAM D & MARCIA STEVENS-STIPEK TRUST	622 BENTLEY MNR SHAVANO PARK TX 78249-2079			LAND: 303,070 IMPR: 1,398,395 PROD: 0 ASE: 1,701,465	0036	1,696,465	5,000	4,881.44		TOTAL		4,881.44
047825171905	CB 4782E BLK 17 LOT 1905 SHAVANO PARK SUB'D UT-171	DAHIYA RAJIV S & MARTA	650 NE 32ND ST UNIT 1703 MIAMI FL 33137-5254			LAND: 245,490 IMPR: 1,371,070 PROD: 0 ASE: 1,616,560	0036	1,616,560	0	4,651.52		TOTAL		4,651.52
047825171906	CB 4782E BLK 17 LOT 1906 (SHAVANO PARK SUB'D UT-171)	KELLA NAVEEN & SHROFF REEMA	527 BERWICK TOWN SAN ANTONIO TX 78249-2080			LAND: 252,270 IMPR: 838,230 PROD: 0 ASE: 1,090,500	0036	1,090,500	0	3,137.83		TOTAL		3,137.83

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047825171907	CB 4782E BLK 17 LOT 1907 (SHAVANO PARK SUB'D UT-17I)	CROW KEITH & ROYER CASSANDRE	523 BERWICK TOWN SAN ANTONIO TX 78249-2080			LAND: 254,240 IMPR: 1,090,750 PROD: 0 ASE: 1,344,990	0036	1,344,990	0	3,870.10		TOTAL		3,870.10
047825171908	CB 4782E BLK 17 LOT 1908 SHAVANO PARK SUB'D UT-17I	WHITTAKER RICHARD J & DENIECE	519 BERWICK TOWN SAN ANTONIO TX 78249-2080			LAND: 247,560 IMPR: 1,274,440 PROD: 0 ASE: 1,522,000	0036	1,522,000	0	4,379.43		TOTAL		4,379.43
047825171909	CB 4782E BLK 17 LOT 1909 SHAVANO PARK SUB'D UT-17I	JACKSON LANCE E & PATRICIA NINETTE	515 BERWICK TOWN SHAVANO PARK TX 78249-2080			LAND: 238,450 IMPR: 1,302,390 PROD: 0 ASE: 1,540,840	0036	1,540,840	0	4,433.64		TOTAL		4,433.64
047825171910	CB 4782E BLK 17 LOT 1910 SHAVANO PARK SUB'D UT-17I	BUCKLEY CARI A	511 BERWICK TOWN SAN ANTONIO TX 78249-2080			LAND: 238,450 IMPR: 812,420 PROD: 0 ASE: 1,050,870	0036	1,050,870	0	3,023.79		TOTAL		3,023.79
047825171911	CB 4782E BLK 17 LOT 1911 SHAVANO PARK SUB'D UT-17I	CHERUKU KIRAN K & MALLADI DEEPA R	507 BERWICK TOWN SAN ANTONIO TX 78249-2080			LAND: 258,440 IMPR: 849,750 PROD: 0 ASE: 1,108,190	0036	1,108,190	0	3,188.73		TOTAL		3,188.73
047825171912	CB 4782E BLK 17 LOT 1912 SHAVANO PARK SUB'D UT-17I	MAXAME REAL ESTATE LLC	503 BERWICK TOWN SAN ANTONIO TX 78249-2080			LAND: 331,930 IMPR: 1,813,550 PROD: 0 ASE: 2,145,480	0036	2,145,480	0	6,173.45		TOTAL		6,173.45
047825171924	CB 4782E BLK 17 LOT 1924 (GREENBELT) SHAVANO PARK SUB'D UT-17I	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825171973	CB 4782E BLK 17 LOT 1973 GREENBELT (SHAVANO PARK UT-17J)	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100 SHAVANO PARK TX 78231-4412			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825171974	CB 4782E BLK 17 LOT 1974 (SHAVANO PARK UT-17J)	ROGERS PAUL MICHAEL & BETH ANN	307 GEDDINGTON SHAVANO PARK TX 78249-2090			LAND: 135,910 IMPR: 558,940 PROD: 0 ASE: 694,850	0036	677,850	17,000	1,807.88		TOTAL		1,807.88

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04782517175	CB 4782E BLK 17 LOT 1975 (SHAVANO PARK UT-17J)	BURNS DAVID L & SUSAN C	311 GEDDINGTON SHAVANO PARK TX 78249-2090			LAND: 115,070 IMPR: 517,840 PROD: 0 ASE: 632,910	0036	627,910	5,000	1,806.76				
			311 GEDDINGTON HOM O65									TOTAL		1,806.76
04782517176	CB 4782E BLK 17 LOT 1976 (SHAVANO PARK UT-17J)	KRUEGER JOHN H & LINDA L	PO BOX 780878 SAN ANTONIO TX 78278-0878			LAND: 113,610 IMPR: 533,880 PROD: 0 ASE: 647,490	0036	642,490	5,000	1,848.71				
			315 GEDDINGTON HOM O65									TOTAL		1,848.71
04782517177	CB 4782E BLK 17 LOT 1977 (SHAVANO PARK UT-17J)	FREDERICK RICKEY L & LADAWNA L	319 GEDDINGTON SHAVANO PARK TX 78249-2090			LAND: 110,320 IMPR: 472,870 PROD: 0 ASE: 583,190	0036	578,190	5,000	1,533.00				
			319 GEDDINGTON HOM O65									TOTAL		1,533.00
04782517178	CB 4782E BLK 17 LOT 1978 (SHAVANO PARK UT-17J)	LOUDERMILK GARY G & MARY E	323 GEDDINGTON SHAVANO PARK TX 78249-2090			LAND: 110,320 IMPR: 424,680 PROD: 0 ASE: 535,000	0036	530,000	5,000	1,466.16				
			323 GEDDINGTON HOM O65									TOTAL		1,466.16
04782517179	CB 4782E BLK 17 LOT 1979 (SHAVANO PARK UT-17J)	OLBERDING MARK A	403 GEDDINGTON SHAVANO PARK TX 78249-2091			LAND: 110,320 IMPR: 479,680 PROD: 0 ASE: 590,000	0036	590,000	0	1,697.68				
			403 GEDDINGTON HOM									TOTAL		1,697.68
04782517180	CB 4782E BLK 17 LOT 1980 (SHAVANO PARK UT-17J)	TEAGUE JERRY L	407 GEDDINGTON SHAVANO PARK TX 78249-2091			LAND: 110,320 IMPR: 493,010 PROD: 0 ASE: 603,330	0036	598,330	5,000	1,566.35				
			407 GEDDINGTON HOM O65									TOTAL		1,566.35
04782517181	CB 4782E BLK 17 LOT 1981 (SHAVANO PARK UT-17J)	ROSTIK LIBOR & IRENE	411 GEDDINGTON SHAVANO PARK TX 78249-2091			LAND: 110,320 IMPR: 444,480 PROD: 0 ASE: 554,800	0036	549,800	5,000	1,403.36				
			411 GEDDINGTON HOM O65									TOTAL		1,403.36
04782517182	CB 4782E BLK 17 LOT 1982 (SHAVANO PARK UT-17J)	TOOHEY JOHN S & MYRNA J	415 GEDDINGTON SHAVANO PARK TX 78249-2091			LAND: 111,900 IMPR: 488,470 PROD: 0 ASE: 600,370	0036	595,370	5,000	1,655.12				
			415 GEDDINGTON HOM O65									TOTAL		1,655.12
04782517183	CB 4782E BLK 17 LOT 1983 (SHAVANO PARK UT-17J)	MCCOLLEY FAMILY TRUST	419 GEDDINGTON SHAVANO PARK TX 78249-2091			LAND: 113,000 IMPR: 515,300 PROD: 0 ASE: 628,300	0036	623,300	5,000	1,692.50				
			419 GEDDINGTON HOM O65									TOTAL		1,692.50

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047825171984	CB 4782E BLK 17 LOT 1984 (SHAVANO PARK UT-17J)	THOMSON RICHARD W & BRENDA C	503 GEDDINGTON SHAVANO PARK TX 78249-2092			LAND: 113,000 IMPR: 522,740 PROD: 0 ASE: 635,740	0036	630,740	5,000	1,726.90			TOTAL	1,726.90
047825172258	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 17 LOT 2258	COLLINS BRYAN & OVIEDO THERESA	7930 OLD FALLS RD MCLEAN VA 22102-2415			LAND: 113,580 IMPR: 484,510 PROD: 0 ASE: 598,090	0036	598,090	0	1,720.96			TOTAL	1,720.96
047825172259	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 17 LOT 2259	DILLARD MICHAEL & CHRISTINE	511 GEDDINGTON SHAVANO PARK TX 78249-2092			LAND: 113,440 IMPR: 453,910 PROD: 0 ASE: 567,350	0036	562,350	5,000	1,522.07			TOTAL	1,522.07
047825172260	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 17 LOT 2260	BUCHHOLTZ WILLIAM H & MARTHA L	515 GEDDINGTON SHAVANO PARK TX 78249-2092			LAND: 113,230 IMPR: 483,620 PROD: 0 ASE: 596,850	0036	567,850	29,000	1,263.84			TOTAL	1,263.84
047825172261	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 17 LOT 2261	PHILIPPUS AL A & JEANNE T	603 GEDDINGTON SHAVANO PARK TX 78249-2992			LAND: 111,020 IMPR: 440,360 PROD: 0 ASE: 551,380	0036	551,380	0	1,586.55			TOTAL	1,586.55
047825172262	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 17 LOT 2262	JASSO FRANK & JASSO ELSA GARCIA	607 GEDDINGTON SHAVANO PARK TX 78249-2992			LAND: 110,850 IMPR: 462,690 PROD: 0 ASE: 573,540	0036	568,540	5,000	1,520.28			TOTAL	1,520.28
047825172263	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 17 LOT 2263	SOHN JEONG-HYEON & LEE SOON HWE	611 GEDDINGTON SHAVANO PARK TX 78249-2992			LAND: 112,550 IMPR: 504,210 PROD: 0 ASE: 616,760	0036	616,760	0	1,774.68			TOTAL	1,774.68
047825172264	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 17 LOT 2264	RHODES WILLIAM I & CHRISTINE W	615 GEDDINGTON SHAVANO PARK TX 78249-2992			LAND: 110,160 IMPR: 465,740 PROD: 0 ASE: 575,900	0036	570,900	5,000	1,526.44			TOTAL	1,526.44
047825172265	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 17 LOT 2265	VIRGINILLO JAMES & VIRGINILLO MARCO	619 GEDDINGTON SHAVANO PARK TX 78249-2992			LAND: 110,130 IMPR: 465,250 PROD: 0 ASE: 575,380	0036	575,380	0	1,655.61			TOTAL	1,655.61

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047825172266	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 17 LOT 2266	POLANSKY EDWARD M & HELENAN	623 GEDDINGTON SHAVANO PARK TX 78249-2992			LAND: 110,120 IMPR: 447,030 PROD: 0 ASE: 557,150	0036	552,150	5,000	1,191.27			TOTAL	1,191.27
047825172267	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 17 LOT 2267	CORTEZ ALEJANDRO JR & WRIGHT TIFFANY	627 GEDDINGTON SHAVANO PARK TX 78249-2992			LAND: 109,780 IMPR: 472,120 PROD: 0 ASE: 581,900	0036	581,900	0	1,674.37			TOTAL	1,674.37
047825172268	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 17 LOT 2268	FLAGSHIP BUILDERS LLC	13409 NW MILITARY HWY STE 350 SHAVANO PARK TX 78231-1811			LAND: 105,120 IMPR: 0 PROD: 0 ASE: 105,120	0036	105,120	0	302.47			TOTAL	302.47
047825181796	CB 4782E BLK 18 LOT 1796 (SHAVANO PARK SUBD UT-17H)	HONORE GERARD M & ERIKA K	203 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 254,240 IMPR: 550,810 PROD: 0 ASE: 805,050	0036	805,050	0	2,316.47			TOTAL	2,316.47
047825181797	CB 4782E BLK 18 LOT 1797 (SHAVANO PARK SUBD UT-17H)	BATHLA LOKESH	415 BENTLEY MNR SHAVANO PARK TX 78249-2062			LAND: 260,660 IMPR: 684,560 PROD: 0 ASE: 945,220	0036	945,220	0	2,719.79			TOTAL	2,719.79
047825181798	CB 4782E BLK 18 LOT 1798 (SHAVANO PARK SUBD UT-17H)	GRIFFIN CHERI	419 BENTLEY MNR SHAVANO PARK TX 78249-2062			LAND: 260,660 IMPR: 612,860 PROD: 0 ASE: 873,520	0036	873,520	0	2,513.48			TOTAL	2,513.48
047825181799	CB 4782E BLK 18 LOT 1799 (SHAVANO PARK SUBD UT-17H)	HOWE CHRISTOPHER & STACEY LYNCH	423 BENTLEY MNR SHAVANO PARK TX 78249-2062			LAND: 274,000 IMPR: 736,390 PROD: 0 ASE: 1,010,390	0036	1,010,390	0	2,907.32			TOTAL	2,907.32
047825181800	CB 4782E BLK 18 LOT 1800 (SHAVANO PARK SUBD UT-17H)	GARCIA RAUL C & KIM M	14255 BLANCO RD SAN ANTONIO TX 78216-7718			LAND: 277,580 IMPR: 1,562,820 PROD: 0 ASE: 1,840,400	0036	1,840,400	0	5,295.60			TOTAL	5,295.60
047825181801	CB 4782E BLK 18 LOT 1801 (SHAVANO PARK SUBD UT-17H)	SISTER REED MANAGEMENT TRUST	431 BENTLEY MNR SHAVANO PARK TX 78249-2062			LAND: 270,290 IMPR: 713,710 PROD: 0 ASE: 984,000	0036	979,000	5,000	2,716.22			TOTAL	2,716.22

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047825181802	CB 4782E BLK 18 LOT 1802 (SHAVANO PARK SUBD UT-17H)	DELGADO CELYNA D	120 TUSCANY WAY SHAVANO PARK TX 78249-2061			LAND: 245,480 IMPR: 1,113,560 PROD: 0 ASE: 1,359,040	0036	1,359,040	0	3,910.53		TOTAL		3,910.53
047825181876	CB 4782E BLK 18 LOT 1876 (SHAVANO PARK SUBD UT-17G)	SKOKAN NATALIE W & JEFFREY WILLIAM T	116 TUSCANY WAY SHAVANO PARK TX 78249-2061			LAND: 247,560 IMPR: 964,620 PROD: 0 ASE: 1,212,180	0036	1,212,180	0	3,487.95		TOTAL		3,487.95
047825181877	CB 4782E BLK 18 LOT 1877 (SHAVANO PARK SUBD UT-17G)	DAWSON EUGENE HOWARD III & MEGHAN E	112 TUSCANY WAY SHAVANO PARK TX 78249-2061			LAND: 262,510 IMPR: 1,028,530 PROD: 0 ASE: 1,291,040	0036	1,291,040	0	3,714.86		TOTAL		3,714.86
047825181878	CB 4782E BLK 18 LOT 1878 (SHAVANO PARK SUBD UT-17G)	REINHART JOHN E & JULIA R	104 TUSCANY WAY SHAVANO PARK TX 78249-2061			LAND: 254,240 IMPR: 855,760 PROD: 0 ASE: 1,110,000	0036	1,110,000	0	3,193.94		TOTAL		3,193.94
047825181879	CB 4782E BLK 18 LOT 1879 (SHAVANO PARK SUBD UT-17G)	RANGEL HECTOR M & LUCILA E	227 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 260,660 IMPR: 709,340 PROD: 0 ASE: 970,000	0036	965,000	5,000	2,720.00		TOTAL		2,720.00
047825181880	CB 4782E BLK 18 LOT 1880 (SHAVANO PARK SUBD UT-17G)	JALNOS ROBERT & EILEEN R	7344 CARIBOU SAN ANTONIO TX 78238-1230			LAND: 238,450 IMPR: 1,046,550 PROD: 0 ASE: 1,285,000	0036	1,280,000	5,000	3,683.10		TOTAL		3,683.10
047825181881	CB 4782E BLK 18 LOT 1881 (SHAVANO PARK SUBD UT-17G)	MILLER TIMOTHY & NATALIE REV TR	219 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 238,450 IMPR: 936,550 PROD: 0 ASE: 1,175,000	0036	1,175,000	0	3,380.97		TOTAL		3,380.97
047825181882	CB 4782E BLK 18 LOT 1882 (SHAVANO PARK SUBD UT-17G)	5L CIBOLO LLC	215 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 238,450 IMPR: 984,870 PROD: 0 ASE: 1,223,320	0036	1,223,320	0	3,520.01		TOTAL		3,520.01
047825181883	CB 4782E BLK 18 LOT 1883 (SHAVANO PARK SUBD UT-17G)	MAMMEN SATHEESH & SOSAMMA	18111 RANSOM HL SAN ANTONIO TX 78258-4649			LAND: 240,930 IMPR: 1,069,070 PROD: 0 ASE: 1,310,000	0036	1,259,450	50,550	2,992.52		TOTAL		2,992.52

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047825181884	CB 4782E BLK 18 LOT 1884 (SHAVANO PARK SUBD UT-17G)	FERNANDEZ DAVID JOSEPH & SHARON R	207 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 238,450 IMPR: 626,670 PROD: 0 ASE: 865,120	0036	865,120	0	2,489.31		TOTAL		2,489.31
047825191803	CB 4782E BLK 19 LOT 1803 (SHAVANO PARK SUBD UT-17H)	WEINER MARCH & ELLEN R	202 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 266,460 IMPR: 588,540 PROD: 0 ASE: 855,000	0036	850,000	5,000	2,387.77		TOTAL		2,387.77
047825191865	CB 4782E BLK 19 LOT 1865 (SHAVANO PARK SUBD UT-17G)	NEY VINCENT K	206 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 254,240 IMPR: 710,760 PROD: 0 ASE: 965,000	0036	965,000	0	2,776.71		TOTAL		2,776.71
047825191866	CB 4782E BLK 19 LOT 1866 (SHAVANO PARK SUBD UT-17G)	ENGELLAND ARTHUR EDWARD III & JESSICA LYNN	210 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 245,480 IMPR: 986,650 PROD: 0 ASE: 1,232,130	0036	1,232,130	0	3,545.36		TOTAL		3,545.36
047825191867	CB 4782E BLK 19 LOT 1867 (SHAVANO PARK SUBD UT-17G)	CRESCENZO MICHAEL J & LYND CHRISTINE	214 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 249,930 IMPR: 1,380,070 PROD: 0 ASE: 1,630,000	0036	1,630,000	0	4,690.19		TOTAL		4,690.19
047825191868	CB 4782E BLK 19 LOT 1868 (SHAVANO PARK SUBD UT-17G)	MERRILL MONTY L	218 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 256,520 IMPR: 1,123,480 PROD: 0 ASE: 1,380,000	0036	1,380,000	0	3,970.84		TOTAL		3,970.84
047825191869	CB 4782E BLK 19 LOT 1869 (SHAVANO PARK SUBD UT-17G)	MILLER SHARON L	222 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 266,460 IMPR: 814,140 PROD: 0 ASE: 1,080,600	0036	1,080,600	0	3,109.34		TOTAL		3,109.34
047825191870	CB 4782E BLK 19 LOT 1870 (SHAVANO PARK SUBD UT-17G)	GLYNN BECKY D	226 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 260,660 IMPR: 1,254,830 PROD: 0 ASE: 1,515,490	0036	1,515,490	0	4,360.70		TOTAL		4,360.70
047825191871	CB 4782E BLK 19 LOT 1871 (SHAVANO PARK SUBD UT-17G)	BANKER BARBARA J	230 GEDDINGTON SHAVANO PARK TX 78249-2064			LAND: 258,430 IMPR: 785,150 PROD: 0 ASE: 1,043,580	0036	1,038,580	5,000	2,691.41		TOTAL		2,691.41

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047825191872	CB 4782E BLK 19 LOT 1872 (SHAVANO PARK SUBD UT-17G)	EXECUTIVE ESTATES INVESTMENTS LLC	234 GEDDINGTON SHAVANO PARK TX 78249-2064 234 GEDDINGTON			LAND: 274,000 IMPR: 1,505,530 PROD: 0 ASE: 1,779,530	0036	1,779,530	0	5,120.46		TOTAL		5,120.46
047825191873	CB 4782E BLK 19 LOT 1873 (SHAVANO PARK SUBD UT-17G)	POWELL TERRY L & SUSAN S	238 GEDDINGTON SHAVANO PARK TX 78249-2064 238 GEDDINGTON HOM			LAND: 240,930 IMPR: 969,070 PROD: 0 ASE: 1,210,000	0036	1,210,000	0	3,481.68		TOTAL		3,481.68
047825191874	CB 4782E BLK 19 LOT 1874 (SHAVANO PARK SUBD UT-17G)	SALTER OSCAR R JR	242 GEDDINGTON SHAVANO PARK TX 78249-2064 242 GEDDINGTON HOM			LAND: 240,930 IMPR: 1,246,390 PROD: 0 ASE: 1,487,320	0036	1,487,320	0	4,279.64		TOTAL		4,279.64
047825191875	CB 4782E BLK 19 LOT 1875 (GREENBELT) (SHAVANO PARK SUBD UT-17G)	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412 0 GEDDINGTON			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825191970	CB 4782E BLK 19 LOT 1970 GREENBELT (SHAVANO PARK UT-17J)	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100 SHAVANO PARK TX 78231-4412 250 GEDDINGTON			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825201804	CB 4782E BLK 20 LOT 1804 (SHAVANO PARK SUBD UT-17H)	CAIN CHARLES P & PATRICIA D	123 TUSCANY WAY SHAVANO PARK TX 78249-2061 123 TUSCANY WAY HOM			LAND: 238,450 IMPR: 551,550 PROD: 0 ASE: 790,000	0036	790,000	0	2,273.16		TOTAL		2,273.16
047825201885	CB 4782E BLK 20 LOT 1885 (SHAVANO PARK SUBD UT-17G)	GONZALEZ HUAREN SALINAS & HAUREN SCA	119 TUSCANY WAY SHAVANO PARK TX 78249-2061 119 TUSCANY WAY HOM O65			LAND: 240,930 IMPR: 862,510 PROD: 0 ASE: 1,103,440	0036	1,098,440	5,000	2,677.09		TOTAL		2,677.09
047825201886	CB 4782E BLK 20 LOT 1886 (SHAVANO PARK SUBD UT-17G)	RUIZ ANTONIO L & IRENE	115 TUSCANY WAY SHAVANO PARK TX 78249-2061 115 TUSCANY WAY HOM O65			LAND: 240,930 IMPR: 726,560 PROD: 0 ASE: 967,490	0036	962,490	5,000	2,597.28		TOTAL		2,597.28
047825201887	CB 4782E BLK 20 LOT 1887 (SHAVANO PARK SUBD UT-17G)	HOLZHAUER ADAM OWEN & CAROL ANN	111 TUSCANY WAY SHAVANO PARK TX 78249-2061 111 TUSCANY WAY HOM O65			LAND: 245,490 IMPR: 1,102,410 PROD: 0 ASE: 1,347,900	0036	1,342,900	5,000	3,338.35		TOTAL		3,338.35

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047825201888	CB 4782E BLK 20 LOT 1888 (SHAVANO PARK SUBD UT-17G)	MARLIN TOMMY D & TAMI G	107 TUSCANY WAY SHAVANO PARK TX 78249-2061			LAND: 247,560 IMPR: 597,310 PROD: 0 ASE: 844,870	0036	839,870	5,000	2,269.34		TOTAL		2,269.34
047825201889	CB 4782E BLK 20 LOT 1889 (SHAVANO PARK SUBD UT-17G)	COYLE TIMOTHY G & MARGARITA C	103 TUSCANY WAY SHAVANO PARK TX 78249-2061			LAND: 276,000 IMPR: 564,000 PROD: 0 ASE: 840,000	0036	840,000	0	2,417.03		TOTAL		2,417.03
047825201891	CB 4782E BLK 20 LOT 1891 SHAVANO PARK SUB'D UT-17I	WEISS SYLVIA M	214 FARNE CASTLE SAN ANTONIO TX 78249-2081			LAND: 240,930 IMPR: 309,960 PROD: 0 ASE: 550,890	0036	545,890	5,000	1,530.53		TOTAL		1,530.53
047825201892	CB 4782E BLK 20 LOT 1892 SHAVANO PARK SUB'D UT-17I	RAMIREZ DAVID F & AMELIE G	218 FARNE CASTLE SAN ANTONIO TX 78249-2081			LAND: 243,070 IMPR: 698,360 PROD: 0 ASE: 941,430	0036	936,430	5,000	2,452.67		TOTAL		2,452.67
047825201893	CB 4782E BLK 20 LOT 1893 SHAVANO PARK SUB'D UT-17I	MOYA STEVEN A & ALISSA M	222 FARNE CASTLE SAN ANTONIO TX 78249-2081			LAND: 243,070 IMPR: 1,183,900 PROD: 0 ASE: 1,426,970	0036	1,426,970	0	4,105.99		TOTAL		4,105.99
047825201894	CB 4782E BLK 20 LOT 1894 SHAVANO PARK SUB'D UT-17I	KINDER CHARLES	226 FARNE CASTLE SAN ANTONIO TX 78249-2081			LAND: 240,930 IMPR: 1,059,070 PROD: 0 ASE: 1,300,000	0036	1,295,000	5,000	3,504.00		TOTAL		3,504.00
047825201895	CB 4782E BLK 20 LOT 1895 SHAVANO PARK SUB'D UT-17I	SELDNER DAVID REVOCABLE TRUST & SELDNER JEANNE BONNER REVOCABLE TRUS	230 FARNE CASTLE SHAVANO PARK TX 78249-2081			LAND: 238,450 IMPR: 961,410 PROD: 0 ASE: 1,199,860	0036	1,194,860	5,000	3,438.11		TOTAL		3,438.11
047825201971	CB 4782E BLK 20 LOT 1971 (SHAVANO PARK UT-17J)	BARBERIO ERNEST J	202 FARNE CASTLE SAN ANTONIO TX 78249-2081			LAND: 238,450 IMPR: 1,351,550 PROD: 0 ASE: 1,590,000	0036	1,590,000	0	4,575.10		TOTAL		4,575.10
047825201972	CB 4782E BLK 20 LOT 1972 (SHAVANO PARK UT-17J)	WAETJEN JAMES R & LINDA F	210 FARNE CASTLE SAN ANTONIO TX 78249-2081			LAND: 238,450 IMPR: 961,550 PROD: 0 ASE: 1,200,000	0036	1,195,000	5,000	3,079.79		TOTAL		3,079.79

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047825211700	CB 4782E (1604/ POND HILL RESTAURANT), BLOCK 21 LOT 1700	ROGERS SHAVANO PARK UNIT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 4820 N LOOP 1604 W OSP			LAND: 1,538,490 IMPR: 0 PROD: 200 ASE: 1,538,490	0036	270,490	1,268,000	778.31		TOTAL		778.31
047825211701	CB 4782E (1604/ POND HILL RESTAURANT), BLOCK 21 LOT 1701	FIFTY SEVEN TEN LLC	8000 W INTERSTATE 10 STE 1200 SAN ANTONIO TX 78230-3872 0 N LOOP 1604 W			LAND: 892,960 IMPR: 1,544,000 PROD: 0 ASE: 2,436,960	0036	2,436,960	0	7,012.16		TOTAL		7,012.16
047825211809	CB 4782E BLK 21 LOT 1809 SHAVANO PARK SUBD UT-18A	CLIFTONTHOMASJR LLC	9701 US HIGHWAY 59 N VICTORIA TX 77905-5567 4150 N LOOP 1604 W			LAND: 2,152,310 IMPR: 837,690 PROD: 0 ASE: 2,990,000	0036	2,990,000	0	8,603.49		TOTAL		8,603.49
047825211810	CB 4782E (POND HILL OFFICE UT-1), BLOCK 21 LOT 1810	OYELAND LTD	2424 BABCOCK RD SAN ANTONIO TX 78229-6031 0 N LOOP 1604 W			LAND: 746,340 IMPR: 18,200 PROD: 0 ASE: 764,540	0036	764,540	0	2,199.90		TOTAL		2,199.90
047825211811	CB 4782E BLK 21 LOT 1811 (BEXAR MEDICAL SOCIETY)	BEXAR COUNTY MEDICAL LIBRARY ASSOCIA	6243 W IH 10 STE 600 SAN ANTONIO TX 78201-2092 4334 N LOOP 1604 W EXXV			LAND: 1,013,480 IMPR: 4,287,900 PROD: 0 ASE: 5,301,380	0036	2,614,379	2,687,001	7,522.67		TOTAL		7,522.67
047825211913	CB 4872E BLK 21 LOT 1913 SHAVANO PARK SUBD UT-171	OKOLI OKEY & ELIZABETH	506 BERWICK TOWN SAN ANTONIO TX 78249-2080 506 BERWICK TOWN			LAND: 245,490 IMPR: 999,510 PROD: 0 ASE: 1,245,000	0036	1,245,000	0	3,582.39		TOTAL		3,582.39
047825211914	CB 4872E BLK 21 LOT 1914 SHAVANO PARK SUB'D UT-171	PETITT RICHARD J & KATHLEEN B	510 BERWICK TOWN SAN ANTONIO TX 78249-2080 510 BERWICK TOWN HOM O65			LAND: 245,490 IMPR: 745,520 PROD: 0 ASE: 991,010	0036	986,010	5,000	2,746.62		TOTAL		2,746.62
047825211915	CB 4872E BLK 21 LOT 1915 SHAVANO PARK SUB'D UT-171	MADLA KELLY A & JOHN	514 BERWICK TOWN SAN ANTONIO TX 78249-2080 514 BERWICK TOWN HOM			LAND: 247,560 IMPR: 728,680 PROD: 0 ASE: 976,240	0036	976,240	0	2,809.05		TOTAL		2,809.05
047825211916	CB 4782E BLK 21 LOT 1916 (DRAINAGE ROW) SHAVANO PARK SUB'D UT-171	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412 0 BERWICK TOWN			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29

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047825211917	CB 4872E BLK 21 LOT 1917 SHAVANO PARK SUB'D UT-171	HOPKINS BRUCE & SHARON	522 BERWICK TOWN SAN ANTONIO TX 78249-2080			LAND: 238,450 IMPR: 693,740 PROD: 0 ASE: 932,190	0036	927,190	5,000	2,667.92		TOTAL		2,667.92
047825211918	CB 4872E BLK 21 LOT 1918 SHAVANO PARK SUB'D UT-171	WARRILOW ROBERT W & BRITTANY	526 BERWICK TOWN SAN ANTONIO TX 78249-2080			LAND: 238,450 IMPR: 989,720 PROD: 0 ASE: 1,228,170	0036	1,228,170	0	3,533.96		TOTAL		3,533.96
047825211919	CB 4872E BLK 21 LOT 1919 SHAVANO PARK SUB'D UT-171	SANTILLAN-GOMEZ ANTONIO & ROMELIA SA	17239 SHAVANO RNCH APT 3201 SAN ANTONIO TX 78257-1326			LAND: 252,270 IMPR: 973,820 PROD: 0 ASE: 1,226,090	0036	1,226,090	0	3,527.98		TOTAL		3,527.98
047825211920	CB 4872E BLK 21 LOT 1920 SHAVANO PARK SUB'D UT-171	CHAKALES TROY L & MAUREEN E	607 BENTLEY MNR SHAVANO PARK TX 78249-2079			LAND: 264,680 IMPR: 1,495,320 PROD: 0 ASE: 1,760,000	0036	1,760,000	0	5,064.26		TOTAL		5,064.26
047825211921	CB 4872E BLK 21 LOT 1921 SHAVANO PARK SUB'D UT-171	ELLISON TRUMAN G III & GRISELDA	519 BENTLEY MNR SHAVANO PARK TX 78249-2065			LAND: 238,450 IMPR: 1,287,820 PROD: 0 ASE: 1,526,270	0036	1,526,270	0	4,391.72		TOTAL		4,391.72
047825211922	CB 4872E BLK 21 LOT 1922 SHAVANO PARK SUB'D UT-171	RIEWE KURT	515 BENTLEY MNR SHAVANO PARK TX 78249-2065			LAND: 252,270 IMPR: 1,269,730 PROD: 0 ASE: 1,522,000	0036	1,522,000	0	4,379.43		TOTAL		4,379.43
047825211923	CB 4872E BLK 21 LOT 1923 SHAVANO PARK SUB'D UT-171	FLORES ANTONIO R & MARIA AGUIRRE-FLORES	511 BENTLEY MNR SHAVANO PARK TX 78249-2065			LAND: 238,450 IMPR: 1,285,860 PROD: 0 ASE: 1,524,310	0036	1,519,310	5,000	4,371.69		TOTAL		4,371.69
047825211933	CB 4782E BLK 21 LOT N IRR 126.25 FT OF 1933 (SHAVANO PARK UT-18 PH 1)	SPTC DIRT LLC	406 CAMERON CIR SAN ANTONIO TX 78258-2946			LAND: 51,490 IMPR: 73,510 PROD: 0 ASE: 125,000	0036	125,000	0	359.68		TOTAL		359.68
047825211934	CB 4782E BLK 21 LOT E IRR 224.13 FT OF 1933 (SHAVANO PARK UT-18 PH 1)	POND HILL RETAIL LTD	C/O SIRELL PROPERTIES 70 NE LOOP 410 STE 725 SAN ANTONIO TX 78216-4115			LAND: 1,002,390 IMPR: 885,610 PROD: 0 ASE: 1,888,000	0036	1,888,000	0	5,432.57		TOTAL		5,432.57

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047825212270	CB 4782E BLK 21 LOT 2270 (SHAVANO PARK TENNIS CENTER)	SPTC DIRT LLC	406 CAMERON CIR			LAND: 644,640	0036	1,110,000	0	3,193.94				
			SAN ANTONIO TX 78258-2946			IMPR: 465,360								
			4111 POND HILL RD			PROD: 0						TOTAL		3,193.94
						ASE: 1,110,000								
047825221925	CB 4782E BLK 22 LOT 1925 PRIVATE STREET (SHAVANO PARK UT-19B PH 1)	SHAVANO PARK UNIT 19B BUSINESS CENTE	% ASSC MGMT SVCS			LAND: 100	0036	200	0	0.58				
			3424 PAESANOS PKWY STE 100			IMPR: 100								
			SAN ANTONIO TX 78231-4412			PROD: 0						TOTAL		0.58
			0 PAESANOS PKWY			ASE: 200								
047825231926	CB 4782E BLK 23 LOT 1926 WATER QUALITY BASIN (SHAVANO PARK UT-19B PH 1)	SHAVANO PARK UNIT 19B BUSINESS CENTE	% ASSC MGMT SVCS			LAND: 100	0036	200	0	0.58				
			3424 PAESANOS PKWY STE 100			IMPR: 100								
			SAN ANTONIO TX 78231-4412			PROD: 0						TOTAL		0.58
			0 W LOOP 1604			ASE: 200								
047825231928	CB 4782E BLK 23 LOT 1928 (SHAVANO PARK UT-19B PH 1)	DRB SHAVANO LLC	16115 GLASS LAKE DR			LAND: 997,000	0036	6,050,000	0	17,408.39				
			ODESSA FL 33556-2703			IMPR: 5,053,000								
			3512 PAESANOS PKWY			PROD: 0						TOTAL		17,408.39
						ASE: 6,050,000								
047825231929	CB 4782E BLK 23 LOT 1929 (SHAVANO PARK UT-19B PH 1)	DRB SHAVANO LLC	16115 GLASS LAKE DR			LAND: 1,017,340	0036	6,050,000	0	17,408.39				
			ODESSA FL 33556-2703			IMPR: 5,032,660								
			3522 PAESANOS PKWY			PROD: 0						TOTAL		17,408.39
						ASE: 6,050,000								
047825241930	CB 4782E BLK 24 LOT 1930 (SHAVANO PARK UT-19B PH 1)	SA F&P PROPERTY HOLDING CORP	11603 W COKER LOOP STE 201			LAND: 1,546,360	0036	8,461,580	0	24,347.52				
			SAN ANTONIO TX 78216-3099			IMPR: 6,915,220								
			3602 PAESANOS PKWY			PROD: 0						TOTAL		24,347.52
						ASE: 8,461,580								
047825241931	CB 4782E BLK 24 LOT 1931 (SHAVANO PARK UT-19B PH 1)	SHAVANO RESTAURANT PARTNERSHIP LTD	11 LYNN BATTS LN STE 100			LAND: 2,143,500	0036	3,875,000	0	11,150.00				
			SAN ANTONIO TX 78218-3077			IMPR: 1,731,500								
			3622 PAESANOS PKWY			PROD: 0						TOTAL		11,150.00
						ASE: 3,875,000								
047825241932	CB 4782E BLK 24 LOT 1932 (SHAVANO PARK UT-19B PH 1)	SAN ANTONIO HOUSING CENTER LP	3625 PAESANOS PKWY			LAND: 1,783,740	0036	3,482,000	0	10,019.18				
			SAN ANTONIO TX 78231-1251			IMPR: 1,698,260								
			3625 PAESANOS PKWY			PROD: 0						TOTAL		10,019.18
						ASE: 3,482,000								
047825252022	CB 4782E BLK 25 LOT 2022 (SHAVANO PARK UT-19B PH II)	CROCKETT MORTGAGE LEASING AFFILIATES	502 S KOENIGHEIM ST			LAND: 944,860	0036	5,600,000	0	16,113.55				
			SAN ANGELO TX 76903-6769			IMPR: 4,655,140								
			3503 PAESANOS PKWY			PROD: 0						TOTAL		16,113.55
						ASE: 5,600,000								

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047825252024	CB 4782E BLK 25 LOT 2024 (SHAVANO PARK UT-19B PH II)	MAYA MEDPRO PROPERTIES LLC	22 LAKESIDE DR SAN ANTONIO TX 78248-1019 3603 PAESANOS PKWY			LAND: 870,330 IMPR: 6,829,670 PROD: 0 ASE: 7,700,000	0036	7,700,000	0	22,156.13		TOTAL		22,156.13
047825252025	CB 4782E BLK 25 LOT 2025 (SHAVANO PARK UT-19B PH II)	BLAUNERS PAESANOS PARKWAY LP	733 YONKERS AVE STE 107 YONKERS NY 10704-2659 3611 PAESANOS PKWY			LAND: 870,330 IMPR: 6,479,670 PROD: 0 ASE: 7,350,000	0036	7,350,000	0	21,149.04		TOTAL		21,149.04
047825252026	CB 4782E BLK 25 LOT 2026 (SHAVANO PARK UT-19B PH II)	SA F&P PROPERTY HOLDING CORP	11603 W COKER LOOP STE 201 SAN ANTONIO TX 78216-3099 3619 PAESANOS PKWY			LAND: 1,431,690 IMPR: 11,293,310 PROD: 0 ASE: 12,725,000	0036	12,725,000	0	36,615.17		TOTAL		36,615.17
047825260186	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 26 LOT 2186	PERKINS CODY	306 REGENT CIR SAN ANTONIO TX 78231-1404 306 REGENT CIR HOM			LAND: 171,280 IMPR: 592,940 PROD: 0 ASE: 764,220	0036	764,220	0	2,198.98		TOTAL		2,198.98
047825261934	CB 4782E BLK 26 LOT 1934 (SHAVANO PARK UT-18 PH 1)	WARNER KRISTINA C & LIU XIANGYU	378 REGENT CIR SAN ANTONIO TX 78231-1404 378 REGENT CIR HOM			LAND: 176,130 IMPR: 695,790 PROD: 0 ASE: 871,920	0036	871,920	0	2,508.88		TOTAL		2,508.88
047825261935	CB 4782E BLK 26 LOT 1935 (SHAVANO PARK UT-18 PH 1)	SHRINER DAVID & SANDRA	374 REGENT CIR SAN ANTONIO TX 78231-1404 374 REGENT CIR HOM			LAND: 228,850 IMPR: 956,150 PROD: 0 ASE: 1,185,000	0036	1,185,000	0	3,409.74		TOTAL		3,409.74
047825261936	CB 4782E BLK 26 LOT 1936 (SHAVANO PARK UT-18 PH 1)	WUNDERLICH WARREN R & NILA J	370 REGENT CIR SHAVANO PARK TX 78231-1404 370 REGENT CIR HOM O65			LAND: 254,240 IMPR: 677,830 PROD: 0 ASE: 932,070	0036	927,070	5,000	2,631.10		TOTAL		2,631.10
047825261937	CB 4782E BLK 26 LOT 1937 (SHAVANO PARK UT-18 PH 1)	CURRENT PROPERTY OWNER	366 REGENT CIR SHAVANO PARK TX 78231-1404 366 REGENT CIR HOM O65			LAND: 213,530 IMPR: 636,470 PROD: 0 ASE: 850,000	0036	845,000	5,000	2,375.45		TOTAL		2,375.45
047825261938	CB 4782E BLK 26 LOT 1938 (SHAVANO PARK UT-18 PH 1)	CORREA CARLOS & HEATHER M	362 REGENT CIR SAN ANTONIO TX 78231-1404 362 REGENT CIR HOM			LAND: 191,400 IMPR: 668,600 PROD: 0 ASE: 860,000	0036	860,000	0	2,474.58		TOTAL		2,474.58

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047825261939	CB 4782E BLK 26 LOT 1939 (SHAVANO PARK UT-18 PH 1)	TORRES JAIME & MARIA REV/TRUST	TORRES JAIME E & MARIA C TRSTES			LAND: 165,940 IMPR: 688,670 PROD: 0 ASE: 854,610	0036	854,610	0	2,459.07				
			358 REGENT CIR SAN ANTONIO TX 78231-1404 358 REGENT CIR HOM									TOTAL		2,459.07
047825261940	CB 4782E BLK 26 LOT 1940 (SHAVANO PARK UT-18 PH 1)	HUBER ROBERT EDWARD & LORIE ANNE	354 REGENT CIR SAN ANTONIO TX 78231-1404 354 REGENT CIR CAP HOM O65			LAND: 154,600 IMPR: 581,650 PROD: 0 ASE: 736,250	0036	720,912	15,338	1,834.27				
												TOTAL		1,834.27
047825261941	CB 4782E BLK 26 LOT 1941 (SHAVANO PARK UT-18 PH 1)	MOWEN DOUGLAS M	350 REGENT CIR SAN ANTONIO TX 78231-1404 350 REGENT CIR HOM			LAND: 163,240 IMPR: 633,690 PROD: 0 ASE: 796,930	0036	796,930	0	2,293.10				
												TOTAL		2,293.10
047825261942	CB 4782E BLK 26 LOT 1942 (SHAVANO PARK UT-18 PH 1)	RISSMAN JAN & DIANE LIVING TRUST	346 REGENT CIR SAN ANTONIO TX 78231-1404 346 REGENT CIR HOM O65			LAND: 160,300 IMPR: 554,980 PROD: 0 ASE: 715,280	0036	710,280	5,000	1,446.58				
												TOTAL		1,446.58
047825261943	CB 4782E BLK 26 LOT 1943 (SHAVANO PARK UT-18 PH 1)	PAPANIKOLAOU NIKOS	342 REGENT CIR SAN ANTONIO TX 78231-1404 342 REGENT CIR HOM			LAND: 168,580 IMPR: 690,420 PROD: 0 ASE: 859,000	0036	859,000	0	2,471.70				
												TOTAL		2,471.70
047825261944	CB 4782E BLK 26 LOT 1944 (SHAVANO PARK UT-18 PH 1)	ZEH DAVID & GIANNA	338 REGENT CIR SAN ANTONIO TX 78231-1404 338 REGENT CIR			LAND: 168,580 IMPR: 650,080 PROD: 0 ASE: 818,660	0036	818,660	0	2,355.63				
												TOTAL		2,355.63
047825261945	CB 4782E BLK 26 LOT 1945 PRIVATE DRAIN ESMT (SHAVANO PARK UT-18 PH 1)	WILLOW WOOD(SHAVANO PARK) HOA INC	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412 0 REGENT CIR			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29				
												TOTAL		0.29
047825261946	CB 4782E BLK 26 LOT 1946 (SHAVANO PARK UT-18 PH 1)	ROLLWITZ LORI G & ATKINS JAMES H JR	334 REGENT CIR SAN ANTONIO TX 78231-1404 334 REGENT CIR HOM			LAND: 160,300 IMPR: 585,660 PROD: 0 ASE: 745,960	0036	745,960	0	2,146.44				
												TOTAL		2,146.44
047825261947	CB 4782E BLK 26 LOT 1947 (SHAVANO PARK UT-18 PH 1)	VALITEX PROPERTIES LLC	10415 COLTS FOOT BOERNE TX 78006-8519 330 REGENT CIR			LAND: 151,660 IMPR: 603,100 PROD: 0 ASE: 754,760	0036	754,760	0	2,171.76				
												TOTAL		2,171.76

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047825261948	CB 4782E BLK 26 LOT 1948 (SHAVANO PARK UT-18 PH 1)	KAUFMAN ROBERT A	326 REGENT CIR SHAVANO PARK TX 78231-1404			LAND: 151,660 IMPR: 649,290 PROD: 0 ASE: 800,950	0036	795,950	5,000	2,117.35		TOTAL		2,117.35
047825261949	CB 4782E BLK 26 LOT 1949 (SHAVANO PARK UT-18 PH 1)	DELLAVOLP JEFFREY	322 REGENT CIR SHAVANO PARK TX 78231-1404			LAND: 151,660 IMPR: 574,180 PROD: 0 ASE: 725,840	0036	725,840	0	2,088.55		TOTAL		2,088.55
047825261950	CB 4782E BLK 26 LOT 1950 (SHAVANO PARK UT-18 PH 1)	ONG MEI C & SONG TAN	318 REGENT CIR SAN ANTONIO TX 78231-1404			LAND: 157,480 IMPR: 606,200 PROD: 0 ASE: 763,680	0036	763,680	0	2,197.43		TOTAL		2,197.43
047825261951	CB 4782E BLK 26 LOT 1951 (SHAVANO PARK UT-18 PH 1)	LANGFORD GERALD R & SCHUBLE ELIZABET	314 REGENT CIR SAN ANTONIO TX 78231-1404			LAND: 165,940 IMPR: 482,990 PROD: 0 ASE: 648,930	0036	643,930	5,000	1,648.21		TOTAL		1,648.21
047825261952	CB 4782E BLK 26 LOT 1952 PRIVATE DRAINAGE ESMT (SHAVANO PARK UT-18 PH 1)	WILLOW WOOD(SHAVANO PARK) HOA INC	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825261953	CB 4782E BLK 26 LOT 1953 (SHAVANO PARK UT-18 PH 1)	SLESS YURY & KRIZOVER SVETLANA	310 REGENT CIR SAN ANTONIO TX 78231-1404			LAND: 178,730 IMPR: 581,270 PROD: 0 ASE: 760,000	0036	760,000	0	2,186.84		TOTAL		2,186.84
047825261954	CB 4782E BLK 26 LOT 1954 (SHAVANO PARK UT-18 PH 1)	VOIT MARK P & CATHERINE M	135 PENNS WAY SHAVANO PARK TX 78231-1400			LAND: 145,600 IMPR: 652,400 PROD: 0 ASE: 798,000	0036	798,000	0	2,296.18		TOTAL		2,296.18
047825262019	CB 4782E BLK 26 LOT 2019 OPEN SPACE (SHAVANO PARK UT-18 PH 1)	WILLOW WOOD(SHAVANO PARK) HOA INC	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825262020	CB 4782E BLK 26 LOT 2020 (SHAVANO PARK UT-18 PH 1)	WILLOW WOOD(SHAVANO PARK) HOA INC	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29

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047825262187	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 26 LOT 2187	GUIDRY THEODORE II & DELLA EVANS	302 REGENT CIR SAN ANTONIO TX 78231-1404			LAND: 191,380 IMPR: 553,620 PROD: 0 ASE: 745,000	0036	745,000	0	2,143.68		TOTAL		2,143.68
047825262188	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 26 LOT 2188	PINKERTON WILLIAM J & SUNG	222 ARBOR CIR SAN ANTONIO TX 78231-1405			LAND: 170,030 IMPR: 556,620 PROD: 0 ASE: 726,650	0036	726,650	0	2,090.88		TOTAL		2,090.88
047825262189	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 26 LOT 2189	KUMAR SUMEET & SRIDEVI	218 ARBOR CIR SAN ANTONIO TX 78231-1405			LAND: 153,380 IMPR: 597,430 PROD: 0 ASE: 750,810	0036	750,810	0	2,160.40		TOTAL		2,160.40
047825262190	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 26 LOT 2190	DAVIS GEORGE S & BRENDA E	214 ARBOR CIR SAN ANTONIO TX 78231-1405			LAND: 150,910 IMPR: 524,090 PROD: 0 ASE: 675,000	0036	675,000	0	1,942.26		TOTAL		1,942.26
047825262191	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 26 LOT 2191 (DRAINAGE/EASEMENT)	ROGERS SHAVANO PARK UNIT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825262192	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 26 LOT 2192	SCANLAN SARA L & JASON L	206 ARBOR CIR SAN ANTONIO TX 78231-1405			LAND: 143,730 IMPR: 532,260 PROD: 0 ASE: 675,990	0036	669,966	6,024	1,927.77		TOTAL		1,927.77
047825262193	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 26 LOT 2193	DEGUTIERREZ AIDA ELENA LOPEZ & GUTIERREZ RODRIGO & AIDELENA	18826 SALADO CYN SAN ANTONIO TX 78258-1633			LAND: 153,970 IMPR: 644,180 PROD: 0 ASE: 798,150	0036	798,150	0	2,296.61		TOTAL		2,296.61
047825262194	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 26 LOT 2194	DENNIS MICHAEL D & KATHLEEN K	101 PENNS WAY SHAVANO PARK TX 78231-1400			LAND: 241,300 IMPR: 728,700 PROD: 0 ASE: 970,000	0036	965,000	5,000	2,678.88		TOTAL		2,678.88
047825262195	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 26 LOT 2195	WANG FANYIN & QING YI	103 PENNS WAY SHAVANO PARK TX 78231-1400			LAND: 162,740 IMPR: 586,260 PROD: 0 ASE: 749,000	0036	749,000	0	2,155.19		TOTAL		2,155.19

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047825262196	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 26 LOT 2196	RAMSTIN III LTD	PRTNSHP 10010 SAN PEDRO AVE STE 550 SAN ANTONIO TX 78216-3805 0 PENNS WAY			LAND: 122,500 IMPR: 0 PROD: 0 ASE: 122,500	0036	122,500	0	352.48		TOTAL		352.48
047825262197	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 26 LOT 2197	FAIRCHILD PAUL E & MARIA M	111 PENNS WAY SHAVANO PARK TX 78231-1400 111 PENNS WAY HOM			LAND: 150,020 IMPR: 584,980 PROD: 0 ASE: 735,000	0036	735,000	0	2,114.90		TOTAL		2,114.90
047825262198	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 26 LOT 2198	FRIEDRICHS ERIC	125 LAUREN CT LA VERNIA TX 78121-4260 0 PENNS WAY			LAND: 122,500 IMPR: 0 PROD: 0 ASE: 122,500	0036	122,500	0	352.48		TOTAL		352.48
047825262199	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 26 LOT 2199	JACOBSON ALLEN FRANK & DANA	119 PENNS WAY SHAVANO PARK TX 78231-1400 119 PENNS WAY			LAND: 157,230 IMPR: 611,150 PROD: 0 ASE: 768,380	0036	768,380	0	2,210.95		TOTAL		2,210.95
047825262200	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 26 LOT 2200	WRIGHT THOMAS E & CAROLYN J	123 PENNS WAY SHAVANO PARK TX 78231-1400 123 PENNS WAY HOM O65			LAND: 166,520 IMPR: 603,480 PROD: 0 ASE: 770,000	0036	765,000	5,000	2,129.18		TOTAL		2,129.18
047825262201	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 26 LOT 2201	RAMSTIN III LTD	PRTNSHP 10010 SAN PEDRO AVE STE 550 SAN ANTONIO TX 78216-3805 0 PENNS WAY			LAND: 122,500 IMPR: 0 PROD: 0 ASE: 122,500	0036	122,500	0	352.48		TOTAL		352.48
047825262202	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 26 LOT 2202	HESITA EDSEL L & MARIFI M	131 PENNS WAY SAN ANTONIO TX 78231-1400 131 PENNS WAY HOM			LAND: 141,010 IMPR: 578,990 PROD: 0 ASE: 720,000	0036	720,000	0	2,071.74		TOTAL		2,071.74
047825262203	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 26 LOT 2203	APPACHI ELUMALAI & MALA	133 PENNS WAY SAN ANTONIO TX 78231-1400 133 PENNS WAY HOM			LAND: 139,150 IMPR: 584,120 PROD: 0 ASE: 723,270	0036	723,270	0	2,081.15		TOTAL		2,081.15
047825262312	CB 4782E BLK 26 LOT 2312 EXC W IRR 10 FT (SHAVANO PARK UT-18C PH-1)	VIA SHAVANO PARTNERS LTD	4126 POND HILL RD SAN ANTONIO TX 78231-1245 4126 POND HILL RD			LAND: 260,660 IMPR: 989,340 PROD: 0 ASE: 1,250,000	0036	1,250,000	0	3,596.78		TOTAL		3,596.78

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047825262313	CB 4782E BLK 26 LOT 2313 (1.389 AC) & W IRR 10 FT OF 2312 (.033 AC) (SHAVANO PARK UT-18C PH-1)	SP OFFICES I LTD	4122 POND HILL RD STE 101			LAND: 523,410 IMPR: 2,599,210 PROD: 0 ASE: 3,122,620	0036	3,122,620	0	8,985.09		TOTAL		8,985.09
047825271955	CB 4782E BLK 27 LOT 1955 (SHAVANO PARK UT-18 PH 1)	GILBERT WYATT MALCOLM JR & HOPKINS GLORIA JEAN	377 REGENT CIR SAN ANTONIO TX 78231-1404			LAND: 233,710 IMPR: 684,960 PROD: 0 ASE: 918,670	0036	913,670	5,000	2,586.18		TOTAL		2,586.18
047825271956	CB 4782E BLK 27 LOT 1956 (SHAVANO PARK UT-18 PH 1)	STANDEFORD MARK E & CINDY F	365 REGENT CIR SHAVANO PARK TX 78231-1404			LAND: 238,450 IMPR: 570,630 PROD: 0 ASE: 809,080	0036	809,080	0	2,328.06		TOTAL		2,328.06
047825271957	CB 4782E BLK 27 LOT 1957 (SHAVANO PARK UT-18 PH 1)	AUNG KOKO & THWE HTAY	359 REGENT CIR SHAVANO PARK TX 78231-1404			LAND: 181,070 IMPR: 528,930 PROD: 0 ASE: 710,000	0036	710,000	0	2,042.97		TOTAL		2,042.97
047825271958	CB 4782E BLK 27 LOT 1958 (SHAVANO PARK UT-18 PH 1)	ALBERT ANTO CHRISTY MAGESH & PREETHI	355 REGENT CIR SHAVANO PARK TX 78231-1404			LAND: 171,160 IMPR: 473,840 PROD: 0 ASE: 645,000	0036	645,000	0	1,855.94		TOTAL		1,855.94
047825271959	CB 4782E BLK 27 LOT 1959 (SHAVANO PARK UT-18 PH 1)	HURTADO GUSTAVO A & JOSEPHINE G	347 REGENT CIR SAN ANTONIO TX 78231-1404			LAND: 176,130 IMPR: 598,870 PROD: 0 ASE: 775,000	0036	775,000	0	2,230.00		TOTAL		2,230.00
047825271960	CB 4782E BLK 27 LOT 1960 (SHAVANO PARK UT-18 PH 1)	ROBINSON FAMILY TRUST UDT	343 REGENT CIR SHAVANO PARK TX 78231-1404			LAND: 160,300 IMPR: 474,700 PROD: 0 ASE: 635,000	0036	630,000	5,000	1,812.77		TOTAL		1,812.77
047825271961	CB 4782E BLK 27 LOT 1961 (SHAVANO PARK UT-18 PH 1)	PONCE HECTOR MANUEL CRUZ & DE CRUZ MARIA EUGENIA SALAZAR	2511 N LOOP 1604 W STE 101 SAN ANTONIO TX 78258-4634			LAND: 160,300 IMPR: 629,550 PROD: 0 ASE: 789,850	0036	789,850	0	2,272.73		TOTAL		2,272.73
047825271962	CB 4782E BLK 27 LOT 1962 (SHAVANO PARK UT-18 PH 1)	FRIEDMAN KYLE & LETICIA	335 REGENT CIR SAN ANTONIO TX 78231-1404			LAND: 151,660 IMPR: 587,020 PROD: 0 ASE: 738,680	0036	738,680	0	2,125.49		TOTAL		2,125.49

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047825271963	CB 4782E BLK 27 LOT 1963 (SHAVANO PARK UT-18 PH 1)	EDGE JONATHAN MARK & KATHLEEN GRACE	327 REGENT CIR SAN ANTONIO TX 78231-1404			LAND: 148,660 IMPR: 476,340 PROD: 0 ASE: 625,000	0036	625,000	0	1,798.39		TOTAL		1,798.39
047825271964	CB 4782E BLK 27 LOT 1964 (SHAVANO PARK UT-18 PH 1)	GRIFFITH STEVEN R & LISA A	323 REGENT CIR SAN ANTONIO TX 78231-1404			LAND: 151,660 IMPR: 602,340 PROD: 0 ASE: 754,000	0036	754,000	0	2,169.57		TOTAL		2,169.57
047825271965	CB 4782E BLK 27 LOT 1965 (SHAVANO PARK UT-18 PH 1)	VANDEHEY LIVING TRUST VANDEHEY DALE M & JO ANN R	319 REGENT CIR SAN ANTONIO TX 78231-1404			LAND: 151,660 IMPR: 483,340 PROD: 0 ASE: 635,000	0036	618,000	17,000	1,624.59		TOTAL		1,624.59
047825271966	CB 4782E BLK 27 LOT 1966 (SHAVANO PARK UT-18 PH 1)	JOHNSON DANIEL A & LORI A	4414 SHAVANO CROSS SAN ANTONIO TX 78230-5821			LAND: 151,660 IMPR: 681,610 PROD: 0 ASE: 833,270	0036	431,474	401,796	1,241.53		TOTAL		1,241.53
047825271967	CB 4782E BLK 27 LOT 1967 (SHAVANO PARK UT-18 PH 1)	GARZA JOSEPH A & ELIZABETH R	307 REGENT CIR SAN ANTONIO TX 78231-1404			LAND: 163,240 IMPR: 660,150 PROD: 0 ASE: 823,390	0036	823,390	0	2,369.24		TOTAL		2,369.24
047825272193	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 27 LOT 2193	KAKLAMANI VIRGINIA & PETER SKOUNTZOS	303 REGENT CIR SHAVANO PARK TX 78231-1404			LAND: 193,330 IMPR: 645,140 PROD: 0 ASE: 838,470	0036	838,470	0	2,412.63		TOTAL		2,412.63
047825272194	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 27 LOT 2194	GARCIA-GALLEGOS JESUS G & TOVAR-SEPULVEDA VERONICA A	210 GRANVILLE WAY SAN ANTONIO TX 78231-1406			LAND: 172,540 IMPR: 640,340 PROD: 0 ASE: 812,880	0036	812,880	0	2,339.00		TOTAL		2,339.00
047825272195	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 27 LOT 2195	ROSENBERG MICHAEL D & SUSAN G	214 GRANVILLE WAY SAN ANTONIO TX 78231-1406			LAND: 149,600 IMPR: 498,400 PROD: 0 ASE: 648,000	0036	648,000	0	1,864.57		TOTAL		1,864.57
047825272196	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 27 LOT 2196	YANTA JOE JAMES & JOYCE A L/TR	YANTA JOE JAMES & JOYCE A TRSTES 3206 SWANDALE DR SAN ANTONIO TX 78230-4404			LAND: 150,730 IMPR: 730,270 PROD: 0 ASE: 881,000	0036	881,000	0	2,535.01		TOTAL		2,535.01

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047825272197	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 27 LOT 2197	FITZER FAMILY LIVING TRUST FITZER STEPHEN C & WENDY TRSTES 222 GRANVILLE WAY SHAVANO PARK TX 78231-1406 222 GRANVILLE WAY HOM O65				LAND: 165,750 IMPR: 705,100 PROD: 0 ASE: 870,850	0036	865,850	5,000	2,316.32		TOTAL		2,316.32
047825272198	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 27 LOT 2198	CAVAZOS RAMIRO & OLVERA CHRISTA R 226 GRANVILLE WAY SAN ANTONIO TX 78231-1406 226 GRANVILLE WAY HOM				LAND: 168,750 IMPR: 742,360 PROD: 0 ASE: 911,110	0036	911,110	0	2,621.65		TOTAL		2,621.65
047825272199	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 27 LOT 2199	CASSIDY MICHAEL P & DIANE S DAGOSTIN 230 GRANVILLE WAY SHAVANO PARK TX 78231-1406 230 GRANVILLE WAY HOM				LAND: 175,500 IMPR: 621,070 PROD: 0 ASE: 796,570	0036	796,570	0	2,292.07		TOTAL		2,292.07
047825272200	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 27 LOT 2200	MARTEN-GORRZEGZ LISA & GORRZEGZ JORGE JAVIER 234 GRANVILLE WAY SHAVANO PARK TX 78231-1406 234 GRANVILLE WAY HOM				LAND: 175,390 IMPR: 606,010 PROD: 0 ASE: 781,400	0036	781,400	0	2,248.42		TOTAL		2,248.42
047825272201	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 27 LOT 2201	LEONARD JAMES K & GEORGANNE G 238 GRANVILLE WAY SAN ANTONIO TX 78231-1406 238 GRANVILLE WAY HOM				LAND: 164,880 IMPR: 668,480 PROD: 0 ASE: 833,360	0036	833,360	0	2,397.93		TOTAL		2,397.93
047825281968	CB 4782E BLK 28 LOT 1968 (SHAVANO PARK UT-18 PH 1)	POLZIN KATHRYN DANIELLE 134 PENNS WAY SAN ANTONIO TX 78231-1400 134 PENNS WAY HOM				LAND: 160,300 IMPR: 649,490 PROD: 0 ASE: 809,790	0036	809,790	0	2,330.11		TOTAL		2,330.11
047825291969	CB 4782E BLK 29 LOT 1969 PRIVATE STREETS (SHAVANO PARK UT-18 PH 1 & II)	WILLOW WOOD (SHAVANO PARK) HOA INC 1600 NE LOOP 410 STE 202 SAN ANTONIO TX 78209-1613 0 REGENT CIR				LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825301985	CB 4782E BLK 30 LOT 1985 (SHAVANO PARK UT-17J)	BARRON MELVIN M & JEANETTE H L/TR BARRON MELVIN M & JEANETTE H TR 4406 CAMERON CT SHAVANO PARK TX 78249-2087 4406 CAMERON CT HOM O65				LAND: 111,410 IMPR: 528,590 PROD: 0 ASE: 640,000	0036	635,000	5,000	1,370.03		TOTAL		1,370.03
047825301986	CB 4782E BLK 30 LOT 1986 (SHAVANO PARK UT-17J)	NANNEY EDWARD W & CONNIE F 4410 CAMERON CT SAN ANTONIO TX 78249-2087 4410 CAMERON CT HOM O65				LAND: 112,700 IMPR: 515,300 PROD: 0 ASE: 628,000	0036	623,000	5,000	1,788.70		TOTAL		1,788.70

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047825301987	CB 4782E BLK 30 LOT 1987 (SHAVANO PARK UT-17J)	DILLEY DOUGLAS ERNEST	4414 CAMERON CT SAN ANTONIO TX 78249-2087			LAND: 111,410 IMPR: 507,660 PROD: 0 ASE: 619,070	0036	614,070	5,000	1,641.50		TOTAL		1,641.50
047825301988	CB 4782E BLK 30 LOT 1988 (SHAVANO PARK UT-17J)	WILSON JOHN A	4415 CAMERON CT SHAVANO PARK TX 78249-2087			LAND: 113,510 IMPR: 476,490 PROD: 0 ASE: 590,000	0036	585,000	5,000	1,683.29		TOTAL		1,683.29
047825301989	CB 4782E BLK 30 LOT 1989 (SHAVANO PARK UT-17J)	BASHAM BUFORD T	822 KUHLMAN RD HOUSTON TX 77024-3126			LAND: 111,410 IMPR: 444,590 PROD: 0 ASE: 556,000	0036	556,000	0	1,599.85		TOTAL		1,599.85
047825301990	CB 4782E BLK 30 LOT 1990 (SHAVANO PARK UT-17J)	FARRIMOND G WAYNE & ALLYSON	4407 CAMERON CT SAN ANTONIO TX 78249-2087			LAND: 118,670 IMPR: 523,330 PROD: 0 ASE: 642,000	0036	642,000	0	1,847.30		TOTAL		1,847.30
047825301991	CB 4782E BLK 30 LOT 1991 (SHAVANO PARK UT-17J)	MATLOCK JOHN S & SHARYL S	4403 CAMERON CT SAN ANTONIO TX 78249-2087			LAND: 135,910 IMPR: 474,090 PROD: 0 ASE: 610,000	0036	610,000	0	1,755.23		TOTAL		1,755.23
047825301992	CB 4782E BLK 30 LOT 1992 (SHAVANO PARK UT-17J)	BRIN LORA LOU	4402 ESSEX PL SAN ANTONIO TX 78249-2088			LAND: 113,510 IMPR: 516,060 PROD: 0 ASE: 629,570	0036	624,570	5,000	1,679.49		TOTAL		1,679.49
047825301993	CB 4782E BLK 30 LOT 1993 (SHAVANO PARK UT-17J)	RINEHART JENNIE	4406 ESSEX PL SAN ANTONIO TX 78249-2088			LAND: 113,610 IMPR: 466,390 PROD: 0 ASE: 580,000	0036	575,000	5,000	1,654.52		TOTAL		1,654.52
047825301994	CB 4782E BLK 30 LOT 1994 (SHAVANO PARK UT-17J)	LOTT JEFFERY G & SHARLA M	24511 CLIFF LINE SAN ANTONIO TX 78257-1443			LAND: 111,900 IMPR: 479,980 PROD: 0 ASE: 591,880	0036	591,880	0	1,703.09		TOTAL		1,703.09
047825301995	CB 4782E BLK 30 LOT 1995 (SHAVANO PARK UT-17J)	BENNACK LAURA J & PETERSON RONALD E	4414 ESSEX PL SHAVANO PARK TX 78249-2088			LAND: 113,000 IMPR: 576,240 PROD: 0 ASE: 689,240	0036	689,240	0	1,983.23		TOTAL		1,983.23

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047825301996	CB 4782E BLK 30 LOT 1996 (SHAVANO PARK UT-17J)	GOEKEN DEBBIE & MICHAEL G 4418 ESSEX PL # P SHAVANO PARK TX 78249-2088 4418 ESSEX PL HOM O65			LAND: 110,320 IMPR: 369,680 PROD: 0 ASE: 480,000	0036	475,000	5,000	1,002.97			TOTAL	1,002.97
047825301997	CB 4782E BLK 30 LOT 1997 (SHAVANO PARK UT-17J)	GARZA OSCAR JAVIER 4422 ESSEX PL SAN ANTONIO TX 78249-2088 4422 ESSEX PL HOM			LAND: 111,900 IMPR: 458,940 PROD: 0 ASE: 570,840	0036	570,840	0	1,642.55			TOTAL	1,642.55
047825301998	CB 4782E BLK 30 LOT 1998 (SHAVANO PARK UT-17J)	FITZPATRICK JOHN & MARIA IVETE 4423 ESSEX PL SAN ANTONIO TX 78249-2088 4423 ESSEX PL HOM O65			LAND: 113,000 IMPR: 412,510 PROD: 0 ASE: 525,510	0036	520,510	5,000	1,157.89			TOTAL	1,157.89
047825301999	CB 4782E BLK 30 LOT 1999 (SHAVANO PARK UT-17J)	LONG MANUEL M & REBECCA L 4419 ESSEX PL SHAVANO PARK TX 78249-2088 4419 ESSEX PL HOM O65			LAND: 113,000 IMPR: 378,810 PROD: 0 ASE: 491,810	0036	486,810	5,000	1,306.18			TOTAL	1,306.18
047825302000	CB 4782E BLK 30 LOT 2000 (SHAVANO PARK UT-17J)	ROBERT STEVEN & ROSE MARY 4415 ESSEX PL SAN ANTONIO TX 78249-2088 4415 ESSEX PL HOM			LAND: 113,510 IMPR: 495,380 PROD: 0 ASE: 608,890	0036	608,890	0	1,752.03			TOTAL	1,752.03
047825302001	CB 4782E BLK 30 LOT 2001 (SHAVANO PARK UT-17J)	ESCAMILLA ELIAS III & LORETTA J 4411 ESSEX PL SAN ANTONIO TX 78249-2088 4411 ESSEX PL HOM O65			LAND: 113,510 IMPR: 386,490 PROD: 0 ASE: 500,000	0036	495,000	5,000	1,292.83			TOTAL	1,292.83
047825302002	CB 4782E BLK 30 LOT 2002 (SHAVANO PARK UT-17J)	VILLASENOR HECTOR R & TAMARA J 4407 ESSEX PL SAN ANTONIO TX 78249-2088 4407 ESSEX PL			LAND: 113,000 IMPR: 453,010 PROD: 0 ASE: 566,010	0036	566,010	0	1,628.65			TOTAL	1,628.65
047825302003	CB 4782E BLK 30 LOT 2003 (SHAVANO PARK UT-17J)	HARTMAN SANDRA A & WILLIAM V II 4403 ESSEX PL SAN ANTONIO TX 78249-2088 4403 ESSEX PL HOM O65			LAND: 111,900 IMPR: 395,100 PROD: 0 ASE: 507,000	0036	502,000	5,000	1,444.46			TOTAL	1,444.46
047825302004	CB 4782E BLK 30 LOT 2004 (SHAVANO PARK UT-17J)	FLORES ANTONIO & IRMA E 410 BENTLEY MNR SHAVANO PARK TX 78249-2062 4402 BAYBERRY ROW			LAND: 113,000 IMPR: 491,240 PROD: 0 ASE: 604,240	0036	604,240	0	1,738.65			TOTAL	1,738.65

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047825302005	CB 4782E BLK 30 LOT 2005 (SHAVANO PARK UT-17J)	SWIFT BRANDON THOMAS	4406 BAYBERRY ROW			LAND: 110,320 IMPR: 469,680 PROD: 0 ASE: 580,000	0036	580,000	0	1,668.90		TOTAL		1,668.90
047825302006	CB 4782E BLK 30 LOT 2006 (SHAVANO PARK UT-17J)	SKINNER TERESA S & RICHARD H	4410 BAYBERRY ROW			LAND: 113,000 IMPR: 436,160 PROD: 0 ASE: 549,160	0036	544,160	5,000	1,468.92		TOTAL		1,468.92
047825302007	CB 4782E BLK 30 LOT 2007 (SHAVANO PARK UT-17J)	HOLCOMB DAVID	4414 BAYBERRY ROW			LAND: 113,850 IMPR: 487,770 PROD: 0 ASE: 601,620	0036	596,620	5,000	1,573.35		TOTAL		1,573.35
047825302008	CB 4782E BLK 30 LOT 2008 (SHAVANO PARK UT-17J)	LIMMER BYRON LEE & RACHEL LYNN	4422 BAYBERRY ROW			LAND: 113,000 IMPR: 527,000 PROD: 0 ASE: 640,000	0036	640,000	0	1,841.55		TOTAL		1,841.55
047825302009	CB 4782E BLK 30 LOT 2009 (SHAVANO PARK UT-17J)	TOWNSEND JAMES & KIMBERLY REVOCABLE	4426 BAYBERRY ROW			LAND: 108,260 IMPR: 370,540 PROD: 0 ASE: 478,800	0036	478,800	0	1,377.71		TOTAL		1,377.71
047825302010	CB 4782E BLK 30 LOT 2010 (SHAVANO PARK UT-17J)	STURM GLORIA MEDELLIN	4430 BAYBERRY ROW			LAND: 111,900 IMPR: 370,100 PROD: 0 ASE: 482,000	0036	465,000	17,000	1,303.47		TOTAL		1,303.47
047825302011	CB 4782E BLK 30 LOT 2011 (SHAVANO PARK UT-17J)	CAMACHO GUADALUPE	4431 BAYBERRY ROW			LAND: 113,610 IMPR: 412,510 PROD: 0 ASE: 526,120	0036	521,120	5,000	1,289.29		TOTAL		1,289.29
047825302012	CB 4782E BLK 30 LOT 2012 (SHAVANO PARK UT-17J)	WRIGHT GEORGE & SUSAN FAMILY TRUST	4423 BAYBERRY ROW			LAND: 113,850 IMPR: 529,070 PROD: 0 ASE: 642,920	0036	637,920	5,000	1,429.02		TOTAL		1,429.02
047825302013	CB 4782E BLK 30 LOT 2013 (SHAVANO PARK UT-17J)	MYERS SONDR A JOYCE	6827 CAMP BULLIS RD STE 206			LAND: 112,700 IMPR: 447,300 PROD: 0 ASE: 560,000	0036	560,000	0	1,611.36		TOTAL		1,611.36

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047825302014	CB 4782E BLK 30 LOT 2014 (SHAVANO PARK UT-17J)	VEITCH THOMAS H & ANNE	4415 BAYBERRY ROW			LAND: 112,700 IMPR: 442,940 PROD: 0 ASE: 555,640	0036	550,640	5,000	1,488.82				
		4415 BAYBERRY ROW	SAN ANTONIO TX 78249-2089									TOTAL		1,488.82
047825302015	CB 4782E BLK 30 LOT 2015 (SHAVANO PARK UT-17J)	MYERS SONDR A JOYCE	6827 CAMP BULLIS RD STE 206			LAND: 113,850 IMPR: 519,150 PROD: 0 ASE: 633,000	0036	633,000	0	1,821.41				
		4411 BAYBERRY ROW	SAN ANTONIO TX 78256-1729									TOTAL		1,821.41
047825302016	CB 4782E BLK 30 LOT 2016 (SHAVANO PARK UT-17J)	BYNUM RICHARD & CAROL	4407 BAYBERRY ROW			LAND: 113,000 IMPR: 541,460 PROD: 0 ASE: 654,460	0036	649,460	5,000	1,756.32				
		4407 BAYBERRY ROW	SAN ANTONIO TX 78249-2089									TOTAL		1,756.32
047825302017	CB 4782E BLK 30 LOT 2017 (SHAVANO PARK UT-17J)	WASSON ROBERT R & SANDRA G	4403 BAYBERRY ROW			LAND: 111,900 IMPR: 480,150 PROD: 0 ASE: 592,050	0036	587,050	5,000	1,689.19				
		4403 BAYBERRY ROW	SAN ANTONIO TX 78249-2089									TOTAL		1,689.19
047825302018	CB 4782E BLK 30 LOT 2018 GREENBELT (SHAVANO PARK UT-17J)	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29				
		SHAVANO PARK TX 78231-4412	155 FARNE CASTLE									TOTAL		0.29
047825302226	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 30 LOT 2226	CANCINO VICTOR LORENZO BERMUDEZ	4402 ETON PL			LAND: 111,900 IMPR: 423,100 PROD: 0 ASE: 535,000	0036	535,000	0	1,539.42				
		4402 ETON PL	SAN ANTONIO TX 78249-2994									TOTAL		1,539.42
047825302227	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 30 LOT 2227	TALLEY PATRICK L	4406 ETON PL			LAND: 108,260 IMPR: 374,350 PROD: 0 ASE: 482,610	0036	482,610	0	1,388.67				
		4406 ETON PL	SAN ANTONIO TX 78249-2994									TOTAL		1,388.67
047825302228	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 30 LOT 2228	FAILS JOHN & KLIEWER ARTHUR	4410 ETON PL			LAND: 111,900 IMPR: 474,130 PROD: 0 ASE: 586,030	0036	586,030	0	1,686.25				
		4410 ETON PL	SAN ANTONIO TX 78249-2994									TOTAL		1,686.25
047825302229	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 30 LOT 2229	WEBER JOHN W JR & CONNIE F	4414 ETON PL			LAND: 113,510 IMPR: 469,620 PROD: 0 ASE: 583,130	0036	578,130	5,000	1,563.96				
		4414 ETON PL	SAN ANTONIO TX 78249-2994									TOTAL		1,563.96

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047825302230	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 30 LOT 2230	HERSCOVICI BRIAN & DIEMCHI H NGUYEN	4418 ETON PL SAN ANTONIO TX 78249-2994 4418 ETON PL HOM			LAND: 113,850 IMPR: 486,150 PROD: 0 ASE: 600,000	0036	600,000	0	1,726.45		TOTAL		1,726.45
047825302231	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 30 LOT 2231	RANGE ALBERT J JR & TRACY B	4422 ETON PL SAN ANTONIO TX 78249-2994 4422 ETON PL O65			LAND: 113,850 IMPR: 455,070 PROD: 0 ASE: 568,920	0036	563,920	5,000	1,622.63		TOTAL		1,622.63
047825302232	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 30 LOT 2232	HERRMANN JOHN A & TRACY L	4426 ETON PL SAN ANTONIO TX 78249-2994 4426 ETON PL HOM			LAND: 112,700 IMPR: 536,300 PROD: 0 ASE: 649,000	0036	649,000	0	1,867.45		TOTAL		1,867.45
047825302233	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 30 LOT 2233	JACKSON FAMILY TRUST JACKSON E PENN HR & CARLAYNE E TRUST	503 TALMADGE LN SAN ANTONIO TX 78249-2998 503 TALMADGE LN HOM			LAND: 112,700 IMPR: 391,460 PROD: 0 ASE: 504,160	0036	504,160	0	1,450.68		TOTAL		1,450.68
047825302234	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 30 LOT 2234	SPRUTE JUANITA H	507 TALMADGE LN SAN ANTONIO TX 78249-2998 507 TALMADGE LN			LAND: 113,000 IMPR: 439,090 PROD: 0 ASE: 552,090	0036	552,090	0	1,588.59		TOTAL		1,588.59
047825302235	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 30 LOT 2235	NEUGEBAUER DAVID C	511 TALMADGE LN SAN ANTONIO TX 78249-2998 511 TALMADGE LN HOM O65			LAND: 108,260 IMPR: 426,740 PROD: 0 ASE: 535,000	0036	530,000	5,000	1,395.26		TOTAL		1,395.26
047825302269	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2269	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412 0 TALMADGE LN			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825302270	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2270	KING KENNETH W & ADRIENNE W	595 TALMADGE LANE SAN ANTONIO TX 78249- 595 TALMADGE LN			LAND: 92,400 IMPR: 0 PROD: 0 ASE: 92,400	0036	92,400	0	265.87		TOTAL		265.87
047825302271	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2271	PERRETTA PETER T	8452 FREDERICKSBURG RD APT 326 SAN ANTONIO TX 78229-3317 591 TALMADGE LN			LAND: 110,140 IMPR: 491,800 PROD: 0 ASE: 601,940	0036	601,940	0	1,732.03		TOTAL		1,732.03

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047825302272	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2272	FLAGSHIP BUILDERS LLC-BRIGGS SERIES	13409 NW MILITARY HWY STE 350 SHAVANO PARK TX 78231-1811 587 TALMADGE LN		LAND: IMPR: PROD: ASE:	88,000 0 0 88,000	0036	88,000	0	253.21			TOTAL	253.21
047825302273	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2273	PEREZ CARMEN	583 TALMADGE LN SAN ANTONIO TX 78249-2998 583 TALMADGE LN		LAND: IMPR: PROD: ASE:	110,140 454,860 0 565,000	0036	565,000	0	1,625.74			TOTAL	1,625.74
047825302274	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2274	ROGERS SHAVANO PARK UT 17 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 579 TALMADGE LN		LAND: IMPR: PROD: ASE:	88,000 0 0 88,000	0036	88,000	0	253.21			TOTAL	253.21
047825302275	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2275	MOCZYGEMBA MICHAEL A & BRENDA J	575 TALMADGE LN SHAVANO PARK TX 78249-2998 575 TALMADGE LN HOM O65		LAND: IMPR: PROD: ASE:	112,690 403,760 0 516,450	0036	511,450	5,000	1,391.81			TOTAL	1,391.81
047825302276	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2276	INMEX LLC	9342 SE LOOP 410 STE 2105 SAN ANTONIO TX 78223-4876 571 TALMADGE LN		LAND: IMPR: PROD: ASE:	113,860 505,240 0 619,100	0036	619,100	0	1,781.41			TOTAL	1,781.41
047825302277	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2277	EADIE JOHN D & ELIZABETH W	567 TALMADGE LN SAN ANTONIO TX 78249-2998 567 TALMADGE LN		LAND: IMPR: PROD: ASE:	113,850 512,160 0 626,010	0036	626,010	0	1,801.29			TOTAL	1,801.29
047825302278	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2278	BERTRAB KIMBERLY C & HERMANN VON BER	563 TALMADGE LN SAN ANTONIO TX 78249-2998 563 TALMADGE LN HOM		LAND: IMPR: PROD: ASE:	113,260 459,070 0 572,330	0036	572,330	0	1,646.83			TOTAL	1,646.83
047825302279	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2279	FUNK KRISTINE	559 TALMADGE LN SAN ANTONIO TX 78249-2998 559 TALMADGE LN		LAND: IMPR: PROD: ASE:	111,460 419,280 0 530,740	0036	530,740	0	1,527.16			TOTAL	1,527.16
047825302280	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2280	FLAGSHIP BUILDERS LLC - BENTLEY SERI	13409 NW MILITARY HWY STE 350 SAN ANTONIO TX 78231-1811 555 TALMADGE LN		LAND: IMPR: PROD: ASE:	88,000 0 0 88,000	0036	88,000	0	253.21			TOTAL	253.21

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047825302281	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2281	WHITE JOHN C & MARION M	551 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 110,800 IMPR: 424,780 PROD: 0 ASE: 535,580	0036	530,580	5,000	1,526.70		TOTAL		1,526.70
047825302282	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2282	HOELTZEL MICHAEL H & EDYTHE V	547 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 111,390 IMPR: 408,400 PROD: 0 ASE: 519,790	0036	519,790	0	1,495.65		TOTAL		1,495.65
047825302283	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2283	AGUIRRE GILBERTO & CYNTHIA	543 TALMADGE LN SHAVANO PARK TX 78249-2998			LAND: 113,550 IMPR: 477,760 PROD: 0 ASE: 591,310	0036	586,310	5,000	1,687.06		TOTAL		1,687.06
047825302284	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2284	MILLER MARK A & DAVIS CHRISTOPHER W	539 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 113,820 IMPR: 451,300 PROD: 0 ASE: 565,120	0036	565,120	0	1,626.09		TOTAL		1,626.09
047825302285	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2285	RODIE SANDRA M	535 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 113,800 IMPR: 512,160 PROD: 0 ASE: 625,960	0036	620,960	5,000	1,786.76		TOTAL		1,786.76
047825302286	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2286	VOSBERG JAMES L & RUBIO JAMES A	531 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 120,580 IMPR: 574,420 PROD: 0 ASE: 695,000	0036	695,000	0	1,999.81		TOTAL		1,999.81
047825302287	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2287	STINTSMAN SUSAN L LIVING TRUST	6750 CATALINA LN FRISCO TX 75036-7913			LAND: 113,810 IMPR: 399,530 PROD: 0 ASE: 513,340	0036	513,340	0	1,477.09		TOTAL		1,477.09
047825302288	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2288	FLAGSHIP BUILDERS LLC-BRIGGS SERIES	13409 NW MILITARY HWY STE 350 SHAVANO PARK TX 78231-1811			LAND: 92,400 IMPR: 0 PROD: 0 ASE: 92,400	0036	92,400	0	265.87		TOTAL		265.87
047825302289	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2289	BLANCO EDWARD JOSEPH & SUNNY LUNN	519 TALMADGE LN SHAVANO PARK TX 78249-2998			LAND: 106,820 IMPR: 309,660 PROD: 0 ASE: 416,480	0036	416,480	0	1,198.39		TOTAL		1,198.39

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047825302290	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2290	WISILOSKY STANLEY I	515 TALMADGE LN SAN ANTONIO TX 78249-2998 515 TALMADGE LN HOM O65			LAND: 107,430 IMPR: 426,900 PROD: 0 ASE: 534,330	0036	529,330	5,000	1,523.10		TOTAL		1,523.10
047825302291	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2291	BENTLEY MANOR HOA	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412 0 TALMADGE LN			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825302306	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 30 LOT 2306	ROGERS SHAVANO PARK UT 17 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 TALMADGE LN			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825312078	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 31 LOT 2078	DANIELS ANTONIO & SONIA	106 WELLESLEY CV SAN ANTONIO TX 78231-2267 106 WELLESLEY CV			LAND: 309,600 IMPR: 1,841,280 PROD: 0 ASE: 2,150,880	0036	2,150,880	0	6,188.99		TOTAL		6,188.99
047825312079	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 31 LOT 2079	NGUYEN HINH KEITH & HIEN HA	102 WELLESLEY CV SAN ANTONIO TX 78231-2267 102 WELLESLEY CV HOM			LAND: 350,340 IMPR: 2,154,060 PROD: 0 ASE: 2,504,400	0036	2,504,400	0	7,206.21		TOTAL		7,206.21
047825312080	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 31 LOT 2080	SELVA MICHAEL & DINA R	103 WELLESLEY CV SHAVANO PARK TX 78231-2272 103 WELLESLEY COVE HOM			LAND: 305,810 IMPR: 2,124,190 PROD: 0 ASE: 2,430,000	0036	2,430,000	0	6,992.13		TOTAL		6,992.13
047825312081	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 31 LOT 2081	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 WELLESLEY COVE			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825312090	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 31 LOT 2090	HUNTINGTON HOA INC	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412 0 POND HILL RD			LAND: 130 IMPR: 0 PROD: 0 ASE: 130	0036	130	0	0.37		TOTAL		0.37
047825322028	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 32 LOT 2028	QUADRINI ANTONIO E & LETICIA LOPEZ D	119 WINDING LN SAN ANTONIO TX 78231-1261 119 WINDING LN			LAND: 321,790 IMPR: 1,838,210 PROD: 0 ASE: 2,160,000	0036	2,160,000	0	6,215.23		TOTAL		6,215.23

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047825322029	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 32 LOT 2029	GALINDO JOHN & AMARILYS	123 WINDING LN SHAVANO PARK TX 78231-1261			LAND: 305,070 IMPR: 1,464,930 PROD: 0 ASE: 1,770,000	0036	1,765,000	5,000	5,021.10		TOTAL		5,021.10
047825322030	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 32 LOT 2030	WINTER BRUCE & TAMMY	127 WINDING LN SAN ANTONIO TX 78231-1261			LAND: 316,220 IMPR: 1,822,510 PROD: 0 ASE: 2,138,730	0036	2,138,730	0	6,154.02		TOTAL		6,154.02
047825322031	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 32 LOT 2031	ALVAREZ JORGE & REBECCA A	131 WINDING LN SAN ANTONIO TX 78231-1261			LAND: 372,950 IMPR: 2,019,740 PROD: 0 ASE: 2,392,690	0036	2,392,690	0	6,884.77		TOTAL		6,884.77
047825322032	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 32 LOT 2032	SANTOS ALBERTO JR & CARMEN M	203 WINDING LN SHAVANO PARK TX 78231-1274			LAND: 314,330 IMPR: 2,109,670 PROD: 0 ASE: 2,424,000	0036	2,419,000	5,000	6,820.49		TOTAL		6,820.49
047825322033	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 32 LOT 2033	WOLMARANS THEO & BEVERLEY	215 WINDING LN SHAVANO PARK TX 78231-1274			LAND: 352,560 IMPR: 1,204,020 PROD: 0 ASE: 1,556,580	0036	1,551,580	5,000	4,406.62		TOTAL		4,406.62
047825322034	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 32 LOT 2034	TANG JENNY & HUIXING	223 WINDING LN SAN ANTONIO TX 78231-			LAND: 323,110 IMPR: 0 PROD: 0 ASE: 323,110	0036	323,110	0	929.72		TOTAL		929.72
047825322035	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 32 LOT 2035	PAULSON STEPHEN & MAROULIA	27719 WOODWAY BND BOERNE TX 78006-6552			LAND: 323,110 IMPR: 666,890 PROD: 0 ASE: 990,000	0036	990,000	0	2,848.65		TOTAL		2,848.65
047825322038	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 32 LOT 2038	ZAFAR NAUSHAD	239 WINDING LN SAN ANTONIO TX 78231-1274			LAND: 314,330 IMPR: 1,523,870 PROD: 0 ASE: 1,838,200	0036	1,838,200	0	5,289.27		TOTAL		5,289.27
047825322039	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 32 LOT 2039	NORTON LESLY D & JIMENEZ ROBERTO ARR	243 WINDING LN SAN ANTONIO TX 78231-1274			LAND: 323,110 IMPR: 2,278,240 PROD: 0 ASE: 2,601,350	0036	2,601,350	0	7,485.18		TOTAL		7,485.18

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047825322040	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2040	LDNG LLC LOTE	9411 CORPORATE DR SELMA TX 78154-1474 0 WELLESLEY HILL			LAND: 300,780 IMPR: 0 PROD: 0 ASE: 300,780	0036	300,780	0	865.47		TOTAL		865.47
047825322041	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2041	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 WELLESLEY HILL			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825322042	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2042	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 WELLESLEY HILL			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825322043	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2043	MENDOZA ERICK & KARINA	1234 VIA MILANO SAN ANTONIO TX 78260-4240 203 WELLESLEY HILL			LAND: 348,260 IMPR: 961,740 PROD: 0 ASE: 1,310,000	0036	1,310,000	0	3,769.42		TOTAL		3,769.42
047825322044	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2044	CANALES JOHN & CLAUDIA	24510 BIRDIE RDG SAN ANTONIO TX 78260-7822 0 WELLESLEY HILL			LAND: 340,360 IMPR: 0 PROD: 0 ASE: 340,360	0036	340,360	0	979.36		TOTAL		979.36
047825322045	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2045	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 WELLESLEY HILL			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825322046	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2046	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 WELLESLEY HILL			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825322047	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2047	COBBINAH FREDA	18327 CAMINO DEL MAR SAN ANTONIO TX 78257- 0 WELLESLEY HILL			LAND: 295,530 IMPR: 0 PROD: 0 ASE: 295,530	0036	295,530	0	850.36		TOTAL		850.36
047825322048	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2048	RAMIREZ SYLVIA	210 WELLESLEY WOOD SAN ANTONIO TX 78231-2276 210 WELLESLEY WOOD			LAND: 299,440 IMPR: 1,706,330 PROD: 0 ASE: 2,005,770	0036	2,005,770	0	5,771.44		TOTAL		5,771.44

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047825322049	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2049	STADLER ENTERPRISES LLC	32335 US HIGHWAY 281 N BULVERDE TX 78163-3158 0 WELLESLEY WOOD			LAND: 263,300 IMPR: 0 PROD: 0 ASE: 263,300	0036	263,300	0	757.62		TOTAL		757.62
047825322050	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2050	JAY & RAY LLC	202 WELLESLEY WOOD SAN ANTONIO TX 78231-2276 202 WELLESLEY WOOD			LAND: 331,980 IMPR: 1,352,320 PROD: 0 ASE: 1,684,300	0036	1,684,300	0	4,846.44		TOTAL		4,846.44
047825322051	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2051	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 WELLESLEY WOOD			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825322052	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2052	HERRMANN JOHN A & TRACY L	4426 ETON PL SAN ANTONIO TX 78249-2994 0 WELLESLEY WOOD			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825322055	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2055	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 WELLESLEY WOOD			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825322056	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2056	HOFFMAN AMY & MARK GAWLIK	115 WELLESLEY WOOD SAN ANTONIO TX 78231-2277 115 WELLESLEY WOOD			LAND: 314,360 IMPR: 1,685,640 PROD: 0 ASE: 2,000,000	0036	2,000,000	0	5,754.84		TOTAL		5,754.84
047825322057	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2057	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 WELLESLEY WOOD			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825322058	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2058	PAUL ALLEN HOMES INC	16018 VIA SHAVANO STE 101 SAN ANTONIO TX 78249-2369 0 WELLESLEY WOOD			LAND: 263,300 IMPR: 0 PROD: 0 ASE: 263,300	0036	263,300	0	757.62		TOTAL		757.62
047825322059	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 32 LOT 2059	CARTER BRANDON D	211 WELLESLEY WOOD SAN ANTONIO TX 78231-2276 211 WELLESLEY WOOD			LAND: 303,610 IMPR: 1,598,140 PROD: 0 ASE: 1,901,750	0036	1,901,750	0	5,472.13		TOTAL		5,472.13

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047825322060	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2060	KUNAU FAMILY REVOCABLE MANAGEMENT TR	222 WELLESLEY LNDG SHAVANO PARK TX 78231-2269 222 WELLESLEY LNDG HOM O65			LAND: 295,010 IMPR: 1,578,257 PROD: 0 ASE: 1,873,267	0036	1,868,267	5,000	5,304.32		TOTAL		5,304.32
047825322061	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2061	BAR-YADIN REUBEN & C DEBORAH	218 WELLESLEY LNDG SHAVANO PARK TX 78231-2269 218 WELLESLEY LNDG HOM			LAND: 302,730 IMPR: 1,617,270 PROD: 0 ASE: 1,920,000	0036	1,920,000	0	5,524.65		TOTAL		5,524.65
047825322062	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2062	INCE CYNTHIA S & JAMES J NOLEN	214 WELLESLEY LNDG SAN ANTONIO TX 78231-2269 214 WELLESLEY LNDG HOM O65			LAND: 295,800 IMPR: 1,899,233 PROD: 0 ASE: 2,195,033	0036	2,190,033	5,000	6,056.97		TOTAL		6,056.97
047825322063	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2063	CLARK ROBERT A	12722 CRANES ML SAN ANTONIO TX 78230-1956 0 WELLESLEY LNDG			LAND: 301,350 IMPR: 0 PROD: 0 ASE: 301,350	0036	301,350	0	867.11		TOTAL		867.11
047825322064	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2064	KLUG JONATHAN P & KAREN R	114 WELLESLEY LNDG SHAVANO PARK TX 78231-2280 114 WELLESLEY LNDG HOM			LAND: 306,320 IMPR: 1,485,188 PROD: 0 ASE: 1,791,508	0036	1,791,508	0	5,154.92		TOTAL		5,154.92
047825322065	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2065	GIPSON GREGORY ALAN	25 MARILYN CRESCENT TORONTO ON M4B3C5 00000- 110 WELLESLEY LNDG			LAND: 295,010 IMPR: 1,420,490 PROD: 0 ASE: 1,715,500	0036	1,715,500	0	4,936.21		TOTAL		4,936.21
047825322072	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2072	JAMDAVE TRUST	203 WELLESLEY LNDG SAN ANTONIO TX 78231-2273 203 WELLESLEY LNDG HOM			LAND: 321,820 IMPR: 1,653,335 PROD: 0 ASE: 1,975,155	0036	1,975,155	0	5,683.35		TOTAL		5,683.35
047825322073	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2073	BURDICK-SHAVANO HOMES LTD	4710 SHAVANO OAK STE 102 SAN ANTONIO TX 78249-4003 0 WELLESLEY LNDG			LAND: 263,300 IMPR: 0 PROD: 0 ASE: 263,300	0036	263,300	0	757.62		TOTAL		757.62
047825322074	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2074	MERY VINCENT & NAJLA	211 WELLESLEY LNDG SHAVANO PARK TX 78231-2273 211 WELLESLEY LNDG			LAND: 304,050 IMPR: 1,118,100 PROD: 0 ASE: 1,422,150	0036	1,422,150	0	4,092.12		TOTAL		4,092.12

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047825322075	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2075	MULLER STEVE & KERRY	215 WELLESLEY LANDING SHAVANO PARK TX 78231- 0 WELLESLEY LNDG			LAND: 310,140 IMPR: 0 PROD: 0 ASE: 310,140	0036	310,140	0	892.40		TOTAL		892.40
047825322076	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2076	BURDICK-SHAVANO HOMES LTD	4710 SHAVANO OAK STE 102 SAN ANTONIO TX 78249-4003 219 WELLESLEY LNDG			LAND: 297,980 IMPR: 570,750 PROD: 0 ASE: 868,730	0036	868,730	0	2,499.70		TOTAL		2,499.70
047825322077	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2077	HALL GARY M & JULIE A	10 CHAMPIONS RUN SAN ANTONIO TX 78258-7719 0 WELLESLEY LNDG			LAND: 312,580 IMPR: 0 PROD: 0 ASE: 312,580	0036	312,580	0	899.42		TOTAL		899.42
047825322187	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2187	CASE CALVIN T III & KIM M	106 WELLESLEY LNDG SHAVANO PARK TX 78231-2280 106 WELLESLEY LANDING HOM			LAND: 301,060 IMPR: 1,571,450 PROD: 0 ASE: 1,872,510	0036	1,872,510	0	5,388.00		TOTAL		5,388.00
047825322188	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 32 LOT 2188	BENNETT STEVEN A	11703 HUEBNER RD STE 105-506 SAN ANTONIO TX 78230-1201 231 WINDING LN HOM O65			LAND: 318,090 IMPR: 1,869,870 PROD: 0 ASE: 2,187,960	0036	2,182,960	5,000	6,218.97		TOTAL		6,218.97
047825322189	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 32 LOT 2189	CUNNINGHAM ERNEST L	235 WINDING LN SHAVANO PARK TX 78231-1274 235 WINDING LN			LAND: 307,050 IMPR: 1,631,453 PROD: 0 ASE: 1,938,503	0036	1,938,503	0	5,577.89		TOTAL		5,577.89
047825322190	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2190	YOUNG ROBERT N & YOUNG MICHELLE	105 WARBLER SHAVANO PARK TX 78231- 107 WELLESLEY LNDG			LAND: 295,340 IMPR: 1,490,320 PROD: 0 ASE: 1,785,660	0036	1,785,660	0	5,138.09		TOTAL		5,138.09
047825322191	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2191	BELLAIRE HOMES INC	111 WELLESLEY LNDG SAN ANTONIO TX 78258- 0 WELLESLEY LNDG			LAND: 263,300 IMPR: 0 PROD: 0 ASE: 263,300	0036	263,300	0	757.62		TOTAL		757.62
047825322192	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 32 LOT 2192	FISCHER JEROME S & SUZANNE P	115 WELLESLEY LNDG SHAVANO PARK TX 78231-2268 115 WELLESLEY LNDG HOM O65			LAND: 299,470 IMPR: 1,224,510 PROD: 0 ASE: 1,523,980	0036	1,518,980	5,000	4,366.00		TOTAL		4,366.00

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047825323053	CB 4782E BLK 32 LOT 3053 (SHAVANO PARK UT-19C PH III)	JAPHET JAMES H	107 WELLESLEY WOOD SAN ANTONIO TX 78231-2277 107 WELLESLEY WOOD HOM O65			LAND: 602,170 IMPR: 1,854,830 PROD: 0 ASE: 2,457,000	0036	2,452,000	5,000	7,055.43		TOTAL		7,055.43
047825332067	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2067	GROHMAN SONDRAL	302 HUNTINGTON PL SHAVANO PARK TX 78231-2600 302 HUNTINGTON PL			LAND: 356,870 IMPR: 2,579,100 PROD: 0 ASE: 2,935,970	0036	2,935,970	0	8,448.02		TOTAL		8,448.02
047825332068	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2068	NAJIM HARVEY E	306 HUNTINGTON PL SHAVANO PARK TX 78231-2600 306 HUNTINGTON PL HOM O65			LAND: 365,700 IMPR: 3,950,100 PROD: 0 ASE: 4,315,800	0036	4,310,800	5,000	12,403.98		TOTAL		12,403.98
047825332069	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2069	ALFARO BRIAN & KRISTI	310 HUNTINGTON PL SHAVANO PARK TX 78231-2600 310 HUNTINGTON PL HOM			LAND: 305,070 IMPR: 2,518,930 PROD: 0 ASE: 2,824,000	0036	2,824,000	0	8,125.83		TOTAL		8,125.83
047825332070	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2070	GUTIERREZ ROBERT P	311 HUNTINGTON PL SHAVANO PARK TX 78231-2600 311 HUNTINGTON PL HOM O65			LAND: 307,050 IMPR: 1,646,950 PROD: 0 ASE: 1,954,000	0036	1,949,000	5,000	5,303.09		TOTAL		5,303.09
047825332071	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2071	CZAR BRANDY G	307 HUNTINGTON PL SHAVANO PARK TX 78231-2600 307 HUNTINGTON PL			LAND: 297,410 IMPR: 1,677,590 PROD: 0 ASE: 1,975,000	0036	1,975,000	0	5,682.90		TOTAL		5,682.90
047825332072	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2072	KAVANAGH-ACOSTA LIVING TRUST	KAVANAGH JOSEPH & ACOSTA SHARRON K T 303 HUNTINGTON PL SHAVANO PARK TX 78231-2600 303 HUNTINGTON PL HOM			LAND: 331,930 IMPR: 1,868,070 PROD: 0 ASE: 2,200,000	0036	2,200,000	0	6,330.32		TOTAL		6,330.32
047825332073	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2073	MUELLER HERBERT MICHAEL & JOSEPHINE	242 WINDING LN SHAVANO PARK TX 78231-1262 242 WINDING LN HOM O65			LAND: 336,480 IMPR: 2,127,990 PROD: 0 ASE: 2,464,470	0036	2,459,470	5,000	5,508.82		TOTAL		5,508.82
047825332074	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2074	VERMA KARUNA KUMAR	238 WINDING LN SAN ANTONIO TX 78231-1262 238 WINDING LN HOM O65			LAND: 312,420 IMPR: 2,587,580 PROD: 0 ASE: 2,900,000	0036	2,895,000	5,000	8,330.13		TOTAL		8,330.13

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047825332075	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2075	TOMASOVIC JERRY J & CAROL L	234 WINDING LN SAN ANTONIO TX 78231-1262			LAND: 305,070 IMPR: 1,463,750 PROD: 0 ASE: 1,768,820	0036	1,763,820	5,000	3,928.27		TOTAL		3,928.27
047825332076	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2076	MARTINEZ RAUL G & CHRISTINA CARR	230 WINDING LN SAN ANTONIO TX 78231-1262			LAND: 309,020 IMPR: 1,810,980 PROD: 0 ASE: 2,120,000	0036	2,120,000	0	6,100.13		TOTAL		6,100.13
047825332077	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2077	TANG HUIXING & JENNY	222 WINDING LN SAN ANTONIO TX 78231-1262			LAND: 318,090 IMPR: 2,071,290 PROD: 0 ASE: 2,389,380	0036	2,389,380	0	6,875.25		TOTAL		6,875.25
047825332078	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2078	HARWELL N WAYNE & CYNTHIA H	PO BOX 781348 SAN ANTONIO TX 78278-1348			LAND: 323,110 IMPR: 2,175,520 PROD: 0 ASE: 2,498,630	0036	2,493,630	5,000	5,830.80		TOTAL		5,830.80
047825332079	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2079	CHANDRAHASAN GOPINATH & SANDRA L	214 WINDING LN SHAVANO PARK TX 78231-1262			LAND: 356,870 IMPR: 1,184,628 PROD: 0 ASE: 1,541,498	0036	1,541,498	0	4,435.54		TOTAL		4,435.54
047825332082	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2082	PATEL NILESH ARVIND & HEMAL R	130 WINDING LN SAN ANTONIO TX 78231-1276			LAND: 309,020 IMPR: 2,110,790 PROD: 0 ASE: 2,419,810	0036	2,419,810	0	6,962.81		TOTAL		6,962.81
047825332083	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2083	MORA ADRIAN & ABURTO HELEN M	122 WINDING LN SHAVANO PARK TX 78231-1276			LAND: 354,010 IMPR: 2,155,990 PROD: 0 ASE: 2,510,000	0036	2,510,000	0	7,222.32		TOTAL		7,222.32
047825332087	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 33 LOT 2087	ROBINSON DAVID M & VALERIE R QLFD P % KERRY BENEDICT	206 WINDING LN SAN ANTONIO TX 78231-1262			LAND: 406,760 IMPR: 2,017,240 PROD: 0 ASE: 2,424,000	0036	2,424,000	0	6,974.87		TOTAL		6,974.87
047825342104	CB 4782 (SHAVANO PARK UT-19C PH III), BLOCK 34 LOT 2104	HUNTINGTON HOA INC	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412			LAND: 130 IMPR: 0 PROD: 0 ASE: 130	0036	130	0	0.37		TOTAL		0.37

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047825342105	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 34 LOT 2105	YANTIS JOHN MICHAEL JR	227 WELLESLEY LOOP SHAVANO PARK TX 78231-2266 227 WELLESLEY LOOP			LAND: 316,900 IMPR: 1,333,100 PROD: 0 ASE: 1,650,000	0036	1,650,000	0	4,747.74		TOTAL		4,747.74
047825342106	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 34 LOT 2106	IMAGE HOMES CUSTOM BUILDERS LTD	16002 VIA SHAVANO STE 101 SAN ANTONIO TX 78249-2352 0 WELLESLEY LOOP			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825342107	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 34 LOT 2107	RAJU SRI HARI & NANDYALA RAMAVATHI	219 WELLESLEY LOOP SHAVANO PARK TX 78231-2266 219 WELLESLEY LOOP HOM			LAND: 295,620 IMPR: 2,004,380 PROD: 0 ASE: 2,300,000	0036	2,300,000	0	6,618.07		TOTAL		6,618.07
047825342108	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 34 LOT 2108	BURDICK-SHAVANO HOMES LTD	4710 SHAVANO OAK STE 102 SAN ANTONIO TX 78249-4003 0 WELLESLEY LOOP			LAND: 297,210 IMPR: 0 PROD: 0 ASE: 297,210	0036	297,210	0	855.20		TOTAL		855.20
047825342109	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 34 LOT 2109	FALCON CORPORATE GROUP PROPERTIES IN	16026 UNIVERSITY OAK SAN ANTONIO TX 78249-4013 0 WELLESLEY LOOP			LAND: 287,500 IMPR: 0 PROD: 0 ASE: 287,500	0036	287,500	0	827.26		TOTAL		827.26
047825342110	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 34 LOT 2110	ROLLINS BRAD & LISA	207 WELLESLEY LOOP SAN ANTONIO TX 78231-2266 207 WELLESLEY LOOP HOM			LAND: 302,900 IMPR: 1,881,730 PROD: 0 ASE: 2,184,630	0036	2,184,630	0	6,286.10		TOTAL		6,286.10
047825342111	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 34 LOT 2111	BLANTON LINDSAY C III & KAREN E	203 WELLESLEY LOOP SAN ANTONIO TX 78231-2266 203 WELLESLEY LOOP HOM			LAND: 322,460 IMPR: 1,478,990 PROD: 0 ASE: 1,801,450	0036	1,801,450	0	5,183.53		TOTAL		5,183.53
047825342112	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 34 LOT 2112	HICKS ESTHER W	127 WELLESLEY LOOP SAN ANTONIO TX 78231-2279 127 WELLESLEY LOOP			LAND: 298,610 IMPR: 2,190,260 PROD: 0 ASE: 2,488,870	0036	2,488,870	0	7,161.52		TOTAL		7,161.52
047825342113	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 34 LOT 2113	LUBETZKY SIOMA & TANIA G	3227 SPIDER LILY SAN ANTONIO TX 78258-1619 123 WELLESLEY LOOP			LAND: 301,460 IMPR: 765,200 PROD: 0 ASE: 1,066,660	0036	1,066,660	0	3,069.23		TOTAL		3,069.23

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047825342114	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 34 LOT 2114	BURDICK-SHAVANO HOMES LTD	4710 SHAVANO OAK STE 102 SAN ANTONIO TX 78249-4003 0 WELLESLEY LOOP			LAND: 263,300 IMPR: 0 PROD: 0 ASE: 263,300	0036	263,300	0	757.62		TOTAL		757.62
047825342115	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 34 LOT 2115	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 WELLESLEY LOOP			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825342116	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 34 LOT 2116	ZAMBRANO JORGE	19136 TRAILVIEW SAN ANTONIO TX 78258-4016 0 WELLESLEY LOOP			LAND: 295,370 IMPR: 0 PROD: 0 ASE: 295,370	0036	295,370	0	849.90		TOTAL		849.90
047825342117	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 34 LOT 2117	H O K REAL ESTATE INVESTMENTS COMPAN	16002 VIA SHAVANO STE 101 SAN ANTONIO TX 78249-2352 0 WELLESLEY LOOP			LAND: 263,300 IMPR: 0 PROD: 0 ASE: 263,300	0036	263,300	0	757.62		TOTAL		757.62
047825342118	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 34 LOT 2118	CLAUSEWITZ ERIC & TIFFANIE	103 WELLESLEY LOOP SAN ANTONIO TX 78231-2279 103 WELLESLEY LOOP			LAND: 344,510 IMPR: 1,830,490 PROD: 0 ASE: 2,175,000	0036	2,175,000	0	6,258.39		TOTAL		6,258.39
047825342119	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 34 LOT 2119	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 67 WELLESLEY LOOP			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825342134	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 34 LOT 2134	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 7 WELLESLEY LOOP			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825342135	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 34 LOT 2135	NAKHOUL PIERRE	19107 NATURE OAKS SAN ANTONIO TX 78258-4413 3 WELLESLEY LOOP			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825342136	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 34 LOT 2136	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 147 KINNAN WAY			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36

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047825342137	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 34 LOT 2137	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 151 KINNAN WAY			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825342138	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 34 LOT 2138	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 155 KINNAN WAY			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825342139	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 34 LOT 2139	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 KINNAN WAY			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825342140	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 34 LOT 2140	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 0 KINNAN WAY			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825342141	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 34 LOT 2141 (OPEN SPACE)	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 101 WELLESLEY LOOP			LAND: 4,190 IMPR: 0 PROD: 0 ASE: 4,190	0036	4,190	0	12.06		TOTAL		12.06
047825352141	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 35 LOT 2141	BATES JESSE D	222 WELLESLEY LOOP SAN ANTONIO TX 78231-2270 222 WELLESLEY LOOP HOM O65			LAND: 316,360 IMPR: 1,637,860 PROD: 0 ASE: 1,954,220	0036	1,949,220	5,000	5,233.45		TOTAL		5,233.45
047825352142	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 35 LOT 2142	AYERS DAVID L JR & TRACY G	218 WELLESLEY LOOP SAN ANTONIO TX 78231-2270 218 WELLESLEY LOOP HOM			LAND: 319,120 IMPR: 1,628,140 PROD: 0 ASE: 1,947,260	0036	1,947,260	0	5,603.08		TOTAL		5,603.08
047825352144	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 35 LOT 2144	CASADY CHRISTOPHER & MONICA	11426 CAT SPRGS BOERNE TX 78006- 0 WELLESLEY LOOP			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825352145	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 35 LOT 2145	THE PANDA HOME LLC	433 NORTH LOOP W STE 100 HOUSTON TX 77008-2029 0 WELLESLEY LOOP			LAND: 302,120 IMPR: 0 PROD: 0 ASE: 302,120	0036	302,120	0	869.33		TOTAL		869.33

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047825352146	CB 4782E (SHAVANO PARK UT-19C PH-2), BLOCK 35 LOT 2146	WEBBER HECTOR & STEFANIE	202 WELLESLEY LOOP SHAVANO PARK TX 78231-2270 202 WELLESLEY LOOP HOM			LAND: 297,150 IMPR: 2,037,850 PROD: 0 ASE: 2,335,000	0036	2,335,000	0	6,718.78		TOTAL		6,718.78
047825352147	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 35 LOT 2147	INVERMAZ LLC	923 GAZANIA HL SAN ANTONIO TX 78260-4302 0 WELLESLEY LOOP			LAND: 300,350 IMPR: 0 PROD: 0 ASE: 300,350	0036	300,350	0	864.23		TOTAL		864.23
047825352148	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 35 LOT 2148	DAVES INVESTMENTS LLC	12 YATESWOOD SAN ANTONIO TX 78248-2436 0 WELLESLEY LOOP			LAND: 296,980 IMPR: 0 PROD: 0 ASE: 296,980	0036	296,980	0	854.54		TOTAL		854.54
047825352149	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 35 LOT 2149	GARZA NOE RAMIREZ & RAMIREZ MELVA	120 WELLESLEY LOOP SAN ANTONIO TX 78231-2278 120 WELLESLEY LOOP			LAND: 303,410 IMPR: 1,720,860 PROD: 0 ASE: 2,024,270	0036	2,024,270	0	5,824.67		TOTAL		5,824.67
047825352150	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 35 LOT 2150	CARCAMO GERARDO E & KAREN M	2 INWOOD TERRACE DR SAN ANTONIO TX 78248-1656 0 WELLESLEY LOOP			LAND: 315,830 IMPR: 0 PROD: 0 ASE: 315,830	0036	315,830	0	908.78		TOTAL		908.78
047825352151	CB 4782E (SHAVANO PARK UT-19C PH III), BLOCK 35 LOT 2151	SANSON NICHOLAS & ANANDA SANTA-COLOM	110 WELLESLEY LOOP SHAVANO PARK TX 78231-2278 110 WELLESLEY LOOP			LAND: 324,610 IMPR: 1,201,690 PROD: 0 ASE: 1,526,300	0036	1,526,300	0	4,391.81		TOTAL		4,391.81
047825352152	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 35 LOT 2152	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 104 WHITTINGHAM RD			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825352153	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 35 LOT 2153	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 108 WHITTINGHAM RD			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825352154	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 35 LOT 2154	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 112 WHITTINGHAM RD			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36

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047825352155	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 35 LOT 2155	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 116 WHITTINGHAM RD			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825352156	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 35 LOT 2156	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 120 WHITTINGHAM RD			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825352157	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 35 LOT 2157	INVERMAZ LLC	923 GAZANIA HL SAN ANTONIO TX 78260-4302 124 WHITTINGHAM RD			LAND: 263,300 IMPR: 0 PROD: 0 ASE: 263,300	0036	263,300	0	757.62		TOTAL		757.62
047825352158	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 35 LOT 2158	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 128 WHITTINGHAM RD			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825352159	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 35 LOT 2159	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 132 WHITTINGHAM RD			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825352162	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 35 LOT 2162	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 144 KINNAN WAY			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825352163	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 35 LOT 2163	ZAFAR NAUSHAD & ZAFAR ATIFA	239 WINDING LN SAN ANTONIO TX 78231-1274 148 KINNAN WAY			LAND: 263,300 IMPR: 0 PROD: 0 ASE: 263,300	0036	263,300	0	757.62		TOTAL		757.62
047825352164	CB 4782E ((REPLAT) SHAVANO PARK UT-19C PH-II & PH-IV (PUD)), BLOCK 35 LOT 2164	CASADY CHRISTOPHER CASADY MONICA	11426 CAT SPGS BOERNE TX 78006-8487 214 WELLESLEY LOOP			LAND: 592,170 IMPR: 1,138,250 PROD: 0 ASE: 1,730,420	0036	1,730,420	0	4,979.15		TOTAL		4,979.15
047825362167	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 36 LOT 2167	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 135 WHITTINGHAM RD			LAND: 250,000 IMPR: 0 PROD: 0 ASE: 250,000	0036	250,000	0	719.36		TOTAL		719.36

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047825362168	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 36 LOT 2168	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 131 WHITTINGHAM RD		LAND: IMPR: PROD: ASE:	250,000 0 0 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825362169	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 36 LOT 2169	ELLIOTT SEAN & CLAUDIA ZAPATA	% J O CONNOR CPA 62 SUDBURY RD STOW MA 01775-1519 127 WHITTINGHAM RD		LAND: IMPR: PROD: ASE:	263,300 0 0 263,300	0036	263,300	0	757.62		TOTAL		757.62
047825362170	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 36 LOT 2170	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 123 WHITTINGHAM RD		LAND: IMPR: PROD: ASE:	250,000 0 0 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825362171	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 36 LOT 2171	ALLEN & ALLEN HOLDINGS LP	16018 VIA SHAVANO STE 101 SAN ANTONIO TX 78249-2369 119 WHITTINGHAM RD		LAND: IMPR: PROD: ASE:	250,000 0 0 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825362172	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 36 LOT 2172	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 115 WHITTINGHAM RD		LAND: IMPR: PROD: ASE:	250,000 0 0 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825362173	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 36 LOT 2173	PAUL ALLEN HOMES INC	6215 VIA LA CANTERA APT 133 SAN ANTONIO TX 78256-2535 111 WHITTINGHAM RD		LAND: IMPR: PROD: ASE:	263,300 0 0 263,300	0036	263,300	0	757.62		TOTAL		757.62
047825362174	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 36 LOT 2174	PAUL ALLEN HOMES INC	6215 VIA LA CANTERA APT 133 SAN ANTONIO TX 78256-2535 107 WHITTINGHAM RD		LAND: IMPR: PROD: ASE:	263,300 0 0 263,300	0036	263,300	0	757.62		TOTAL		757.62
047825362175	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 36 LOT 2175	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077 103 WHITTINGHAM RD		LAND: IMPR: PROD: ASE:	250,000 0 0 250,000	0036	250,000	0	719.36		TOTAL		719.36
047825372088	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 37 LOT 2088 (GREENBELT)	HUNTINGTON HOA INC	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412 0 KINNAN WAY		LAND: IMPR: PROD: ASE:	100 0 0 100	0036	100	0	0.29		TOTAL		0.29

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047825382087	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 38 LOT 2087 (GREENBELT)	HUNTINGTON HOA INC	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412 0 KINNAN WAY			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825412182	CB 4782E (SHAVANO PARK UT-19C PH-I), BLOCK 41 LOT 2182 (PRIVATE STREET)	HUNTINGTON HOA INC	3424 PAESANOS PKWY STE 100 SAN ANTONIO TX 78231-4412 0 HUNTINGTON PL			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
047825413185	CB 4782E (SHAVANO PARK UT-19C PH-I-AMEND.), BLOCK 41 LOT 3185	LAWITZ ERIC J	110 WINDING LN SAN ANTONIO TX 78231-1276 110 WINDING LN HOM			LAND: 312,420 IMPR: 2,154,580 PROD: 0 ASE: 2,467,000	0036	2,467,000	0	7,098.60		TOTAL		7,098.60
047825413186	CB 4782E (SHAVANO PARK UT-19C PH-I-AMEND.), BLOCK 41 LOT 3186	CHURCH DANIEL & KAIULANI	106 WINDING LN SAN ANTONIO TX 78231-1276 106 WINDING LN HOM			LAND: 318,090 IMPR: 1,639,035 PROD: 0 ASE: 1,957,125	0036	1,957,125	0	5,631.47		TOTAL		5,631.47
047825413187	CB 4782E (SHAVANO PARK UT-19C PH-I-AMEND.), BLOCK 41 LOT 3187	SORACE MICHAEL DR & REGINA	102 WINDING LN SAN ANTONIO TX 78231-1276 102 WINDING LN			LAND: 383,180 IMPR: 2,079,450 PROD: 0 ASE: 2,462,630	0036	2,462,630	0	7,086.02		TOTAL		7,086.02
047825422194	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 42 LOT 2194	KILPATRICK PETER & DARLENE	132 PENNS WAY SAN ANTONIO TX 78231-1400 132 PENNS WAY HOM			LAND: 141,970 IMPR: 533,030 PROD: 0 ASE: 675,000	0036	675,000	0	1,942.26		TOTAL		1,942.26
047825422195	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 42 LOT 2195	STOEGER WAYNE E & JILL K	128 PENNS WAY SHAVANO PARK TX 78231-1400 128 PENNS WAY HOM O65			LAND: 144,320 IMPR: 582,920 PROD: 0 ASE: 727,240	0036	722,240	5,000	1,781.27		TOTAL		1,781.27
047825422196	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 42 LOT 2196	CASCUE LLC	18235 BULVERDE RD STE 105-304 SAN ANTONIO TX 78259-3765 0 PENNS WAY			LAND: 122,500 IMPR: 0 PROD: 0 ASE: 122,500	0036	122,500	0	352.48		TOTAL		352.48
047825422197	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 42 LOT 2197	KASSNER LARRY W & REBECCA C	120 PENNS WAY SAN ANTONIO TX 78231-1400 120 PENNS WAY HOM			LAND: 151,350 IMPR: 657,650 PROD: 0 ASE: 809,000	0036	809,000	0	2,327.83		TOTAL		2,327.83

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047825422198	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 42 LOT 2198	MILLER FAMILY LIVING TRUST 5815 SANTA FE SPRINGS DR HOUSTON TX 77041-5759 116 PENNS WAY			LAND: 122,500 IMPR: 0 PROD: 0 ASE: 122,500	0036	122,500	0	352.48			TOTAL	352.48
047825422199	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 42 LOT 2199	ALLEN PAUL & SILVIA 112 PENNS WAY SAN ANTONIO TX 78231-1400 112 PENNS WAY HOM			LAND: 149,300 IMPR: 735,070 PROD: 0 ASE: 884,370	0036	884,370	0	2,544.70			TOTAL	2,544.70
047825422200	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 42 LOT 2200	BETTAC ROBERT E & SUZANNE S 108 PENNS WAY SAN ANTONIO TX 78231-1400 108 PENNS WAY HOM O65			LAND: 152,080 IMPR: 572,820 PROD: 0 ASE: 724,900	0036	719,900	5,000	1,837.09			TOTAL	1,837.09
047825422201	CB 4782E (SHAVANO PARK UT-18B PH 3), BLOCK 42 LOT 2201	TAWIL DAVID A 104 PENNS WAY SAN ANTONIO TX 78231-1400 104 PENNS WAY HOM			LAND: 154,340 IMPR: 695,660 PROD: 0 ASE: 850,000	0036	850,000	0	2,445.81			TOTAL	2,445.81
047825422202	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2202	BOSE RYAN COLBY 203 PERSIMMON POND SHAVANO PARK TX 78231-1408 203 PERSIMMON POND VET HOM			LAND: 181,330 IMPR: 625,290 PROD: 0 ASE: 806,620	0036	794,620	12,000	2,286.46			TOTAL	2,286.46
047825422203	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2203	HEISSER ANNA H & TRENT S 207 PERSIMMON POND SHAVANO PARK TX 78231-1408 207 PERSIMMON POND VET HOM			LAND: 170,230 IMPR: 593,090 PROD: 0 ASE: 763,320	0036	755,820	7,500	2,174.81			TOTAL	2,174.81
047825422204	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2204	CONNELL JOHN H MANAGEMENT TRUST 211 PERSIMMON POND SHAVANO PARK TX 78231-1408 211 PERSIMMON POND HOM O65			LAND: 171,830 IMPR: 638,170 PROD: 0 ASE: 810,000	0036	805,000	5,000	1,419.51			TOTAL	1,419.51
047825422205	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2205	MCFARLAND CRAIG C & CRISTINA M 215 PERSIMMON POND SHAVANO PARK TX 78231-1408 215 PERSIMMON POND VET HOM			LAND: 178,050 IMPR: 675,500 PROD: 0 ASE: 853,550	0036	846,050	7,500	2,434.44			TOTAL	2,434.44
047825422206	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2206	OQUIN JAMES C III & KIMBERLY H 219 PERSIMMON POND SAN ANTONIO TX 78231-1408 219 PERSIMMON POND HOM			LAND: 158,970 IMPR: 664,520 PROD: 0 ASE: 823,490	0036	823,490	0	2,369.53			TOTAL	2,369.53

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047825422208	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2208	HENDRICK ERIC P & AMY J	226 PERSIMMON POND SAN ANTONIO TX 78231-1408 226 PERSIMMON POND HOM			LAND: 272,110 IMPR: 839,300 PROD: 0 ASE: 1,111,410	0036	1,111,410	0	3,197.99		TOTAL		3,197.99
047825422209	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2209	FLORES APOLONIO & MARY H	222 PERSIMMON POND SHAVANO PARK TX 78231-1408 222 PERSIMMON POND HOM O65			LAND: 154,470 IMPR: 665,840 PROD: 0 ASE: 820,310	0036	815,310	5,000	2,014.19		TOTAL		2,014.19
047825422210	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2210	RUBIN JAY M & JEANNE S	218 PERSIMMON POND SAN ANTONIO TX 78231-1408 218 PERSIMMON POND HOM			LAND: 160,460 IMPR: 679,540 PROD: 0 ASE: 840,000	0036	840,000	0	2,417.03		TOTAL		2,417.03
047825422211	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2211	JOHNSTON RONALD S & GLENDA L	214 PERSIMMON POND SAN ANTONIO TX 78231-1408 214 PERSIMMON POND HOM			LAND: 154,650 IMPR: 670,350 PROD: 0 ASE: 825,000	0036	825,000	0	2,373.87		TOTAL		2,373.87
047825422212	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2212	LUNDGREN MICHAEL S & LAMIAE	PO BOX 782009 SAN ANTONIO TX 78278-2009 210 PERSIMMON POND			LAND: 158,290 IMPR: 695,500 PROD: 0 ASE: 853,790	0036	853,790	0	2,456.71		TOTAL		2,456.71
047825422213	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2213	MILAM MICHAEL F & LORETTA D	202 PERSIMMON POND SAN ANTONIO TX 78231-1408 202 PERSIMMON POND HOM			LAND: 177,980 IMPR: 652,020 PROD: 0 ASE: 830,000	0036	830,000	0	2,388.26		TOTAL		2,388.26
047825422214	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2214	REYNOLDS SCOTT A & CORINNE M	203 GRANVILLE WAY SAN ANTONIO TX 78231-1406 203 GRANVILLE WAY HOM			LAND: 181,490 IMPR: 674,370 PROD: 0 ASE: 855,860	0036	855,860	0	2,462.67		TOTAL		2,462.67
047825422215	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2215	EMMONS MICHAEL E & MARGARET	207 GRANVILLE WAY SAN ANTONIO TX 78231-1406 207 GRANVILLE WAY HOM O65			LAND: 159,930 IMPR: 560,070 PROD: 0 ASE: 720,000	0036	715,000	5,000	2,057.36		TOTAL		2,057.36
047825422216	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2216	BLALOCK KEITH & HEATHER	211 GRANVILLE WAY SAN ANTONIO TX 78231-1406 211 GRANVILLE WAY HOM			LAND: 152,710 IMPR: 504,290 PROD: 0 ASE: 657,000	0036	657,000	0	1,890.46		TOTAL		1,890.46

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047825422217	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2217	JENKINS RAYMOND L & REBECCA	215 GRANVILLE WAY SAN ANTONIO TX 78231-1406			LAND: 152,630 IMPR: 718,170 PROD: 0 ASE: 870,800	0036	865,800	5,000	2,268.39		TOTAL		2,268.39
047825422218	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2218	GIBSON LARRY R & NANCY Y	102 GEDDINGTON SHAVANO PARK TX 78249-2063			LAND: 122,500 IMPR: 0 PROD: 0 ASE: 122,500	0036	122,500	0	352.48		TOTAL		352.48
047825422219	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2219	SIMMERMAN DANNY & SHELLY	223 GRANVILLE WAY SAN ANTONIO TX 78231-1406			LAND: 157,520 IMPR: 668,910 PROD: 0 ASE: 826,430	0036	826,430	0	2,377.99		TOTAL		2,377.99
047825422220	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2220	BICK SCOTT & CARLA	227 GRANVILLE WAY SHAVANO PARK TX 78231-1406			LAND: 178,350 IMPR: 582,080 PROD: 0 ASE: 760,430	0036	760,430	0	2,188.08		TOTAL		2,188.08
047825422221	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2221	SOSA ISMAEL T	231 GRANVILLE WAY SAN ANTONIO TX 78231-1406			LAND: 189,640 IMPR: 583,720 PROD: 0 ASE: 773,360	0036	773,360	0	2,225.28		TOTAL		2,225.28
047825422222	CB 4782E (SHAVANO PARK UT-18B PH II), BLOCK 42 LOT 2222	NEWUMAYER KYLE M & KATIE E	239 GRANVILLE WAY SAN ANTONIO TX 78231-1406			LAND: 175,760 IMPR: 689,180 PROD: 0 ASE: 864,940	0036	864,940	0	2,488.80		TOTAL		2,488.80
047825432236	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2236	HERRMANN ALBERT DON	4427 ETON PL SHAVANO PARK TX 78249-2994			LAND: 113,510 IMPR: 441,490 PROD: 0 ASE: 555,000	0036	550,000	5,000	1,461.91		TOTAL		1,461.91
047825432237	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2237	FRIEDRICHSEN SCOTT H & KATHERINE W	4423 ETON PL SAN ANTONIO TX 78249-2994			LAND: 113,610 IMPR: 412,590 PROD: 0 ASE: 526,200	0036	526,200	0	1,514.10		TOTAL		1,514.10
047825432238	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2238	BAKER LAWRENCE S & TAMERA L	4419 ETON PL SAN ANTONIO TX 78249-2994			LAND: 113,850 IMPR: 408,390 PROD: 0 ASE: 522,240	0036	517,240	5,000	1,393.45		TOTAL		1,393.45

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047825432239	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2239	PARKER STEVEN	4415 ETON PL SHAVANO PARK TX 78249-2994			LAND: 111,900 IMPR: 454,120 PROD: 0 ASE: 566,020	0036	566,020	0	1,628.68		TOTAL		1,628.68
047825432240	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2240	KLEIN MARK	4411 ETON PL SHAVANO PARK TX 78249-2994			LAND: 110,320 IMPR: 383,100 PROD: 0 ASE: 493,420	0036	493,420	0	1,419.78		TOTAL		1,419.78
047825432241	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2241	GAMEZ MARCELO JR & CLARA L	4407 ETON PL SAN ANTONIO TX 78249-2994			LAND: 110,320 IMPR: 423,980 PROD: 0 ASE: 534,300	0036	529,300	5,000	1,063.06		TOTAL		1,063.06
047825432242	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2242	LUNKE ROGER J & RENA J	4403 ETON PL SAN ANTONIO TX 78249-2994			LAND: 113,000 IMPR: 524,120 PROD: 0 ASE: 637,120	0036	632,120	5,000	1,687.02		TOTAL		1,687.02
047825432243	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2243	MICK WILLIAM JAY & MARCIA LOUISE	3 GLENWAY CT THE HILLS TX 78738-1516			LAND: 113,000 IMPR: 495,600 PROD: 0 ASE: 608,600	0036	608,600	0	1,751.20		TOTAL		1,751.20
047825432244	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2244	CHAVEZ ARTHUR R & LINDA	4406 YORKSHIRE CT SHAVANO PARK TX 78249-2996			LAND: 110,320 IMPR: 414,680 PROD: 0 ASE: 525,000	0036	525,000	0	1,510.65		TOTAL		1,510.65
047825432245	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2245	VERMA KARUNA	4410 YORKSHIRE CT SAN ANTONIO TX 78249-2996			LAND: 110,320 IMPR: 478,570 PROD: 0 ASE: 588,890	0036	588,890	0	1,694.48		TOTAL		1,694.48
047825432246	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2246	WIMPY CAROL	4414 YORKSHIRE CT SAN ANTONIO TX 78249-2996			LAND: 110,930 IMPR: 411,950 PROD: 0 ASE: 522,880	0036	0	522,880	0.00		TOTAL		0.00
047825432247	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2247	HOWARD DONALD R & MARIANNE M	4418 YORKSHIRE CT SAN ANTONIO TX 78249-2996			LAND: 113,550 IMPR: 426,280 PROD: 0 ASE: 539,830	0036	539,830	0	1,553.32		TOTAL		1,553.32

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047825432248	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2248	SALAS RAUL C & MARTHA A 4422 YORKSHIRE CT SAN ANTONIO TX 78249-2996 4422 YORKSHIRE CT HOM O65			LAND: 111,340 IMPR: 369,500 PROD: 0 ASE: 480,840	0036	475,840	5,000	704.84			TOTAL	704.84
047825432249	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2249	LANG RICHARD & FULCO JOSEPH EDWARD 4426 YORKSHIRE CT SAN ANTONIO TX 78249-2996 4426 YORKSHIRE CT			LAND: 113,070 IMPR: 137,200 PROD: 0 ASE: 250,270	0036	250,270	0	720.13			TOTAL	720.13
047825432250	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2250	OKOLO IFEOMA J 4431 YORKSHIRE CT SAN ANTONIO TX 78249-2996 4431 YORKSHIRE CT HOM			LAND: 134,330 IMPR: 508,010 PROD: 0 ASE: 642,340	0036	642,340	0	1,848.28			TOTAL	1,848.28
047825432251	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2251	KLINGER DANIEL & LEILANI C 4427 YORKSHIRE CT SAN ANTONIO TX 78249-2996 4427 YORKSHIRE CT HOM			LAND: 112,960 IMPR: 459,980 PROD: 0 ASE: 572,940	0036	572,940	0	1,648.59			TOTAL	1,648.59
047825432252	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2252	BRINKMANN ROBERT J & SANDRA Y 4423 YORKSHIRE CT SAN ANTONIO TX 78249-2996 4423 YORKSHIRE CT HOM VTX			LAND: 113,020 IMPR: 449,060 PROD: 0 ASE: 562,080	0036	0	562,080	0.00			TOTAL	0.00
047825432253	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2253	SONDERGELD AMY J 4419 YORKSHIRE CT SAN ANTONIO TX 78249-2996 4419 YORKSHIRE CT HOM			LAND: 111,040 IMPR: 479,530 PROD: 0 ASE: 590,570	0036	590,570	0	1,699.32			TOTAL	1,699.32
047825432254	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2254	PICKERING ROBERT B 4415 YORKSHIRE CT SAN ANTONIO TX 78249-2996 4415 YORKSHIRE CT HOM			LAND: 110,170 IMPR: 503,410 PROD: 0 ASE: 613,580	0036	613,580	0	1,765.53			TOTAL	1,765.53
047825432255	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2255	PINANSKY DAVID & HARRIET LIVING TRUS 4411 YORKSHIRE CT SHAVANO PARK TX 78249-2996 4411 YORKSHIRE CT HOM O65			LAND: 110,170 IMPR: 537,970 PROD: 0 ASE: 648,140	0036	643,140	5,000	1,754.51			TOTAL	1,754.51
047825432256	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2256	SAENZ ALVARO DANIEL JR & MARIA ALMA 4407 YORKSHIRE CT SAN ANTONIO TX 78249-2996 4407 YORKSHIRE CT HOM O65			LAND: 110,170 IMPR: 502,880 PROD: 0 ASE: 613,050	0036	608,050	5,000	1,363.84			TOTAL	1,363.84

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047825432257	CB 4782E (SHAVANO PARK UT-17K PH-1), BLOCK 43 LOT 2257	ITURBE JOSE & MARIA	4403 YORKSHIRE CT SAN ANTONIO TX 78249-2996			LAND: 113,460 IMPR: 473,540 PROD: 0 ASE: 587,000	0036	582,000	5,000	1,608.48			TOTAL	1,608.48
047825432292	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2292	SALINAS ALEX C & SALINAS RAQUEL E	514 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 113,290 IMPR: 465,110 PROD: 0 ASE: 578,400	0036	573,400	5,000	1,649.91			TOTAL	1,649.91
047825432293	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2293	RABB SAM W JR & CAROL C	518 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 110,260 IMPR: 392,400 PROD: 0 ASE: 502,660	0036	497,660	5,000	1,066.19			TOTAL	1,066.19
047825432294	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2294	WATTS CLAUDE DEVAN IV & WATTS SUSAN	526 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 113,790 IMPR: 505,900 PROD: 0 ASE: 619,690	0036	619,690	0	1,783.11			TOTAL	1,783.11
047825432295	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2295	RHODES BRANDON & RACHEL MARIE	534 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 112,240 IMPR: 504,990 PROD: 0 ASE: 617,230	0036	617,230	0	1,776.03			TOTAL	1,776.03
047825432296	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2296	LAUTERSTEIN EDWIN L & ELAINE	546 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 112,260 IMPR: 564,260 PROD: 0 ASE: 676,520	0036	671,520	5,000	1,808.21			TOTAL	1,808.21
047825432297	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2297	GRIST SANDRA	552 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 110,370 IMPR: 216,520 PROD: 0 ASE: 326,890	0036	326,890	0	940.60			TOTAL	940.60
047825432298	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2298	FLAGSHIP BUILDERS LLC	13409 NW MILITARY HWY STE 350 SHAVANO PARK TX 78231-1811			LAND: 92,400 IMPR: 0 PROD: 0 ASE: 92,400	0036	92,400	0	265.87			TOTAL	265.87
047825432299	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2299	ROGERS SHAVANO PARK UT 17 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077			LAND: 88,000 IMPR: 0 PROD: 0 ASE: 88,000	0036	88,000	0	253.21			TOTAL	253.21

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047825432300	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2300	THOMPSON DALE & INA J	570 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 113,500 IMPR: 426,370 PROD: 0 ASE: 539,870	0036	0	539,870	0.00		TOTAL		0.00
047825432301	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2301	FLY BRADY & MARIANNE	576 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 112,520 IMPR: 356,530 PROD: 0 ASE: 469,050	0036	469,050	0	1,349.65		TOTAL		1,349.65
047825432302	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2302	SUTTON SUSAN L	582 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 112,640 IMPR: 511,520 PROD: 0 ASE: 624,160	0036	624,160	0	1,795.97		TOTAL		1,795.97
047825432303	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2303	MORA JULLY SANCHEZ	586 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 112,630 IMPR: 431,080 PROD: 0 ASE: 543,710	0036	543,710	0	1,564.48		TOTAL		1,564.48
047825432304	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2304	PHAM HUYEN & PHAM HIEN	590 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 112,800 IMPR: 382,180 PROD: 0 ASE: 494,980	0036	494,980	0	1,424.27		TOTAL		1,424.27
047825432305	CB 4782E (SHAVANO PARK UT-17K PH-2), BLOCK 43 LOT 2305	BANKLER STEVEN & JANE A	594 TALMADGE LN SAN ANTONIO TX 78249-2998			LAND: 113,580 IMPR: 525,420 PROD: 0 ASE: 639,000	0036	634,000	5,000	1,756.06		TOTAL		1,756.06
047825442311	CB 4782E BLK 44 LOT 2311 (SHAVANO PARK UT-19A PH-1)	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077			LAND: 2,230 IMPR: 0 PROD: 0 ASE: 2,230	0036	2,230	0	6.42		TOTAL		6.42
047825442312	CB 4782E BLK 44 LOT 2312 (STARBUCKS ON NW MILITARY)	SHAVANO JAVA LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077			LAND: 1,142,950 IMPR: 702,700 PROD: 0 ASE: 1,845,650	0036	1,845,650	0	5,310.71		TOTAL		5,310.71
047825442313	CB 4782E BLK 44 LOT 2313 (MCALISTERS DELI-NORTHWEST MILITARY)	FCPT HOLDINGS LLC	3501 BILLY HEXT RD ODESSA TX 79765-8939			LAND: 1,539,970 IMPR: 986,080 PROD: 0 ASE: 2,526,050	0036	2,526,050	0	7,268.51		TOTAL		7,268.51

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047825442314	CB 4782E BLK 44 LOT 2314	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100		LAND:	1,098,360	0036	1,098,360	0	3,160.44				
			SAN ANTONIO TX 78218-3077		IMPR:	0								
			0 W LOOP 1604		PROD:	0						TOTAL		3,160.44
					ASE:	1,098,360								
047825442315	CB 4782E BLK 44 LOT 2315	BRAZOS DE SANTOS PARTNERS LTD	430 S SANTA ROSA AVE		LAND:	1,155,330	0036	1,155,330	0	3,324.37				
			SAN ANTONIO TX 78207-4551		IMPR:	0								
			0 W LOOP 1604		PROD:	0						TOTAL		3,324.37
					ASE:	1,155,330								
047825442316	CB 4782E BLK 44 LOT 2316	WHATABURGER REAL ESTATE LLC	% REAL ESTATE DEPT		LAND:	1,687,260	0036	1,687,260	0	4,854.96				
			300 CONCORD PLAZA DR		IMPR:	0								
			SAN ANTONIO TX 78216-6903		PROD:	0						TOTAL		4,854.96
			0 W LOOP 1604		ASE:	1,687,260								
047826000000	CB 4782E BLK 15 LOT 2272 **MASTER FILE/Common Elements** (OPTIMO BENTLEY CENTER CONDOMINIUM)	OPTIMO BENTLEY CENTER OWNERS ASSOC	106 DEL CT		LAND:	2,117,020	0036	0	4,130,080	0.00				
			LAREDO TX 78041-2276		IMPR:	2,013,060								
			4358 LOCKHILL SELMA RD		PROD:	0						TOTAL		0.00
			EXXV		ASE:	4,130,080								
047826011000	CB 4782E (OPTIMO BENTLEY CENTER CONDOMINIUM), BLDG 1 SUITE 100	MOLICA HOLDINGS LLC	3027 IVORY CRK		LAND:	35,910	0036	1,066,230	0	3,067.99				
			SAN ANTONIO TX 78258-1603		IMPR:	1,030,320								
			4358 LOCKHILL SELMA RD		PROD:	0						TOTAL		3,067.99
					ASE:	1,066,230								
047826011010	CB 4782E (OPTIMO BENTLEY CENTER CONDOMINIUM), BLDG 1 SUITE 101	NEURON LLC	5227 TOMAS CIR		LAND:	25,720	0036	757,848	0	2,180.65				
			SAN ANTONIO TX 78240-2075		IMPR:	732,128								
			4358 LOCKHILL SELMA RD		PROD:	0						TOTAL		2,180.65
					ASE:	757,848								
047826011020	CB 4782E (OPTIMO BENTLEY CENTER CONDOMINIUM), BLDG 1 SUITE 102	MONO LOCO LLC	8610 N NEW BRAUNFELS AVE STE 205		LAND:	13,750	0036	366,770	0	1,055.35				
			SAN ANTONIO TX 78217-6359		IMPR:	353,020								
			4358 LOCKHILL SELMA RD		PROD:	0						TOTAL		1,055.35
					ASE:	366,770								
047826011030	CB 4782E (OPTIMO BENTLEY CENTER CONDOS) BLDG 1 SUITE 103	FIGART VENTURES LLC	9314 AQUA DR		LAND:	86,370	0036	339,482	0	976.83				
			BOERNE TX 78006-5334		IMPR:	253,112								
			4538 LOCKHILL SELMA RD		PROD:	0						TOTAL		976.83
					ASE:	339,482								
047826021000	CB 4782E (OPTIMO BENTLEY CENTER CONDOS) BLDG 2 SUITE 100	CBM LOCKHILL LLC	17811 SAN PEDRO AVE		LAND:	346,130	0036	1,275,000	0	3,668.71				
			SAN ANTONIO TX 78232-1415		IMPR:	928,870								
			4538 LOCKHILL SELMA RD		PROD:	0						TOTAL		3,668.71
					ASE:	1,275,000								

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047826021010	CB 4782E (OPTIMO BENTLEY CENTER CONDOS)	CBM LOCKHILL LLC	17811 SAN PEDRO AVE			LAND: 346,130	0036	1,275,000	0	3,668.71				
	BLDG 2 SUITE 101	4538 LOCKHILL SELMA RD				IMPR: 928,870								
						PROD: 0						TOTAL		3,668.71
						ASE: 1,275,000								
047826031000	CB 4782E (OPTIMO BENTLEY CENTER CONDOMINIUM) BLDG 3 SUITE 100	OPTIMO BENTLEY LLC	106 DEL CT			LAND: 172,960	0036	497,160	0	1,430.54				
		LAREDO TX 78041-2276				IMPR: 324,200								
		4358 LOCKHILL SELMA RD				PROD: 0						TOTAL		1,430.54
						ASE: 497,160								
047826031010	CB 4782E (OPTIMO BENTLEY CENTER CONDOMINIUM) BLDG 3 SUITE 101	GARCIA ALEJANDRO SANDOVAL & NUNO FRA	12915 JONES MALTSBERGER RD STE 603			LAND: 520,570	0036	1,496,070	0	4,304.82				
		SAN ANTONIO TX 78247-4256				IMPR: 975,500								
		4358 LOCKHILL SELMA RD				PROD: 0						TOTAL		4,304.82
						ASE: 1,496,070								
047826442311	CB 4782E (SHAVANO PARK FROST BANK), BLOCK 44 LOT 2311	ZUNA INVESTMENTS LLC	21750 HARDY OAK BLVD 104-8955			LAND: 2,063,040	0036	5,318,253	0	15,302.85				
		SAN ANTONIO TX 78258-4925				IMPR: 3,255,213								
		4050 W LOOP 1604				PROD: 0						TOTAL		15,302.85
						ASE: 5,318,253								
047829412182	CB 4782E (SHAVANO PARK UT-19C PH IV (PUD)), BLOCK 41 LOT 2182 (PVT ST) (DUPLICATE TO PID #1078851)	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100			LAND: 100	0036	100	0	0.29				
		SAN ANTONIO TX 78218-3077				IMPR: 0								
		0 WHITTINGHAM RD				PROD: 0						TOTAL		0.29
						ASE: 100								
047840000015	CB 4784 P-1J (NON-ADJACENT REMAINS) DRAINAGE EASEMENT	HUNTINGTON HOA INC	3424 PAESANOS PKWY STE 100			LAND: 100	0036	100	0	0.29				
		SAN ANTONIO TX 78231-4412				IMPR: 0								
		0 WINDING LN				PROD: 0						TOTAL		0.29
						ASE: 100								
047840000016	CB 4784 P-1M (NON ADJ REMAINS)	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100			LAND: 130	0036	130	0	0.37				
		SAN ANTONIO TX 78218-3077				IMPR: 0								
		0 WINDING LN				PROD: 0						TOTAL		0.37
						ASE: 130								
047840011816	CB 4784 BLK 1 LOT 1816 NISD SHAVANO PARK ELEM SUBD	NORTHSIDE I S D	5900 EVERS RD BLDG C			LAND: 0	0036	0	0	0.00				
		SAN ANTONIO TX 78238-1699				IMPR: 0								
		3300 N LOOP 1604 W				PROD: 0						TOTAL		0.00
		EXXV				ASE: 0								
047871000010	CB 4783A BLK LOT 1 (SHAVANO PARK UT-19B PH-4)	SABRA TEXAS HOLDINGS LP	% SABRA HEALTH CARE REIT INC			LAND: 2,701,300	0036	7,833,000	0	22,538.83				
		18500 VON KARMAN AVE STE 550				IMPR: 5,131,700								
		IRVINE CA 92612-0539				PROD: 0						TOTAL		22,538.83
		3220 N LOOP 1604				ASE: 7,833,000								

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047871000020	CB 4787A (NAPIER PARK UT-1 (PUD)), LOT 2	BELLAIRE FINANCIAL INC	4372 N LOOP 1604 W STE 206		LAND:	598,800	0036	598,800	0	1,723.00				
			SAN ANTONIO TX 78249-1201		IMPR:	0								
			0 NAPIER PARK		PROD:	0						TOTAL		1,723.00
					ASE:	598,800								
047871000030	CB 4787A (NAPIER PARK UT-1 (PUD)), LOT 3	HE HAS PROVIDED LLC & SIGMAN INVESTM	3503 PAESANOS PKWY		LAND:	178,420	0036	712,530	0	2,050.25				
			SAN ANTONIO TX 78248-		IMPR:	534,110								
			3208 NAPIER PARK		PROD:	0						TOTAL		2,050.25
					ASE:	712,530								
047871000040	CB 4787A (NAPIER PARK UT-1 (PUD)), LOT 4	RY INVESTMENT PROPERTIES LLC	105 WARBLER WAY		LAND:	187,120	0036	722,690	0	2,079.48				
			SHAVANO PARK TX 78231-1436		IMPR:	535,570								
			3204 NAPIER PARK		PROD:	0						TOTAL		2,079.48
					ASE:	722,690								
047871000050	CB 4787A (NAPIER PARK UT-2 (PUD)), LOT 5	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100		LAND:	216,600	0036	40	216,560	0.12				
			SAN ANTONIO TX 78218-3077		IMPR:	0								
			0 NAPIER PARK		PROD:	40						TOTAL		0.12
			OSP		ASE:	216,600								
047871000060	CB 4787A (NAPIER PARK UT-2 (PUD)), LOT 6	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100		LAND:	165,600	0036	30	165,570	0.09				
			SAN ANTONIO TX 78218-3077		IMPR:	0								
			0 NAPIER PARK		PROD:	30						TOTAL		0.09
			OSP		ASE:	165,600								
047871000070	CB 4787A (NAPIER PARK UT-2 (PUD)), LOT 7	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100		LAND:	242,000	0036	50	241,950	0.14				
			SAN ANTONIO TX 78218-3077		IMPR:	0								
			0 NAPIER PARK		PROD:	50						TOTAL		0.14
			OSP		ASE:	242,000								
047871000080	CB 4787A (NAPIER PARK UT-2 (PUD)), LOT 8	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100		LAND:	208,100	0036	40	208,060	0.12				
			SAN ANTONIO TX 78218-3077		IMPR:	0								
			0 NAPIER PARK		PROD:	40						TOTAL		0.12
			OSP		ASE:	208,100								
047872001000	CB 4787B P-100 (PRIVATE STREET) (SHAVANO PARK UT-19B PH-3)	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100		LAND:	440	0036	440	0	1.27				
			SAN ANTONIO TX 78218-3077		IMPR:	0								
			0 PAESANOS PKWY		PROD:	0						TOTAL		1.27
					ASE:	440								
047872020010	CB 4787B BLK 2 LOT 1 (SHAVANO PARK UT-19B PH-3)	HUNTINGTON COMMERCIAL PHASE 1 LTD	11 LYNN BATTS LN STE 100		LAND:	2,373,800	0036	9,500,000	0	27,335.49				
			SAN ANTONIO TX 78218-3077		IMPR:	7,126,200								
			3424 PAESANOS PKWY		PROD:	0						TOTAL		27,335.49
					ASE:	9,500,000								

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047872020020	CB 4787B BLK 2 LOT 2 (SHAVANO PARK UT-19B PH-3)	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100		LAND:	1,793,820	0036	1,794,820	0	5,164.45				
			SAN ANTONIO TX 78218-3077		IMPR:	1,000								
			0 PAESANOS PKWY		PROD:	0						TOTAL		5,164.45
					ASE:	1,794,820								
047872020030	CB 4787B BLK 2 LOT 3 EXC E IRR 28.78 FT	BADER HOUSE OF SHAVANO PARK I LTD	3210 MEREDITH ST		LAND:	674,220	0036	2,650,000	0	7,625.16				
			AUSTIN TX 78703-2238		IMPR:	1,975,780								
			3411 PAESANOS PKWY		PROD:	0						TOTAL		7,625.16
					ASE:	2,650,000								
047872020031	CB 4787B BLK 2 LOT E IRR 28.78 FT OF 3	HUNTINGTON COMMERCIAL ASSOCIATION IN	11 LYNN BATTS LN STE 100		LAND:	1,000	0036	1,000	0	2.88				
			SAN ANTONIO TX 78218-3077		IMPR:	0								
			0 PAESANOS PKWY		PROD:	0						TOTAL		2.88
					ASE:	1,000								
047872020040	CB 4787B BLK 2 LOT 4 EXCEPT W IRR 128.37 (SHAVANO PARK UT-19B PH-3)	ZAMPRO LLC	PAESANOS A SERIES OF ZAMPRO LLC		LAND:	396,870	0036	1,527,330	0	4,394.77				
			14 WATERS EDGE WAY		IMPR:	1,130,460								
			SAN ANTONIO TX 78248-3415		PROD:	0						TOTAL		4,394.77
			PAESANOS PKWY		ASE:	1,527,330								
047872020041	CB 4787B BLK 2 LOT W IRR 128.37 OF LOT 4 (SHAVANO PARK UT-19B PH-3)	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100		LAND:	64,400	0036	64,400	0	185.31				
			SAN ANTONIO TX 78218-3077		IMPR:	0								
			0 PAESANOS PKWY		PROD:	0						TOTAL		185.31
					ASE:	64,400								
047872020050	CB 4787B BLK 2 LOT 5 & 6 (SHAVANO PARK UT-19B PH-3)	X-WING LLC	PO BOX 671287		LAND:	1,144,550	0036	6,500,000	0	18,703.23				
			DALLAS TX 75367-1287		IMPR:	5,355,450								
			3421 PAESANOS PKWY		PROD:	0						TOTAL		18,703.23
					ASE:	6,500,000								
047872020070	CB 4787B BLK 2 LOT 7 (DRAIN ESMT) (SHAVANO PARK UT-19B PH-3)	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100		LAND:	2,680	0036	2,680	0	7.71				
			SAN ANTONIO TX 78218-3077		IMPR:	0								
			0 PAESANOS PKWY		PROD:	0						TOTAL		7.71
					ASE:	2,680								
059380000020	CB 5938 LOT P-2 (DRAINAGE ROW) SHAVANO PARK UNIT-15A	CITY OF SHAVANO PARK	900 SADDLETREE CT		LAND:	0	0036	0	0	0.00				
			SHAVANO PARK TX 78231-1599		IMPR:	0								
			405 HAPPY TRL		PROD:	0						TOTAL		0.00
			EXXV		ASE:	0								
059380000061	CB 5938 LOT F SHAVANO PARK UNIT-15B	CITY OF SHAVANO PARK	900 SADDLETREE CT		LAND:	165,370	0036	0	165,370	0.00				
			SHAVANO PARK TX 78231-1599		IMPR:	0								
			405 HAPPY TRL		PROD:	0						TOTAL		0.00
			EXXV		ASE:	165,370								

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059380000430	CB 5938 LOT P-43 (DRAINAGE ROW)	CITY OF SHAVANO PARK	900 SADDLETREE CT	LAND:		0	0036	0	0	0.00				
SHAVANO		SHAVANO PARK TX 78231-1599	405 HAPPY TRL	IMPR:		0								
PARK UNIT-15A		EXXV		PROD:		0						TOTAL		0.00
				ASE:		0								
059380000440	CB 5938 LOT P-44 (2.167) & P-45 (1.957)	CITY OF SHAVANO PARK	900 SADDLETREE CT	LAND:		0	0036	0	0	0.00				
(DRAINAGE ROW SHAVANO PARK UNIT-15A)		SHAVANO PARK TX 78231-1599	405 HAPPY TRL	IMPR:		0								
		EXXV		PROD:		0						TOTAL		0.00
				ASE:		0								
059380001000	CB 5938 BLK P-100	HALFF HARRY	415 HARRISON AVE	LAND:		70	0036	70	0	0.20				
		SAN ANTONIO TX 78209-5128	0 WAGON TRAIL RD	IMPR:		0								
				PROD:		0						TOTAL		0.20
				ASE:		70								
059380001217	CB 5938 BLK LOT 1217	SIKAND ENTERPRISES LLC	106 TUSCARORA TRL	LAND:		220,230	0036	497,410	0	1,431.26				
		SHAVANO PARK TX 78231-1427	106 TUSCARORA TRL	IMPR:		277,180								
				PROD:		0						TOTAL		1,431.26
				ASE:		497,410								
059380001218	CB 5938 BLK LOT 1218	LAWRENCE HAROLD J JR & LEONA MAE	104 TUSCARORA TRL	LAND:		243,530	0036	465,184	10,176	948.05				
		SHAVANO PARK TX 78231-1427	104 TUSCARORA TRL	IMPR:		231,830								
		CAP HOM O65		PROD:		0						TOTAL		948.05
				ASE:		475,360								
059380001219	CB 5938 BLK LOT 1219	NGO SOAN & LAN-ANH	102 TUSCARORA TRL	LAND:		227,000	0036	972,390	12,000	2,797.97				
		SHAVANO PARK TX 78231-1427	102 TUSCARORA TRL	IMPR:		757,390								
		VET HOM		PROD:		0						TOTAL		2,797.97
				ASE:		984,390								
059380001220	CB 5938 BLK LOT 1220	FUX ARTURO & SHARON LEIPUNER	100 TUSCARORA TRL	LAND:		246,790	0036	880,910	0	2,534.75				
		SHAVANO PARK TX 78231-1427	100 TUSCARORA TRL	IMPR:		634,120								
		HOM		PROD:		0						TOTAL		2,534.75
				ASE:		880,910								
059380001221	CB 5938 BLK LOT 1221	NEWELL MICHAEL E & RHODA M	315 HAPPY TRL	LAND:		266,670	0036	865,000	5,000	2,488.97				
		SHAVANO PARK TX 78231-1439	315 HAPPY TRL	IMPR:		603,330								
		HOM O65		PROD:		0						TOTAL		2,488.97
				ASE:		870,000								
059380001222	CB 5938 BLK LOT 1222	URIARTE MARIA CONCEPCION REV/TR	313 HAPPY TRL	LAND:		222,860	0036	891,790	0	2,566.05				
		SHAVANO PARK TX 78231-1439	313 HAPPY TRL	IMPR:		668,930								
		HOM		PROD:		0						TOTAL		2,566.05
				ASE:		891,790								

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059380001223	CB 5938 BLK LOT 1223	MIRZA FAROOQ & VICKI JANET	311 HAPPY TRL SHAVANO PARK TX 78231-1439			LAND: 215,710 IMPR: 263,720 PROD: 0 ASE: 479,430	0036	474,430	5,000	1,171.54			TOTAL	1,171.54
059380001224	CB 5938 BLK LOT 1224	LITZLER CHARLES R & CHRISTINA K	309 HAPPY TRL SHAVANO PARK TX 78231-1439			LAND: 225,250 IMPR: 243,110 PROD: 0 ASE: 468,360	0036	451,360	17,000	1,092.59			TOTAL	1,092.59
059380001225	CB 5938 BLK LOT 1225	SHARMA SANDEEP K & BHAVNA K	307 HAPPY TRL SHAVANO PARK TX 78231-1439			LAND: 223,570 IMPR: 479,430 PROD: 0 ASE: 703,000	0036	703,000	0	2,022.83			TOTAL	2,022.83
059380001226	CB 5938 BLK LOT 1226	RATNER ADAM V & VARDHA H	305 HAPPY TRL SHAVANO PARK TX 78231-1439			LAND: 222,470 IMPR: 373,440 PROD: 0 ASE: 595,910	0036	595,910	0	1,714.68			TOTAL	1,714.68
059380001227	CB 5938 BLK LOT 1227	HOFFMAN JAMES A & MARY W	303 HAPPY TRL SHAVANO PARK TX 78231-1439			LAND: 260,120 IMPR: 255,030 PROD: 0 ASE: 515,150	0036	515,150	0	1,482.30			TOTAL	1,482.30
059380001228	CB 5938 BLK LOT 1228	SAENGER JEFFREY S & D RENE	301 HAPPY TRL SHAVANO PARK TX 78231-1439			LAND: 254,160 IMPR: 485,840 PROD: 0 ASE: 740,000	0036	740,000	0	2,129.29			TOTAL	2,129.29
059380001229	CB 5938 BLK LOT 1229	STARR ARLENE	102 RUSTLERS BUTTE SHAVANO PARK TX 78231-1420			LAND: 249,570 IMPR: 475,430 PROD: 0 ASE: 725,000	0036	720,000	5,000	2,071.74			TOTAL	2,071.74
059380001230	CB 5938 BLK LOT 1230	GEORGE WARWICK S & SUZANNE	104 RUSTLERS BUTTE SHAVANO PARK TX 78231-1420			LAND: 239,350 IMPR: 307,300 PROD: 0 ASE: 546,650	0036	546,650	0	1,572.94			TOTAL	1,572.94
059380001231	CB 5938 BLK LOT 1231	CHERNAK ANN REV/TRUST	106 RUSTLERS BUTTE SAN ANTONIO TX 78231-1420			LAND: 272,210 IMPR: 309,510 PROD: 0 ASE: 581,720	0036	568,584	13,136	1,361.25			TOTAL	1,361.25

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059380001232	CB 5938 BLK LOT 1232	CABAZA JUDY S	105 RUSTLERS BUTTE			LAND: 256,700	0036	844,840	0	2,430.96				
		SHAVANO PARK TX 78231-1420	105 RUSTLERS BUTTE			IMPR: 588,140								
						PROD: 0						TOTAL		2,430.96
						ASE: 844,840								
059380001233	CB 5938 BLK LOT 1233	REAMEY GERALD S & KAY L	103 RUSTLERS BUTTE			LAND: 211,860	0036	567,190	5,000	1,513.78				
		SHAVANO PARK TX 78231-1420	103 RUSTLERS BUTTE			IMPR: 360,330								
						PROD: 0						TOTAL		1,513.78
		HOM O65				ASE: 572,190								
059380001234	CB 5938 BLK LOT 1234	COOKE PAUL M & MARIE T	% ARD MOR INC			LAND: 217,070	0036	725,000	5,000	2,086.13				
		13211 HUEBNER RD	SAN ANTONIO TX 78230-4200			IMPR: 512,930								
		101 RUSTLERS BUTTE				PROD: 0						TOTAL		2,086.13
		HOM O65				ASE: 730,000								
059380001235	CB 5938 BLK LOT 1235	RAMOS RONALD A & CONCEPCION	200 BOBCAT BND			LAND: 219,770	0036	631,970	5,000	1,721.10				
		SHAVANO PARK TX 78231-1429	200 BOBCAT BND			IMPR: 417,200								
						PROD: 0						TOTAL		1,721.10
		HOM O65				ASE: 636,970								
059380001236	CB 5938 BLK LOT 1236	HUNTE JONATHAN & NANCY K	202 BOBCAT BND			LAND: 218,150	0036	497,500	0	1,431.52				
		SHAVANO PARK TX 78231-1429	202 BOBCAT BND			IMPR: 279,350								
						PROD: 0						TOTAL		1,431.52
		HOM				ASE: 497,500								
059380001237	CB 5938 BLK LOT 1237	TIJERINA LORRIE B & EDUARDO JR	204 BOBCAT BND			LAND: 253,520	0036	672,900	0	1,936.22				
		SHAVANO PARK TX 78231-1429	204 BOBCAT BND			IMPR: 419,380								
						PROD: 0						TOTAL		1,936.22
		HOM				ASE: 672,900								
059380001238	CB 5938 BLK LOT 1238	CATHEY ROBERT H & M ELIZABETH TRUST	203 BOBCAT BND			LAND: 241,380	0036	508,337	5,033	1,462.70				
		SHAVANO PARK TX 78231-1437	203 BOBCAT BND			IMPR: 271,990								
						PROD: 0						TOTAL		1,462.70
		CAP HOM O65				ASE: 513,370								
059380001239	CB 5938 BLK LOT 1239 EXC NW TRI 17.7 FT	SCHONENBERG HENRY G & CATHY	201 BOBCAT BND			LAND: 222,010	0036	614,610	5,000	1,768.49				
		SHAVANO PARK TX 78231-1437	201 BOBCAT BND			IMPR: 397,600								
						PROD: 0						TOTAL		1,768.49
		HOM O65				ASE: 619,610								
059380001240	CB 5938 BLK LOT 1240, SAVE & EXC NW TRI 17.7 FT OF 1239	BOWLAND MARK	107 HAPPY TRL			LAND: 228,020	0036	735,000	0	2,114.90				
		SHAVANO PARK TX 78231-1421	107 HAPPY TRL			IMPR: 506,980								
						PROD: 0						TOTAL		2,114.90
		HOM				ASE: 735,000								

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059380001241	CB 5938 BLK LOT 1241	BRAM GREGORY R & BETH ANN S	105 HAPPY TRL SHAVANO PARK TX 78231-1421	LAND: IMPR: PROD: ASE:	258,010 713,210 0 971,220	0036	971,220	0	2,794.61			TOTAL		2,794.61
059380001242	CB 5938 BLK LOT 1242	GOODMAN LOWELL & SHAUNA K	103 HAPPY TRL SHAVANO PARK TX 78231-1421	LAND: IMPR: PROD: ASE:	268,550 536,450 0 805,000	0036	805,000	0	2,316.32			TOTAL		2,316.32
059380001243	CB 5938 BLK LOT 1243	HOWARD RAMONA	244 BELVIDERE DR SAN ANTONIO TX 78212-2001	LAND: IMPR: PROD: ASE:	210,340 229,660 0 440,000	0036	440,000	0	1,266.06			TOTAL		1,266.06
059380001244	CB 5938 BLK LOT 1244	MENDOZA GENEVIEVE GONZALEZ & MICHAEL	102 WARBLER WAY SHAVANO PARK TX 78231-1419	LAND: IMPR: PROD: ASE:	213,840 246,160 0 460,000	0036	460,000	0	1,323.61			TOTAL		1,323.61
059380001245	CB 5938 BLK LOT 1245	KARCHER BASIL CHARLES	100 WARBLER WAY SHAVANO PARK TX 78231-1419	LAND: IMPR: PROD: ASE:	227,630 329,750 0 557,380	0036	552,380	5,000	1,281.51			TOTAL		1,281.51
059380001246	CB 5938 BLK LOT 1246	MENDEZ SONIA CRUZ DE & MENDEZ JOSE ALEXANDER	101 WARBLER WAY SHAVANO PARK TX 78231-1436	LAND: IMPR: PROD: ASE:	248,450 248,450 0 496,900	0036	486,183	10,717	1,270.47			TOTAL		1,270.47
059380001249	CB 5938 BLK LOT 1249	ORIHIL TIMOTHY S & DANA L	107 WARBLER WAY SHAVANO PARK TX 78231-1436	LAND: IMPR: PROD: ASE:	221,090 462,010 0 683,100	0036	678,100	5,000	1,951.18			TOTAL		1,951.18
059380001250	CB 5938 BLK LOT 1250	OGDEN JAMES D & TERESA B	100 HAPPY TRL SHAVANO PARK TX 78231-1428	LAND: IMPR: PROD: ASE:	235,530 351,300 0 586,830	0036	586,830	0	1,688.56			TOTAL		1,688.56
059380001251	CB 5938 BLK LOT 1251	GHITIS LEON & BOBBIE	102 HAPPY TRL SHAVANO PARK TX 78231-1428	LAND: IMPR: PROD: ASE:	220,230 464,120 0 684,350	0036	679,350	5,000	1,612.97			TOTAL		1,612.97

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059380001252	CB 5938 BLK LOT 1252	HURIEGA CARLOS L & NORA E	104 HAPPY TRL			LAND: 215,910	0036	505,540	5,000	1,263.53				
		SHAVANO PARK TX 78231-1428	104 HAPPY TRL			IMPR: 294,630						TOTAL		1,263.53
		HOM O65				PROD: 0								
						ASE: 510,540								
059380001253	CB 5938 BLK LOT 1253	SURI RAJEEV & BHASIN VIBHA	106 HAPPY TRL			LAND: 209,110	0036	600,210	0	1,727.06				
		SHAVANO PARK TX 78231-1428	106 HAPPY TRL			IMPR: 391,100						TOTAL		1,727.06
		HOM				PROD: 0								
						ASE: 600,210								
059380001254	CB 5938 BLK LOT 1254	MYERS LINDA KAY & JAY SCOTT	108 HAPPY TRL			LAND: 214,250	0036	826,730	5,000	1,861.37				
		SHAVANO PARK TX 78231-1428	108 HAPPY TRL			IMPR: 617,480						TOTAL		1,861.37
		HOM O65				PROD: 0								
						ASE: 831,730								
059380001255	CB 5938 BLK LOT 1255	LEHRER MARVIN L & GABINA A	114 BOBCAT BND			LAND: 215,140	0036	642,030	5,000	1,520.15				
		SHAVANO PARK TX 78231-1441	114 BOBCAT BND			IMPR: 431,890						TOTAL		1,520.15
		HOM O65				PROD: 0								
						ASE: 647,030								
059380001256	CB 5938 BLK LOT 1256	RAMIREZ DANIEL A & ROSA E JOINT REVO	116 BOBCAT BND			LAND: 218,150	0036	741,120	5,000	2,045.44				
		SHAVANO PARK TX 78231-1441	116 BOBCAT BND			IMPR: 527,970						TOTAL		2,045.44
		HOM O65				PROD: 0								
						ASE: 746,120								
059380001257	CB 5938 BLK LOT 1257	SAKLAD STEPHEN R & AMY R	202 HAPPY TRL			LAND: 244,930	0036	455,000	5,000	1,243.56				
		SHAVANO PARK TX 78231-1422	202 HAPPY TRL			IMPR: 215,070						TOTAL		1,243.56
		HOM O65				PROD: 0								
						ASE: 460,000								
059380001258	CB 5938 BLK LOT 1258	HALLETT JEFFREY S & ROBIN ELAINE	204 HAPPY TRL			LAND: 229,530	0036	616,900	5,000	1,661.02				
		SHAVANO PARK TX 78231-1422	204 HAPPY TRL			IMPR: 392,370						TOTAL		1,661.02
		HOM O65				PROD: 0								
						ASE: 621,900								
059380001259	CB 5938 BLK LOT 1259	LIBERTO ANTHONY & CATHERINE	206 HAPPY TRL			LAND: 213,260	0036	635,000	0	1,827.16				
		SHAVANO PARK TX 78231-1422	206 HAPPY TRL			IMPR: 421,740						TOTAL		1,827.16
		HOM				PROD: 0								
						ASE: 635,000								
059380001260	CB 5938 BLK LOT 1260	INGRAHAM MARVIN E JR & SUSAN R	302 HAPPY TRL			LAND: 227,830	0036	640,000	0	1,841.55				
		SHAVANO PARK TX 78231-1432	302 HAPPY TRL			IMPR: 412,170						TOTAL		1,841.55
		HOM				PROD: 0								
						ASE: 640,000								

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059380001261 CB 5938 BLK LOT 1261	CROUCH DAVID M & DANEE M PO BOX 29385 SAN ANTONIO TX 78229-0385 304 HAPPY TRL HOM O65	LAND: IMPR: PROD: ASE:	210,850 459,150 0 670,000	0036	665,000	5,000	1,667.38		TOTAL		1,667.38
059380001262 CB 5938 BLK LOT 1262	FERNANDEZ CHRISTINE L 306 HAPPY TRL SHAVANO PARK TX 78231-1432 306 HAPPY TRL HOM	LAND: IMPR: PROD: ASE:	210,850 256,370 0 467,220	0036	467,220	0	1,344.39		TOTAL		1,344.39
059380001263 CB 5938 BLK LOT 1263	COPPOLA WILLIAM & CYNTHIA 308 HAPPY TRL SHAVANO PARK TX 78231-1432 308 HAPPY TRL HOM O65	LAND: IMPR: PROD: ASE:	210,850 341,130 0 551,980	0036	546,980	5,000	1,305.40		TOTAL		1,305.40
059380001264 CB 5938 BLK LOT 1264	DEFRONZO RALPH A REV/TRUST DEFRONZO RALPH A TRUSTEE 310 HAPPY TRL SHAVANO PARK TX 78231-1432 310 HAPPY TRL HOM O65	LAND: IMPR: PROD: ASE:	207,260 432,740 0 640,000	0036	635,000	5,000	1,827.16		TOTAL		1,827.16
059380001265 CB 5938 BLK LOT 1265	WASHBISH JOHN ROGER 312 HAPPY TRL SHAVANO PARK TX 78231-1432 312 HAPPY TRL HOM O65	LAND: IMPR: PROD: ASE:	209,420 409,990 0 619,410	0036	614,410	5,000	1,704.44		TOTAL		1,704.44
059380001266 CB 5938 BLK LOT 1266	MIMS CHARLES H & LAVUNN W 314 HAPPY TRL SHAVANO PARK TX 78231-1432 314 HAPPY TRL HOM O65	LAND: IMPR: PROD: ASE:	209,420 360,580 0 570,000	0036	565,000	5,000	1,494.60		TOTAL		1,494.60
059380001268 CB 5938 BLK LOT 1268	SINGER MICHAEL A & MAGGIE A 401 HAPPY TRL SHAVANO PARK TX 78231-1440 401 HAPPY TRL HOM	LAND: IMPR: PROD: ASE:	216,590 283,410 0 500,000	0036	500,000	0	1,438.71		TOTAL		1,438.71
059380001269 CB 5938 BLK LOT 1269	SHAW BURTON G JR & GLORIA M 103 TUSCARORA TRL SHAVANO PARK TX 78231-1427 103 TUSCARORA TRL HOM	LAND: IMPR: PROD: ASE:	227,000 215,000 0 442,000	0036	442,000	0	1,271.82		TOTAL		1,271.82
059380001270 CB 5938 BLK LOT 1270	LAWRENCE ROBERT & JUDY 105 TUSCARORA TRL SHAVANO PARK TX 78231-1427 105 TUSCARORA TRL	LAND: IMPR: PROD: ASE:	207,570 338,660 0 546,230	0036	546,230	0	1,571.73		TOTAL		1,571.73

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059380001273	CB 5938 BLK LOT 1273	KING AARON & ELIZABETH	109 TUSCARORA TRAIL			LAND: 124,050 IMPR: 0 PROD: 0 ASE: 124,050	0036	124,050	0	356.94				
			SHAVANO PARK TX 78231-109 TUSCARORA TRL									TOTAL		356.94
059380001274	CB 5938 BLK LOT 1274 SHAVANO PARK UT 15-A	THOMAS BRYAN MATTHEW & GARCIA MARLEN	108 TUSCARORA TRL			LAND: 226,960 IMPR: 471,220 PROD: 0 ASE: 698,180	0036	698,180	0	2,008.96				
			SHAVANO PARK TX 78231-1427 108 TUSCARORA TRL									TOTAL		2,008.96
059380001275	CB 5938 LOT 1275 SHAVANO PARK UNIT-15B	BECK JAMES FRANK JR & PATRICIA H	403 HAPPY TRL			LAND: 231,580 IMPR: 620,350 PROD: 0 ASE: 851,930	0036	846,930	5,000	2,436.97				
			SHAVANO PARK TX 78231-1440 403 HAPPY TRL HOM O65									TOTAL		2,436.97
059380001276	CB 5938 LOT 1276 SHAVANO PARK UNIT-15B	OZUNA YOLANDA PEREZ REV/TRUST	OZUNA YOLANDA PEREZ TRUSTEE			LAND: 257,230 IMPR: 462,060 PROD: 0 ASE: 719,290	0036	714,290	5,000	1,690.59				
			405 HAPPY TRL SHAVANO PARK TX 78231-1440 405 HAPPY TRL HOM O65									TOTAL		1,690.59
059380001277	CB 5938 BLK LOT 1277 SHAVANO PARK UNIT-15B	GARZA-CASTILLO FEDERICO & CASTANEDA KARLA YADIRA	407 HAPPY TRL			LAND: 253,980 IMPR: 622,020 PROD: 0 ASE: 876,000	0036	876,000	0	2,520.62				
			SHAVANO PARK TX 78231-1440 407 HAPPY TRL									TOTAL		2,520.62
059380001280	CB 5938 BLK LOT 1280 SHAVANO PARK UNIT-15B	HORLEN KYLE P & LEWIS KRISTIN M	413 HAPPY TRL			LAND: 216,260 IMPR: 313,740 PROD: 0 ASE: 530,000	0036	530,000	0	1,525.03				
			SHAVANO PARK TX 78231-1440 413 HAPPY TRL HOM									TOTAL		1,525.03
059380001281	CB 5938 BLK LOT 1281 SHAVANO PARK UNIT-15B	YOUNG ROBERT M & CATHY M	415 HAPPY TRL			LAND: 212,260 IMPR: 407,740 PROD: 0 ASE: 620,000	0036	615,000	5,000	1,573.14				
			SHAVANO PARK TX 78231-1440 415 HAPPY TRL HOM O65									TOTAL		1,573.14
059380001282	CB 5938 BLK LOT 1282 SHAVANO PARK UNIT-15B	KUNKEL MARVIN & SHIRLEY L	417 HAPPY TRL			LAND: 219,300 IMPR: 552,330 PROD: 0 ASE: 771,630	0036	766,630	5,000	2,196.97				
			SHAVANO PARK TX 78231-1440 417 HAPPY TRL HOM O65									TOTAL		2,196.97
059380001283	CB 5938 BLK LOT 1283 SHAVANO PARK UNIT-15B	PERRY AMY L	419 HAPPY TRL			LAND: 225,100 IMPR: 498,850 PROD: 0 ASE: 723,950	0036	723,950	0	2,083.11				
			SHAVANO PARK TX 78231-1440 419 HAPPY TRL HOM									TOTAL		2,083.11

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059380001284	CB 5938 BLK LOT 1284 SHAVANO PARK UNIT-15B	KAYRUZ NAJI & SANDRA V	421 HAPPY TRL SHAVANO PARK TX 78231-1440			LAND: 238,780 IMPR: 486,220 PROD: 0 ASE: 725,000	0036	725,000	0	2,086.13		TOTAL		2,086.13
059380001285	CB 5938 BLK LOT 1285 SHAVANO PARK UNIT-15B	TALLEY DARIN R & STACY	101 PONCA BND SHAVANO PARK TX 78231-1425			LAND: 212,760 IMPR: 355,200 PROD: 0 ASE: 567,960	0036	567,960	0	1,634.26		TOTAL		1,634.26
059380001286	CB 5938 BLK LOT 1286 SHAVANO PARK UNIT-15B	JAUER DAVID W & ELIZABETH	103 PONCA BND SHAVANO PARK TX 78231-1425			LAND: 212,360 IMPR: 162,240 PROD: 0 ASE: 374,600	0036	369,600	5,000	960.45		TOTAL		960.45
059380001287	CB 5938 BLK LOT 1287 SHAVANO PARK UNIT-15B	MEINERS ART	105 PONCA BND SHAVANO PARK TX 78231-1425			LAND: 214,650 IMPR: 364,240 PROD: 0 ASE: 578,890	0036	573,890	5,000	1,480.19		TOTAL		1,480.19
059380001288	CB 5938 BLK LOT 1288 SHAVANO PARK UNIT-15B	ADAMS CLINT D & PEGGY J	106 PONCA BND SHAVANO PARK TX 78231-1425			LAND: 227,000 IMPR: 493,000 PROD: 0 ASE: 720,000	0036	720,000	0	2,071.74		TOTAL		2,071.74
059380001289	CB 5938 BLK LOT 1289 SHAVANO PARK UNIT-15B	JENISON TIMOTHY P & LESLIE J	104 PONCA BND SHAVANO PARK TX 78231-1425			LAND: 234,760 IMPR: 655,400 PROD: 0 ASE: 890,160	0036	885,160	5,000	2,546.98		TOTAL		2,546.98
059380001290	CB 5938 BLK LOT 1290 SHAVANO PARK UNIT-15B	PALMER TOMAS & ELFIE D	102 PONCA BND SHAVANO PARK TX 78231-1425			LAND: 208,190 IMPR: 399,870 PROD: 0 ASE: 608,060	0036	603,060	5,000	1,677.69		TOTAL		1,677.69
059380001291	CB 5938 BLK LOT 1291 SHAVANO PARK UNIT-15B	BANDOSKE STEPHANIE	503 HAPPY TRL SAN ANTONIO TX 78231-1450			LAND: 266,080 IMPR: 569,810 PROD: 0 ASE: 835,890	0036	830,890	5,000	2,283.68		TOTAL		2,283.68
059380001292	CB 5938 BLK LOT 1292 SHAVANO PARK UNIT-15B	ANGUEIRA OLGA	601 HAPPY TRL SHAVANO PARK TX 78231-1451			LAND: 218,700 IMPR: 446,560 PROD: 0 ASE: 665,260	0036	660,260	5,000	1,891.44		TOTAL		1,891.44

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059380001293	CB 5938 BLK LOT 1293 SHAVANO PARK UNIT-15B	ESCALANTE AGUSTIN & INMACULADA DEL RINCON	502 HAPPY TRL SHAVANO PARK TX 78231-1449			LAND: 221,290 IMPR: 451,810 PROD: 0 ASE: 673,100	0036	673,100	0	1,936.79			TOTAL	1,936.79
059380001294	CB 5938 BLK LOT 1294 SHAVANO PARK UNIT-15B	GARCIA ROSE MARY WONG	500 HAPPY TRL SHAVANO PARK TX 78231-1449			LAND: 226,570 IMPR: 643,430 PROD: 0 ASE: 870,000	0036	865,000	5,000	2,259.21			TOTAL	2,259.21
059380001295	CB 5938 BLK LOT 1295 SHAVANO PARK UNIT-15B	ESPE-STRUDELL LIVING TRUST	420 HAPPY TRL SHAVANO PARK TX 78231-1424			LAND: 216,310 IMPR: 699,310 PROD: 0 ASE: 915,620	0036	915,620	0	2,634.62			TOTAL	2,634.62
059380001296	CB 5938 BLK LOT 1296 SHAVANO PARK UNIT-15B	TEJEDA JOSE MANUEL & RAMOS MIRIAM VA	418 HAPPY TRL SHAVANO PARK TX 78231-1424			LAND: 209,220 IMPR: 727,250 PROD: 0 ASE: 936,470	0036	936,470	0	2,694.62			TOTAL	2,694.62
059380001297	CB 5938 BLK LOT 1297 SHAVANO PARK UNIT-15B	BELL RANDALL C & BARBARA	414 HAPPY TRL SHAVANO PARK TX 78231-1424			LAND: 224,610 IMPR: 492,600 PROD: 0 ASE: 717,210	0036	712,210	5,000	1,942.83			TOTAL	1,942.83
059380001298	CB 5938 BLK LOT 1298 SHAVANO PARK UNIT-15B	PENGILLY PAUL & SAMANTHA	103 BOBCAT BND SHAVANO PARK TX 78231-1442			LAND: 216,790 IMPR: 419,740 PROD: 0 ASE: 636,530	0036	636,530	0	1,831.56			TOTAL	1,831.56
059380001302	CB 5938 BLK LOT 1302 SHAVANO PARK UNIT-15B	EVANS RICHARD M & JANICE M	111 BOBCAT BND SHAVANO PARK TX 78231-1442			LAND: 244,220 IMPR: 620,780 PROD: 0 ASE: 865,000	0036	860,000	5,000	2,474.58			TOTAL	2,474.58
059380001303	CB 5938 BLK LOT 1303 SHAVANO PARK UNIT-15B	DIX JAMES E & ESTHER G	113 BOBCAT BND SHAVANO PARK TX 78231-1442			LAND: 234,750 IMPR: 337,390 PROD: 0 ASE: 572,140	0036	572,140	0	1,646.29			TOTAL	1,646.29
059380001304	CB 5938 BLK LOT 1304 SHAVANO PARK UNIT-15B	SMITH RANDALL A & STACIE J	115 BOBCAT BND SHAVANO PARK TX 78231-1442			LAND: 217,470 IMPR: 447,530 PROD: 0 ASE: 665,000	0036	665,000	0	1,913.48			TOTAL	1,913.48

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059380001305	CB 5938 BLK LOT 1305 SHAVANO PARK UNIT-15B	GARZA ROGER	112 BOBCAT BND SHAVANO PARK TX 78231-1441			LAND: 211,350 IMPR: 263,650 PROD: 0 ASE: 475,000	0036	475,000	0	1,366.77		TOTAL		1,366.77
059380001306	CB 5938 BLK LOT 1306 SHAVANO PARK UNIT-15B	DAVIS WILLIAM M & LISA T	110 BOBCAT BND SHAVANO PARK TX 78231-1441			LAND: 216,590 IMPR: 398,410 PROD: 0 ASE: 615,000	0036	615,000	0	1,769.61		TOTAL		1,769.61
059380001307	CB 5938 BLK LOT 1307 SHAVANO PARK UNIT-15B	ACQUART MICHAEL	108 BOBCAT BND SHAVANO PARK TX 78231-1441			LAND: 215,140 IMPR: 307,450 PROD: 0 ASE: 522,590	0036	522,590	0	1,503.71		TOTAL		1,503.71
059380001308	CB 5938 BLK LOT 1308 SHAVANO PARK UNIT-15B	RABKE STEPHEN F & PAMELA C	106 BOBCAT BND SHAVANO PARK TX 78231-1441			LAND: 212,060 IMPR: 377,940 PROD: 0 ASE: 590,000	0036	590,000	0	1,697.68		TOTAL		1,697.68
059380001309	CB 5938 BLK LOT 1309 SHAVANO PARK UNIT-15B	ALLEN LINDA REV TRUST	ALLEN LINDA TRSTE PO BOX 690270 SAN ANTONIO TX 78269-0270			LAND: 213,750 IMPR: 591,330 PROD: 0 ASE: 805,080	0036	800,080	5,000	2,233.12		TOTAL		2,233.12
059380001310	CB 5938 BLK LOT 1310 SHAVANO PARK UNIT-15B	SOLOMON MARC A & KAREN A	102 BOBCAT BND SHAVANO PARK TX 78231-1441			LAND: 209,630 IMPR: 333,490 PROD: 0 ASE: 543,120	0036	543,120	0	1,562.78		TOTAL		1,562.78
059380001311	CB 5938 BLK LOT 1311 SHAVANO PARK UNIT-15B	SEIDLER MARTIN & JOAN	412 HAPPY TRL SHAVANO PARK TX 78231-1424			LAND: 220,230 IMPR: 208,770 PROD: 0 ASE: 429,000	0036	424,000	5,000	1,112.41		TOTAL		1,112.41
059380001312	CB 5938 BLK LOT 1312 SHAVANO PARK UNIT-15B	DRENGLER RONALD L	410 HAPPY TRL SHAVANO PARK TX 78231-1424			LAND: 222,860 IMPR: 763,200 PROD: 0 ASE: 986,060	0036	986,060	0	2,837.31		TOTAL		2,837.31
059380001313	CB 5938 BLK LOT 1313 SHAVANO PARK UNIT-15B	CARRASCO MARIO R & DIANA C	408 HAPPY TRL SHAVANO PARK TX 78231-1424			LAND: 229,530 IMPR: 538,710 PROD: 0 ASE: 768,240	0036	768,240	0	2,210.55		TOTAL		2,210.55

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059380001314	CB 5938 BLK LOT 1314 SHAVANO PARK UNIT-15B	FLORES KENNETH & DONNA JEAN	406 HAPPY TRL SHAVANO PARK TX 78231-1424			LAND: 221,160 IMPR: 498,840 PROD: 0 ASE: 720,000	0036	720,000	0	2,071.74		TOTAL		2,071.74
059380001315	CB 5938 BLK LOT 1315 SHAVANO PARK UNIT-15B	UMSTED GREGORY & MECHELLE	101 ROCK SQUIRREL SHAVANO PARK TX 78231-1426			LAND: 209,630 IMPR: 524,580 PROD: 0 ASE: 734,210	0036	734,210	0	2,112.63		TOTAL		2,112.63
059380001316	CB 5938 BLK LOT 1316 SHAVANO PARK UNIT-15B	GARZA JUAN L & BETH L	103 ROCK SQUIRREL SHAVANO PARK TX 78231-1426			LAND: 207,050 IMPR: 562,650 PROD: 0 ASE: 769,700	0036	769,700	0	2,214.75		TOTAL		2,214.75
059380001317	CB 5938 BLK LOT 1317 SHAVANO PARK UNIT-15B	MATALON RALPH G & ROBIN K	105 ROCK SQUIRREL SHAVANO PARK TX 78231-1426			LAND: 207,050 IMPR: 580,090 PROD: 0 ASE: 787,140	0036	787,140	0	2,264.93		TOTAL		2,264.93
059380001318	CB 5938 BLK LOT 1318 & 1319 SHAVANO PARK UNIT-15B	PATTERSON BEN M & DONNA	613 NW LOOP 410 STE 680 SAN ANTONIO TX 78216-5509			LAND: 283,470 IMPR: 486,170 PROD: 0 ASE: 769,640	0036	764,640	5,000	1,872.90		TOTAL		1,872.90
059380001320	CB 5938 BLK LOT 1320 SHAVANO PARK UNIT-15B	ROSENSTIEL PAUL E & BENSON ERICA K	111 ROCK SQUIRREL SHAVANO PARK TX 78231-1435			LAND: 236,880 IMPR: 611,440 PROD: 0 ASE: 848,320	0036	848,320	0	2,440.97		TOTAL		2,440.97
059380001321	CB 5938 BLK LOT 1321 SHAVANO PARK UNIT-15B	FISHER STEVEN J & DAGNE	110 ROCK SQUIRREL SHAVANO PARK TX 78231-1435			LAND: 217,200 IMPR: 637,800 PROD: 0 ASE: 855,000	0036	855,000	0	2,460.19		TOTAL		2,460.19
059380001322	CB 5938 BLK LOT 1322 SHAVANO PARK UNIT-15B	PRESS VICTOR & SANDRA	108 ROCK SQUIRREL SHAVANO PARK TX 78231-1426			LAND: 207,050 IMPR: 512,950 PROD: 0 ASE: 720,000	0036	715,000	5,000	2,057.36		TOTAL		2,057.36
059380001323	CB 5938 BLK LOT 1323 SHAVANO PARK UNIT-15B	BARNES JOHN R & ELAINE A	106 ROCK SQUIRREL SHAVANO PARK TX 78231-1426			LAND: 211,350 IMPR: 394,790 PROD: 0 ASE: 606,140	0036	601,140	5,000	1,565.99		TOTAL		1,565.99

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059380001324	CB 5938 BLK LOT 1324 SHAVANO PARK UNIT-15B	MCCORD LAURIE K	104 ROCK SQUIRREL SHAVANO PARK TX 78231-1426	LAND: 223,770 IMPR: 555,100 PROD: 0 ASE: 778,870	0036	778,870	0	2,241.14				TOTAL		2,241.14
059380001325	CB 5938 BLK LOT 1325 SHAVANO PARK UNIT-15B	ROGERS DARREN & SANDRA K	102 ROCK SQUIRREL SHAVANO PARK TX 78231-1426	LAND: 210,640 IMPR: 439,270 PROD: 0 ASE: 649,910	0036	649,910	0	1,870.06				TOTAL		1,870.06
059380001326	CB 5938 BLK LOT 1326 SHAVANO PARK UNIT-15B	RICHMOND CLIFF M & JANET W	402 HAPPY TRL SHAVANO PARK TX 78231-1424	LAND: 209,110 IMPR: 440,890 PROD: 0 ASE: 650,000	0036	650,000	0	1,870.32				TOTAL		1,870.32
059380001332	CB: 5938 BLK: - LOT: 1267A (LOT 1267A, AMENDED SHAVANO PARK UT 15A)	HUNDLEY CHARLES & NANCY REV L/TR	316 HAPPY TRL SHAVANO PARK TX 78231-1432	LAND: 284,730 IMPR: 635,270 PROD: 0 ASE: 920,000	0036	915,000	5,000	2,419.20				TOTAL		2,419.20
059380001333	CB 5938 BLK LOT 1278A (SHAVANO PARK UT-15B)	GOLDEN DAVID & BERTHA	PO BOX 780277 SAN ANTONIO TX 78278-0277	LAND: 381,550 IMPR: 658,960 PROD: 0 ASE: 1,040,510	0036	1,035,510	5,000	2,683.44				TOTAL		2,683.44
059380001340	CB 5938 BLK LOT NW TRI 17.7 FT OF 1239	BOWLAND MARK	107 HAPPY TRL SHAVANO PARK TX 78231-1421	LAND: 28,050 IMPR: 0 PROD: 0 ASE: 28,050	0036	28,050	0	80.71				TOTAL		80.71
059380001376	CB: 5938 BLK: - LOT: 1376 DE ZAVALA ESTATES P.U.D.	BAR-YADIN JOSHUA A & BARBARA A	4 DE ZAVALA PL SHAVANO PARK TX 78231-1446	LAND: 129,270 IMPR: 866,730 PROD: 0 ASE: 996,000	0036	950,400	45,600	2,734.70				TOTAL		2,734.70
059380001377	CB: 5938 BLK: - LOT: 1377 DE ZAVALA ESTATES P.U.D.	LAWS & DARREN D & CARLA A	6 DE ZAVALA PL SHAVANO PARK TX 78231-1446	LAND: 136,080 IMPR: 934,920 PROD: 0 ASE: 1,071,000	0036	1,071,000	0	3,081.72				TOTAL		3,081.72
059380001380	CB 5938 BLK LOT 1380 DE ZAVALA ESTATES P.U.D.	CINAROGLU BINKAN & CINAROGLU ASHLEE	16 DE ZAVALA PL SHAVANO PARK TX 78231-16 DE ZAVALA PL VET HOM	LAND: 191,250 IMPR: 1,073,750 PROD: 0 ASE: 1,265,000	0036	1,255,000	10,000	3,611.16				TOTAL		3,611.16

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059380001381	CB: 5938 BLK: - LOT: 1381 DE ZAVALA ESTATES P.U.D.	ALEXANDER LARRY J & PATSY	18 DE ZAVALA PL SHAVANO PARK TX 78231-1446			LAND: 175,490 IMPR: 739,510 PROD: 0 ASE: 915,000	0036	910,000	5,000	2,618.45		TOTAL		2,618.45
059380001382	CB: 5938 BLK: - LOT: 1382 DE ZAVALA ESTATES P.U.D.	YANTIS THOMAS G	1802 NW MILITARY HWY STE 100 SAN ANTONIO TX 78213-2422			LAND: 129,510 IMPR: 795,490 PROD: 0 ASE: 925,000	0036	925,000	0	2,661.61		TOTAL		2,661.61
059380001384	CB: 5938 BLK: - LOT: 1384 DE ZAVALA ESTATES P.U.D.	THE DEZAVALA PROPERTY OWNERS ASSOC.	16 DE ZAVALA PL SHAVANO PARK TX 78231-1446			LAND: 100 IMPR: 0 PROD: 0 ASE: 100	0036	100	0	0.29		TOTAL		0.29
059380001385	CB 5938 BLK LOT 1385 DE ZAVALA ESTATES P.U.D.	AYALA JOHN ANTHONY	10 DE ZAVALA PL SHAVANO PARK TX 78231-1446			LAND: 100,620 IMPR: 424,380 PROD: 0 ASE: 525,000	0036	525,000	0	1,510.65		TOTAL		1,510.65
059380001401	CB: 5938 LOT: 1401 SHAVANO PARK UNIT-16A	KANALAS JOHN J & GRACIELA P	114 LIMESTONE OAK SHAVANO PARK TX 78230-5612			LAND: 167,910 IMPR: 530,480 PROD: 0 ASE: 698,390	0036	693,390	5,000	1,797.50		TOTAL		1,797.50
059380001402	CB: 5938 LOT: 1402 SHAVANO PARK UNIT-16A	DRYMALA MARY GRACE	110 LIMESTONE OAK SHAVANO PARK TX 78230-5612			LAND: 166,910 IMPR: 551,030 PROD: 0 ASE: 717,940	0036	712,940	5,000	1,849.46		TOTAL		1,849.46
059380001403	CB: 5938 LOT: 1403 SHAVANO PARK UNIT-16A	GALE NIGEL & SWEECHUN	106 LIMESTONE OAK SHAVANO PARK TX 78230-5612			LAND: 180,460 IMPR: 542,110 PROD: 0 ASE: 722,570	0036	717,570	5,000	1,811.39		TOTAL		1,811.39
059380001404	CB: 5938 LOT: 1404 SHAVANO PARK UNIT-16A	JOHNSON TROY & HEIDI BRAHMER	102 LIMESTONE OAK SHAVANO PARK TX 78230-5612			LAND: 197,320 IMPR: 499,260 PROD: 0 ASE: 696,580	0036	689,080	7,500	1,982.77		TOTAL		1,982.77
059380001405	CB: 5938 LOT: 1405 SHAVANO PARK UNIT-16A	STORBECK HOMER J JR & KELLY D	103 LIMESTONE OAK SHAVANO PARK TX 78230-5612			LAND: 182,020 IMPR: 651,490 PROD: 0 ASE: 833,510	0036	828,510	5,000	1,208.59		TOTAL		1,208.59

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059380001406	CB: 5938 LOT: 1406 SHAVANO PARK UNIT-16A	HOYLE MELINDA & LEONARD MICHAEL	107 LIMESTONE OAK SHAVANO PARK TX 78230-5612 107 LIMESTONE OAK HOM			LAND: 171,120 IMPR: 548,880 PROD: 0 ASE: 720,000	0036	720,000	0	2,071.74		TOTAL		2,071.74
059380001407	CB: 5938 LOT: 1407 SHAVANO PARK UNIT-16A	GROWNEY JAMES & CAROL	111 LIMESTONE OAK SHAVANO PARK TX 78230-5612 111 LIMESTONE OAK CAP HOM O65			LAND: 169,380 IMPR: 570,660 PROD: 0 ASE: 740,040	0036	692,431	47,609	1,337.83		TOTAL		1,337.83
059380001408	CB: 5938 LOT: 1408 SHAVANO PARK UNIT-16A	KATSELNICK DANIEL & CARLA ORTIZ	115 LIMESTONE OAK SHAVANO PARK TX 78230-5612 115 LIMESTONE OAK CAP HOM			LAND: 173,770 IMPR: 720,500 PROD: 0 ASE: 894,270	0036	880,000	14,270	2,532.13		TOTAL		2,532.13
059380001409	CB: 5938 LOT: 1409 SHAVANO PARK UNIT-16A	ABRAMS BARRY E & JERRI L	114 POST OAK WAY SHAVANO PARK TX 78230-5613 114 POST OAK WAY HOM O65			LAND: 187,970 IMPR: 523,570 PROD: 0 ASE: 711,540	0036	706,540	5,000	1,754.88		TOTAL		1,754.88
059380001410	CB: 5938 LOT: 1410 SHAVANO PARK UNIT-16A	JOHNSON DAVID W & LINDA Y	PO BOX 781112 SAN ANTONIO TX 78278-1112 118 POST OAK WAY HOM O65			LAND: 174,950 IMPR: 389,220 PROD: 0 ASE: 564,170	0036	559,170	5,000	1,392.00		TOTAL		1,392.00
059380001411	CB: 5938 LOT: 1411 SHAVANO PARK UNIT-16A	BYRD JOE & DANA	122 POST OAK WAY SHAVANO PARK TX 78230-5613 122 POST OAK WAY HOM			LAND: 175,180 IMPR: 531,260 PROD: 0 ASE: 706,440	0036	706,440	0	2,032.72		TOTAL		2,032.72
059380001412	CB: 5938 LOT: 1412 SHAVANO PARK UNIT-16A	HAWKINS WAYNE T	127 LACEY OAK SHAVANO PARK TX 78230-5611 127 LACEY OAK HOM O65			LAND: 177,280 IMPR: 886,870 PROD: 0 ASE: 1,064,150	0036	1,059,150	5,000	2,801.54		TOTAL		2,801.54
059380001413	CB: 5938 LOT: 1413 SHAVANO PARK UNIT-16A	FETCHICK RICHARD J & DIANNE	123 LACEY OAK SHAVANO PARK TX 78230-5611 123 LACEY OAK HOM			LAND: 177,050 IMPR: 542,760 PROD: 0 ASE: 719,810	0036	719,810	0	2,071.20		TOTAL		2,071.20
059380001414	CB: 5938 LOT: 1414 SHAVANO PARK UNIT-16A	LOZANO JOE J & OLGA E	119 LACEY OAK SHAVANO PARK TX 78230-5611 119 LACEY OAK HOM O65			LAND: 192,630 IMPR: 677,370 PROD: 0 ASE: 870,000	0036	865,000	5,000	2,340.80		TOTAL		2,340.80

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059380001415	CB: 5938 LOT: 1415 SHAVANO PARK UNIT-16A	JOHNSON DURKEE P & SHARALYN	115 LACEY OAK SHAVANO PARK TX 78230-5611			LAND: 190,600 IMPR: 654,590 PROD: 0 ASE: 845,190	0036	845,190	0	2,431.97		TOTAL		2,431.97
059380001416	CB: 5938 LOT: 1416 SHAVANO PARK UNIT-16A	PADILLA JOSE MARIA & NEGRETE EVA LET	111 LACEY OAK SHAVANO PARK TX 78230-5611			LAND: 186,750 IMPR: 696,000 PROD: 0 ASE: 882,750	0036	877,750	5,000	2,227.46		TOTAL		2,227.46
059380001418	CB: 5938 LOT: 1418 SHAVANO PARK UNIT-16A	LAZOR RICHARD H & SANDRA L	103 LACEY OAK SHAVANO PARK TX 78230-5611			LAND: 197,990 IMPR: 499,850 PROD: 0 ASE: 697,840	0036	692,840	5,000	1,755.23		TOTAL		1,755.23
059380001419	CB: 5938 LOT: 1419 SHAVANO PARK UNIT-16A	LOPEZ KENDRICK & JESSICA	102 LACEY OAK SHAVANO PARK TX 78230-5611			LAND: 238,210 IMPR: 809,540 PROD: 0 ASE: 1,047,750	0036	1,047,750	0	3,014.82		TOTAL		3,014.82
059380001420	CB: 5938 LOT: 1420 SHAVANO PARK UNIT-16A	ROBBINS NICHOLAS & HEIDI	106 LACEY OAK SHAVANO PARK TX 78230-5611			LAND: 226,170 IMPR: 530,260 PROD: 0 ASE: 756,430	0036	756,430	0	2,176.57		TOTAL		2,176.57
059380001421	CB: 5938 LOT: 1421 SHAVANO PARK UNIT-16A	WALSH NICOLAS E & WENDY S	114 LACEY OAK SHAVANO PARK TX 78230-5611			LAND: 197,900 IMPR: 897,100 PROD: 0 ASE: 1,095,000	0036	1,078,000	17,000	2,494.40		TOTAL		2,494.40
059380001422	CB: 5938 LOT: 1422 SHAVANO PARK UNIT-16A	ARTHUR GARY JR & SHEILA Y	122 CINNAMON OAK SHAVANO PARK TX 78230-5610			LAND: 217,270 IMPR: 702,080 PROD: 0 ASE: 919,350	0036	919,350	0	2,645.36		TOTAL		2,645.36
059380001423	CB: 5938 LOT: 1423 SHAVANO PARK UNIT-16A	SHANLEY MELVIN L & TERRY D	112 CINNAMON OAK SHAVANO PARK TX 78230-5610			LAND: 192,760 IMPR: 508,650 PROD: 0 ASE: 701,410	0036	696,410	5,000	1,672.22		TOTAL		1,672.22
059380001424	CB: 5938 LOT: 1424 SHAVANO PARK UNIT-16A	LAUTERSTEIN THOMAS P & MARSCHA	108 CINNAMON OAK SHAVANO PARK TX 78230-5610			LAND: 187,170 IMPR: 543,160 PROD: 0 ASE: 730,330	0036	725,330	5,000	1,814.88		TOTAL		1,814.88

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059380001425 CB: 5938 LOT: 1425 SHAVANO PARK UNIT-16A		ALEMAN ALBERT & ANNETTE C 104 CINNAMON OAK SHAVANO PARK TX 78230-5610 104 CINNAMON OAK HOM			LAND: 193,200 IMPR: 606,800 PROD: 0 ASE: 800,000	0036	800,000	0	2,301.94			TOTAL	2,301.94
059380001426 CB: 5938 LOT: 1426 SHAVANO PARK UNIT-16A		MELLIN MARK P & JULIE A 204 BRANCH OAK WAY SHAVANO PARK TX 78230-5601 204 BRANCH OAK WAY HOM			LAND: 210,940 IMPR: 581,060 PROD: 0 ASE: 792,000	0036	792,000	0	2,278.92			TOTAL	2,278.92
059380001427 CB: 5938 LOT: 1427 SHAVANO PARK UNIT-16A		ONEILL JOHN P & PATRICIA J 208 BRANCH OAK WAY SHAVANO PARK TX 78230-5601 208 BRANCH OAK WAY VET HOM O65			LAND: 171,610 IMPR: 571,820 PROD: 0 ASE: 743,430	0036	726,430	17,000	1,822.10			TOTAL	1,822.10
059380001428 CB: 5938 LOT: 1428 SHAVANO PARK UNIT-16A		DILGER JASON ALLEN & LISA MARIE 212 BRANCH OAK WAY SHAVANO PARK TX 78230-5601 212 BRANCH OAK WAY HOM			LAND: 166,910 IMPR: 636,920 PROD: 0 ASE: 803,830	0036	803,830	0	2,312.96			TOTAL	2,312.96
059380001429 CB: 5938 LOT: 1429 SHAVANO PARK UNIT-16A		PATTERSON DEE ANN 1414 W BITTERS RD BLDG 23 SAN ANTONIO TX 78248-1481 216 BRANCH OAK WAY			LAND: 168,650 IMPR: 640,030 PROD: 0 ASE: 808,680	0036	808,680	0	2,326.91			TOTAL	2,326.91
059380001430 CB: 5938 LOT: 1430 SHAVANO PARK UNIT-16A		EARL MELANIE JO L 220 BRANCH OAK WAY SHAVANO PARK TX 78230-5601 220 BRANCH OAK WAY HOM			LAND: 191,620 IMPR: 740,480 PROD: 0 ASE: 932,100	0036	932,100	0	2,682.04			TOTAL	2,682.04
059380001431 CB: 5938 LOT: 1431 SHAVANO PARK UNIT-16A		NIEMIEC ROBERT & DIANE M 226 BRANCH OAK WAY SHAVANO PARK TX 78230-5602 226 BRANCH OAK WAY HOM			LAND: 191,840 IMPR: 464,120 PROD: 0 ASE: 655,960	0036	655,960	0	1,887.47			TOTAL	1,887.47
059380001432 CB: 5938 LOT: 1432 SHAVANO PARK UNIT-16A		BORREGO ROBERT 230 BRANCH OAK WAY SHAVANO PARK TX 78230-5602 230 BRANCH OAK WAY HOM			LAND: 166,910 IMPR: 585,920 PROD: 0 ASE: 752,830	0036	752,830	0	2,166.21			TOTAL	2,166.21
059380001435 CB: 5938 LOT: 1435 SHAVANO PARK UNIT-16A		WAUTERS STEVEN & AIMEE 314 BRANCH OAK WAY SHAVANO PARK TX 78230-5605 314 BRANCH OAK WAY HOM			LAND: 166,910 IMPR: 478,090 PROD: 0 ASE: 645,000	0036	645,000	0	1,855.94			TOTAL	1,855.94

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059380001436	CB: 5938 LOT: 1436 SHAVANO PARK UNIT-16A	FALDIK RUSSELL	318 BRANCH OAK WAY SHAVANO PARK TX 78230-5605 318 BRANCH OAK WAY			LAND: 185,700 IMPR: 581,300 PROD: 0 ASE: 767,000	0036	767,000	0	2,206.98		TOTAL		2,206.98
059380001437	CB: 5938 LOT: 1437 SHAVANO PARK UNIT-16A	DUDLEY JASON W & DESIREE	322 BRANCH OAK WAY SHAVANO PARK TX 78230-5605 322 BRANCH OAK WAY HOM			LAND: 175,650 IMPR: 602,090 PROD: 0 ASE: 777,740	0036	777,740	0	2,237.88		TOTAL		2,237.88
059380001438	CB: 5938 LOT: 1438 SHAVANO PARK UNIT-16A	6M TEXAS ENTERPRISES LTD	326 BRANCH OAK WAY SHAVANO PARK TX 78230-5605 326 BRANCH OAK WAY			LAND: 166,910 IMPR: 791,250 PROD: 0 ASE: 958,160	0036	958,160	0	2,757.03		TOTAL		2,757.03
059380001439	CB: 5938 LOT: 1439 SHAVANO PARK UNIT-16A	MOSHA ELIAICHALOI & KASHAMBUZI SAMWI	330 BRANCH OAK WAY SHAVANO PARK TX 78230-5606 330 BRANCH OAK WAY			LAND: 166,910 IMPR: 543,890 PROD: 0 ASE: 710,800	0036	710,800	0	2,045.27		TOTAL		2,045.27
059380001440	CB: 5938 LOT: 1440 SHAVANO PARK UNIT-16A	IRELAND KAYLA EVONNE & CHARLES MICHA	334 BRANCH OAK WAY SHAVANO PARK TX 78230-5606 334 BRANCH OAK WAY HOM			LAND: 175,180 IMPR: 566,820 PROD: 0 ASE: 742,000	0036	742,000	0	2,135.05		TOTAL		2,135.05
059380001441	CB: 5938 LOT: 1441 SHAVANO PARK UNIT-16A	STEINGART KEVIN & KAREN	338 BRANCH OAK WAY SHAVANO PARK TX 78230-5606 338 BRANCH OAK WAY HOM			LAND: 178,650 IMPR: 766,350 PROD: 0 ASE: 945,000	0036	945,000	0	2,719.16		TOTAL		2,719.16
059380001442	CB: 5938 LOT: 1442 SHAVANO PARK UNIT-16A	SCHULEMAN STEVEN & GRETCHEN	337 BRANCH OAK WAY SHAVANO PARK TX 78230-5608 337 BRANCH OAK WAY HOM			LAND: 198,930 IMPR: 632,300 PROD: 0 ASE: 831,230	0036	831,230	0	2,391.80		TOTAL		2,391.80
059380001443	CB: 5938 LOT: 1443 SHAVANO PARK UNIT-16A	PATTON WILLIAM L & MARTHA L	333 BRANCH OAK WAY SHAVANO PARK TX 78230-5608 333 BRANCH OAK WAY HOM O65			LAND: 218,830 IMPR: 589,520 PROD: 0 ASE: 808,350	0036	803,350	5,000	1,996.76		TOTAL		1,996.76
059380001444	CB: 5938 LOT: 1444 SHAVANO PARK UNIT-16A	AYALA JESSE & TERESA	112 CHERRY BARK SHAVANO PARK TX 78230-5609 112 CHERRY BARK			LAND: 206,940 IMPR: 768,060 PROD: 0 ASE: 975,000	0036	975,000	0	2,805.48		TOTAL		2,805.48

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059380001445	CB: 5938 LOT: 1445 SHAVANO PARK UNIT-16A	AHRENS READE & KELLEY M	108 CHERRY BRK SAN ANTONIO TX 78230- 108 CHERRY BARK HOM			LAND: 193,760 IMPR: 675,770 PROD: 0 ASE: 869,530	0036	869,530	0	2,502.00		TOTAL		2,502.00
059380001446	CB: 5938 LOT: 1446 SHAVANO PARK UNIT-16A	MUNIZ RODOLFO P & MARY C	104 CHERRY BARK SHAVANO PARK TX 78230-5609 104 CHERRY BARK HOM O65			LAND: 178,200 IMPR: 654,300 PROD: 0 ASE: 832,500	0036	827,500	5,000	2,293.27		TOTAL		2,293.27
059380001447	CB: 5938 LOT: 1447 SHAVANO PARK UNIT-16A	BONNER NADIA & MATTHEW R	103 CHERRY BARK SHAVANO PARK TX 78230-5609 103 CHERRY BARK			LAND: 225,250 IMPR: 544,750 PROD: 0 ASE: 770,000	0036	770,000	0	2,215.61		TOTAL		2,215.61
059380001448	CB: 5938 LOT: 1448 SHAVANO PARK UNIT-16A	CHARLES S & KAREN A STIEFEL HARRISON	107 CHERRY BARK SHAVANO PARK TX 78230-5609 107 CHERRY BARK HOM O65			LAND: 222,410 IMPR: 571,850 PROD: 0 ASE: 794,260	0036	789,260	5,000	2,120.74		TOTAL		2,120.74
059380001453	CB: 5938 LOT: 1453 SHAVANO PARK UNIT-16A	ADAMS LEE C & JENNIFER L	307 BRANCH OAK WAY SHAVANO PARK TX 78230-5607 307 BRANCH OAK WAY HOM			LAND: 199,140 IMPR: 716,830 PROD: 0 ASE: 915,970	0036	915,970	0	2,635.63		TOTAL		2,635.63
059380001454	CB: 5938 LOT: 1454 SHAVANO PARK UNIT-16A	KIRSCHBERG MORRIS J & NANCY	303 BRANCH OAK WAY SHAVANO PARK TX 78230-5607 303 BRANCH OAK WAY HOM O65			LAND: 201,050 IMPR: 642,880 PROD: 0 ASE: 843,930	0036	838,930	5,000	1,893.28		TOTAL		1,893.28
059380001455	CB: 5938 LOT: 1455 SHAVANO PARK UNIT-16A	AUSTIN JEFFREY S & BARBARA E	247 BRANCH OAK WAY SHAVANO PARK TX 78230-5604 247 BRANCH OAK WAY HOM O65			LAND: 184,820 IMPR: 313,920 PROD: 0 ASE: 498,740	0036	493,740	5,000	1,420.70		TOTAL		1,420.70
059380001456	CB: 5938 LOT: 1456 SHAVANO PARK UNIT-16A	CISNEROS JOHNNY E & OLINDA	243 BRANCH OAK WAY SHAVANO PARK TX 78230-5604 243 BRANCH OAK WAY HOM O65			LAND: 216,110 IMPR: 468,670 PROD: 0 ASE: 684,780	0036	679,780	5,000	1,618.78		TOTAL		1,618.78
059380001457	CB: 5938 LOT: 1457 SHAVANO PARK UNIT-16A	LAZARUS MARIAN	239 BRANCH OAK WAY SHAVANO PARK TX 78230-5604 239 BRANCH OAK WAY HOM O65			LAND: 220,030 IMPR: 600,460 PROD: 0 ASE: 820,490	0036	815,490	5,000	1,966.53		TOTAL		1,966.53

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059380001458	CB: 5938 LOT: 1458 SHAVANO PARK UNIT-16A	DUKES CARL E & REBECCA M 235 BRANCH OAK WAY SHAVANO PARK TX 78230-5604 235 BRANCH OAK WAY CAP HOM O65			LAND: 203,490 IMPR: 937,460 PROD: 0 ASE: 1,140,950	0036	1,102,700	38,250	2,865.51			TOTAL	2,865.51
059380001459	CB: 5938 LOT: 1459 SHAVANO PARK UNIT-16A	LAZOR STEPHEN F & RANDELL E 231 BRANCH OAK WAY SHAVANO PARK TX 78230-5604 231 BRANCH OAK WAY HOM O65			LAND: 210,740 IMPR: 541,840 PROD: 0 ASE: 752,580	0036	747,580	5,000	2,037.28			TOTAL	2,037.28
059380001460	CB: 5938 LOT: 1460 SHAVANO PARK UNIT-16A	YOO JAE H & SOOGI 227 BRANCH OAK WAY SHAVANO PARK TX 78230-5604 227 BRANCH OAK WAY HOM O65			LAND: 220,030 IMPR: 623,970 PROD: 0 ASE: 844,000	0036	839,000	5,000	2,048.00			TOTAL	2,048.00
059380001461	CB: 5938 LOT: 1461 SHAVANO PARK UNIT-16A	REYES CESAR & KATHY L 223 BRANCH OAK WAY SHAVANO PARK TX 78230-5603 223 BRANCH OAK WAY DEF CAP HOM O65 Deferral: 09/16/2014			LAND: 212,650 IMPR: 724,420 PROD: 0 ASE: 937,070	0036	931,903	5,167	2,262.96			TOTAL	2,262.96
059380001462	CB: 5938 LOT: 1462 SHAVANO PARK UNIT-16A	MCCLURE KENNETH A & BEVERLEY J 219 BRANCH OAK WAY SHAVANO PARK TX 78230-5603 219 BRANCH OAK WAY HOM O65			LAND: 185,280 IMPR: 609,720 PROD: 0 ASE: 795,000	0036	790,000	5,000	1,880.96			TOTAL	1,880.96
059380001463	CB: 5938 LOT: 1463 SHAVANO PARK UNIT-16A	LENDERMAN LAWRENCE L & ELEANOR M 215 BRANCH OAK WAY SHAVANO PARK TX 78230-5603 215 BRANCH OAK WAY HOM O65			LAND: 213,750 IMPR: 546,250 PROD: 0 ASE: 760,000	0036	755,000	5,000	2,095.65			TOTAL	2,095.65
059380001464	CB: 5938 LOT: 1464 SHAVANO PARK UNIT-16A	LANG SYLVAN S JR & AMY 211 BRANCH OAK WAY SHAVANO PARK TX 78230-5603 211 BRANCH OAK WAY HOM			LAND: 190,200 IMPR: 572,340 PROD: 0 ASE: 762,540	0036	762,540	0	2,194.15			TOTAL	2,194.15
059380001465	CB: 5938 LOT: 1465 SHAVANO PARK UNIT-16A	KATZMAN ALEXANDER & SHIRLEY 207 BRANCH OAK WAY SHAVANO PARK TX 78230-5603 207 BRANCH OAK WAY HOM			LAND: 175,890 IMPR: 754,110 PROD: 0 ASE: 930,000	0036	930,000	0	2,676.00			TOTAL	2,676.00
059380001466	CB: 5938 LOT: 1466 SHAVANO PARK UNIT-16A	EDDINS-FOLENSBEE FLORENCE F & ROWLAND W FOLENSBEE 203 BRANCH OAK WAY SHAVANO PARK TX 78230-5603 203 BRANCH OAK WAY HOM O65			LAND: 187,780 IMPR: 704,220 PROD: 0 ASE: 892,000	0036	887,000	5,000	2,382.47			TOTAL	2,382.47

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059380001467	CB: 5938 LOT: 1467 SHAVANO PARK UNIT-16A	HAFFNER STEVEN M & HOLLY B CASSELLS	202 POST OAK WAY SHAVANO PARK TX 78230-5615			LAND: 202,570 IMPR: 657,050 PROD: 0 ASE: 859,620	0036	854,620	5,000	1,991.49		TOTAL		1,991.49
059380001468	CB: 5938 LOT: 1468 SHAVANO PARK UNIT-16A	COVER TERRILL A & MARIA ELENA	206 POST OAK WAY SHAVANO PARK TX 78230-5615			LAND: 197,690 IMPR: 482,390 PROD: 0 ASE: 680,080	0036	675,080	5,000	1,596.51		TOTAL		1,596.51
059380001469	CB: 5938 LOT: 1469 SHAVANO PARK UNIT-16A	MONTEMAYOR RAUL M & LAURA L	210 POST OAK WAY SHAVANO PARK TX 78230-5615			LAND: 195,830 IMPR: 569,170 PROD: 0 ASE: 765,000	0036	760,000	5,000	1,865.34		TOTAL		1,865.34
059380001470	CB: 5938 LOT: 1470 SHAVANO PARK UNIT-16A	SMITH ASHLEY M & KERRI M	214 POST OAK WAY SHAVANO PARK TX 78230-5615			LAND: 177,050 IMPR: 622,950 PROD: 0 ASE: 800,000	0036	800,000	0	2,301.94		TOTAL		2,301.94
059380001473	CB: 5938 LOT: 1473 SHAVANO PARK UNIT-16A	GOLDBERG ROBERT & SONIA	103 POST OAK WAY SHAVANO PARK TX 78230-5614			LAND: 190,640 IMPR: 509,360 PROD: 0 ASE: 700,000	0036	695,000	5,000	1,549.47		TOTAL		1,549.47
059380001474	CB: 5938 LOT: 1474 SHAVANO PARK UNIT-16A	DECOTIS DONALD D & JONNIE T	107 POST OAK WAY SHAVANO PARK TX 78230-5614			LAND: 193,200 IMPR: 566,800 PROD: 0 ASE: 760,000	0036	760,000	0	2,186.84		TOTAL		2,186.84
059380001475	CB: 5938 LOT: 1475 SHAVANO PARK UNIT-16A	COLE JOHN FRANCIS TRUST & DAGNE LU FLORINE TRUST	PO BOX 782028 SAN ANTONIO TX 78278-2028			LAND: 182,680 IMPR: 409,820 PROD: 0 ASE: 592,500	0036	587,500	5,000	1,684.74		TOTAL		1,684.74
059380001476	CB: 5938 LOT: 1476 SHAVANO PARK UNIT-16A	ZUCKER RICHARD AND MAXINE REVOCABLE	115 POST OAK WAY SHAVANO PARK TX 78230-5614			LAND: 171,610 IMPR: 733,390 PROD: 0 ASE: 905,000	0036	900,000	5,000	2,589.68		TOTAL		2,589.68
059380001477	CB: 5938 LOT: 1477 SHAVANO PARK UNIT-16A	ROTH GREGORY S & ESMERALDA M	119 POST OAK WAY SHAVANO PARK TX 78230-5614			LAND: 174,240 IMPR: 741,690 PROD: 0 ASE: 915,930	0036	915,930	0	2,635.52		TOTAL		2,635.52

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059380001478	CB: 5938 LOT: 1478 SHAVANO PARK UNIT-16A	STEIN WILLIAM L & CINDY E	203 POST OAK WAY SHAVANO PARK TX 78230-5616			LAND: 179,570 IMPR: 596,440 PROD: 0 ASE: 776,010	0036	771,010	5,000	1,890.37		TOTAL		1,890.37
059380001479	CB: 5938 LOT: 1479 SHAVANO PARK UNIT-16A	CROUCH GERALD W & ALLRED-CROUCH ANDREA L	207 POST OAK WAY SHAVANO PARK TX 78230-5616			LAND: 170,150 IMPR: 678,500 PROD: 0 ASE: 848,650	0036	848,650	0	2,441.92		TOTAL		2,441.92
059380001480	CB: 5938 LOT: 1480 SHAVANO PARK UNIT-16A	WONDER STEVEN & LISA	211 POST OAK WAY SHAVANO PARK TX 78230-5616			LAND: 193,150 IMPR: 729,850 PROD: 0 ASE: 923,000	0036	923,000	0	2,655.86		TOTAL		2,655.86
059380001490	CB 5938 BLK LOT 1490 SHAVANO PARK UNIT 15A	LUNKE ROGER J	4403 ETON PL SAN ANTONIO TX 78249-2994			LAND: 349,760 IMPR: 611,160 PROD: 0 ASE: 960,920	0036	960,920	0	2,764.97		TOTAL		2,764.97
059380001500	CB 5938 BLK LOT SE IRR 168.33 FT OF 1434 & NE TRI 13.41 FT OF 1433	RUMMEL JEFFERY & LORINA	306 BRANCH OAK WAY SHAVANO PARK TX 78230-5605			LAND: 167,010 IMPR: 580,750 PROD: 0 ASE: 747,760	0036	747,760	0	2,151.62		TOTAL		2,151.62
059380001502	CB 5938 BLK LOT W IRR 181.44 FT OF 1433 & NW TRI 14.15 FT OF 1434	RUBIN BRIAN S & ELIZABETH G	240 BRANCH OAK WAY SHAVANO PARK TX 78230-5602			LAND: 167,560 IMPR: 453,540 PROD: 0 ASE: 621,100	0036	616,100	5,000	1,306.97		TOTAL		1,306.97
059380001505	CB 5938 BLK LOT 1505 (SHAVANO PARK UT-16A)	CHANCE JOHN R III & HOLLY G	325 BRANCH OAK WAY SHAVANO PARK TX 78230-5607			LAND: 280,380 IMPR: 654,620 PROD: 0 ASE: 935,000	0036	927,500	7,500	2,668.81		TOTAL		2,668.81
059380001506	CB 5938 BLK LOT 1506 (SHAVANO PARK UT-16A)	VAIO BRUCE A & CINDY M	315 BRANCH OAK WAY SHAVANO PARK TX 78230-5607			LAND: 192,410 IMPR: 657,590 PROD: 0 ASE: 850,000	0036	850,000	0	2,445.81		TOTAL		2,445.81
059380001507	CB 5938 BLK LOT 1507 (SHAVANO PARK UT-16A)	CHAPA LUIS IV & MARICELA L	311 BRANCH OAK WAY SHAVANO PARK TX 78230-5607			LAND: 181,580 IMPR: 776,790 PROD: 0 ASE: 958,370	0036	958,370	0	2,757.63		TOTAL		2,757.63

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059380001730 CB 5938 BLK LOT 173		MITCHELL DANIEL S & GWENDOLYN B 105 SHAVANO DR SHAVANO PARK TX 78231-1234 105 SHAVANO DR HOM O65				LAND: 267,540 IMPR: 275,540 PROD: 0 ASE: 543,080	0036	538,080	5,000	1,087.84			TOTAL	1,087.84
059380001816 CB 5938 LOT 1813A (SHAVANO PARK SUBD UT-16A-1)		SA ASC REAL ESTATE LLC 3829 LOCKHILL SELMA RD STE 100 SAN ANTONIO TX 78230-1762 3829 LOCKHILL SELMA RD				LAND: 661,050 IMPR: 2,029,040 PROD: 0 ASE: 2,690,090	0036	2,690,090	0	7,740.52			TOTAL	7,740.52
059380002000 CB 5938 BLK LOT 200		SMOOT ALAN D & MARY JANE 101 SHAVANO DR SHAVANO PARK TX 78231-1234 101 SHAVANO DR HOM O65				LAND: 195,670 IMPR: 98,910 PROD: 0 ASE: 294,580	0036	289,580	5,000	776.90			TOTAL	776.90
059380002010 CB 5938 BLK LOT 201		PAVLICH MARY 103 WAGON TRAIL RD SHAVANO PARK TX 78231-1241 103 WAGON TRAIL RD				LAND: 195,670 IMPR: 243,900 PROD: 0 ASE: 439,570	0036	439,570	0	1,264.83			TOTAL	1,264.83
059380002020 CB 5938 BLK LOT 202		SCHOENERT RICHARD G & TAMRA 105 WAGON TRAIL RD SHAVANO PARK TX 78231-1241 105 WAGON TRAIL RD HOM O65				LAND: 206,740 IMPR: 124,740 PROD: 0 ASE: 331,480	0036	326,480	5,000	760.89			TOTAL	760.89
059380002030 CB 5938 BLK LOT 203& SE 20 FT OF 204		CAIN SALLY A 107 WAGON TRAIL RD SHAVANO PARK TX 78231-1241 107 WAGON TRAIL RD				LAND: 232,350 IMPR: 89,220 PROD: 0 ASE: 321,570	0036	321,570	0	925.29			TOTAL	925.29
059380002040 CB 5938 BLK LOT 204& EXC E 20.05 FT		SENGELMANN DAVID L & CELESTE 109 WAGON TRAIL RD SHAVANO PARK TX 78231-1241 109 WAGON TRAIL RD HOM O65				LAND: 242,990 IMPR: 219,410 PROD: 0 ASE: 462,400	0036	457,400	5,000	1,142.61			TOTAL	1,142.61
059380002050 CB 5938 BLK LOT 205		WRIGHT BRUCE L & ANGELA 111 WAGON TRAIL RD SHAVANO PARK TX 78231-1241 111 WAGON TRAIL RD HOM				LAND: 252,290 IMPR: 92,710 PROD: 0 ASE: 345,000	0036	345,000	0	992.71			TOTAL	992.71
059380002060 CB 5938 BLK LOT 206 # C-40451		GILBERT ERIC SCOTT & DIKE KERRY 113 WAGON TRAIL RD SHAVANO PARK TX 78231-1241 113 WAGON TRAIL RD HOM				LAND: 267,350 IMPR: 197,650 PROD: 0 ASE: 465,000	0036	465,000	0	1,338.00			TOTAL	1,338.00

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059380002070	CB 5938 BLK LOT 207	SCALZI ANGELA & EVA	115 WAGON TRAIL RD		LAND:	267,350	0036	482,370	0	1,387.98				
		SHAVANO PARK TX 78231-1241	115 WAGON TRAIL RD		IMPR:	215,020								
					PROD:	0						TOTAL		1,387.98
					ASE:	482,370								
059380002100	CB 5938 BLK LOT 210 #C-36053	MIKITTEN FAMILY LIVING TRUST	121 WAGON TRAIL RD		LAND:	227,430	0036	438,000	0	1,260.31				
		MIKITTEN JOAN F TRUSTEE	121 WAGON TRAIL RD		IMPR:	210,570								
		SHAVANO PARK TX 78231-1241	121 WAGON TRAIL RD		PROD:	0						TOTAL		1,260.31
					ASE:	438,000								
059380002110	CB 5938 BLK LOT 211 #C-37208	BELMARES SALVADOR C	123 WAGON TRAIL RD		LAND:	228,060	0036	472,000	0	1,358.14				
		SHAVANO PARK TX 78231-1241	123 WAGON TRAIL RD		IMPR:	243,940								
					PROD:	0						TOTAL		1,358.14
					ASE:	472,000								
059380002120	CB 5938 BLK LOT 212	HERNANDEZ JOSE R & ESMERALDA G	125 WAGON TRAIL RD		LAND:	217,380	0036	340,460	0	979.65				
		SHAVANO PARK TX 78231-1241	125 WAGON TRAIL RD		IMPR:	123,080								
					PROD:	0						TOTAL		979.65
					ASE:	340,460								
059380002130	CB 5938 BLK LOT 213	ROBERTS HENRY E	127 WAGON TRAIL RD		LAND:	206,740	0036	315,630	5,000	493.31				
		SHAVANO PARK TX 78231-1241	127 WAGON TRAIL RD		IMPR:	113,890								
					PROD:	0						TOTAL		493.31
					ASE:	320,630								
059380002140	CB 5938 BLK LOT 214	CLARK LIVING TRUST	129 WAGON TRAIL RD		LAND:	228,680	0036	470,930	5,000	1,208.52				
		SHAVANO PARK TX 78231-1241	129 WAGON TRAIL RD		IMPR:	247,250								
					PROD:	0						TOTAL		1,208.52
					ASE:	475,930								
059380002150	CB 5938 BLK LOT 215	KOCHER DAVID W	131 WAGON TRAIL RD		LAND:	228,680	0036	319,560	5,000	775.92				
		SHAVANO PARK TX 78231-1241	131 WAGON TRAIL RD		IMPR:	95,880								
					PROD:	0						TOTAL		775.92
					ASE:	324,560								
059380002160	CB 5938 BLK LOT 216	NOBLES BARBARA J	133 WAGON TRAIL RD		LAND:	236,690	0036	361,990	5,000	586.47				
		SHAVANO PARK TX 78231-1241	133 WAGON TRAIL RD		IMPR:	130,300								
					PROD:	0						TOTAL		586.47
					ASE:	366,990								
059380002170	CB 5938 BLK LOT 217	SAUSTRUP ARNE & KATHLEEN	100 WAGON TRAIL RD		LAND:	260,710	0036	488,000	0	1,404.18				
		SHAVANO PARK TX 78231-1240	100 WAGON TRAIL RD		IMPR:	227,290								
					PROD:	0						TOTAL		1,404.18
					ASE:	488,000								

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059380002180 CB 5938 BLK LOT 218		AUSTIN HERBERT E	PO BOX 782121		LAND:	238,110	0036	330,000	17,000	949.55				
			SAN ANTONIO TX 78278-2121		IMPR:	108,890								
			102 WAGON TRAIL RD		PROD:	0						TOTAL		949.55
			VET HOM O65		ASE:	347,000								
059380002190 CB 5938 BLK LOT 219		GEORGE JIMMIE LOU	104 WAGON TRAIL RD		LAND:	242,990	0036	361,890	5,000	490.37				
			SHAVANO PARK TX 78231-1240		IMPR:	123,900								
			104 WAGON TRAIL RD		PROD:	0						TOTAL		490.37
			HOM O65		ASE:	366,890								
059380002200 CB 5938 BLK LOT 220		TELLEZ RAMON JR	106 WAGON TRAIL RD		LAND:	242,990	0036	315,912	14,088	825.07				
			SHAVANO PARK TX 78231-1240		IMPR:	87,010								
			106 WAGON TRAIL RD		PROD:	0						TOTAL		825.07
			CAP HOM O65		ASE:	330,000								
059380002210 CB 5938 BLK LOT 221		CHILDRESS JAMES R & MYRNA B GONZALEZ	108 WAGON TRAIL RD		LAND:	273,770	0036	445,000	10,000	1,280.45				
			SHAVANO PARK TX 78231-1240		IMPR:	181,230								
			108 WAGON TRAIL RD		PROD:	0						TOTAL		1,280.45
			VET HOM		ASE:	455,000								
059380002220 CB 5938 BLK LOT 222		COTTON LUCILLE A	110 WAGON TRAIL RD		LAND:	240,810	0036	341,440	5,000	411.23				
			SHAVANO PARK TX 78231-1240		IMPR:	105,630								
			110 WAGON TRAIL RD		PROD:	0						TOTAL		411.23
			HOM O65		ASE:	346,440								
059380002230 CB 5938 BLK LOT 223		AMIRY NEDA	112 WAGON TRAIL RD		LAND:	226,170	0036	349,360	0	1,005.26				
			SHAVANO PARK TX 78231-1240		IMPR:	123,190								
			112 WAGON TRAIL RD		PROD:	0						TOTAL		1,005.26
			HOM		ASE:	349,360								
059380002240 CB 5938 BLK LOT 224 # 4139615		SWIM JO ANN	114 WAGON TRAIL RD		LAND:	225,250	0036	351,760	0	1,012.16				
			SHAVANO PARK TX 78231-1240		IMPR:	126,510								
			114 WAGON TRAIL RD		PROD:	0						TOTAL		1,012.16
					ASE:	351,760								
059380002250 CB 5938 BLK LOT 225		KOLE RICHARD R & DONNA E	116 WAGON TRAIL RD		LAND:	205,570	0036	304,420	5,000	462.58				
			SHAVANO PARK TX 78231-1240		IMPR:	103,850								
			116 WAGON TRAIL RD		PROD:	0						TOTAL		462.58
			HOM O65		ASE:	309,420								
059380002260 CB 5938 BLK LOT 226 # C6-11918		LEHMANN CLYDE E & NICOLE M	118 WAGON TRAIL RD		LAND:	220,030	0036	350,000	0	1,007.10				
			SHAVANO PARK TX 78231-1240		IMPR:	129,970								
			118 WAGON TRAIL RD		PROD:	0						TOTAL		1,007.10
			HOM		ASE:	350,000								

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059380002340	CB 5938 BLK LOT 234	HERNANDEZ SEFERINO & ADELA	119 WAGON TRAIL RD			LAND: 264,540	0036	436,020	0	1,254.61				
		SHAVANO PARK TX 78231-1241	119 WAGON TRAIL RD			IMPR: 171,480						TOTAL		1,254.61
						PROD: 0								
						ASE: 436,020								
059380002350	CB 5938 BLK LOT 235 (TURULLOLS SUBD)	TURULLOLS GILDARDO	117 WAGON TRAIL RD			LAND: 277,050	0036	382,430	7,840	741.18				
		SHAVANO PARK TX 78231-1241	117 WAGON TRAIL RD			IMPR: 113,220						TOTAL		741.18
		CAP HOM O65				PROD: 0								
						ASE: 390,270								
059380003710	CB 5938 BLK LOT 371	KINCER WILLIAM L & LAURIE E	98 SHAVANO DR			LAND: 268,020	0036	405,120	0	1,165.70				
		SHAVANO PARK TX 78231-1232	98 SHAVANO DR			IMPR: 137,100						TOTAL		1,165.70
		HOM				PROD: 0								
						ASE: 405,120								
059380003720	CB 5938 BLK LOT 372	BECK PHILLIP S & YAMARA	96 SHAVANO DR			LAND: 267,300	0036	0	537,620	0.00				
		SHAVANO PARK TX 78231-1232	96 SHAVANO DR			IMPR: 270,320						TOTAL		0.00
		HOM VTX				PROD: 0								
						ASE: 537,620								
059380003730	CB 5938 BLK LOT 373	POISSO BILLY D	15614 NW MILITARY HWY			LAND: 280,120	0036	723,390	0	2,081.50				
		SHAVANO PARK TX 78231-1537	15614 NW MILITARY HWY			IMPR: 443,270						TOTAL		2,081.50
		HOM				PROD: 0								
						ASE: 723,390								
059380003740	CB 5938 BLK LOT 374	NEELA KUMARI PATEL & AKKIEBBALU SRE	13422 VISTA DEL PRADO			LAND: 281,140	0036	405,000	0	1,165.36				
		SAN ANTONIO TX 78216-2228	15608 NW MILITARY HWY			IMPR: 123,860						TOTAL		1,165.36
						PROD: 0								
						ASE: 405,000								
059380003752	CB 5938 BLK LOT 375	SOUTHWESTERN BELL TELEPHONE	ATTN PROPERTY TAX DEPT			LAND: 139,160	0036	370,100	0	1,064.93				
		1010 PINE ST 9E-L-01	SAINT LOUIS MO 63101-2070			IMPR: 230,940						TOTAL		1,064.93
		15606 NW MILITARY HWY				PROD: 0								
						ASE: 370,100								
059380003761	CB 5938 BLK LOT 376A	CITY OF SHAVANO PARK	900 SADDLETREE CT			LAND: 0	0036	0	0	0.00				
		SHAVANO PARK TX 78231-1599	15604 NW MILITARY HWY			IMPR: 0						TOTAL		0.00
		EXXV				PROD: 0								
						ASE: 0								
059380003780	CB 5938 BLK LOT 378	KEYSER THOMAS G & CONSTANCE W LINDSEY	98 SADDLETREE RD			LAND: 262,420	0036	439,540	5,000	912.48				
		SHAVANO PARK TX 78231-1539	98 SADDLETREE RD			IMPR: 182,120						TOTAL		912.48
		HOM O65				PROD: 0								
						ASE: 444,540								

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059380003790	CB 5938 BLK LOT 379	GALLEGOS RICHARD M & GINA E	101 FAWN DR			LAND: 255,990	0036	452,770	0	1,302.81				
		SHAVANO PARK TX 78231-1516	101 FAWN DR			IMPR: 196,780								
		HOM				PROD: 0						TOTAL		1,302.81
						ASE: 452,770								
059380003792	CB 5938 BLK LOT 379B (ROGERS 379A SUBD)	ROGERS MARY F	200 GENESEO RD			LAND: 258,930	0036	258,930	0	745.05				
		SAN ANTONIO TX 78209-5914	15400 NW MILITARY HWY			IMPR: 0								
						PROD: 0						TOTAL		745.05
						ASE: 258,930								
059380003793	CB 5938 BLK LOT 379C (ROGERS 379A SUBD)	GELFER HOWARD E & MILDRED T	125 CLIFFSIDE DR			LAND: 268,060	0036	455,000	0	1,309.23				
		SHAVANO PARK TX 78231-1510	15400 NW MILITARY HWY			IMPR: 186,940								
						PROD: 0						TOTAL		1,309.23
						ASE: 455,000								
059380003800	CB 5938 BLK LOT 380	BLANCO PATRICIA	102 FAWN DR			LAND: 243,790	0036	387,120	0	1,113.91				
		SHAVANO PARK TX 78231-1515	102 FAWN DR			IMPR: 143,330								
		HOM				PROD: 0						TOTAL		1,113.91
						ASE: 387,120								
059380003810	CB 5938 BLK LOT 381	WHITE ELEANOR RALEY	PO BOX 782406			LAND: 243,300	0036	415,000	5,000	1,035.46				
		SAN ANTONIO TX 78278-2406	100 FAWN DR			IMPR: 176,700								
		HOM O65				PROD: 0						TOTAL		1,035.46
						ASE: 420,000								
059380003820	CB 5938 BLK LOT 382	MAHAN FRANK H & SUSIE J	98 WINDMILL RD			LAND: 349,260	0036	421,865	85,985	576.02				
		SHAVANO PARK TX 78231-1545	98 WINDMILL RD			IMPR: 158,590								
		VET CAP HOM O65				PROD: 0						TOTAL		576.02
						ASE: 507,850								
059380003830	CB 5938 BLK LOT 383 #39686	ROSS MICHELE & DAVID W	99 BENT OAK DR			LAND: 344,030	0036	564,465	10,545	1,624.20				
		SHAVANO PARK TX 78231-1502	99 BENT OAK DR			IMPR: 230,980								
		CAP HOM				PROD: 0						TOTAL		1,624.20
						ASE: 575,010								
059380003840	CB 5938 BLK LOT 384	BILA GREGORY	2634 INWOOD BRIAR			LAND: 215,250	0036	500,820	0	1,441.07				
		SAN ANTONIO TX 78248-	96 WINDMILL RD			IMPR: 285,570								
						PROD: 0						TOTAL		1,441.07
						ASE: 500,820								
059380003850	CB 5938 BLK LOT 385	BREISH ERIC	15108 NW MILITARY HWY			LAND: 196,730	0036	417,730	7,500	1,201.98				
		SHAVANO PARK TX 78231-1527	15108 NW MILITARY HWY			IMPR: 228,500								
		VET HOM				PROD: 0						TOTAL		1,201.98
						ASE: 425,230								

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059380003860	CB 5938 BLK LOT 386	DOAN CHUCK QUOC-CHINH & DAN NGUYEN	15100 NW MILITARY HWY SHAVANO PARK TX 78231-1527 15100 NW MILITARY HWY HOM			LAND: 195,670 IMPR: 431,500 PROD: 0 ASE: 627,170	0036	627,170	0	1,804.63				
												TOTAL		1,804.63
059380003870	CB 5938 BLK LOT 387	ESTES NANCY S	15012 NW MILITARY HWY SHAVANO PARK TX 78231-1525 15012 NW MILITARY HWY HOM O65			LAND: 195,800 IMPR: 134,770 PROD: 0 ASE: 330,570	0036	325,570	5,000	812.32				
												TOTAL		812.32
059380003880	CB 5938 BLK LOT 388	CHERAIF ALISSAR	15010 NW MILITARY HWY SHAVANO PARK TX 78231-1525 15010 NW MILITARY HWY HOM			LAND: 196,810 IMPR: 265,900 PROD: 0 ASE: 462,710	0036	462,710	0	1,331.41				
												TOTAL		1,331.41
059380003890	CB 5938 BLK LOT 389	SHECTMAN NORTON & MIKKI	15000 NW MILITARY HWY SHAVANO PARK TX 78231-1525 15000 NW MILITARY HWY DEF HOM O65 Deferral: 11/29/2004			LAND: 195,670 IMPR: 401,380 PROD: 0 ASE: 597,050	0036	592,050	5,000	1,231.13				
												TOTAL		1,231.13
059380003900	CB 5938 BLK LOT 390	RADUSCA SHEREEN	97 BENT OAK DR SHAVANO PARK TX 78231-1502 97 BENT OAK DR CAP HOM			LAND: 237,360 IMPR: 221,210 PROD: 0 ASE: 458,570	0036	452,087	6,483	1,300.84				
												TOTAL		1,300.84
059380003911	CB 5938 BLK LOT 391 & LOT 395	DALKOWITZ LUCILE L/E	DALKOWITZ DAVID 96 BENT OAK DR SHAVANO PARK TX 78231-1501 96 BENT OAK DR CAP HOM O65			LAND: 491,410 IMPR: 205,360 PROD: 0 ASE: 696,770	0036	599,940	96,830	831.67				
												TOTAL		831.67
059380003943	CB 5938 (SHAVANO PARK SUBD), LOT 394C	MIRANDA-FRED FAMILY TRUST	PO BOX 15073 SAN ANTONIO TX 78212-8273 0 NW MILITARY HWY			LAND: 289,290 IMPR: 0 PROD: 0 ASE: 289,290	0036	289,290	0	832.41				
												TOTAL		832.41
059380003944	CB 5938 (SHAVANO PARK SUBD), LOT 394D	ECK BRIAN L & SHERYL D	13205 GEORGE RD SAN ANTONIO TX 78230-3018 99 CLIFFSIDE DR HOM			LAND: 367,590 IMPR: 302,410 PROD: 0 ASE: 670,000	0036	670,000	0	1,927.87				
												TOTAL		1,927.87
059380003970	CB 5938 BLK LOT 397	AHLSTROM MICHAEL C & FRED L	98 CLIFFSIDE DR SHAVANO PARK TX 78231-1507 98 CLIFFSIDE DR HOM			LAND: 265,060 IMPR: 309,940 PROD: 0 ASE: 575,000	0036	575,000	0	1,654.52				
												TOTAL		1,654.52

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059380003980 CB 5938 BLK LOT 398		SUTTON BOBBY JR & SUSANA	96 CLIFFSIDE DR SHAVANO PARK TX 78231-1507 96 CLIFFSIDE DR HOM VTX			LAND: 220,030 IMPR: 167,860 PROD: 0 ASE: 387,890	0036	0	387,890	0.00		TOTAL		0.00
059380003990 CB 5938 BLK LOT 399		CANNON ANNE J	14610 NW MILITARY HWY SHAVANO PARK TX 78231-1521 14610 NW MILITARY HWY HOM O65			LAND: 281,140 IMPR: 118,860 PROD: 0 ASE: 400,000	0036	395,000	5,000	1,136.58		TOTAL		1,136.58
059380004000 CB 5938 BLK LOT 400		CITY OF SHAVANO PARK	900 SADDLETREE CT SHAVANO PARK TX 78231-1599 14610 NW MILITARY HWY EXXV			LAND: 260,710 IMPR: 0 PROD: 0 ASE: 260,710	0036	0	260,710	0.00		TOTAL		0.00
059380004010 CB 5938 BLK LOT 401		CITY OF SHAVANO PARK	900 SADDLETREE CT SHAVANO PARK TX 78231-1599 98 CLIFFSIDE DR EXXV			LAND: 118,310 IMPR: 0 PROD: 0 ASE: 118,310	0036	0	118,310	0.00		TOTAL		0.00
059380004200 CB 5938 BLK LOT 420		LUNA REUBEN H	119 SHAVANO DR SHAVANO PARK TX 78231-1234 119 SHAVANO DR HOM O65			LAND: 226,170 IMPR: 192,450 PROD: 0 ASE: 418,620	0036	413,620	5,000	900.48		TOTAL		900.48
059380004220 CB 5938 BLK LOT 422		CARROLL ERIS B	201 SHAVANO DR SHAVANO PARK TX 78231-1235 201 SHAVANO DR HOM O65			LAND: 202,560 IMPR: 180,920 PROD: 0 ASE: 383,480	0036	378,480	5,000	642.06		TOTAL		642.06
059380004230 CB 5938 BLK LOT 423 #4-161-241		MEZEY PHILLI[M & ANTOINETTE	203 SHAVANO DR SAN ANTONIO TX 78231-1235 203 SHAVANO DR			LAND: 201,410 IMPR: 190,070 PROD: 0 ASE: 391,480	0036	391,480	0	1,126.45		TOTAL		1,126.45
059380004240 CB 5938 BLK LOT 424		COMERIO DEBRA ANN	205 SHAVANO DR SHAVANO PARK TX 78231-1235 205 SHAVANO DR HOM O65			LAND: 201,320 IMPR: 252,180 PROD: 0 ASE: 453,500	0036	448,500	5,000	1,251.68		TOTAL		1,251.68
059380004250 CB 5938 BLK LOT 425 & CB 4784 P-1F(.2706)		SOAT JAMES O & DIANA L	207 SHAVANO DR SHAVANO PARK TX 78231-1235 207 SHAVANO DR HOM O65			LAND: 239,820 IMPR: 126,620 PROD: 0 ASE: 366,440	0036	361,440	5,000	498.62		TOTAL		498.62

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059380004260	CB 5938 BLK LOT 426	PEYTON LAURA K	121 SHAVANO DR			LAND: 234,350	0036	379,400	5,000	887.37				
		121 SHAVANO DR	SHAVANO PARK TX 78231-1234			IMPR: 150,050								
		121 SHAVANO DR				PROD: 0						TOTAL		887.37
		HOM O65				ASE: 384,400								
059380009010	CB 5938 BLK LOT 901	OEGERLE PATRICK JAMES	101 BROKEN BOUGH LN			LAND: 196,170	0036	386,864	6,136	573.08				
		101 BROKEN BOUGH LN	SHAVANO PARK TX 78231-1203			IMPR: 196,830								
		101 BROKEN BOUGH LN				PROD: 0						TOTAL		573.08
		CAP HOM O65				ASE: 393,000								
059380009110	CB 5938 BLK LOT 911	DIAZ JOSHUA DAVID	124 BROKEN BOUGH LN			LAND: 238,800	0036	339,108	71,882	975.76				
		124 BROKEN BOUGH LN	SHAVANO PARK TX 78231-1202			IMPR: 172,190								
		124 BROKEN BOUGH LN				PROD: 0						TOTAL		975.76
		CAP HOM				ASE: 410,990								
059380009120	CB 5938 BLK LOT 912	PHELPS LESLIE L	25335 WATERSTONE ESTATES CIR E			LAND: 168,290	0036	503,600	0	1,449.07				
		TOMBALL TX 77375-5462				IMPR: 335,310								
		122 BROKEN BOUGH LN				PROD: 0						TOTAL		1,449.07
						ASE: 503,600								
059380009130	CB 5938 BLK LOT 913	HAMBRIGHT RANDALL E & NANCY	120 BROKEN BOUGH LN			LAND: 172,120	0036	423,780	5,000	1,066.54				
		120 BROKEN BOUGH LN	SHAVANO PARK TX 78231-1202			IMPR: 256,660								
		120 BROKEN BOUGH LN				PROD: 0						TOTAL		1,066.54
		HOM O65				ASE: 428,780								
059380009140	CB 5938 BLK LOT 914	KING BOB K	118 BROKEN BOUGH LN			LAND: 177,030	0036	406,147	6,893	764.99				
		118 BROKEN BOUGH LN	SHAVANO PARK TX 78231-1202			IMPR: 236,010								
		118 BROKEN BOUGH LN				PROD: 0						TOTAL		764.99
		CAP HOM O65				ASE: 413,040								
059380009150	CB 5938 BLK LOT 915	SHEPHERD ALEXANDER M	116 BROKEN BOUGH LN			LAND: 194,900	0036	653,190	5,000	1,535.62				
		116 BROKEN BOUGH LN	SHAVANO PARK TX 78231-1202			IMPR: 463,290								
		116 BROKEN BOUGH LN				PROD: 0						TOTAL		1,535.62
		HOM O65				ASE: 658,190								
059380009160	CB 5938 BLK LOT 916	ANDERSON NANCY GAYLE & PHILLIP BRIAN MOORE	114 BROKEN BOUGH LN			LAND: 201,500	0036	316,837	52,393	911.67				
		114 BROKEN BOUGH LN	SHAVANO PARK TX 78231-1202			IMPR: 167,730								
		114 BROKEN BOUGH LN				PROD: 0						TOTAL		911.67
		CAP HOM				ASE: 369,230								
059380009170	CB 5938 BLK LOT 917	SMITH FREDERICK J & CHRIS	112 BROKEN BOUGH LN			LAND: 199,400	0036	501,940	5,000	1,096.26				
		112 BROKEN BOUGH LN	SHAVANO PARK TX 78231-1202			IMPR: 307,540								
		112 BROKEN BOUGH LN				PROD: 0						TOTAL		1,096.26
		HOM O65				ASE: 506,940								

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059380009180 CB 5938 BLK LOT 918	CHANEY JAMES E 110 BROKEN BOUGH LN SHAVANO PARK TX 78231-1202 110 BROKEN BOUGH LN HOM O65	LAND: IMPR: PROD: ASE:	186,160 192,840 0 379,000	0036	374,000	5,000	598.25			TOTAL		598.25
059380009190 CB 5938 BLK LOT 919	SMITH SHARON M 108 BROKEN BOUGH LN SHAVANO PARK TX 78231-1202 108 BROKEN BOUGH LN CAP HOM O65	LAND: IMPR: PROD: ASE:	172,840 222,520 0 395,360	0036	389,185	6,175	873.89			TOTAL		873.89
059380009200 CB 5938 BLK LOT 920	MOORE PATSY 106 BROKEN BOUGH LN SHAVANO PARK TX 78231-1202 106 BROKEN BOUGH LN CAP HOM O65	LAND: IMPR: PROD: ASE:	169,890 182,820 0 352,710	0036	332,315	20,395	524.04			TOTAL		524.04
059380009210 CB 5938 BLK LOT 921	PURNELL LEWIS M & BONNIE G L/TR L/E 104 BROKEN BOUGH LN SHAVANO PARK TX 78231-1202 104 BROKEN BOUGH LN CAP HOM O65	LAND: IMPR: PROD: ASE:	171,980 221,870 0 393,850	0036	385,654	8,196	565.89			TOTAL		565.89
059380009220 CB 5938 BLK LOT 922	CHASE NEAL C & KAREN E 102 BROKEN BOUGH LN SHAVANO PARK TX 78231-1202 102 BROKEN BOUGH LN HOM	LAND: IMPR: PROD: ASE:	173,330 186,670 0 360,000	0036	360,000	0	1,035.87			TOTAL		1,035.87
059380009230 CB 5938 BLK LOT 923	MICKEY C & JACKIE K WRIGHT 7811 FORTUNE DR SAN ANTONIO TX 78250-5172 100 BROKEN BOUGH LN HOM O65	LAND: IMPR: PROD: ASE:	185,650 173,350 0 359,000	0036	354,000	5,000	1,018.61			TOTAL		1,018.61
059380009240 CB 5938 BLK LOT 924	WRIGHT BRUCE L & ANGELA D 111 WAGON TRAIL RD SHAVANO PARK TX 78231-1241 15609 NW MILITARY HWY	LAND: IMPR: PROD: ASE:	185,650 179,350 0 365,000	0036	365,000	0	1,050.26			TOTAL		1,050.26
059380009250 CB 5938 BLK LOT 925	HERNANDEZ GILBERT U & GLORIA L 15607 NW MILITARY HWY SHAVANO PARK TX 78231-1538 15607 NW MILITARY HWY DEF HOM O65	LAND: IMPR: PROD: ASE:	202,330 342,410 0 544,740	0036	539,740	5,000	812.38			TOTAL		812.38
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059380009260	CB 5938 BLK LOT 926	JOHNSON JOHN M & CHERYL R	103 ELM SPRING LN		LAND:	175,700	0036	430,570	5,000	939.49				
		SHAVANO PARK TX 78231-1412	103 ELM SPRING LN		IMPR:	259,870								
		HOM O65			PROD:	0						TOTAL		939.49
					ASE:	435,570								
059380009270	CB 5938 BLK LOT 927	FRIEDBERG RUTH C	105 ELM SPRING LN		LAND:	184,010	0036	346,527	28,763	567.20				
		SHAVANO PARK TX 78231-1412	105 ELM SPRING LN		IMPR:	191,280								
		CAP HOM O65			PROD:	0						TOTAL		567.20
					ASE:	375,290								
059380009280	CB 5938 BLK LOT 928	KENNETT JACKSON B & MARCIA H LYNCH	107 ELM SPRING LN		LAND:	184,390	0036	370,633	25,757	768.80				
		SHAVANO PARK TX 78231-1412	107 ELM SPRING LN		IMPR:	212,000								
		VET CAP HOM O65			PROD:	0						TOTAL		768.80
					ASE:	396,390								
059380009290	CB 5938 BLK LOT 929	POWERS KATHRYN J	109 ELM SPRING LN		LAND:	184,940	0036	324,417	35,453	765.45				
		SHAVANO PARK TX 78231-1412	109 ELM SPRING LN		IMPR:	174,930								
		CAP HOM O65			PROD:	0						TOTAL		765.45
					ASE:	359,870								
059380009300	CB 5938 BLK LOT 930	CASILLAS VICTOR S JR & BEATRICE P	111 ELM SPRING LN		LAND:	189,590	0036	300,206	19,794	483.87				
		SHAVANO PARK TX 78231-1412	111 ELM SPRING LN		IMPR:	130,410								
		CAP HOM O65			PROD:	0						TOTAL		483.87
					ASE:	320,000								
059380009310	NCB 5938 BLK LOT 931	MARCHAND KIRK & ELLEN REVOCABLE TRUS	113 ELM SPRING LN		LAND:	181,580	0036	419,936	3,394	1,208.33				
		SHAVANO PARK TX 78231-1412	113 ELM SPRING LN		IMPR:	241,750								
		CAP HOM			PROD:	0						TOTAL		1,208.33
					ASE:	423,330								
059380009320	CB 5938 LOT 932	KANE JEAN MARIE	115 ELM SPRING LN		LAND:	185,470	0036	558,840	5,000	1,500.86				
		SHAVANO PARK TX 78231-1412	115 ELM SPRING LN		IMPR:	378,370								
		HOM O65			PROD:	0						TOTAL		1,500.86
					ASE:	563,840								
059380009330	CB 5938 BLK LOT 933	DAVIDSON DAVID L & PATRICIA	117 ELM SPRING LN		LAND:	208,190	0036	437,035	23,635	629.51				
		SHAVANO PARK TX 78231-1412	117 ELM SPRING LN		IMPR:	252,480								
		CAP HOM O65			PROD:	0						TOTAL		629.51
					ASE:	460,670								
059380009341	CB: 5938 LOT: 934 SHAVANO PARK SUBD	POWELL BRADFORD C & BARBARA	119 ELM SPRING LN		LAND:	194,340	0036	475,000	5,000	1,026.12				
		SHAVANO PARK TX 78231-1412	119 ELM SPRING LN		IMPR:	285,660								
		HOM O65			PROD:	0						TOTAL		1,026.12
					ASE:	480,000								

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059380009350	CB 5938 BLK LOT 935	CERROW PETER P & SAUNDRA A	121 ELM SPRING LN			LAND: 175,720	0036	560,830	5,000	824.15				
		121 ELM SPRING LN				IMPR: 390,110								
		SHAVANO PARK TX 78231-1412				PROD: 0						TOTAL		824.15
		121 ELM SPRING LN				ASE: 565,830								
		HOM O65												
059380009360	CB 5938 BLK LOT 936	LOBO ARTHUR M & EVANGELINE	123 ELM SPRING LN			LAND: 169,810	0036	416,440	5,000	632.25				
		123 ELM SPRING LN				IMPR: 251,630								
		SHAVANO PARK TX 78231-1412				PROD: 0						TOTAL		632.25
		123 ELM SPRING LN				ASE: 421,440								
		HOM O65												
059380009370	CB 5938 BLK LOT 937	MURPHY DANIEL	125 ELM SPRING LN			LAND: 217,260	0036	350,526	50,834	1,008.61				
		125 ELM SPRING LN				IMPR: 184,100								
		SHAVANO PARK TX 78231-1412				PROD: 0						TOTAL		1,008.61
		125 ELM SPRING LN				ASE: 401,360								
		CAP HOM												
059380009380	CB 5938 BLK LOT 938	CASILLAS VICTOR JR & BEATRICE P	128 ELM SPRING LN			LAND: 206,710	0036	378,000	0	1,087.66				
		128 ELM SPRING LN				IMPR: 171,290								
		SHAVANO PARK TX 78231-1413				PROD: 0						TOTAL		1,087.66
		128 ELM SPRING LN				ASE: 378,000								
059380009390	CB 5938 BLK LOT 939	HANUS JOHN F JR & JOANNE M	126 ELM SPRING LN			LAND: 168,810	0036	316,244	24,036	452.45				
		126 ELM SPRING LN				IMPR: 171,470								
		SHAVANO PARK TX 78231-1413				PROD: 0						TOTAL		452.45
		126 ELM SPRING LN				ASE: 340,280								
		CAP HOM O65												
059380009400	CB 5938 BLK LOT 940	WATERS BRIAN M & JAMIE R	124 ELM SPRING LN			LAND: 165,600	0036	570,740	10,000	1,642.26				
		124 ELM SPRING LN				IMPR: 415,140								
		SHAVANO PARK TX 78231-1413				PROD: 0						TOTAL		1,642.26
		124 ELM SPRING LN				ASE: 580,740								
		VET HOM												
059380009410	CB 5938 BLK LOT 941	SQUILLA MARIE F	122 ELM SPRING LN			LAND: 173,960	0036	392,683	8,027	586.16				
		122 ELM SPRING LN				IMPR: 226,750								
		SHAVANO PARK TX 78231-1413				PROD: 0						TOTAL		586.16
		122 ELM SPRING LN				ASE: 400,710								
		CAP HOM O65												
059380009420	CB 5938 BLK LOT 942	REED DAVID W & ALLISON	120 ELM SPRING LN			LAND: 175,860	0036	403,007	3,353	1,159.62				
		120 ELM SPRING LN				IMPR: 230,500								
		SHAVANO PARK TX 78231-1413				PROD: 0						TOTAL		1,159.62
		120 ELM SPRING LN				ASE: 406,360								
		CAP HOM												
059380009430	CB 5938 BLK LOT 943	ALVAREZ ROY & NINFA	118 ELM SPRING LN			LAND: 174,630	0036	296,219	30,991	852.35				
		118 ELM SPRING LN				IMPR: 152,580								
		SHAVANO PARK TX 78231-1413				PROD: 0						TOTAL		852.35
		118 ELM SPRING LN				ASE: 327,210								
		CAP HOM												

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059380009440	CB 5938 BLK LOT 944	GRIMES RICHARD DUGGAN & LORI	116 ELM SPRING LN SHAVANO PARK TX 78231-1413	LAND: IMPR: PROD: ASE:	170,600 238,340 0 408,940	0036	403,940	5,000	1,162.31			TOTAL		1,162.31
059380009450	CB 5938 BLK LOT 945	MATHESON CLAYTON & CASSANDRA	114 ELM SPRING LN SHAVANO PARK TX 78231-1411	LAND: IMPR: PROD: ASE:	208,910 509,390 0 718,300	0036	718,300	0	2,066.85			TOTAL		2,066.85
059380009460	CB 5938 BLK LOT 946	LBL FAMILY TRUST BAZAN-LARA BELINDA & LARA JOE M III	112 ELM SPRING LN SHAVANO PARK TX 78231-1411	LAND: IMPR: PROD: ASE:	171,200 196,060 0 367,260	0036	350,047	17,213	814.31			TOTAL		814.31
059380009470	CB 5938 BLK LOT 947	SAYLOR JACK L & DOROTHY D	110 ELM SPRING LN SHAVANO PARK TX 78231-1411	LAND: IMPR: PROD: ASE:	173,290 252,800 0 426,090	0036	0	426,090	0.00			TOTAL		0.00
059380009480	CB 5938 BLK LOT 948	FITZPATRICK SHAWN & SUSAN	108 ELM SPRING LN SHAVANO PARK TX 78231-1411	LAND: IMPR: PROD: ASE:	172,980 188,130 0 361,110	0036	341,270	19,840	981.98			TOTAL		981.98
059380009490	CB 5938 BLK LOT 949	HISEL MARY ANN & MELISSA A ROBLEDO	106 ELM SPRING LN SHAVANO PARK TX 78231-1411	LAND: IMPR: PROD: ASE:	172,980 220,930 0 393,910	0036	391,072	2,838	1,125.28			TOTAL		1,125.28
059380009500	CB 5938 BLK LOT 950	HARR MARY B & BRIAN C	104 ELM SPRING LN SHAVANO PARK TX 78231-1411	LAND: IMPR: PROD: ASE:	176,080 230,580 0 406,660	0036	405,405	1,255	1,166.52			TOTAL		1,166.52
059380009510	CB 5938 BLK LOT 951	HARRIS VERNA	102 ELM SPRING LN SHAVANO PARK TX 78231-1411	LAND: IMPR: PROD: ASE:	189,590 231,680 0 421,270	0036	402,836	18,434	592.37			TOTAL		592.37
059380009520	CB 5938 BLK LOT 952	PADILLA FRANCISCO JR & IDA PENROD	100 ELM SPRING LN SHAVANO PARK TX 78231-1411	LAND: IMPR: PROD: ASE:	205,080 162,840 0 367,920	0036	312,064	55,856	661.17			TOTAL		661.17

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059380009530 CB 5938 BLK LOT 953		BEXAR METRO 9-1-1 NETWORK 911 SADDLETREE CT SHAVANO PARK TX 78231-1523 0 NW MILITARY HWY EXXV				LAND: 181,130 IMPR: 0 PROD: 0 ASE: 181,130	0036	0	181,130	0.00			TOTAL	0.00
059380009540 CB 5938 BLK LOT 954		BARCHETTI ANTHONY J & VANIDA 15711 NW MILITARY HWY SHAVANO PARK TX 78231-1212 15711 NW MILITARY HWY HOM				LAND: 180,910 IMPR: 244,090 PROD: 0 ASE: 425,000	0036	425,000	0	1,222.90			TOTAL	1,222.90
059380009550 CB 5938 BLK LOT 955		WALKER DONALD & SOFIA M 103 BROKEN BOUGH LN SHAVANO PARK TX 78231-1203 103 BROKEN BOUGH LN				LAND: 173,860 IMPR: 235,360 PROD: 0 ASE: 409,220	0036	409,220	0	1,177.50			TOTAL	1,177.50
059380009560 CB 5938 BLK LOT 956		CHAPA THOMAS & CARMEN M 18323 SONTERRA PL APT 3104 SAN ANTONIO TX 78258-4376 105 BROKEN BOUGH LN CAP HOM O65				LAND: 178,240 IMPR: 190,000 PROD: 0 ASE: 368,240	0036	346,615	21,625	517.51			TOTAL	517.51
059380009570 CB 5938 BLK LOT 957		KUBICEK HAROLD A & MARTHA A 107 BROKEN BOUGH LN SHAVANO PARK TX 78231-1203 107 BROKEN BOUGH LN HOM O65				LAND: 166,370 IMPR: 370,510 PROD: 0 ASE: 536,880	0036	531,880	5,000	960.16			TOTAL	960.16
059380009580 CB 5938 BLK LOT 958		YOUNG JEFFREY JAMES & ELIZABETH MARI 109 BROKEN BOUGH LN SHAVANO PARK TX 78231-1203 109 BROKEN BOUGH LN CAP HOM				LAND: 165,060 IMPR: 196,220 PROD: 0 ASE: 361,280	0036	346,500	14,780	997.03			TOTAL	997.03
059380009590 CB 5938 BLK LOT 959		MAYS MYSTI & MICHAEL 111 BROKEN BOUGH LN SHAVANO PARK TX 78231-1203 111 BROKEN BOUGH LN HOM				LAND: 168,830 IMPR: 443,370 PROD: 0 ASE: 612,200	0036	612,200	0	1,761.56			TOTAL	1,761.56
059380009600 CB 5938 BLK LOT 960		CURRENT PROPERTY OWNER 113 BROKEN BOUGH LN SHAVANO PARK TX 78231-1203 113 BROKEN BOUGH LN CAP HOM O65 VTX				LAND: 177,170 IMPR: 152,300 PROD: 0 ASE: 329,470	0036	0	329,470	0.00			TOTAL	0.00
059380009610 CB 5938 BLK LOT 961		HARKREADER ROBERT A 115 BROKEN BOUGH LN SHAVANO PARK TX 78231-1203 115 BROKEN BOUGH LN CAP HOM O65				LAND: 168,380 IMPR: 190,220 PROD: 0 ASE: 358,600	0036	341,852	16,748	789.52			TOTAL	789.52

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059380009620	CB 5938 BLK LOT 962	CASTANEDA ENRIQUE & YVONNE M	117 BROKEN BOUGH LN		LAND:	165,570	0036	580,840	0	1,671.32				
			SHAVANO PARK TX 78231-1203		IMPR:	415,270								
			117 BROKEN BOUGH LN		PROD:	0						TOTAL		1,671.32
			HOM		ASE:	580,840								
059380009630	CB 5938 BLK LOT 963	PSENCIK LOUIS F & PATRICIA S LIVING	119 BROKEN BOUGH LN		LAND:	181,200	0036	575,120	5,000	885.87				
			SHAVANO PARK TX 78231-1203		IMPR:	398,920								
			119 BROKEN BOUGH LN		PROD:	0						TOTAL		885.87
			HOM O65		ASE:	580,120								
059380009640	CB 5938 BLK LOT 964	MEURER MICHAEL L & DEBRA M	126 BROKEN BOUGH LN		LAND:	166,820	0036	350,000	5,000	776.62				
			SHAVANO PARK TX 78231-1202		IMPR:	188,180								
			126 BROKEN BOUGH LN		PROD:	0						TOTAL		776.62
			HOM O65		ASE:	355,000								
059380009650	CB 5938 BLK LOT 965	KARAM DANIEL J & HELEN S	100 TURKEY CREEK RD		LAND:	169,580	0036	442,560	5,000	1,075.92				
			SHAVANO PARK TX 78231-1237		IMPR:	277,980								
			100 TURKEY CREEK RD		PROD:	0						TOTAL		1,075.92
			HOM O65		ASE:	447,560								
059380009660	CB 5938 BLK LOT 966	VAZQUEZ SHELBY EDUARDO	102 TURKEY CREEK RD		LAND:	170,610	0036	529,220	0	1,522.79				
			SHAVANO PARK TX 78231-1237		IMPR:	358,610								
			102 TURKEY CREEK RD		PROD:	0						TOTAL		1,522.79
			HOM		ASE:	529,220								
059380009680	CB 5938 BLK LOT 968	LYONS LAURENCE J & JOAN	106 TURKEY CREEK RD		LAND:	174,890	0036	334,702	24,438	496.91				
			SHAVANO PARK TX 78231-1237		IMPR:	184,250								
			106 TURKEY CREEK RD		PROD:	0						TOTAL		496.91
			CAP HOM O65		ASE:	359,140								
059380009690	CB 5938 BLK LOT 969	HUEBINGER WAYNE & MARIE G	PO BOX 5398		LAND:	168,690	0036	385,000	5,000	864.00				
			SAN ANTONIO TX 78201-0398		IMPR:	221,310								
			108 TURKEY CREEK RD		PROD:	0						TOTAL		864.00
			HOM O65		ASE:	390,000								
059380009700	CB 5938 BLK LOT 970	YARBROUGH RALPH G & KATHRYN W	110 TURKEY CREEK RD		LAND:	177,420	0036	376,459	23,071	600.28				
			SHAVANO PARK TX 78231-1237		IMPR:	222,110								
			110 TURKEY CREEK RD		PROD:	0						TOTAL		600.28
			VET CAP HOM O65		ASE:	399,530								
059380009710	CB 5938 BLK LOT 971	RICHMOND AMY LOUISE & WATTS BRADLEY	402 HAPPY TRL		LAND:	176,130	0036	387,940	0	1,116.27				
			SHAVANO PARK TX 78231-1424		IMPR:	211,810								
			112 TURKEY CREEK RD		PROD:	0						TOTAL		1,116.27
			HOM		ASE:	387,940								

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059380009720	CB 5938 BLK LOT 972	REES WILLIAM I & JUDITH D 114 TURKEY CREEK RD SHAVANO PARK TX 78231-1237 114 TURKEY CREEK RD HOM O65			LAND: 153,520 IMPR: 240,430 PROD: 0 ASE: 393,950	0036	388,950	5,000	1,099.55			TOTAL	1,099.55
059380009730	CB 5938 BLK LOT 973 #2050071	EPSTEIN CLAYTON S & CAROLYN % DEL REY ENTERPRISES INC 1202 HALLMARK DR STE 106 SAN ANTONIO TX 78216-6058 116 TURKEY CREEK RD HOM			LAND: 207,430 IMPR: 324,570 PROD: 0 ASE: 532,000	0036	532,000	0	1,530.79			TOTAL	1,530.79
059380009740	CB 5938 BLK LOT 974	KELLEY VALERIE PONS 14603 GREEN OAKS WOODS SAN ANTONIO TX 78249-1435 118 TURKEY CREEK RD			LAND: 122,000 IMPR: 0 PROD: 0 ASE: 122,000	0036	122,000	0	351.05			TOTAL	351.05
059380009750	CB 5938 BLK LOT 975	LYN SHAUNA 120 TURKEY CREEK RD SHAVANO PARK TX 78231-1237 120 TURKEY CREEK RD CAP HOM			LAND: 174,080 IMPR: 176,370 PROD: 0 ASE: 350,450	0036	328,438	22,012	945.05			TOTAL	945.05
059380009760	NCB 5938 BLK LOT 976	GREEN HENRY G 122 TURKEY CREEK RD SHAVANO PARK TX 78231-1237 122 TURKEY CREEK RD HOM O65			LAND: 173,330 IMPR: 359,730 PROD: 0 ASE: 533,060	0036	528,060	5,000	852.59			TOTAL	852.59
059380009770	CB 5938 BLK LOT 977	DUKE BOB & MELODY H 124 TURKEY CREEK RD SHAVANO PARK TX 78231-1237 124 TURKEY CREEK RD HOM			LAND: 173,330 IMPR: 235,590 PROD: 0 ASE: 408,920	0036	408,920	0	1,176.63			TOTAL	1,176.63
059380009780	CB 5938 BLK LOT 978	KRAUSE DIAN F 126 TURKEY CREEK RD SHAVANO PARK TX 78231-1237 126 TURKEY CREEK RD HOM O65			LAND: 173,330 IMPR: 206,670 PROD: 0 ASE: 380,000	0036	375,000	5,000	566.22			TOTAL	566.22
059380009790	CB 5938 BLK LOT 979	DANNHARDT DOUGLAS J & JULIE 128 TURKEY CREEK RD SHAVANO PARK TX 78231-1237 128 TURKEY CREEK RD CAP HOM			LAND: 173,330 IMPR: 276,840 PROD: 0 ASE: 450,170	0036	436,007	14,163	1,254.58			TOTAL	1,254.58
059380009800	CB 5938 BLK LOT 980	HELD CHARLES E DR 130 TURKEY CREEK RD SHAVANO PARK TX 78231-1237 130 TURKEY CREEK RD HOM O65			LAND: 173,330 IMPR: 313,380 PROD: 0 ASE: 486,710	0036	481,710	5,000	738.83			TOTAL	738.83

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059380009810 CB 5938 BLK LOT 981		FRIESENHAHN THOMAS & SHELLY	132 TURKEY CREEK RD SHAVANO PARK TX 78231-1237 132 TURKEY CREEK RD CAP HOM			LAND: 173,330 IMPR: 225,020 PROD: 0 ASE: 398,350	0036	396,473	1,877	1,140.82			TOTAL	1,140.82
059380009820 CB 5938 BLK LOT 982		COINDREAU MARK A & COINDREAU MARIANN	134 TURKEY CREEK RD SAN ANTONIO TX 78231-1237 134 TURKEY CREEK RD CAP HOM O65			LAND: 173,020 IMPR: 208,210 PROD: 0 ASE: 381,230	0036	368,120	13,110	557.72			TOTAL	557.72
059380009830 CB 5938 BLK LOT 983		GUERRERO DAVID A	136 TURKEY CREEK RD SHAVANO PARK TX 78231-1237 136 TURKEY CREEK RD HOM O65			LAND: 135,710 IMPR: 282,790 PROD: 0 ASE: 418,500	0036	413,500	5,000	657.75			TOTAL	657.75
059380009840 CB 5938 BLK LOT 984		BLAIR JAMES	138 TURKEY CREEK RD SHAVANO PARK TX 78231-1237 138 TURKEY CREEK RD HOM			LAND: 133,090 IMPR: 306,910 PROD: 0 ASE: 440,000	0036	440,000	0	1,266.06			TOTAL	1,266.06
059380009850 CB 5938 BLK LOT 985		DUKE LAURETTA KRAEMER	140 TURKEY CREEK RD SHAVANO PARK TX 78231-1237 140 TURKEY CREEK RD CAP HOM O65			LAND: 162,380 IMPR: 171,620 PROD: 0 ASE: 334,000	0036	314,990	19,010	578.01			TOTAL	578.01
059380009860 CB 5938 BLK LOT 986		MICHELL WILEY L & ALDER MITCHELL JA	135 TURKEY CREEK RD SHAVANO PARK TX 78231-1239 135 TURKEY CREEK RD VET HOM O65			LAND: 215,150 IMPR: 334,680 PROD: 0 ASE: 549,830	0036	532,830	17,000	1,149.42			TOTAL	1,149.42
059380009870 CB 5938 BLK LOT 987		NACEWSKI JACQUELINE D	133 TURKEY CREEK RD SHAVANO PARK TX 78231-1239 133 TURKEY CREEK RD VET HOM O65			LAND: 154,150 IMPR: 275,700 PROD: 0 ASE: 429,850	0036	412,850	17,000	574.72			TOTAL	574.72
059380009880 CB 5938 BLK LOT 988		NELSON BRYAN & FOLAKEMI	131 TURKEY CREEK RD SHAVANO PARK TX 78231-1239 131 TURKEY CREEK RD HOM			LAND: 173,330 IMPR: 247,720 PROD: 0 ASE: 421,050	0036	421,050	0	1,211.54			TOTAL	1,211.54
059380009890 CB 5938 BLK LOT 989		FANNING LORI L & SHAWN F	129 TURKEY CREEK RD SHAVANO PARK TX 78231-1239 129 TURKEY CREEK RD VET HOM			LAND: 173,330 IMPR: 325,380 PROD: 0 ASE: 498,710	0036	486,710	12,000	1,400.47			TOTAL	1,400.47

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059380009900	CB 5938 BLK LOT 990	FLOOD JOHN E & JANET D	127 TURKEY CREEK RD			LAND: 173,330	0036	454,440	0	1,307.61				
		127 TURKEY CREEK RD				IMPR: 281,110								
		SHAVANO PARK TX 78231-1239				PROD: 0						TOTAL		1,307.61
		127 TURKEY CREEK RD				ASE: 454,440								
		HOM												
059380009910	CB 5938 BLK LOT 991	VANNEST JOHN & GRACE ATR	OF THE VANNEST TRUST			LAND: 173,330	0036	0	372,840	0.00				
		125 TURKEY CREEK RD				IMPR: 199,510								
		SHAVANO PARK TX 78231-1239				PROD: 0						TOTAL		0.00
		125 TURKEY CREEK RD				ASE: 372,840								
		CAP HOM O65 VTX												
059380009920	CB 5938 BLK LOT 992	BURNS MICHAEL	123 TURKEY CREEK RD			LAND: 174,890	0036	278,300	16,700	800.79				
		SHAVANO PARK TX 78231-1239				IMPR: 120,110								
		123 TURKEY CREEK RD				PROD: 0						TOTAL		800.79
		CAP HOM				ASE: 295,000								
059380010010	CB 5938 BLK 1 LOT 1 # C6-11606	KUSCH JANET A	100 CLIFFSIDE DR			LAND: 360,290	0036	592,607	7,393	1,324.32				
		SHAVANO PARK TX 78231-1509				IMPR: 239,710								
		100 CLIFFSIDE DR				PROD: 0						TOTAL		1,324.32
		CAP HOM O65				ASE: 600,000								
059380010020	CB 5938 BLK 1 LOT 2 # C55-12705	ALVAREZ FLAVIO & PAMELA	102 CLIFFSIDE DR			LAND: 364,990	0036	646,100	0	1,859.10				
		SHAVANO PARK TX 78231-1509				IMPR: 281,110								
		102 CLIFFSIDE DR				PROD: 0						TOTAL		1,859.10
		HOM				ASE: 646,100								
059380010030	CB 5938 BLK 1 LOT 3	TRAVIS DEAN RANDAL	104 CLIFFSIDE DR			LAND: 360,290	0036	750,000	0	2,158.07				
		SHAVANO PARK TX 78231-1509				IMPR: 389,710								
		104 CLIFFSIDE DR				PROD: 0						TOTAL		2,158.07
						ASE: 750,000								
059380010040	CB 5938 BLK 1 LOT 4	WALKER KEVIN & KATHY	106 CLIFFSIDE DR			LAND: 360,290	0036	655,000	0	1,884.71				
		SHAVANO PARK TX 78231-1509				IMPR: 294,710								
		106 CLIFFSIDE DR				PROD: 0						TOTAL		1,884.71
		HOM				ASE: 655,000								
059380010050	CB 5938 BLK 1 LOT TR 5	MILLER TAMMARA	108 CLIFFSIDE DR			LAND: 360,290	0036	987,540	0	2,841.57				
		SHAVANO PARK TX 78231-1509				IMPR: 627,250								
		108 CLIFFSIDE DR				PROD: 0						TOTAL		2,841.57
						ASE: 987,540								
059380010100	CB 5938 BLK 1 LOT 10	WALTHALL MADELINE H	120 CLIFFSIDE DR			LAND: 390,580	0036	547,356	67,724	687.83				
		SHAVANO PARK TX 78231-1509				IMPR: 224,500								
		120 CLIFFSIDE DR				PROD: 0						TOTAL		687.83
		VET CAP HOM O65				ASE: 615,080								

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059380010110 CB 5938 BLK 1 LOT 11		MARNAN HOWARD & MAUREEN M	122 CLIFFSIDE DR SHAVANO PARK TX 78231-1509 122 CLIFFSIDE DR CAP HOM O65			LAND: 400,480 IMPR: 161,360 PROD: 0 ASE: 561,840	0036	483,582	78,258	648.60		TOTAL		648.60
059380010120 CB 5938 BLK 1 LOT 12		PINA EDUARDO & LETICIA R	124 CLIFFSIDE DR SHAVANO PARK TX 78231-1509 124 CLIFFSIDE DR HOM			LAND: 393,230 IMPR: 437,950 PROD: 0 ASE: 831,180	0036	831,180	0	2,391.65		TOTAL		2,391.65
059380010130 CB 5938 BLK 1 LOT 13		KALMBACH LAUREN SCOTT & JOHN BROOKS	126 CLIFFSIDE DR SHAVANO PARK TX 78231-1509 126 CLIFFSIDE DR HOM			LAND: 333,130 IMPR: 366,950 PROD: 0 ASE: 700,080	0036	700,080	0	2,014.42		TOTAL		2,014.42
059380010140 CB 5938 BLK 1 LOT 14		KUYKENDALL ANNICE & KONRAD	128 CLIFFSIDE DR SHAVANO PARK TX 78231-1509 128 CLIFFSIDE DR HOM			LAND: 206,740 IMPR: 278,750 PROD: 0 ASE: 485,490	0036	485,490	0	1,396.96		TOTAL		1,396.96
059380011248 CB 5938 BLK LOT 1248A (SHAVANO PARK UT-15A)		YOUNG ROBERT N	105 WARBLER WAY SHAVANO PARK TX 78231-1436 105 WARBLER WAY			LAND: 339,180 IMPR: 1,430,820 PROD: 0 ASE: 1,770,000	0036	1,770,000	0	5,093.03		TOTAL		5,093.03
059380011299 CB: 5938 LOT: 1299-A SHAVANO PARK UNIT-15B		COULOMBE ARTHUR & CYNTHIA	105 BOBCAT BND SHAVANO PARK TX 78231-1442 105 BOBCAT BND HOM O65			LAND: 277,480 IMPR: 591,780 PROD: 0 ASE: 869,260	0036	864,260	5,000	2,074.13		TOTAL		2,074.13
059380011301 CB: 5938 LOT: 1301-B SHAVANO PARK UNIT-15B		WONG ELIZABETH A	910 S ALAMO ST SAN ANTONIO TX 78205-3419 109 BOBCAT BND HOM			LAND: 279,840 IMPR: 531,160 PROD: 0 ASE: 811,000	0036	811,000	0	2,333.59		TOTAL		2,333.59
059380011328 CB 5938 (SHAVANO PARK UT-17A), LOT 1328A		GORDER JOSEPH W & LACIE M	514 BENTLEY MNR SHAVANO PARK TX 78249-2065 3819 DE ZAVALA RD			LAND: 685,520 IMPR: 1,296,380 PROD: 0 ASE: 1,981,900	0036	1,981,900	0	5,702.76		TOTAL		5,702.76
059380011386 CB 5938 BLK LOT 1386A DE ZAVALA ESTATES P.U.D.		SILVA JAMES	8 DE ZAVALA PL SHAVANO PARK TX 78231-1446 8 DE ZAVALA PL HOM			LAND: 296,740 IMPR: 618,260 PROD: 0 ASE: 915,000	0036	915,000	0	2,632.84		TOTAL		2,632.84

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059380013660	CB 5938 BLK 1 LOT 366	CAMERON IVAN L & LORALEE L	1251 RIDGE CREEK LANE		LAND:	393,230	0036	540,879	59,111	771.52				
			BULVERDE TX 78163-		IMPR:	206,760								
			110 CLIFFSIDE DR		PROD:	0						TOTAL		771.52
			CAP HOM O65		ASE:	599,990								
059380013670	NCB 5938 BLK 1 LOT 367 # C-40779	BIRKELO EDWARD BRYANT	112 CLIFFSIDE DR		LAND:	415,150	0036	516,077	72,793	1,484.97				
			SHAVANO PARK TX 78231-1509		IMPR:	173,720								
			112 CLIFFSIDE DR		PROD:	0						TOTAL		1,484.97
			CAP HOM		ASE:	588,870								
059380013680	CB 5938 BLK 1 LOT 368	GAMBINO DANIEL & EMILY	114 CLIFFSIDE DR		LAND:	438,810	0036	438,810	0	1,262.64				
			SHAVANO PARK TX 78231-1509		IMPR:	0								
			114 CLIFFSIDE DR		PROD:	0						TOTAL		1,262.64
					ASE:	438,810								
059380013690	CB 5938 BLK 1 LOT 369 # C-37429	KLINE SHERMAN S & GAIL	116 CLIFFSIDE DR		LAND:	393,230	0036	404,948	146,152	584.20				
			SHAVANO PARK TX 78231-1509		IMPR:	157,870								
			116 CLIFFSIDE DR		PROD:	0						TOTAL		584.20
			CAP HOM O65		ASE:	551,100								
059380013700	CB 5938 BLK 1 LOT 370	SHIELDS WILLIAM R & BONNIE	118 CLIFFSIDE DR		LAND:	385,660	0036	434,799	108,241	751.13				
			SHAVANO PARK TX 78231-1509		IMPR:	157,380								
			118 CLIFFSIDE DR		PROD:	0						TOTAL		751.13
			CAP HOM O65		ASE:	543,040								
059380020150	CB 5938 BLK 2 LOT 15	GELFER HOWARD E & MILDRED	125 CLIFFSIDE DR		LAND:	228,680	0036	485,000	5,000	1,253.95				
			SHAVANO PARK TX 78231-1510		IMPR:	261,320								
			125 CLIFFSIDE DR		PROD:	0						TOTAL		1,253.95
			HOM O65		ASE:	490,000								
059380020160	CB 5938 BLK 2 LOT 16	SCHOENERT BETTY	123 CLIFFSIDE DR		LAND:	242,990	0036	467,510	5,000	802.58				
			SHAVANO PARK TX 78231-1510		IMPR:	229,520								
			123 CLIFFSIDE DR		PROD:	0						TOTAL		802.58
			HOM O65		ASE:	472,510								
059380020170	CB 5938 BLK 2 LOT 17 # C-40193	TAYLOR AMANDA	121 CLIFFSIDE DR		LAND:	252,290	0036	452,600	0	1,302.32				
			SHAVANO PARK TX 78231-1510		IMPR:	200,310								
			121 CLIFFSIDE DR		PROD:	0						TOTAL		1,302.32
			HOM		ASE:	452,600								
059380020180	CB 5938 BLK 2 LOT 18	NELSON CHARLES SCHREINER JR	201 E OLMOS DR		LAND:	260,710	0036	536,640	0	1,544.14				
			SAN ANTONIO TX 78212-2028		IMPR:	275,930								
			119 CLIFFSIDE DR		PROD:	0						TOTAL		1,544.14
					ASE:	536,640								

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059380020220	CB 5938 BLK 2 LOT 22	FRASIER JASON & CARRIE	111 CLIFFSIDE DR			LAND: 323,460	0036	898,100	0	2,584.21				
		SHAVANO PARK TX 78231-1510	111 CLIFFSIDE DR			IMPR: 574,640								
		HOM				PROD: 0						TOTAL		2,584.21
						ASE: 898,100								
059380020230	CB 5938 BLK 2 LOT 23	HEDGES PARK J	107 CLIFFSIDE DR			LAND: 333,130	0036	572,669	4,731	1,647.81				
		SHAVANO PARK TX 78231-1510	107 CLIFFSIDE DR			IMPR: 244,270								
		CAP HOM				PROD: 0						TOTAL		1,647.81
						ASE: 577,400								
059380020240	CB 5938 BLK 2 LOT 24	REYES RAMIRO TORRES	105 CLIFFSIDE DR			LAND: 333,130	0036	674,000	0	1,939.38				
		SHAVANO PARK TX 78231-1510	105 CLIFFSIDE DR			IMPR: 340,870								
		HOM				PROD: 0						TOTAL		1,939.38
						ASE: 674,000								
059380020250	CB 5938 BLK 2 LOT 25 #C6-15870	HAAS JACQUELINE M & DREHER ROBERT P	103 CLIFFSIDE DR			LAND: 339,520	0036	458,454	26,546	905.60				
		SHAVANO PARK TX 78231-1510	103 CLIFFSIDE DR			IMPR: 145,480								
		CAP HOM O65				PROD: 0						TOTAL		905.60
						ASE: 485,000								
059380020260	CB 5938 BLK 2 LOT 26	FLYNN ROBERT L & NORMA JEAN	101 CLIFFSIDE DR			LAND: 363,450	0036	480,815	19,185	595.64				
		SHAVANO PARK TX 78231-1510	101 CLIFFSIDE DR			IMPR: 136,550								
		CAP HOM O65				PROD: 0						TOTAL		595.64
						ASE: 500,000								
059380020270	CB 5938 BLK 2 LOT 27	WESTON FREDERICK H JR & BARBARA M	100 BENT OAK DR			LAND: 401,180	0036	439,309	95,791	523.06				
		SHAVANO PARK TX 78231-1503	100 BENT OAK DR			IMPR: 133,920								
		CAP HOM O65				PROD: 0						TOTAL		523.06
						ASE: 535,100								
059380020280	CB 5938 BLK 2 LOT 28 & 29	ELLIOTT DONALD G	104 BENT OAK DR			LAND: 537,880	0036	1,706,420	5,000	4,376.56				
		SHAVANO PARK TX 78231-1503	104 BENT OAK DR			IMPR: 1,173,540								
		HOM O65				PROD: 0						TOTAL		4,376.56
						ASE: 1,711,420								
059380020300	CB 5938 BLK 2 LOT 30	BUCK DAVID J & ELLEN S	106 BENT OAK DR			LAND: 333,130	0036	590,952	718	1,700.42				
		SHAVANO PARK TX 78231-1503	106 BENT OAK DR			IMPR: 258,540								
		CAP HOM				PROD: 0						TOTAL		1,700.42
						ASE: 591,670								
059380020310	CB 5938 BLK 2 LOT 31	WOLFF JACK L & SILVIA D	108 BENT OAK DR			LAND: 427,590	0036	483,710	86,680	1,391.84				
		SHAVANO PARK TX 78231-1503	108 BENT OAK DR			IMPR: 142,800								
		CAP HOM				PROD: 0						TOTAL		1,391.84
						ASE: 570,390								

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059380020320 CB 5938 BLK 2 LOT 32	SPEIGHTS JAMES W & IMA 110 BENT OAK DR SHAVANO PARK TX 78231-1503 110 BENT OAK DR CAP HOM O65	LAND: IMPR: PROD: ASE:	443,960 441,340 0 885,300	0036	874,186	11,114	1,755.37			TOTAL		1,755.37
059380020330 CB 5938 BLK 2 LOT 33 EXC NE 33FT X 23 FT TRI	GONZALEZ RINALDO J 7800 W INTERSTATE 10 STE 505 SAN ANTONIO TX 78230-4723 200 CLIFFSIDE DR HOM O65	LAND: IMPR: PROD: ASE:	252,290 392,710 0 645,000	0036	640,000	5,000	1,452.25			TOTAL		1,452.25
059380020340 CB 5938 BLK 2 LOT 34	SCHMIDT JONATHAN E 202 CLIFFSIDE DR SHAVANO PARK TX 78231-1511 202 CLIFFSIDE DR HOM O65	LAND: IMPR: PROD: ASE:	211,580 239,780 0 451,360	0036	446,360	5,000	821.42			TOTAL		821.42
059380020350 CB 5938 BLK 2 LOT 35	GIROUARD MICHAEL RICHARD & JOY D 204 CLIFFSIDE DR SHAVANO PARK TX 78231-1511 204 CLIFFSIDE DR HOM	LAND: IMPR: PROD: ASE:	267,350 730,490 0 997,840	0036	997,840	0	2,871.20			TOTAL		2,871.20
059380020361 CB 5938 BLK 2 LOT SE 25 FT X 39.39 FT OF 36	CITY OF SHAVANO PARK 900 SADDLETREE CT SHAVANO PARK TX 78231-1599 0 CLIFFSIDE DR EXXV	LAND: IMPR: PROD: ASE:	18,000 0 0 18,000	0036	0	18,000	0.00			TOTAL		0.00
059380020370 CB 5938 BLK 2 LOT E 203 FT OF 37 W TRI 22 FT OF 36	COOPER JOSEPH ALEXANDER 208 CLIFFSIDE DR SHAVANO PARK TX 78231-1511 208 CLIFFSIDE DR HOM	LAND: IMPR: PROD: ASE:	262,710 87,290 0 350,000	0036	350,000	0	1,007.10			TOTAL		1,007.10
059380020380 CB 5938 BLK 2 LOT 38, SW TRI 22 FT OF 37	BASHKIROFF NICHOLAS A & PEGGY W 8827 ROQUEFORT SAN ANTONIO TX 78250-6337 210 CLIFFSIDE DR	LAND: IMPR: PROD: ASE:	263,000 133,000 0 396,000	0036	396,000	0	1,139.46			TOTAL		1,139.46
059380021660 CB 5938 BLK 2 LOT 166	NYLUND ERIN L & SCOTT J 117 CLIFFSIDE DR SHAVANO PARK TX 78231-1510 117 CLIFFSIDE DR HOM	LAND: IMPR: PROD: ASE:	267,350 178,730 0 446,080	0036	446,080	0	1,283.56			TOTAL		1,283.56
059380021670 CB 5938 BLK 2 LOT 167	HUDSON BRANDON & AMY 115 CLIFFSIDE DR SHAVANO PARK TX 78231-1510 115 CLIFFSIDE DR HOM	LAND: IMPR: PROD: ASE:	302,540 250,460 0 553,000	0036	553,000	0	1,591.21			TOTAL		1,591.21

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059380021680 CB 5938 BLK 2 LOT 168		WILLING JOHN R & SUSAN G	113 CLIFFSIDE DR SHAVANO PARK TX 78231-1510 113 CLIFFSIDE DR HOM O65			LAND: 340,490 IMPR: 739,510 PROD: 0 ASE: 1,080,000	0036	1,075,000	5,000	3,093.23			TOTAL	3,093.23
059380030420 CB 5938 BLK 3 LOT 42		POPP ANGELINE R & ROBERT M	113 BENT OAK DR SHAVANO PARK TX 78231-1504 113 BENT OAK DR CAP HOM O65			LAND: 299,320 IMPR: 123,110 PROD: 0 ASE: 422,430	0036	403,665	18,765	690.24			TOTAL	690.24
059380030430 CB 5938 BLK 3 LOT 43		CARVAJAL ERIC	111 BENT OAK DR SHAVANO PARK TX 78231-1504 111 BENT OAK DR			LAND: 292,550 IMPR: 122,450 PROD: 0 ASE: 415,000	0036	415,000	0	1,194.13			TOTAL	1,194.13
059380030440 CB 5938 BLK 3 LOT 44		TAYLOR CHRISTINE & ZACHARY E	109 BENT OAK DR SHAVANO PARK TX 78231-1504 109 BENT OAK DR HOM			LAND: 317,530 IMPR: 149,160 PROD: 0 ASE: 466,690	0036	466,690	0	1,342.86			TOTAL	1,342.86
059380030450 CB 5938 BLK 3 LOT 45		CARVAJAL HUGO F & SUSAN	107 BENT OAK DR SHAVANO PARK TX 78231-1504 107 BENT OAK DR HOM O65			LAND: 312,120 IMPR: 564,210 PROD: 0 ASE: 876,330	0036	871,330	5,000	2,507.18			TOTAL	2,507.18
059380030460 CB 5938 BLK 3 LOT 46 # VC-33469		EALY JACK M & ELFRIEDA W	REVOCABLE LIVING TRUST 105 BENT OAK DR SHAVANO PARK TX 78231-1504 105 BENT OAK DR VET HOM O65			LAND: 310,270 IMPR: 139,730 PROD: 0 ASE: 450,000	0036	433,000	17,000	596.41			TOTAL	596.41
059380030470 CB 5938 BLK 3 LOT 47		GOLDMAN MICHAEL A	103 BENT OAK DR SHAVANO PARK TX 78231-1504 103 BENT OAK DR HOM			LAND: 321,260 IMPR: 732,260 PROD: 0 ASE: 1,053,520	0036	1,053,520	0	3,031.42			TOTAL	3,031.42
059380030480 CB 5938 BLK 3 LOT 48		CAMINO BEND PROPERTIES LLC	101 BENT OAK DR SHAVANO PARK TX 78231-1504 101 BENT OAK DR			LAND: 327,110 IMPR: 0 PROD: 0 ASE: 327,110	0036	327,110	0	941.23			TOTAL	941.23
059380030490 CB 5938 BLK 3 LOT 49		GARCIA DAVID A & ANA MARIA	100 WINDMILL RD SHAVANO PARK TX 78231-1547 100 WINDMILL RD CAP HOM			LAND: 391,060 IMPR: 232,170 PROD: 0 ASE: 623,230	0036	575,416	47,814	1,655.71			TOTAL	1,655.71

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059380030500	CB 5938 BLK 3 LOT 50	BOAZMAN RAY L & ELIZABETH D KOCUREK	102 WINDMILL RD SHAVANO PARK TX 78231-1547			LAND: 388,780 IMPR: 833,530 PROD: 0 ASE: 1,222,310	0036	1,217,310	5,000	2,710.27			TOTAL	2,710.27
059380030510	CB 5938 BLK 3 LOT 51	HEEMANN JOSEPH J & YOLANDA D	104 WINDMILL RD SHAVANO PARK TX 78231-1547			LAND: 344,410 IMPR: 156,460 PROD: 0 ASE: 500,870	0036	453,868	47,002	1,185.94			TOTAL	1,185.94
059380030520	CB 5938 BLK 3 LOT W 195 FT OF 52	JONES KARIN	106 WINDMILL RD SHAVANO PARK TX 78231-1547			LAND: 345,710 IMPR: 147,080 PROD: 0 ASE: 492,790	0036	371,489	121,301	526.99			TOTAL	526.99
059380030530	CB 5938 BLK 3 LOT NE 25 FT OF 52 & 53 EXC NE 20 FT	SCHWAB JANICE LOUISE	119 LONG BOW RD SHAVANO PARK TX 78231-1210			LAND: 345,550 IMPR: 40,000 PROD: 0 ASE: 385,550	0036	385,550	0	1,109.39			TOTAL	1,109.39
059380030540	CB 5938 BLK 3 LOT 54 & E 20 FT OF 53	GILLETTE MARJORIE	3602 STONEHAVEN DR SAN ANTONIO TX 78230-3219			LAND: 314,560 IMPR: 189,370 PROD: 0 ASE: 503,930	0036	503,930	0	1,450.02			TOTAL	1,450.02
059380031610	CB 5938 BLK 3 LOT 161	SCHULTZ RYAN A & REBECCA W	13702 RIDGE CHASE SAN ANTONIO TX 78230-1189			LAND: 265,210 IMPR: 0 PROD: 0 ASE: 265,210	0036	265,210	0	763.12			TOTAL	763.12
059380031620	CB 5938 BLK 3 LOT 162	GONZALEZ JUAN A & NANCY J	308 CLIFFSIDE DR SHAVANO PARK TX 78231-1512			LAND: 263,070 IMPR: 312,010 PROD: 0 ASE: 575,080	0036	575,080	0	1,654.75			TOTAL	1,654.75
059380031630	CB 5938 BLK 3 LOT 163	GIBSON GREGORY L & COURTNEY C	304 CLIFFSIDE DR SHAVANO PARK TX 78231-1512			LAND: 257,330 IMPR: 292,670 PROD: 0 ASE: 550,000	0036	550,000	0	1,582.58			TOTAL	1,582.58
059380031640	CB 5938 BLK 3 LOT 164	RYAN MICHAEL P & SANDRA L	302 CLIFFSIDE DR SHAVANO PARK TX 78231-1512			LAND: 256,590 IMPR: 335,310 PROD: 0 ASE: 591,900	0036	591,900	0	1,703.14			TOTAL	1,703.14

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059380040661	CB 5938 BLK 4 LOT 66 & 66A CB 4782 P-10 & P-10A ABS 482 (1.929 AC)	FLORES ROSEMARY	101 WINDMILL RD SHAVANO PARK TX 78231-1548			LAND: 419,920 IMPR: 150,080 PROD: 0 ASE: 570,000	0036	518,416	51,584	1,230.31		TOTAL		1,230.31
059380040670	CB 5938 BLK 4 LOT 67	REDWINE WANDA U EST OF	104 FAWN DR SHAVANO PARK TX 78231-1515			LAND: 253,240 IMPR: 116,250 PROD: 0 ASE: 369,490	0036	369,490	0	1,063.18		TOTAL		1,063.18
059380040680	CB 5938 BLK 4 LOT 68	KAZEN OSCAR & MELISSA	411 GARRATY RD SAN ANTONIO TX 78209-5938			LAND: 269,540 IMPR: 160,180 PROD: 0 ASE: 429,720	0036	429,720	0	1,236.48		TOTAL		1,236.48
059380040690	CB 5938 BLK 4 LOT 69	MURPHY DEXTER R & DEBORAH D	108 FAWN DR SHAVANO PARK TX 78231-1515			LAND: 272,660 IMPR: 315,340 PROD: 0 ASE: 588,000	0036	583,000	5,000	1,677.54		TOTAL		1,677.54
059380040700	CB 5938 BLK 4 LOT 70	PATTERSON JERRY W & ALLYSON GEORGE	110 FAWN DR SHAVANO PARK TX 78231-1515			LAND: 276,620 IMPR: 122,510 PROD: 0 ASE: 399,130	0036	391,089	8,041	714.97		TOTAL		714.97
059380040710	CB 5938 BLK 4 LOT 71 # C-37732	NELSON MARK H	112 FAWN DR SHAVANO PARK TX 78231-1515			LAND: 279,500 IMPR: 135,500 PROD: 0 ASE: 415,000	0036	415,000	0	1,194.13		TOTAL		1,194.13
059380040720	CB 5938 BLK 4 LOT 72	COUNTRYMAN THOMAS A & JEAN	114 FAWN DR SHAVANO PARK TX 78231-1515			LAND: 280,650 IMPR: 204,350 PROD: 0 ASE: 485,000	0036	485,000	0	1,395.55		TOTAL		1,395.55
059380040730	CB 5938 BLK 4 LOT 73	BISHOP WALLACE BRANDON & MELISSA F	116 FAWN DR SHAVANO PARK TX 78231-1515			LAND: 286,920 IMPR: 209,250 PROD: 0 ASE: 496,170	0036	496,170	0	1,427.69		TOTAL		1,427.69
059380040740	CB 5938 BLK 4 LOT 74, EXC S 100 FT # 4146945	PIERCE JOEL DAVID & JESSICA L	118 FAWN DR SHAVANO PARK TX 78231-1515			LAND: 230,180 IMPR: 279,820 PROD: 0 ASE: 510,000	0036	505,000	5,000	1,453.10		TOTAL		1,453.10

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059380040741	CB 5938 BLK 4 LOT S 100 FT OF 74	CITY OF SHAVANO PARK	900 SADDLETREE CT			LAND: 230,980	0036	0	230,980	0.00				
			SHAVANO PARK TX 78231-1599			IMPR: 0								
			118 FAWN DR			PROD: 0						TOTAL		0.00
			EXXV			ASE: 230,980								
059380040750	CB 5938 BLK 4 LOT 75	STRODE MARC & SUSAN P	404 CLIFFSIDE DR			LAND: 274,310	0036	512,040	0	1,473.35				
			SHAVANO PARK TX 78231-1513			IMPR: 237,730								
			404 CLIFFSIDE DR			PROD: 0						TOTAL		1,473.35
			HOM			ASE: 512,040								
059380040760	CB 5938 BLK 4 LOT 76	MIMARI GEORGE E & MAUREEN	406 CLIFFSIDE DR			LAND: 281,120	0036	682,510	5,000	1,712.00				
			SHAVANO PARK TX 78231-1513			IMPR: 406,390								
			406 CLIFFSIDE DR			PROD: 0						TOTAL		1,712.00
			HOM O65			ASE: 687,510								
059380040770	CB 5938 BLK 4 LOT 77	MADAN PANKAJ	408 CLIFFSIDE DR			LAND: 280,740	0036	653,310	0	1,879.85				
			SHAVANO PARK TX 78231-1513			IMPR: 372,570								
			408 CLIFFSIDE DR			PROD: 0						TOTAL		1,879.85
			HOM			ASE: 653,310								
059380050780	CB 5938 BLK 5 LOT 78	OVERSTREET AMY M	410 CLIFFSIDE DR			LAND: 228,680	0036	613,000	0	1,763.86				
			SHAVANO PARK TX 78231-1513			IMPR: 384,320								
			410 CLIFFSIDE DR			PROD: 0						TOTAL		1,763.86
			HOM			ASE: 613,000								
059380050831	CB 5938 BLK 5 LOT 83A	DEAN BLANCHE MONTELONGO	422 CLIFFSIDE DR			LAND: 201,680	0036	344,010	0	989.86				
			SHAVANO PARK TX 78231-1513			IMPR: 142,330								
			422 CLIFFSIDE DR			PROD: 0						TOTAL		989.86
			HOM			ASE: 344,010								
059380050850	CB 5938 BLK 5 LOT 85	CATALANI KEVIN MARTIN & ERIN M	424 CLIFFSIDE DR			LAND: 254,160	0036	451,150	0	1,298.15				
			SHAVANO PARK TX 78231-1513			IMPR: 196,990								
			424 CLIFFSIDE DR			PROD: 0						TOTAL		1,298.15
			HOM			ASE: 451,150								
059380050860	CB 5938 BLK 5 LOT 86	FILIPOWICZ JAMES JAY & GAYLYNN ADAMS	204 SADDLETREE RD			LAND: 303,920	0036	704,880	0	2,028.24				
			SHAVANO PARK TX 78231-1500			IMPR: 400,960								
			204 SADDLETREE RD			PROD: 0						TOTAL		2,028.24
			HOM			ASE: 704,880								
059380050870	CB 5938 BLK 5 LOT 87	VALENZUELA AARON & SARA R	202 SADDLETREE RD			LAND: 302,540	0036	560,000	5,000	1,120.92				
			SHAVANO PARK TX 78231-1500			IMPR: 262,460								
			202 SADDLETREE RD			PROD: 0						TOTAL		1,120.92
			HOM O65			ASE: 565,000								

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059380050880	CB 5938 BLK 5 LOT 88	LANE KIMBERLY K	200 SADDLETREE RD		LAND:	302,540	0036	870,000	0	2,503.36				
		SHAVANO PARK TX 78231-1543	200 SADDLETREE RD		IMPR:	567,460								
		HOM			PROD:	0						TOTAL		2,503.36
					ASE:	870,000								
059380050890	CB 5938 BLK 5 LOT 89	CASON KENNETH P & KRISTI D MADSEN-CA	205 FAWN DR		LAND:	274,310	0036	490,000	0	1,409.94				
		SHAVANO PARK TX 78231-1518	205 FAWN DR		IMPR:	215,690								
		HOM			PROD:	0						TOTAL		1,409.94
					ASE:	490,000								
059380050900	CB 5938 BLK 5 LOT 90	HORNER BERNARD GENTZEN III & BIANCA	203 FAWN DR		LAND:	237,840	0036	634,170	0	1,824.77				
		SHAVANO PARK TX 78231-1518	203 FAWN DR		IMPR:	396,330								
		HOM			PROD:	0						TOTAL		1,824.77
					ASE:	634,170								
059380050910	CB 5938 BLK 5 LOT 91	RYCKMAN MICHELE M	201 FAWN DR		LAND:	245,120	0036	320,650	11,140	922.64				
		SHAVANO PARK TX 78231-1518	201 FAWN DR		IMPR:	86,670								
		CAP HOM			PROD:	0						TOTAL		922.64
					ASE:	331,790								
059380051690	CB 5938 BLK 5 LOT 169	GONSALVES STEPHEN F & ANN W	412 CLIFFSIDE DR		LAND:	273,220	0036	759,550	0	2,185.54				
		SHAVANO PARK TX 78231-1513	412 CLIFFSIDE DR		IMPR:	486,330								
		HOM			PROD:	0						TOTAL		2,185.54
					ASE:	759,550								
059380051700	CB 5938 BLK 5 LOT 170	ADAMS DAVID CROCKETT & ADAMS TODD &	414 CLIFFSIDE DR		LAND:	279,840	0036	823,210	5,000	1,432.56				
		SHAVANO PARK TX 78231-1513	414 CLIFFSIDE DR		IMPR:	548,370								
		HOM O65			PROD:	0						TOTAL		1,432.56
					ASE:	828,210								
059380051710	CB 5938 BLK 5 LOT 171	BERIOS IOANNIS & GRACE A	416 CLIFFSIDE DR		LAND:	277,890	0036	627,460	0	1,805.47				
		SHAVANO PARK TX 78231-1513	416 CLIFFSIDE DR		IMPR:	349,570								
		HOM			PROD:	0						TOTAL		1,805.47
					ASE:	627,460								
059380051720	CB 5938 BLK 5 LOT 172 (1.29), CB 4784 P-1A (.089), P-1B (.050), P-1K (.183), P-1L (.062) ABS 400	MINOR JESSE E & SUSAN A	8000 W INTERSTATE 10 STE 705		LAND:	271,550	0036	1,166,610	5,000	3,107.61				
		SAN ANTONIO TX 78230-3863	411 CLIFFSIDE DR		IMPR:	900,060								
		HOM O65			PROD:	0						TOTAL		3,107.61
					ASE:	1,171,610								
059380060920	CB 5938 BLK 6 LOT 92C EXC SW TRI 40 FT	JACKSON SUSAN C & PHILIP W	200 FAWN DR		LAND:	217,680	0036	538,660	5,000	1,405.62				
		SHAVANO PARK TX 78231-1517	200 FAWN DR		IMPR:	325,980								
		HOM O65			PROD:	0						TOTAL		1,405.62
					ASE:	543,660								

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059380060990	CB 5938 BLK 6 LOT 99	SCOTT DAVID LEE & TERRY ANN	100 SADDLETREE RD			LAND: 298,730	0036	952,970	0	2,200.55				
		SHAVANO PARK TX 78231-1541	100 SADDLETREE RD			IMPR: 654,240								
		DRH HOM				PROD: 0						TOTAL		2,200.55
						ASE: 952,970								
059380061000	CB 5938 BLK 6 LOT 100 # C55-12678	STILL JUSTIN B & KARA S	102 SADDLETREE RD			LAND: 286,920	0036	556,020	0	1,599.90				
		SHAVANO PARK TX 78231-1541	102 SADDLETREE RD			IMPR: 269,100								
		HOM				PROD: 0						TOTAL		1,599.90
						ASE: 556,020								
059380061010	CB 5938 BLK 6 LOT 101	KALTER STEVEN P & KAREN B	104 SADDLETREE RD			LAND: 304,620	0036	609,540	5,000	1,560.40				
		SHAVANO PARK TX 78231-1541	104 SADDLETREE RD			IMPR: 309,920								
		HOM O65				PROD: 0						TOTAL		1,560.40
						ASE: 614,540								
059380061020	CB 5938 BLK 6 LOT 102	CLOSNER G BENNETT & SUSAN L	106 SADDLETREE RD			LAND: 342,490	0036	678,190	5,000	1,673.79				
		SHAVANO PARK TX 78231-1541	106 SADDLETREE RD			IMPR: 340,700								
		HOM O65				PROD: 0						TOTAL		1,673.79
						ASE: 683,190								
059380061030	CB 5938 BLK 6 LOT 103 C7-16102	SEDGWICK SHANNON D & DAVIS SAMUEL J	108 SADDLETREE RD			LAND: 352,850	0036	716,040	0	2,060.35				
		SHAVANO PARK TX 78231-1541	108 SADDLETREE RD			IMPR: 363,190								
		HOM				PROD: 0						TOTAL		2,060.35
						ASE: 716,040								
059380061040	CB 5938 BLK 6 LOT 104A	SCHMIDT DONALD R	110 SADDLETREE RD			LAND: 356,830	0036	589,812	25,278	847.35				
		SHAVANO PARK TX 78231-1541	110 SADDLETREE RD			IMPR: 258,260								
		CAP HOM O65				PROD: 0						TOTAL		847.35
						ASE: 615,090								
059380061050	CB 5938 BLK 6 LOT N IRRG 545.81 FT OF 105	ALLAN WILLIAM NELSON IV	206 FAWN DR			LAND: 344,320	0036	815,000	0	2,345.10				
		SHAVANO PARK TX 78231-1517	206 FAWN DR			IMPR: 470,680								
		HOM				PROD: 0						TOTAL		2,345.10
						ASE: 815,000								
059380063320	CB 5938 BLK 6 LOT 332	NASH WILLIAM B & JODY A	207 SWITCH OAK			LAND: 277,890	0036	277,890	0	799.61				
		SHAVANO PARK TX 78230-5621	107 FAWN DR			IMPR: 0								
						PROD: 0						TOTAL		799.61
						ASE: 277,890								
059380063330	CB 5938 BLK 6 LOT 333	HAGLUND LORI H & C DONALD JR	109 FAWN DR			LAND: 280,120	0036	575,730	5,000	1,126.46				
		SHAVANO PARK TX 78231-1516	109 FAWN DR			IMPR: 300,610								
		HOM O65				PROD: 0						TOTAL		1,126.46
						ASE: 580,730								

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059380063340	CB 5938 BLK 6 LOT 334	QUINN DENNA L	111 FAWN DR			LAND: 283,330	0036	464,577	10,233	603.49				
		SHAVANO PARK TX 78231-1516	111 FAWN DR			IMPR: 191,480								
		S65 CAP HOM				PROD: 0						TOTAL		603.49
						ASE: 474,810								
059380063350	CB 5938 BLK 6 LOT 335	SAENZ DANIEL	2515 PLEASANTON RD			LAND: 293,380	0036	328,450	0	945.09				
		SAN ANTONIO TX 78221-1506	113 FAWN DR			IMPR: 35,070								
						PROD: 0						TOTAL		945.09
						ASE: 328,450								
059380063360	CB 5938 BLK 6 LOT 336 & SW TRI 40 FT OF 92C	FAIRBANKS MARSHALL & JO ANN	115 FAWN DR			LAND: 301,830	0036	377,012	82,358	765.46				
		SHAVANO PARK TX 78231-1516	115 FAWN DR			IMPR: 157,540								
		CAP HOM O65				PROD: 0						TOTAL		765.46
						ASE: 459,370								
059380063370	CB 5938 BLK 6 LOT 337	EDEEN JOHN III & JOAN M	202 FAWN DR			LAND: 234,360	0036	294,526	87,604	847.48				
		SHAVANO PARK TX 78231-1517	202 FAWN DR			IMPR: 147,770								
		CAP HOM				PROD: 0						TOTAL		847.48
						ASE: 382,130								
059380063380	CB 5938 BLK 6 LOT 338& 104B	MENDEZ LARRY A & YVETTE V	204 FAWN DR			LAND: 234,360	0036	460,000	0	1,323.61				
		SHAVANO PARK TX 78231-1517	204 FAWN DR			IMPR: 225,640								
		HOM				PROD: 0						TOTAL		1,323.61
						ASE: 460,000								
059380063800	CB 5938 BLK 6 LOT 380 (FAWN DRIVE SUBD)	PETERS GORDON W	5407 LOMA LINDA DR			LAND: 236,630	0036	244,880	0	704.62				
		SAN ANTONIO TX 78201-3214	103 FAWN DR			IMPR: 8,250								
						PROD: 0						TOTAL		704.62
						ASE: 244,880								
059380063810	CB 5938 BLK 6 LOT 381 (FAWN DRIVE SUBD)	GROGAN CHRISTINE	105 FAWN DR			LAND: 240,480	0036	465,000	0	1,338.00				
		SHAVANO PARK TX 78231-1516	105 FAWN DR			IMPR: 224,520								
						PROD: 0						TOTAL		1,338.00
						ASE: 465,000								
059380071060	CB 5938 BLK 7 LOT 106	MEZEY PHILLIP M & ANTOINETTE	300 FAWN DR			LAND: 257,320	0036	677,860	0	1,950.49				
		SHAVANO PARK TX 78231-1519	300 FAWN DR			IMPR: 420,540								
		HOM				PROD: 0						TOTAL		1,950.49
						ASE: 677,860								
059380071070	CB 5938 BLK 7 LOT 107	KELLMAN STEVEN G	302 FAWN DR			LAND: 277,970	0036	510,024	7,606	1,214.08				
		SHAVANO PARK TX 78231-1519	302 FAWN DR			IMPR: 239,660								
		CAP HOM O65				PROD: 0						TOTAL		1,214.08
						ASE: 517,630								

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059380071080	CB 5938 BLK 7 LOT 108 EXC SE TRI 81.43 FT	GARZA ABELARDO & PATRICIA	304 FAWN DR SHAVANO PARK TX 78231-1519			LAND: 297,630 IMPR: 193,280 PROD: 0 ASE: 490,910	0036	416,051	74,859	762.62			TOTAL	762.62
059380071081	CB 5938 BLK 7 LOT SE TRI 81.43 FT OF 108	KELLMAN STEVEN G	302 FAWN DR SHAVANO PARK TX 78231-1519			LAND: 79,450 IMPR: 0 PROD: 0 ASE: 79,450	0036	79,450	0	228.61			TOTAL	228.61
059380071090	CB 5938 BLK 7 LOT 109	HEINTZELMAN ROBERT J JR & STOREY B	115 SADDLETREE RD SHAVANO PARK TX 78231-1542			LAND: 314,150 IMPR: 335,850 PROD: 0 ASE: 650,000	0036	650,000	0	1,870.32			TOTAL	1,870.32
059380071100	CB 5938 BLK 7 LOT 110	FLEISCHHACKER PETER R	113 SADDLETREE RD SHAVANO PARK TX 78231-1542			LAND: 314,150 IMPR: 192,210 PROD: 0 ASE: 506,360	0036	498,154	8,206	813.40			TOTAL	813.40
059380071110	CB 5938 BLK 7 LOT 111	BULA NANCY	111 SADDLETREE RD SHAVANO PARK TX 78231-1542			LAND: 314,150 IMPR: 120,630 PROD: 0 ASE: 434,780	0036	394,300	40,480	826.71			TOTAL	826.71
059380071120	CB 5938 BLK 7 LOT 112	VALLADO JESSE T	109 SADDLETREE RD SHAVANO PARK TX 78231-1542			LAND: 314,150 IMPR: 92,340 PROD: 0 ASE: 406,490	0036	354,785	51,705	649.54			TOTAL	649.54
059380071130	CB 5938 BLK 7 LOT 113	WALLACE SUSAN T	107 SADDLETREE RD SHAVANO PARK TX 78231-1542			LAND: 421,520 IMPR: 419,940 PROD: 0 ASE: 841,460	0036	836,460	5,000	1,191.53			TOTAL	1,191.53
059380071140	CB 5938 BLK 7 LOT 114	AUSTIN HERBERT W & CYNTHIA	PO BOX 782121 SAN ANTONIO TX 78278-2121			LAND: 421,520 IMPR: 212,480 PROD: 0 ASE: 634,000	0036	634,000	0	1,824.28			TOTAL	1,824.28
059380071150	CB 5938 BLK 7 LOT 115 AND 116B FHA 15,773	ACUNA JOE R & PATRICIA C	5301 CASA BELLA SAN ANTONIO TX 78249-1759			LAND: 343,800 IMPR: 262,020 PROD: 0 ASE: 605,820	0036	596,022	9,798	1,715.01			TOTAL	1,715.01

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059380071160	CB 5938 BLK 7 LOT 116A	GILL HOWARD ELMO III & AMELIA SANDER	101 SADDLETREE RD SHAVANO PARK TX 78231-1542 101 SADDLETREE RD VET HOM			LAND: 321,490 IMPR: 317,510 PROD: 0 ASE: 639,000	0036	631,500	7,500	1,817.09		TOTAL		1,817.09
059380071170	CB 5938 BLK 7 LOT 117	DOCKS L RICHARD & PAMELA A	PO BOX 780218 SAN ANTONIO TX 78278-0218 100 SHAVANO DR CAP HOM O65			LAND: 337,460 IMPR: 169,180 PROD: 0 ASE: 506,640	0036	468,340	38,300	944.87		TOTAL		944.87
059380071180	CB 5938 BLK 7 LOT 118	STEFFEN REBECCA & LARS	102 SHAVANO DR SHAVANO PARK TX 78231-1233 102 SHAVANO DR CAP HOM			LAND: 339,320 IMPR: 160,070 PROD: 0 ASE: 499,390	0036	464,725	34,665	1,337.21		TOTAL		1,337.21
059380071190	CB 5938 BLK 7 LOT 119	CASTELLAW DOROTHY	104 SHAVANO DR SHAVANO PARK TX 78231-1233 104 SHAVANO DR CAP HOM O65			LAND: 329,880 IMPR: 102,910 PROD: 0 ASE: 432,790	0036	384,160	48,630	502.47		TOTAL		502.47
059380071200	CB 5938 BLK 7 LOT 120	DAVIS TERRY W	106 SHAVANO DR SHAVANO PARK TX 78231-1233 106 SHAVANO DR CAP HOM O65			LAND: 340,640 IMPR: 198,130 PROD: 0 ASE: 538,770	0036	406,663	132,107	753.23		TOTAL		753.23
059380071210	CB 5938 BLK 7 LOT W 230.70 FT OF 121	FRANCO RALPH A JR & LAURA G	108 SHAVANO DR SHAVANO PARK TX 78231-1233 108 SHAVANO DR HOM VTX			LAND: 205,570 IMPR: 164,890 PROD: 0 ASE: 370,460	0036	0	370,460	0.00		TOTAL		0.00
059380071211	CB 5938 BLK 7 LOT S 125 FT OF N 401 FT OF 121	CITY OF SHAVANO PARK	900 SADDLETREE CT SHAVANO PARK TX 78231-1599 101 SADDLETREE RD EXXV			LAND: 329,300 IMPR: 0 PROD: 0 ASE: 329,300	0036	0	329,300	0.00		TOTAL		0.00
059380071212	CB 5938 BLK 7 LOT E 45.3 FT OF W 276 FT OF 121	CITY OF SHAVANO PARK	900 SADDLETREE CT SHAVANO PARK TX 78231-1599 108 SHAVANO DR EXXV			LAND: 78,880 IMPR: 0 PROD: 0 ASE: 78,880	0036	0	78,880	0.00		TOTAL		0.00
059380071221	CB 5938 BLK 7 LOT 122 E 163.74 FT OF 121	CONE ROBERT O & GAIL E	110 SHAVANO DR SHAVANO PARK TX 78231-1233 110 SHAVANO DR HOM O65			LAND: 387,860 IMPR: 493,520 PROD: 0 ASE: 881,380	0036	876,380	5,000	2,100.83		TOTAL		2,100.83

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059380071230 CB 5938 BLK 7 LOT 123 # C55-12124	DUNN SCOTT & DUNN AMANDA 112 SHAVANO DR SAN ANTONIO TX 78231-1233 112 SHAVANO DR	LAND: IMPR: PROD: ASE:	324,070 201,950 0 526,020	0036	526,020	0	1,513.58			TOTAL		1,513.58
059380071240 CB 5938 BLK 7 LOT 124	KALER FAMILY LIVING TRUST 114 SHAVANO DR SHAVANO PARK TX 78231-1233 114 SHAVANO DR HOM	LAND: IMPR: PROD: ASE:	324,070 255,930 0 580,000	0036	580,000	0	1,668.90			TOTAL		1,668.90
059380071250 CB 5938 BLK 7 LOT 125	CAMPBELL JOSEPH H & MARIE E 116 SHAVANO DR SHAVANO PARK TX 78231-1233 116 SHAVANO DR VET HOM O65	LAND: IMPR: PROD: ASE:	278,280 127,410 0 405,690	0036	388,690	17,000	647.14			TOTAL		647.14
059380071260 CB 5938 BLK 7 LOT 126	FLATER MICHAEL H & NANCY A 306 FAWN DR SHAVANO PARK TX 78231-1519 306 FAWN DR CAP HOM O65	LAND: IMPR: PROD: ASE:	289,080 170,180 0 459,260	0036	429,838	29,422	840.21			TOTAL		840.21
059380071270 CB 5938 BLK 7 LOT 127	MANNING KIM & DOROTHY 308 FAWN DR SHAVANO PARK TX 78231-1519 308 FAWN DR HOM O65	LAND: IMPR: PROD: ASE:	275,310 166,980 0 442,290	0036	437,290	5,000	1,058.89			TOTAL		1,058.89
059380071280 CB 5938 BLK 7 LOT 128	WERNER ROBERT B & MARY C 310 FAWN DR SHAVANO PARK TX 78231-1519 310 FAWN DR HOM	LAND: IMPR: PROD: ASE:	306,680 289,850 0 596,530	0036	596,530	0	1,716.47			TOTAL		1,716.47
059380081311 CB 5938 BLK 8 LOT A	CAMPION ROBERT J & CATHERINE F 117 SHAVANO DR SHAVANO PARK TX 78231-1234 117 SHAVANO DR HOM O65	LAND: IMPR: PROD: ASE:	285,510 248,170 0 533,680	0036	528,680	5,000	1,142.53			TOTAL		1,142.53
059380081320 CB 5938 BLK 8 LOT 132	GRONA TIMOTHY S 115 SHAVANO DR SHAVANO PARK TX 78231-1234 115 SHAVANO DR CAP HOM O65	LAND: IMPR: PROD: ASE:	322,110 77,890 0 400,000	0036	355,886	44,114	843.81			TOTAL		843.81
059380081330 CB 5938 BLK 8 LOT 133	LINAHAN JASON A & CATE LINDSEY M 113 SHAVANO DR SHAVANO PARK TX 78231-1234 113 SHAVANO DR HOM	LAND: IMPR: PROD: ASE:	314,150 119,670 0 433,820	0036	433,820	0	1,248.28			TOTAL		1,248.28

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059380081340	CB 5938 BLK 8 LOT 134 # C55-14813	GANDHI SAMIR	111 SHAVANO DR		LAND:	322,110	0036	473,570	0	1,362.66				
		SHAVANO PARK TX 78231-1234			IMPR:	151,460								
		111 SHAVANO DR			PROD:	0						TOTAL		1,362.66
		HOM			ASE:	473,570								
059380081350	CB 5938 BLK 8 LOT 135	TOSCANO CLYDE & PATRICIA L	109 SHAVANO DR		LAND:	322,110	0036	538,984	31,896	884.29				
		SHAVANO PARK TX 78231-1234			IMPR:	248,770								
		109 SHAVANO DR			PROD:	0						TOTAL		884.29
		CAP HOM O65			ASE:	570,880								
059380081360	CB 5938 BLK 8 LOT 136	SCHIFFER BRENT S & JANICE W	107 SHAVANO DR		LAND:	322,110	0036	603,540	5,000	1,619.28				
		SHAVANO PARK TX 78231-1234			IMPR:	286,430								
		107 SHAVANO DR			PROD:	0						TOTAL		1,619.28
		HOM O65			ASE:	608,540								
059380091030	CB 5938 BLK 9 P-103	HOGAN MARGUERITE I	115 CHIMNEY ROCK LN		LAND:	2,540	0036	2,540	0	7.31				
		SHAVANO PARK TX 78231-1506			IMPR:	0								
		0 CHIMNEY ROCK LN			PROD:	0						TOTAL		7.31
					ASE:	2,540								
059380091400	CB 5938 BLK 9 LOT 140A AND 141A # C-39791	MAJORS TORRI	311 FAWN DR		LAND:	250,790	0036	585,000	0	1,683.29				
		SHAVANO PARK TX 78231-1520			IMPR:	334,210								
		311 FAWN DR			PROD:	0						TOTAL		1,683.29
		HOM			ASE:	585,000								
059380091420	CB 5938 BLK 9 LOT 142& S 15 FT OF 141	RYAN MICHAEL G & LIZA	309 FAWN DR		LAND:	259,880	0036	377,120	0	1,085.13				
		SHAVANO PARK TX 78231-1520			IMPR:	117,240								
		309 FAWN DR			PROD:	0						TOTAL		1,085.13
		HOM			ASE:	377,120								
059380091460	CB 5938 BLK 9 LOT S 345.7 OF W 178.5 OF 146	HALLELUJAH HOUSES LLC	13385 NW MILITARY HWY		LAND:	263,430	0036	383,490	0	1,103.46				
		SAN ANTONIO TX 78231-1842			IMPR:	120,060								
		307 FAWN DR			PROD:	0						TOTAL		1,103.46
					ASE:	383,490								
059380091470	CB 5938 BLK 9 LOT S 300 FT OF W 198.09 FT OF 147	HALLELUJAH HOUSES LLC	13385 NW MILITARY HWY		LAND:	270,800	0036	801,930	0	2,307.49				
		SAN ANTONIO TX 78231-1842			IMPR:	531,130								
		305 FAWN DR			PROD:	0						TOTAL		2,307.49
					ASE:	801,930								
059380091480	CB 5938 BLK 9 LOT 148	TRAVIS JOHN F	303 FAWN DR		LAND:	264,200	0036	770,080	0	2,215.84				
		SHAVANO PARK TX 78231-1520			IMPR:	505,880								
		303 FAWN DR			PROD:	0						TOTAL		2,215.84
		HOM			ASE:	770,080								

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059380091490	CB 5938 BLK 9 LOT 149	JUAREZ RICHARD L	301 FAWN DR			LAND: 249,810 IMPR: 246,740 PROD: 0 ASE: 496,550	0036	496,550	0	1,428.78				
		301 FAWN DR TX 78231-1520										TOTAL		1,428.78
059380091550	CB 5938 BLK 9 LOT 155	PALMER RICHARD D & KEIKO	417 CLIFFSIDE DR			LAND: 388,730 IMPR: 324,810 PROD: 0 ASE: 713,540	0036	690,499	23,041	1,986.86				
		SHAVANO PARK TX 78231-1514										TOTAL		1,986.86
059380091561	CB 5938 BLK 9 LOT 156 & 157	ROGERS SHAVANO PARK UNIT 18/19 LTD	11 LYNN BATTS LN STE 100			LAND: 22,500 IMPR: 0 PROD: 0 ASE: 22,500	0036	22,500	0	64.74				
		SAN ANTONIO TX 78218-3077										TOTAL		64.74
059380091580	CB 5938 BLK 9 LOT 158	BRADLEY JOHN P & MONICA F	313 FAWN DR			LAND: 233,180 IMPR: 176,820 PROD: 0 ASE: 410,000	0036	393,000	17,000	869.41				
		SHAVANO PARK TX 78231-1520										TOTAL		869.41
059380093100	CB 5938 BLK 9 LOT 310	TURNER GARY E	1100 NE LOOP 410 STE 900			LAND: 280,390 IMPR: 224,610 PROD: 0 ASE: 505,000	0036	505,000	0	1,453.10				
		SAN ANTONIO TX 78209-1574										TOTAL		1,453.10
059380093110	CB 5938 BLK 9 LOT 311	TURNER GARY E & SUZANNE C	413 CLIFFSIDE DR			LAND: 291,990 IMPR: 168,010 PROD: 0 ASE: 460,000	0036	460,000	0	1,323.61				
		SHAVANO PARK TX 78231-1514										TOTAL		1,323.61
059380094020	CB 5938 BLK 9 LOT 402	BAKKE JESSICA CARVAJAL & SAM	100 CHIMNEY ROCK LN			LAND: 221,350 IMPR: 212,260 PROD: 0 ASE: 433,610	0036	433,610	0	1,247.68				
		SHAVANO PARK TX 78231-1505										TOTAL		1,247.68
059380094030	CB 5938 BLK 9 LOT 403	KIMBERLY GROUP OF TEXAS LLC	200 SADDLETREE RD			LAND: 204,690 IMPR: 105,310 PROD: 0 ASE: 310,000	0036	310,000	0	892.00				
		SHAVANO PARK TX 78231-1543										TOTAL		892.00
059380094040	CB 5938 BLK 9 LOT 404	GURINSKY ALAN M	104 CHIMNEY ROCK LN			LAND: 204,690 IMPR: 113,100 PROD: 0 ASE: 317,790	0036	312,790	5,000	727.88				
		SHAVANO PARK TX 78231-1505										TOTAL		727.88

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059380094050	CB 5938 BLK 9 LOT 405	SLAGLE JAMES P & GLYNDA L	106 CHIMNEY ROCK LN	LAND:		204,690	0036	371,640	5,000	567.20				
		SHAVANO PARK TX 78231-1505	106 CHIMNEY ROCK LN	IMPR:		171,950								
		HOM O65		PROD:		0						TOTAL		567.20
				ASE:		376,640								
059380094060	CB 5938 BLK 9 LOT 406	PEREZ ANGELO JR & HENRIETTA	108 CHIMNEY ROCK LN	LAND:		204,690	0036	373,560	5,000	604.79				
		SHAVANO PARK TX 78231-1505	108 CHIMNEY ROCK LN	IMPR:		173,870								
		HOM O65		PROD:		0						TOTAL		604.79
				ASE:		378,560								
059380094070	CB 5938 BLK 9 LOT 407	SEWELL D MICHAEL & SEWELL JANET B	110 CHIMNEY ROCK LN	LAND:		204,690	0036	352,520	12,000	1,014.35				
		SHAVANO PARK TX 78231-	110 CHIMNEY ROCK LN	IMPR:		159,830								
		VET		PROD:		0						TOTAL		1,014.35
				ASE:		364,520								
059380094080	CB 5938 BLK 9 LOT 408	ROSS CHARLES MICHAEL	112 CHIMNEY ROCK LN	LAND:		204,690	0036	327,700	5,000	828.64				
		SHAVANO PARK TX 78231-1505	112 CHIMNEY ROCK LN	IMPR:		128,010								
		HOM O65		PROD:		0						TOTAL		828.64
				ASE:		332,700								
059380094090	CB 5938 BLK 9 LOT 409	THOMSON THOMAS A & RUTH E	114 CHIMNEY ROCK LN	LAND:		204,690	0036	377,360	5,000	1,085.82				
		SHAVANO PARK TX 78231-1505	114 CHIMNEY ROCK LN	IMPR:		177,670								
		HOM O65		PROD:		0						TOTAL		1,085.82
				ASE:		382,360								
059380094100	CB 5938 BLK 9 LOT 410 # C55-13778	HOGAN MARGUERITE I	115 CHIMNEY ROCK LN	LAND:		183,070	0036	452,130	0	1,300.97				
		SHAVANO PARK TX 78231-1506	115 CHIMNEY ROCK LN	IMPR:		269,060								
		HOM		PROD:		0						TOTAL		1,300.97
				ASE:		452,130								
059380094110	CB 5938 BLK 9 LOT 411	CHANDLER ROBERT WILLIAM	113 CHIMNEY ROCK LN	LAND:		201,320	0036	322,860	0	929.00				
		SHAVANO PARK TX 78231-1506	113 CHIMNEY ROCK LN	IMPR:		121,540								
		HOM		PROD:		0						TOTAL		929.00
				ASE:		322,860								
059380094120	CB 5938 BLK 9 LOT 412	PASSOS ALBERTO C & LUCIA M F E SILVA	109 W FRENCH PL APT A306	LAND:		204,690	0036	363,880	5,000	871.86				
		SAN ANTONIO TX 78212-5866	111 CHIMNEY ROCK LN	IMPR:		164,190								
		HOM O65		PROD:		0						TOTAL		871.86
				ASE:		368,880								
059380094130	CB 5938 BLK 9 LOT 413	STORHOFF CLAUDIA L	109 CHIMNEY ROCK LN	LAND:		201,320	0036	441,720	5,000	1,253.32				
		SHAVANO PARK TX 78231-1506	109 CHIMNEY ROCK LN	IMPR:		245,400								
		HOM O65		PROD:		0						TOTAL		1,253.32
				ASE:		446,720								

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059380094140	CB 5938 BLK 9 LOT 414	MORATAYA DAVID & SARAH	107 CHIMNEY ROCK LN			LAND: 202,780	0036	425,070	0	1,223.10				
		SHAVANO PARK TX 78231-1506	107 CHIMNEY ROCK LN			IMPR: 222,290								
		HOM				PROD: 0						TOTAL		1,223.10
						ASE: 425,070								
059380094150	CB 5938 BLK 9 LOT 415	WILLIAMS DAVID T & LOU N	105 CHIMNEY ROCK LN			LAND: 201,320	0036	579,820	5,000	1,446.29				
		SHAVANO PARK TX 78231-1506	105 CHIMNEY ROCK LN			IMPR: 383,500								
		HOM O65				PROD: 0						TOTAL		1,446.29
						ASE: 584,820								
059380094160	CB 5938 BLK 9 LOT 416	MURRAY ALEXANDRIA & RICHARD	103 CHIMNEY ROCK LN			LAND: 201,320	0036	333,190	0	958.73				
		SHAVANO PARK TX 78231-1506	103 CHIMNEY ROCK LN			IMPR: 131,870								
		HOM				PROD: 0						TOTAL		958.73
						ASE: 333,190								
059380094170	CB 5938 BLK 9 LOT 417	DEJESUS DEAN GRANADOS & KERRY	101 CHIMNEY ROCK LN			LAND: 223,960	0036	441,180	0	1,269.46				
		SHAVANO PARK TX 78231-1506	101 CHIMNEY ROCK LN			IMPR: 217,220								
		HOM				PROD: 0						TOTAL		1,269.46
						ASE: 441,180								
059380094180	CB 5938 BLK 9 LOT 418	HARLE SIDNEY LEE & CAROL LOUISE	423 CLIFFSIDE DR			LAND: 278,470	0036	555,000	0	1,596.97				
		SHAVANO PARK TX 78231-1514	423 CLIFFSIDE DR			IMPR: 276,530								
		HOM				PROD: 0						TOTAL		1,596.97
						ASE: 555,000								
059380094190	CB 5938 BLK 9 LOT 419	BAUMANN BRUCE F & BURLENE F	L/TR			LAND: 270,170	0036	595,750	5,000	959.82				
		SHAVANO PARK TX 78231-1514	419 CLIFFSIDE DR			IMPR: 330,580								
		HOM O65				PROD: 0						TOTAL		959.82
						ASE: 600,750								
059380103390	CB 5938 BLK 10 LOT 339 # C 43253	BATES JULIA M	132 WAGON TRAIL RD			LAND: 183,620	0036	305,370	5,000	493.64				
		SHAVANO PARK TX 78231-1240	132 WAGON TRAIL RD			IMPR: 126,750								
		HOM O65				PROD: 0						TOTAL		493.64
						ASE: 310,370								
059380103400	CB 5938 BLK 10 LOT 340	ENGLER MONICA	134 WAGON TRAIL RD			LAND: 194,310	0036	355,940	0	1,024.19				
		SHAVANO PARK TX 78231-1240	134 WAGON TRAIL RD			IMPR: 161,630								
		HOM				PROD: 0						TOTAL		1,024.19
						ASE: 355,940								
059380103410	CB 5938 BLK 10 LOT 341	WEALTY DOUGLAS J & ANNA E	16502 NW MILITARY HWY			LAND: 166,910	0036	391,570	5,000	892.27				
		SHAVANO PARK TX 78231-1226	16502 NW MILITARY HWY			IMPR: 229,660								
		HOM O65				PROD: 0						TOTAL		892.27
						ASE: 396,570								

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059380103420	CB 5938 BLK 10 LOT 342	RHODES BILL A & KELLAN V	16420 NW MILITARY HWY			LAND: 188,220	0036	358,080	0	1,030.35				
		16420 NW MILITARY HWY	SHAVANO PARK TX 78231-1224			IMPR: 169,860								
		16420 NW MILITARY HWY				PROD: 0						TOTAL		1,030.35
		HOM				ASE: 358,080								
059380103430	CB 5938 BLK 10 LOT 343	G&S RENOVATIONS LLC	17937 122ND STREET CT E			LAND: 179,870	0036	323,290	0	930.24				
		BONNEY LAKE WA 98391-6910	16410 NW MILITARY HWY			IMPR: 143,420								
		HOM				PROD: 0						TOTAL		930.24
						ASE: 323,290								
059380103440	CB 5938 BLK 10 LOT 344	TRUETT DALE B	16402 NW MILITARY HWY			LAND: 203,490	0036	720,980	5,000	1,480.23				
		SHAVANO PARK TX 78231-1224	16402 NW MILITARY HWY			IMPR: 522,490								
		HOM O65				PROD: 0						TOTAL		1,480.23
						ASE: 725,980								
059380103450	CB 5938 BLK 10 LOT 345	MARTINEZ JUAN DIEGO & MILAGROS ANAHI	16318 NW MILITARY HWY			LAND: 228,120	0036	544,731	19,369	1,567.42				
		SHAVANO PARK TX 78231-1222	16318 NW MILITARY HWY			IMPR: 335,980								
		CAP HOM				PROD: 0						TOTAL		1,567.42
						ASE: 564,100								
059380103460	CB 5938 BLK 10 LOT 346	HAYNES WILLIAM A & VERA M	16310 NW MILITARY HWY			LAND: 173,960	0036	324,270	5,000	602.18				
		SHAVANO PARK TX 78231-1222	16310 NW MILITARY HWY			IMPR: 155,310								
		HOM O65				PROD: 0						TOTAL		602.18
						ASE: 329,270								
059380103470	CB 5938 BLK 10 LOT 347	KOLLODZIEJ BETTY J	101 END GATE LN			LAND: 176,590	0036	304,290	5,000	474.03				
		SHAVANO PARK TX 78231-1204	101 END GATE LN			IMPR: 132,700								
		S65 HOM				PROD: 0						TOTAL		474.03
						ASE: 309,290								
059380103480	CB 5938 BLK 10 LOT 348	MARTINEZ JESSE T	103 END GATE LN			LAND: 151,110	0036	294,840	5,000	540.07				
		SHAVANO PARK TX 78231-1204	103 END GATE LN			IMPR: 148,730								
		HOM O65				PROD: 0						TOTAL		540.07
						ASE: 299,840								
059380103490	CB 5938 BLK 10 LOT 349	GENTRY DIANE K	105 END GATE LN			LAND: 226,640	0036	493,940	5,000	794.03				
		SHAVANO PARK TX 78231-1204	105 END GATE LN			IMPR: 272,300								
		HOM O65				PROD: 0						TOTAL		794.03
						ASE: 498,940								
059380103500	CB 5938 BLK 10 LOT 350	CAROLIN DENNIS A & TRACIE Y	107 END GATE LN			LAND: 179,980	0036	328,420	0	945.00				
		SHAVANO PARK TX 78231-1204	107 END GATE LN			IMPR: 148,440								
						PROD: 0						TOTAL		945.00
						ASE: 328,420								

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059380103510	CB 5938 BLK 10 LOT 351	NARBONI CHARLOTTE ANNA	109 END GATE LN			LAND: 156,190	0036	383,860	5,000	603.81				
		SHAVANO PARK TX 78231-1204	109 END GATE LN			IMPR: 232,670								
		HOM O65				PROD: 0						TOTAL		603.81
						ASE: 388,860								
059380103520	CB 5938 BLK 10 LOT 352 # C55-14681	MANCILLAS IVAN	106 END GATE LN			LAND: 130,770	0036	301,440	0	867.37				
		SHAVANO PARK TX 78231-1204	106 END GATE LN			IMPR: 170,670								
		HOM				PROD: 0						TOTAL		867.37
						ASE: 301,440								
059380103530	CB 5938 BLK 10 LOT 353	PFEIFFER KATHLEEN	104 END GATE LN			LAND: 202,680	0036	314,170	0	904.00				
		SHAVANO PARK TX 78231-1204	104 END GATE LN			IMPR: 111,490								
		HOM				PROD: 0						TOTAL		904.00
						ASE: 314,170								
059380103541	CB: 5938 BLK: 10 LOT: 354 & N 80 FT OF E 120 FT OF 356	GREEN ROBERT M	102 END GATE LN			LAND: 186,340	0036	389,410	5,000	1,093.07				
		SHAVANO PARK TX 78231-1204	102 END GATE LN			IMPR: 208,070								
		HOM O65				PROD: 0						TOTAL		1,093.07
						ASE: 394,410								
059380103551	CB 5938 BLK 10 LOT 355 & N. 80 FT OF W. 150 FT OF LOT 356	JOYNER DOROTHY JEAN	100 END GATE LN			LAND: 211,750	0036	314,560	5,000	440.35				
		SHAVANO PARK TX 78231-1204	100 END GATE LN			IMPR: 107,810								
		HOM O65				PROD: 0						TOTAL		440.35
						ASE: 319,560								
059380103571	CB 5938 BLK 10 LOT 357 & S 40 FT OF 356	FELLERS JACQUELINE K	16110 NW MILITARY HWY			LAND: 203,230	0036	418,190	5,000	576.02				
		SHAVANO PARK TX 78231-1218	16110 NW MILITARY HWY			IMPR: 219,960								
		HOM O65				PROD: 0						TOTAL		576.02
						ASE: 423,190								
059380103580	CB 5938 BLK 10 LOT 358	SANCHEZ JUAN J & ERIKA	12735 MOUNTAIN			LAND: 168,390	0036	274,280	0	789.22				
		SAN ANTONIO TX 78253-5125	16106 NW MILITARY HWY			IMPR: 105,890								
						PROD: 0						TOTAL		789.22
						ASE: 274,280								
059380103590	CB 5938 BLK 10 LOT 359	BRADLEY MARY & JOHN	16008 NW MILITARY HWY			LAND: 151,410	0036	309,190	0	889.67				
		SHAVANO PARK TX 78231-1216	16008 NW MILITARY HWY			IMPR: 157,780								
		HOM				PROD: 0						TOTAL		889.67
						ASE: 309,190								
059380103600	CB 5938 BLK 10 LOT 360	QUEST IRA INC FBO MARTIN MORENO IRA	17171 PARK ROW STE 100			LAND: 231,260	0036	392,740	0	1,130.08				
		HOUSTON TX 77084-4935	16006 NW MILITARY HWY			IMPR: 161,480								
						PROD: 0						TOTAL		1,130.08
						ASE: 392,740								

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059380103610	CB 5938 BLK 10 LOT 361	LOCKWOOD MATTHEW P & MICHELLE D	15914 NW MILITARY HWY		LAND:	170,130	0036	362,090	0	1,041.89				
			SHAVANO PARK TX 78231-1214		IMPR:	191,960								
			15914 NW MILITARY HWY		PROD:	0						TOTAL		1,041.89
			HOM		ASE:	362,090								
059380103620	CB 5938 BLK 10 LOT 362	PIERCE GLENN P	10790 TOEPPERWEIN RD APT 305		LAND:	164,210	0036	286,000	5,000	462.26				
			CONVERSE TX 78109-2445		IMPR:	126,790								
			15910 NW MILITARY HWY		PROD:	0						TOTAL		462.26
			HOM O65		ASE:	291,000								
059380103630	CB 5938 BLK 10 LOT 363	INGRAM RUTHIE MAE	15908 NW MILITARY HWY		LAND:	165,230	0036	607,850	17,000	1,731.03				
			SHAVANO PARK TX 78231-1214		IMPR:	459,620								
			15908 NW MILITARY HWY		PROD:	0						TOTAL		1,731.03
			VET HOM O65		ASE:	624,850								
059380103640	CB 5938 BLK 10 LOT 364	COUCH DAVID & ELIZABETH	15906 NW MILITARY HWY		LAND:	169,910	0036	467,510	0	1,345.22				
			SHAVANO PARK TX 78231-1214		IMPR:	297,600								
			15906 NW MILITARY HWY		PROD:	0						TOTAL		1,345.22
			HOM		ASE:	467,510								
059380103650	CB 5938 BLK 10 LOT 365	REITZ PAUL D & DONNA A	95 SHAVANO DR		LAND:	194,240	0036	368,720	0	1,060.96				
			SHAVANO PARK TX 78231-1236		IMPR:	174,480								
			95 SHAVANO DR		PROD:	0						TOTAL		1,060.96
			HOM		ASE:	368,720								
059381001000	CB 5938 BLK LOT 1000	CITY OF SHAVANO PARK	900 SADDLETREE CT		LAND:	206,740	0036	0	206,740	0.00				
			SHAVANO PARK TX 78231-1599		IMPR:	0								
			0 *UNKNOWN		PROD:	0						TOTAL		0.00
			EXXV		ASE:	206,740								
059381001001	CB 5938 BLK LOT 1001	ROSENFELD GREGG RICHARD	106 HONEY BEE LN		LAND:	176,910	0036	419,740	0	1,207.77				
			SHAVANO PARK TX 78231-1205		IMPR:	242,830								
			106 HONEY BEE LN		PROD:	0						TOTAL		1,207.77
					ASE:	419,740								
059381001002	CB 5938 BLK LOT 1002	GRAY ALFRED C & STACIE L	108 HONEY BEE LN		LAND:	176,430	0036	454,870	0	1,308.85				
			SHAVANO PARK TX 78231-1205		IMPR:	278,440								
			108 HONEY BEE LN		PROD:	0						TOTAL		1,308.85
			HOM		ASE:	454,870								
059381001005	CB 5938 BLK LOT 1005	SAUSMAN RICHARD L & SANDRA L	114 HONEY BEE LN		LAND:	175,280	0036	475,980	0	1,369.59				
			SHAVANO PARK TX 78231-1205		IMPR:	300,700								
			114 HONEY BEE LN		PROD:	0						TOTAL		1,369.59
			HOM		ASE:	475,980								

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059381001006	CB 5938 BLK LOT 1006	WEYMAN-GRIFFIN LORRAINE E	116 HONEY BEE LN			LAND: 164,600 IMPR: 195,400 PROD: 0 ASE: 360,000	0036	355,000	5,000	553.47				
		116 HONEY BEE LN	SHAVANO PARK TX 78231-1205									TOTAL		553.47
059381001007	CB 5938 BLK LOT 1007	VILLARREAL GENARO JR	118 HONEY BEE LN			LAND: 197,510 IMPR: 198,590 PROD: 0 ASE: 396,100	0036	363,627	32,473	1,046.31				
		118 HONEY BEE LN	SHAVANO PARK TX 78231-1205									TOTAL		1,046.31
059381001008	CB 5938 BLK LOT 1008	EVANS GARY M & CONSTANCE R	120 HONEY BEE LN			LAND: 180,560 IMPR: 232,320 PROD: 0 ASE: 412,880	0036	407,935	4,945	1,173.80				
		120 HONEY BEE LN	SHAVANO PARK TX 78231-1205									TOTAL		1,173.80
059381001009	CB 5938 BLK LOT 1009	FOERSTER CLAUDIA L/E	121 HONEY BEE LN			LAND: 170,620 IMPR: 170,710 PROD: 0 ASE: 341,330	0036	316,035	25,295	471.74				
		121 HONEY BEE LN	SHAVANO PARK TX 78231-1205									TOTAL		471.74
059381001010	CB 5938 BLK LOT 1010	SUMADI FRANK D & SUSAN C	119 HONEY BEE LN			LAND: 201,620 IMPR: 375,320 PROD: 0 ASE: 576,940	0036	571,940	5,000	1,207.28				
		119 HONEY BEE LN	SHAVANO PARK TX 78231-1205									TOTAL		1,207.28
059381001011	CB 5938 BLK LOT 1011	JACOBS LOUISE A	117 HONEY BEE LN			LAND: 137,320 IMPR: 194,470 PROD: 0 ASE: 331,790	0036	326,790	5,000	0.00				
		117 HONEY BEE LN	SHAVANO PARK TX 78231-1205									TOTAL		0.00
059381001012	CB 5938 BLK LOT 1012	GERBER JOEL A & DEBORAH A	115 HONEY BEE LN			LAND: 169,100 IMPR: 305,900 PROD: 0 ASE: 475,000	0036	475,000	0	1,366.77				
		115 HONEY BEE LN	SHAVANO PARK TX 78231-1205									TOTAL		1,366.77
059381001013	CB 5938 BLK LOT 1013	SCHMIDT CATHY JANE	113 HONEY BEE LN			LAND: 173,330 IMPR: 212,670 PROD: 0 ASE: 386,000	0036	379,593	6,407	894.88				
		113 HONEY BEE LN	SHAVANO PARK TX 78231-1205									TOTAL		894.88
059381001014	CB 5938 BLK LOT 1014	GARRETT MARK & JILL	111 HONEY BEE LN			LAND: 173,330 IMPR: 428,020 PROD: 0 ASE: 601,350	0036	601,350	0	1,730.34				
		111 HONEY BEE LN	SHAVANO PARK TX 78231-1205									TOTAL		1,730.34

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059381001015	CB 5938 BLK LOT 1015	SCHNEIDER KRISTEN E & BOERGER JONATHAN P	109 HONEY BEE LN SHAVANO PARK TX 78231-1205			LAND: 173,330 IMPR: 271,670 PROD: 0 ASE: 445,000	0036	445,000	0	1,280.45				
		109 HONEY BEE LN HOM										TOTAL		1,280.45
059381001016	CB 5938 BLK LOT 1016	STEVENS MARK & STEPHANIE L	107 HONEY BEE LN SHAVANO PARK TX 78231-1205			LAND: 168,280 IMPR: 311,860 PROD: 0 ASE: 480,140	0036	475,140	5,000	1,245.58				
		107 HONEY BEE LN HOM O65										TOTAL		1,245.58
059381001017	CB 5938 BLK LOT 1017	ELIZONDO ISAAC E & SUZANNE N	105 HONEY BEE LN SHAVANO PARK TX 78231-1205			LAND: 186,000 IMPR: 298,400 PROD: 0 ASE: 484,400	0036	479,400	5,000	1,162.88				
		105 HONEY BEE LN HOM O65										TOTAL		1,162.88
059381001018	CB 5938 BLK LOT 1018	ERNST GASTON & OPHELIA	107 TURKEY CREEK RD SHAVANO PARK TX 78231-1238			LAND: 174,950 IMPR: 195,590 PROD: 0 ASE: 370,540	0036	351,411	19,129	507.66				
		107 TURKEY CREEK RD CAP HOM O65										TOTAL		507.66
059381001019	CB 5938 BLK LOT 1019 # 1020410	KRAWCZYNSKI JOHN F & BERNICE J LIVIN	105 TURKEY CREEK RD SHAVANO PARK TX 78231-1238			LAND: 152,830 IMPR: 159,050 PROD: 0 ASE: 311,880	0036	296,510	15,370	444.60				
		105 TURKEY CREEK RD CAP HOM O65										TOTAL		444.60
059381001020	CB 5938 BLK LOT 1020	BROOKSBANK WILLIAM ARTHUR III & MARY	103 TURKEY CREEK RD SHAVANO PARK TX 78231-1238			LAND: 166,310 IMPR: 278,810 PROD: 0 ASE: 445,120	0036	445,120	0	1,280.80				
		103 TURKEY CREEK RD										TOTAL		1,280.80
059381001021	CB 5938 BLK LOT 1021	BYRON ANTHONY FJR	101 TURKEY CREEK RD SHAVANO PARK TX 78231-1238			LAND: 175,670 IMPR: 269,170 PROD: 0 ASE: 444,840	0036	439,840	5,000	1,136.47				
		101 TURKEY CREEK RD HOM O65										TOTAL		1,136.47
059381001022	CB 5938 BLK LOT 1022 C-43070	RICHARDSON ED J L/E	RICHARDSON FAMILY TRUST 15907 NW MILITARY HWY SHAVANO PARK TX 78231-1215			LAND: 201,170 IMPR: 206,880 PROD: 0 ASE: 408,050	0036	370,782	37,268	558.70				
		15907 NW MILITARY HWY CAP HOM O65										TOTAL		558.70
059381001023	CB 5938 BLK LOT 1023	FARINA JOSE M	15911 NW MILITARY HWY SHAVANO PARK TX 78231-1215			LAND: 201,320 IMPR: 262,300 PROD: 0 ASE: 463,620	0036	448,497	15,123	1,290.51				
		15911 NW MILITARY HWY CAP HOM O65										TOTAL		1,290.51

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059381001024	CB: 5938 LOT: 1024	MURPHY WILLIAM & JENNIFER	15915 NW MILITARY HWY		LAND:	180,060	0036	310,959	24,041	894.76				
		SHAVANO PARK TX 78231-1215	15915 NW MILITARY HWY		IMPR:	154,940								
		CAP HOM			PROD:	0						TOTAL		894.76
					ASE:	335,000								
059381001025	CB 5938 BLK LOT 1025	CAIN SALLY R	16003 NW MILITARY HWY		LAND:	176,750	0036	356,328	20,132	841.63				
		SHAVANO PARK TX 78231-1217	16003 NW MILITARY HWY		IMPR:	199,710								
		CAP HOM O65			PROD:	0						TOTAL		841.63
					ASE:	376,460								
059381001026	CB 5938 BLK LOT 1026	JIMENEZ-CERNA ANGEL R & ELAINE	16099 NW MILITARY HWY		LAND:	174,390	0036	0	462,890	0.00				
		SHAVANO PARK TX 78231-1217	16099 NW MILITARY HWY		IMPR:	288,500								
		HOM O65 VTX			PROD:	0						TOTAL		0.00
					ASE:	462,890								
059381001027	CB 5938 BLK LOT 1027	WOLFSCHOHL GINGER D	16103 NW MILITARY HWY		LAND:	173,860	0036	375,000	0	1,079.03				
		SHAVANO PARK TX 78231-1219	16103 NW MILITARY HWY		IMPR:	201,140								
		HOM			PROD:	0						TOTAL		1,079.03
					ASE:	375,000								
059381001028	CB 5938 BLK LOT 1028	GOODMAN ALICE J	16107 NW MILITARY HWY		LAND:	135,270	0036	335,000	0	963.94				
		SHAVANO PARK TX 78231-1219	16107 NW MILITARY HWY		IMPR:	199,730								
		HOM			PROD:	0						TOTAL		963.94
					ASE:	335,000								
059381001029	CB 5938 BLK LOT 1029	HUERTA JOSE ORIANDO & OSTERMAN DUSTI	16203 NW MILITARY HWY		LAND:	173,330	0036	366,670	0	1,055.06				
		SHAVANO PARK TX 78231-1221	16203 NW MILITARY HWY		IMPR:	193,340								
		HOM			PROD:	0						TOTAL		1,055.06
					ASE:	366,670								
059381001030	CB 5938 BLK LOT 1030	GARCIA HENRY F & ROSE L	98 LONG BOW RD		LAND:	168,170	0036	521,520	5,000	1,156.56				
		SHAVANO PARK TX 78231-1244	98 LONG BOW RD		IMPR:	358,350								
		HOM O65			PROD:	0						TOTAL		1,156.56
					ASE:	526,520								
059381001031	CB 5938 BLK LOT 1031	GUERRERO DANIEL V & DEANNA	100 LONG BOW RD		LAND:	168,170	0036	375,248	7,202	919.34				
		SHAVANO PARK TX 78231-1209	100 LONG BOW RD		IMPR:	214,280								
		CAP HOM O65			PROD:	0						TOTAL		919.34
					ASE:	382,450								
059381001032	CB 5938 BLK LOT 1032	HOBBS FREDRICK & MARSHA	102 LONG BOW RD		LAND:	168,170	0036	483,320	5,000	1,232.49				
		SHAVANO PARK TX 78231-1209	102 LONG BOW RD		IMPR:	320,150								
		HOM O65			PROD:	0						TOTAL		1,232.49
					ASE:	488,320								

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059381001033	CB 5938 BLK LOT 1033	REECE PILAR LOBO	104 LONG BOW RD			LAND: 168,170	0036	485,980	0	1,398.37				
		104 LONG BOW RD				IMPR: 317,810								
		SHAVANO PARK TX 78231-1209				PROD: 0						TOTAL		1,398.37
		104 LONG BOW RD				ASE: 485,980								
		HOM												
059381001034	CB 5938 BLK LOT 1034	BUTCHKOSKY JOHN JR	106 LONG BOW RD			LAND: 168,170	0036	347,000	8,000	778.82				
		106 LONG BOW RD				IMPR: 186,830								
		SHAVANO PARK TX 78231-1209				PROD: 0						TOTAL		778.82
		106 LONG BOW RD				ASE: 355,000								
		DEF CAP HOM O65												
		Deferral: 11/03/2017												
059381001035	CB 5938 BLK LOT 1035	RIEGEL CARL & KIMBERLY REV/TRUST	108 LONG BOW RD			LAND: 168,170	0036	367,807	3,713	1,058.34				
		RIEGEL CARL & KIMBERLY TRSTES				IMPR: 203,350								
		SHAVANO PARK TX 78231-1209				PROD: 0						TOTAL		1,058.34
		108 LONG BOW RD				ASE: 371,520								
		CAP HOM												
059381001036	CB 5938 BLK LOT 1036	MULDER PHYLLIS J & GARZA EFRAIN	110 LONG BOW RD			LAND: 176,020	0036	447,050	5,000	1,094.57				
		SHAVANO PARK TX 78231-1209				IMPR: 276,030								
		110 LONG BOW RD				PROD: 0						TOTAL		1,094.57
		HOM O65				ASE: 452,050								
059381001037	CB 5938 BLK LOT 1037	DOMINGO FRANKLIN M & MELBA D	112 LONG BOW RD			LAND: 161,180	0036	417,600	5,000	729.60				
		SHAVANO PARK TX 78231-1209				IMPR: 261,420								
		112 LONG BOW RD				PROD: 0						TOTAL		729.60
		HOM O65				ASE: 422,600								
059381001038	CB 5938 BLK LOT 1038	DAVIS DOYLE L & LENA P	114 LONG BOW RD			LAND: 168,170	0036	358,352	11,748	537.45				
		SHAVANO PARK TX 78231-1209				IMPR: 201,930								
		114 LONG BOW RD				PROD: 0						TOTAL		537.45
		CAP HOM O65				ASE: 370,100								
059381001039	CB 5938 BLK LOT 1039	SCHWAB JANICE	119 LONG BOW RD			LAND: 154,410	0036	340,000	0	978.32				
		SHAVANO PARK TX 78231-1210				IMPR: 185,590								
		116 LONG BOW RD				PROD: 0						TOTAL		978.32
						ASE: 340,000								
059381001040	CB 5938 BLK LOT 1040	CRAWFORD WILLIAM C	118 LONG BOW RD			LAND: 166,940	0036	412,560	0	1,187.11				
		SHAVANO PARK TX 78231-1209				IMPR: 245,620								
		118 LONG BOW RD				PROD: 0						TOTAL		1,187.11
						ASE: 412,560								
059381001041	CB 5938 BLK LOT 1041	BARBER ROBERT D JR & CAROLYN K	120 LONG BOW RD			LAND: 171,120	0036	491,170	5,000	1,179.74				
		SHAVANO PARK TX 78231-1209				IMPR: 325,050								
		120 LONG BOW RD				PROD: 0						TOTAL		1,179.74
		HOM O65				ASE: 496,170								

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059381001042 CB 5938 BLK LOT 1042	VENKATACHALAM M A & HASI M 122 LONG BOW RD SHAVANO PARK TX 78231-1209 122 LONG BOW RD HOM O65	LAND: IMPR: PROD: ASE:	168,170 356,940 0 525,110	0036	520,110	5,000	904.19			TOTAL	904.19
059381001043 CB 5938 BLK LOT 1043	SMILGIN VICTOR E & DIANE L 124 LONG BOW RD SHAVANO PARK TX 78231-1209 124 LONG BOW RD DEF HOM O65 Deferral: 02/21/2018	LAND: IMPR: PROD: ASE:	168,170 266,100 0 434,270	0036	429,270	5,000	779.35			TOTAL	779.35
059381001044 CB 5938 BLK LOT 1044	FALLON BELINDA S & JEFFREY 126 LONG BOW RD SHAVANO PARK TX 78231-1209 126 LONG BOW RD	LAND: IMPR: PROD: ASE:	168,170 180,510 0 348,680	0036	348,680	0	1,003.30			TOTAL	1,003.30
059381001045 CB 5938 BLK LOT 1045	WOLFF RONALD D 128 LONG BOW RD SHAVANO PARK TX 78231-1209 128 LONG BOW RD HOM O65	LAND: IMPR: PROD: ASE:	173,330 311,070 0 484,400	0036	479,400	5,000	728.04			TOTAL	728.04
059381001046 CB 5938 BLK LOT 1046	MCWHORTER ROBERT & CYNTHIA 130 LONG BOW RD SHAVANO PARK TX 78231-1209 130 LONG BOW RD HOM O65	LAND: IMPR: PROD: ASE:	173,330 458,570 0 631,900	0036	626,900	5,000	1,699.98			TOTAL	1,699.98
059381001047 CB 5938 BLK LOT 1047	HOLMES JOSEPH P & TRACY R 132 LONG BOW RD SHAVANO PARK TX 78231-1209 132 LONG BOW RD HOM	LAND: IMPR: PROD: ASE:	173,330 505,430 0 678,760	0036	678,760	0	1,953.08			TOTAL	1,953.08
059381001050 CB 5938 BLK LOT 1050	JONES DAVID RICHARD 138 LONG BOW RD SHAVANO PARK TX 78231-1209 138 LONG BOW RD CAP HOM	LAND: IMPR: PROD: ASE:	171,560 176,340 0 347,900	0036	326,700	21,200	940.05			TOTAL	940.05
059381001051 CB 5938 BLK LOT 1051	ROEDER ELIZABETH ROSE 140 LONG BOW RD SHAVANO PARK TX 78231-1209 140 LONG BOW RD HOM	LAND: IMPR: PROD: ASE:	170,780 257,220 0 428,000	0036	428,000	0	1,231.54			TOTAL	1,231.54
059381001052 CB 5938 BLK LOT 1052	BIBB RICHARD P & DEBORAH C 137 LONG BOW RD SHAVANO PARK TX 78231-1211 139 LONG BOW RD	LAND: IMPR: PROD: ASE:	74,120 0 0 74,120	0036	74,120	0	213.27			TOTAL	213.27

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059381001053	CB 5938 BLK LOT 1053	BIBB RICHARD P & DEBORAH C	137 LONG BOW RD		LAND:	130,730	0036	449,000	5,000	1,291.96				
		SHAVANO PARK TX 78231-1211	137 LONG BOW RD		IMPR:	323,270								
		HOM O65			PROD:	0						TOTAL		1,291.96
					ASE:	454,000								
059381001054	CB 5938 BLK LOT 1054	AHMADI MOSES CANTU & PALOMA	135 LONG BOW RD		LAND:	199,510	0036	440,000	0	1,266.06				
		SHAVANO PARK TX 78231-1211	135 LONG BOW RD		IMPR:	240,490								
		HOM			PROD:	0						TOTAL		1,266.06
					ASE:	440,000								
059381001055	CB 5938 BLK LOT 1055	ANDERSON RICHARD & BRENDA W LIVING T	100 HUNTERS BRANCH ST		LAND:	168,170	0036	609,020	5,000	1,389.44				
		SHAVANO PARK TX 78231-1242	100 HUNTERS BRANCH ST		IMPR:	445,850								
		DEF HOM O65			PROD:	0						TOTAL		1,389.44
		Deferral: 02/04/2010			ASE:	614,020								
059381001056	CB 5938 BLK LOT 1056 1020552	PARSONS WILLIAM & LISA	102 HUNTERS BRANCH ST		LAND:	168,940	0036	499,000	0	1,435.83				
		SHAVANO PARK TX 78231-1242	102 HUNTERS BRANCH ST		IMPR:	330,060								
		HOM			PROD:	0						TOTAL		1,435.83
					ASE:	499,000								
059381001057	CB 5938 BLK LOT 1057	MAXWELL JOHN W & JANIE	104 HUNTERS BRANCH ST		LAND:	168,170	0036	416,630	0	1,198.82				
		SHAVANO PARK TX 78231-1242	104 HUNTERS BRANCH ST		IMPR:	248,460								
					PROD:	0						TOTAL		1,198.82
					ASE:	416,630								
059381001058	CB 5938 BLK LOT 1058	JACKSON AMY & JESSE W JR	106 HUNTERS BRANCH ST		LAND:	166,910	0036	426,170	0	1,226.27				
		SHAVANO PARK TX 78231-1242	106 HUNTERS BRANCH ST		IMPR:	259,260								
		HOM			PROD:	0						TOTAL		1,226.27
					ASE:	426,170								
059381001059	CB 5938 BLK LOT 1059	FLEMING STEVEN & SARA	203 HUNTERS BRANCH ST S		LAND:	185,180	0036	450,030	0	1,294.93				
		SHAVANO PARK TX 78231-1208	203 HUNTERS BRANCH ST		IMPR:	264,850								
		HOM			PROD:	0						TOTAL		1,294.93
					ASE:	450,030								
059381001060	CB 5938 BLK LOT 1060	WEISSLER THOMAS E & ROSEMARY	205 HUNTERS BRANCH ST S		LAND:	166,470	0036	670,000	0	1,927.87				
		SHAVANO PARK TX 78231-1208	205 HUNTERS BRANCH ST		IMPR:	503,530								
		HOM			PROD:	0						TOTAL		1,927.87
					ASE:	670,000								
059381001061	CB 5938 BLK LOT 1061	MARKETTE BRYANT M & ANNE MARIE	207 HUNTERS BRANCH ST S		LAND:	150,580	0036	374,000	0	1,076.16				
		SHAVANO PARK TX 78231-1208	207 HUNTERS BRANCH ST		IMPR:	223,420								
		HOM			PROD:	0						TOTAL		1,076.16
					ASE:	374,000								

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059381001062	CB 5938 BLK LOT 1062 1020586	MILLS DAVID F	209 HUNTERS BRANCH ST S			LAND: 162,800	0036	375,000	5,000	784.21				
		SHAVANO PARK TX 78231-1208				IMPR: 217,200								
		209 HUNTERS BRANCH ST				PROD: 0						TOTAL		784.21
		HOM O65				ASE: 380,000								
059381001063	CB 5938 BLK LOT 1063	MARNE A D & PATRICIA E	211 HUNTERS BRANCH ST S			LAND: 143,480	0036	429,700	10,000	1,236.43				
		SHAVANO PARK TX 78231-1208				IMPR: 296,220								
		211 HUNTERS BRANCH ST				PROD: 0						TOTAL		1,236.43
		VET HOM				ASE: 439,700								
059381001064	CB 5938 BLK LOT 1064 & 1064A	CHAPA ELVIA VILLALON & PATRICIO	212 HUNTERS BRANCH ST S			LAND: 203,890	0036	327,437	38,263	942.17				
		SHAVANO PARK TX 78231-1208				IMPR: 161,810								
		212 HUNTERS BRANCH ST				PROD: 0						TOTAL		942.17
		CAP HOM				ASE: 365,700								
059381001065	CB 5938 BLK LOT 1065	MANN GERALD E & MARGARET	210 HUNTERS BRANCH ST S			LAND: 251,140	0036	584,061	19,929	897.67				
		SHAVANO PARK TX 78231-1208				IMPR: 352,850								
		210 HUNTERS BRANCH ST				PROD: 0						TOTAL		897.67
		DEF CAP HOM O65				ASE: 603,990								
		Deferral: 06/30/2017												
059381001066	CB 5938 BLK LOT 1066	BRAULICK TODD & JENNIFER	208 HUNTERS BRANCH ST S			LAND: 172,000	0036	599,910	0	1,726.19				
		SHAVANO PARK TX 78231-1208				IMPR: 427,910								
		208 HUNTERS BRANCH ST				PROD: 0						TOTAL		1,726.19
		HOM				ASE: 599,910								
059381001067	CB 5938 BLK LOT 1067	PEDERSON WILLIAM M & NEREYDA	206 HUNTERS BRANCH ST S			LAND: 185,280	0036	560,410	5,000	1,344.04				
		SHAVANO PARK TX 78231-1208				IMPR: 380,130								
		206 HUNTERS BRANCH ST				PROD: 0						TOTAL		1,344.04
		HOM O65				ASE: 565,410								
059381001068	CB 5938 BLK LOT 1068	BALDWIN RANDALL M & JULIA RENEE	204 HUNTERS BRANCH ST S			LAND: 168,170	0036	557,370	0	1,603.79				
		SHAVANO PARK TX 78231-1208				IMPR: 389,200								
		204 HUNTERS BRANCH ST				PROD: 0						TOTAL		1,603.79
		HOM				ASE: 557,370								
059381001069	CB 5938 BLK LOT 1069	JANK RUTH B	202 HUNTERS BRANCH ST S			LAND: 233,360	0036	416,410	50,550	639.77				
		SHAVANO PARK TX 78231-1208				IMPR: 233,600								
		202 HUNTERS BRANCH ST				PROD: 0						TOTAL		639.77
		CAP HOM O65				ASE: 466,960								
059381001070	CB 5938 BLK LOT 1070	STILES ROBERT BENTON & LORI M	108 HUNTERS BRANCH ST			LAND: 168,650	0036	495,000	0	1,424.32				
		SHAVANO PARK TX 78231-1207				IMPR: 326,350								
		108 HUNTERS BRANCH ST				PROD: 0						TOTAL		1,424.32
		HOM				ASE: 495,000								

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059381001071	CB 5938 BLK LOT 1071	COLEMAN WANDA L	110 HUNTERS BRANCH ST		LAND:	195,870	0036	383,751	28,599	547.26				
		SHAVANO PARK TX 78231-1207	110 HUNTERS BRANCH ST		IMPR:	216,480								
		CAP HOM O65			PROD:	0						TOTAL		547.26
					ASE:	412,350								
059381001072	CB 5938 BLK LOT 1072	WEYANDT NATHAN C	112 HUNTERS BRANCH ST		LAND:	172,160	0036	438,520	0	1,261.81				
		SHAVANO PARK TX 78231-1207	112 HUNTERS BRANCH ST		IMPR:	266,360								
					PROD:	0						TOTAL		1,261.81
					ASE:	438,520								
059381001073	CB 5938 BLK LOT 1073	CANO JULIAN JR	114 HUNTERS BRANCH ST		LAND:	167,310	0036	369,000	5,000	831.29				
		SHAVANO PARK TX 78231-1207	114 HUNTERS BRANCH ST		IMPR:	206,690								
		HOM O65			PROD:	0						TOTAL		831.29
					ASE:	374,000								
059381001074	CB 5938 BLK LOT 1074	LENTZ HAROLD F & HEIDI R BREITSCHOFE-LENTZ	113 HUNTERS BRANCH ST		LAND:	196,810	0036	585,000	0	1,683.29				
		SHAVANO PARK TX 78231-1206	113 HUNTERS BRANCH ST		IMPR:	388,190								
		HOM			PROD:	0						TOTAL		1,683.29
					ASE:	585,000								
059381001075	CB 5938 BLK LOT 1075	ANDREWS CHRISTOPHER A & HEATHER L	111 HUNTERS BRANCH ST		LAND:	152,630	0036	376,500	0	1,083.35				
		SHAVANO PARK TX 78231-1206	111 HUNTERS BRANCH ST		IMPR:	223,870								
		HOM			PROD:	0						TOTAL		1,083.35
					ASE:	376,500								
059381001076	CB 5938 BLK LOT 1076 # 1020170	TEEL DAVID L	735 WARE BLVD		LAND:	168,060	0036	331,150	18,850	840.64				
		SAN ANTONIO TX 78221-	104 TURKEY CREEK RD		IMPR:	181,940								
		VET CAP HOM O65			PROD:	0						TOTAL		840.64
					ASE:	350,000								
059381001077	CB 5938 BLK LOT 1077	RUSHING PATTI JO	100 HONEY BEE LN		LAND:	226,800	0036	545,765	5,665	1,570.40				
		SHAVANO PARK TX 78231-1205	100 HONEY BEE LN		IMPR:	324,630								
		CAP HOM			PROD:	0						TOTAL		1,570.40
					ASE:	551,430								
059381001078	CB 5938 BLK LOT 1078	BRUCHMILLER ELIZABETH A	102 HONEY BEE LN		LAND:	231,070	0036	483,741	31,759	692.44				
		SHAVANO PARK TX 78231-1205	102 HONEY BEE LN		IMPR:	284,430								
		CAP HOM O65			PROD:	0						TOTAL		692.44
					ASE:	515,500								
059381001079	CB 5938 BLK LOT 1079	MATSON MORGAN	119 TURKEY CREEK RD		LAND:	220,160	0036	592,000	0	1,703.43				
		SHAVANO PARK TX 78231-1239	119 TURKEY CREEK RD		IMPR:	371,840								
		HOM			PROD:	0						TOTAL		1,703.43
					ASE:	592,000								

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059381001080	CB 5938 BLK LOT 1080	FORD ANNA S & MOLNAR THOMAS J	117 TURKEY CREEK RD SHAVANO PARK TX 78231-1239 117 TURKEY CREEK RD HOM			LAND: 195,740 IMPR: 248,780 PROD: 0 ASE: 444,520	0036	444,520	0	1,279.07		TOTAL		1,279.07
059381001081	CB 5938 BLK LOT 1081	BUTLER PEGGY Y	115 TURKEY CREEK RD SHAVANO PARK TX 78231-1239 115 TURKEY CREEK RD			LAND: 176,430 IMPR: 239,200 PROD: 0 ASE: 415,630	0036	415,630	0	1,195.94		TOTAL		1,195.94
059381001082	CB 5938 BLK LOT 1082	GONZALES PATRICIA KAJA	109 HUNTERS BRANCH ST SHAVANO PARK TX 78231-1206 109 HUNTERS BRANCH ST HOM O65			LAND: 161,810 IMPR: 220,310 PROD: 0 ASE: 382,120	0036	377,120	5,000	567.20		TOTAL		567.20
059381001083	CB 5938 BLK LOT 1083	KARNEI ORVILLE J & BETTY F	107 HUNTERS BRANCH ST SHAVANO PARK TX 78231-1206 107 HUNTERS BRANCH ST CAP HOM O65			LAND: 168,170 IMPR: 194,350 PROD: 0 ASE: 362,520	0036	347,968	14,552	546.93		TOTAL		546.93
059381001084	CB 5938 BLK LOT 1084	BARCETTI ANTHONY J	15711 NW MILITARY HWY SHAVANO PARK TX 78231-1212 105 HUNTERS BRANCH ST HOM O65			LAND: 168,650 IMPR: 206,350 PROD: 0 ASE: 375,000	0036	370,000	5,000	1,064.65		TOTAL		1,064.65
059381001085	CB 5938 BLK LOT 1085	WAYLAND HORACE G	103 HUNTERS BRANCH ST SHAVANO PARK TX 78231-1206 103 HUNTERS BRANCH ST CAP HOM O65			LAND: 168,940 IMPR: 184,930 PROD: 0 ASE: 353,870	0036	334,933	18,937	500.51		TOTAL		500.51
059381001086	CB 5938 BLK LOT 1086	MARTIN AGNES E	101 HUNTERS BRANCH ST SHAVANO PARK TX 78231-1206 101 HUNTERS BRANCH ST HOM O65			LAND: 168,170 IMPR: 321,110 PROD: 0 ASE: 489,280	0036	484,280	5,000	1,026.08		TOTAL		1,026.08
059381001087	CB 5938 BLK LOT 1087	CALDERON JESUS R & ELENA M & CALDERON JESUS R JR	100 ARROW MOUND ST SHAVANO PARK TX 78231-1201 100 ARROW MOUND ST CAP HOM			LAND: 173,330 IMPR: 161,670 PROD: 0 ASE: 335,000	0036	332,453	2,547	956.61		TOTAL		956.61
059381001088	CB 5938 BLK LOT 1088	RENDON MARIANO P JR	102 ARROW MOUND ST SHAVANO PARK TX 78231-1201 102 ARROW MOUND ST CAP HOM VTX			LAND: 174,220 IMPR: 196,300 PROD: 0 ASE: 370,520	0036	0	370,520	0.00		TOTAL		0.00

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059381001089	CB 5938 BLK LOT 1089	MCPAHAN LINDA B	106 ARROW MOUND ST		LAND:	173,330	0036	397,890	0	1,144.90				
		SHAVANO PARK TX 78231-1201	104 ARROW MOUND ST		IMPR:	224,560						TOTAL		1,144.90
					PROD:	0								
					ASE:	397,890								
059381001090	CB 5938 BLK LOT 1090	MCMARAN CLYLDE A & LINDA B	106 ARROW MOUND ST		LAND:	173,330	0036	398,183	5,707	857.25				
		SHAVANO PARK TX 78231-1201	106 ARROW MOUND ST		IMPR:	230,560						TOTAL		857.25
		CAP HOM O65			PROD:	0								
					ASE:	403,890								
059381001091	CB 5938 BLK LOT 1091	NESTING HENRY MCDONALD	112 ARROW MOUND ST		LAND:	148,930	0036	148,930	0	428.53				
		SHAVANO PARK TX 78231-1201	108 ARROW MOUND ST		IMPR:	0						TOTAL		428.53
					PROD:	0								
					ASE:	148,930								
059381001094	CB 5938 BLK LOT 1094	WARK RICHARD	111 ARROW MOUND ST		LAND:	180,650	0036	475,000	0	1,366.77				
		SHAVANO PARK TX 78231-1201	111 ARROW MOUND ST		IMPR:	294,350						TOTAL		1,366.77
		HOM			PROD:	0								
					ASE:	475,000								
059381001095	CB 5938 BLK LOT 1095	OPITZ SCOTT M	109 ARROW MOUND ST		LAND:	173,320	0036	285,000	0	820.06				
		SHAVANO PARK TX 78231-1201	109 ARROW MOUND ST		IMPR:	111,680						TOTAL		820.06
		HOM			PROD:	0								
					ASE:	285,000								
059381001096	CB 5938 BLK LOT 1096	DEBERRY MARK A & GRETCHEN	107 ARROW MOUND ST		LAND:	173,330	0036	413,700	0	1,190.39				
		SHAVANO PARK TX 78231-1201	107 ARROW MOUND ST		IMPR:	240,370						TOTAL		1,190.39
		HOM			PROD:	0								
					ASE:	413,700								
059381001097	CB 5938 BLK LOT 1097	RODRIGUEZ CELIA J & RODRIGUEZ DANNY	105 ARROW MOUND ST		LAND:	173,330	0036	324,500	29,930	933.72				
		SHAVANO PARK TX 78231-1201	105 ARROW MOUND ST		IMPR:	181,100						TOTAL		933.72
		CAP HOM			PROD:	0								
					ASE:	354,430								
059381001098	CB 5938 BLK LOT 1098	VANPOPPEL VIVIANE DOROTHY	103 ARROW MOUND ST		LAND:	174,120	0036	382,530	0	1,100.70				
		SHAVANO PARK TX 78231-1201	103 ARROW MOUND ST		IMPR:	208,410						TOTAL		1,100.70
					PROD:	0								
					ASE:	382,530								
059381001099	CB 5938 BLK LOT 1099	MATECKO LEE PAUL & SANDRA	101 ARROW MOUND ST		LAND:	173,330	0036	409,460	14,290	1,178.19				
		SHAVANO PARK TX 78231-1201	101 ARROW MOUND ST		IMPR:	250,420						TOTAL		1,178.19
		CAP HOM			PROD:	0								
					ASE:	423,750								

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059381001100	CB 5938 BLK LOT 1100	GRASSO ARTHUR C & SANDRA K	125 LONG BOW RD SHAVANO PARK TX 78231-1210			LAND: 176,510 IMPR: 207,660 PROD: 0 ASE: 384,170	0036	369,099	15,071	701.56				
			125 LONG BOW RD SHAVANO PARK TX 78231-1210									TOTAL		701.56
059381001101	CB 5938 BLK LOT 1101	WIGHTMAN STEVEN LEE & STONE-WIGHTMAN SHERRY	123 LONG BOW RD SHAVANO PARK TX 78231-1210			LAND: 193,050 IMPR: 336,070 PROD: 0 ASE: 529,120	0036	524,120	5,000	977.22				
			123 LONG BOW RD HOM O65									TOTAL		977.22
059381001102	CB 5938 BLK LOT 1102	WISIAN MARY FRANCES	121 LONG BOW RD SHAVANO PARK TX 78231-1210			LAND: 105,620 IMPR: 194,810 PROD: 0 ASE: 300,430	0036	0	300,430	0.00				
			121 LONG BOW RD HOM O65 VTX									TOTAL		0.00
059381001103	CB 5938 BLK LOT 1103	SCHWAB JANICE L TRUST SCHWAB JANICE L TRUSTEE	119 LONG BOW RD SHAVANO PARK TX 78231-1210			LAND: 157,190 IMPR: 401,210 PROD: 0 ASE: 558,400	0036	553,400	5,000	1,274.96				
			119 LONG BOW RD HOM O65									TOTAL		1,274.96
059381001104	CB 5938 BLK LOT 1104	ALVAREZ VIRGINIA LEE	117 LONG BOW RD SHAVANO PARK TX 78231-1210			LAND: 157,190 IMPR: 213,480 PROD: 0 ASE: 370,670	0036	365,670	5,000	564.90				
			117 LONG BOW RD HOM O65									TOTAL		564.90
059381001105	CB 5938 BLK LOT 1105	WETHERELL ADAM	115 LONG BOW RD SHAVANO PARK TX 78231-1210			LAND: 157,190 IMPR: 253,310 PROD: 0 ASE: 410,500	0036	410,500	0	1,181.18				
			115 LONG BOW RD HOM									TOTAL		1,181.18
059381001106	CB 5938 BLK LOT 1106	PHILIPP JOSEPH W & VALERIE M	113 LONG BOW RD SHAVANO PARK TX 78231-1210			LAND: 169,530 IMPR: 160,470 PROD: 0 ASE: 330,000	0036	330,000	0	949.55				
			113 LONG BOW RD HOM									TOTAL		949.55
059381001107	CB 5938 BLK LOT 1107	MCKINSEY WILLIAM G & ANDRELLE E	20 GREEN VIEW DR FAIRMONT WV 26554-1200			LAND: 168,170 IMPR: 224,750 PROD: 0 ASE: 392,920	0036	392,920	0	1,130.60				
			111 LONG BOW RD									TOTAL		1,130.60
059381001108	CB 5938 BLK LOT 1108	HAMALA AMANDA K & ROGERS GAVIN J	109 LONG BOW RD SHAVANO PARK TX 78231-1210			LAND: 168,170 IMPR: 363,800 PROD: 0 ASE: 531,970	0036	531,970	0	1,530.70				
			109 LONG BOW RD HOM									TOTAL		1,530.70

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059381001109	CB 5938 BLK LOT 1109	NOLAN LARRY JOHN & PAMELA ZON	107 LONG BOW RD		LAND:	168,170	0036	549,000	0	1,579.70				
		SHAVANO PARK TX 78231-1210	107 LONG BOW RD		IMPR:	380,830								
		HOM			PROD:	0						TOTAL		1,579.70
					ASE:	549,000								
059381001110	CB 5938 BLK LOT 1110	PEREZ JOSE L & CARMEN E	105 LONG BOW RD		LAND:	168,170	0036	645,380	5,000	1,857.03				
		SHAVANO PARK TX 78231-1210	105 LONG BOW RD		IMPR:	482,210								
		VET HOM			PROD:	0						TOTAL		1,857.03
					ASE:	650,380								
059381001111	CB 5938 BLK LOT 1111	GUPTA SACHIN & BHATT WASUDEA	103 LONG BOW RD		LAND:	168,170	0036	385,000	5,000	1,000.65				
		SHAVANO PARK TX 78231-1210	103 LONG BOW RD		IMPR:	221,830								
		HOM O65			PROD:	0						TOTAL		1,000.65
					ASE:	390,000								
059381001112	CB 5938 BLK LOT 1112	CUDE SUZANNE DEBERRY	100 W MOSSY CUP ST		LAND:	168,170	0036	382,920	5,000	586.81				
		SHAVANO PARK TX 78231-1229	100 W MOSSY CUP ST		IMPR:	219,750								
		HOM O65			PROD:	0						TOTAL		586.81
					ASE:	387,920								
059381001113	CB 5938 BLK LOT 1113	LUTHER JANET L	102 W MOSSY CUP ST		LAND:	168,170	0036	528,860	5,000	849.65				
		SHAVANO PARK TX 78231-1229	102 W MOSSY CUP ST		IMPR:	365,690								
		HOM O65			PROD:	0						TOTAL		849.65
					ASE:	533,860								
059381001114	CB 5938 BLK LOT 1114	GREGGERMAN ROBERT I & MARJORIE L	104 W MOSSY CUP ST		LAND:	168,170	0036	511,330	17,000	843.08				
		SHAVANO PARK TX 78231-1229	104 W MOSSY CUP ST		IMPR:	360,160								
		VET HOM O65			PROD:	0						TOTAL		843.08
					ASE:	528,330								
059381001115	CB 5938 BLK LOT 1115	BRIEGER DUANE ALAN & MARYLOU M	106 W MOSSY CUP ST		LAND:	168,170	0036	600,000	0	1,726.45				
		SHAVANO PARK TX 78231-1229	106 W MOSSY CUP ST		IMPR:	431,830								
		HOM			PROD:	0						TOTAL		1,726.45
					ASE:	600,000								
059381001116	CB 5938 BLK LOT 1116	RICHTER VERNELLE REV TR	108 W MOSSY CUP ST		LAND:	168,650	0036	364,886	10,554	538.76				
		SHAVANO PARK TX 78231-1229	108 W MOSSY CUP ST		IMPR:	206,790								
		CAP HOM O65			PROD:	0						TOTAL		538.76
					ASE:	375,440								
059381001117	CB 5938 BLK LOT 1117	CURRENT PROPERTY OWNER	110 W MOSSY CUP ST		LAND:	143,340	0036	338,000	5,000	903.51				
		SHAVANO PARK TX 78231-1229	110 W MOSSY CUP ST		IMPR:	199,660								
		HOM O65			PROD:	0						TOTAL		903.51
					ASE:	343,000								

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059381001118	CB 5938 BLK LOT 1118	SCHMID GREGORY SCOTT & DEBRA BRONSTA	112 W MOSSY CUP ST SHAVANO PARK TX 78231-1229 112 W MOSSY CUP ST HOM			LAND: 160,270 IMPR: 401,110 PROD: 0 ASE: 561,380	0036	561,380	0	1,615.33			TOTAL	1,615.33
059381001119	CB 5938 BLK LOT 1119	GUERRA ANTONIO F & MARTHA E	114 W MOSSY CUP ST SHAVANO PARK TX 78231-1229 114 W MOSSY CUP ST HOM O65			LAND: 168,170 IMPR: 343,080 PROD: 0 ASE: 511,250	0036	506,250	5,000	1,378.28			TOTAL	1,378.28
059381001120	CB 5938 BLK LOT 1120	MILLER RICHARD & KAREN	818 W HILDEBRAND AVE SAN ANTONIO TX 78212-2126 116 W MOSSY CUP ST HOM			LAND: 171,950 IMPR: 415,050 PROD: 0 ASE: 587,000	0036	587,000	0	1,689.05			TOTAL	1,689.05
059381001121	CB 5938 BLK LOT 1121	WALD JOHN	118 W MOSSY CUP ST SHAVANO PARK TX 78231-1229 118 W MOSSY CUP ST HOM			LAND: 172,850 IMPR: 332,150 PROD: 0 ASE: 505,000	0036	505,000	0	1,453.10			TOTAL	1,453.10
059381001122	CB 5938 BLK LOT 1122	HARDIN WILLIAM H & GLENDA	120 W MOSSY CUP ST SHAVANO PARK TX 78231-1229 120 W MOSSY CUP ST HOM O65			LAND: 162,690 IMPR: 266,560 PROD: 0 ASE: 429,250	0036	424,250	5,000	792.52			TOTAL	792.52
059381001123	CB 5938 BLK LOT 1123	KAUTZ MARGARET MALLORY	122 W MOSSY CUP ST SHAVANO PARK TX 78231-1229 122 W MOSSY CUP ST HOM O65			LAND: 139,130 IMPR: 347,400 PROD: 0 ASE: 486,530	0036	481,530	5,000	974.76			TOTAL	974.76
059381001124	CB 5938 BLK LOT 1124	DUKES STEVEN W	124 W MOSSY CUP ST SAN ANTONIO TX 78231-1229 124 W MOSSY CUP ST HOM O65			LAND: 171,190 IMPR: 236,640 PROD: 0 ASE: 407,830	0036	402,830	5,000	1,062.72			TOTAL	1,062.72
059381001125	CB 5938 BLK LOT 1125A	SMITH JOSEPH F & LUCILLE B	126 W MOSSY CUP ST SHAVANO PARK TX 78231-1229 126 W MOSSY CUP ST CAP HOM O65			LAND: 251,340 IMPR: 335,090 PROD: 0 ASE: 586,430	0036	560,598	25,832	756.48			TOTAL	756.48
059381001127	CB 5938 BLK LOT 1127 & 1128	RYCKMAN MARGARET	130 W MOSSY CUP ST SHAVANO PARK TX 78231-1229 130 W MOSSY CUP ST CAP HOM O65			LAND: 265,420 IMPR: 296,860 PROD: 0 ASE: 562,280	0036	512,143	50,137	739.81			TOTAL	739.81

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059381001129	CB 5938 BLK LOT 1129	RAWLINS JOSEPH W & SHAUN T	129 W MOSSY CUP ST		LAND:	148,260	0036	445,000	0	1,280.45				
		SHAVANO PARK TX 78231-1230	129 W MOSSY CUP ST		IMPR:	296,740								
					PROD:	0						TOTAL		1,280.45
			HOM		ASE:	445,000								
059381001130	CB 5938 BLK LOT 1130	ZIMMERMAN THOMAS W & SHARON	127 W MOSSY CUP ST		LAND:	152,460	0036	350,000	5,000	817.14				
		SHAVANO PARK TX 78231-1230	127 W MOSSY CUP ST		IMPR:	202,540								
					PROD:	0						TOTAL		817.14
			HOM O65		ASE:	355,000								
059381001131	CB 5938 BLK LOT 1131A	BRUMMET BRENT M & NEWMAN DONNA	123 W MOSSY CUP ST		LAND:	254,930	0036	527,120	35,220	1,516.75				
		SHAVANO PARK TX 78231-1230	123 W MOSSY CUP ST		IMPR:	307,410								
					PROD:	0						TOTAL		1,516.75
			CAP HOM		ASE:	562,340								
059381001133	CB 5938 BLK LOT 1133	REHM RANDALL & SUSAN A	121 W MOSSY CUP ST		LAND:	145,840	0036	330,600	5,000	502.80				
		SHAVANO PARK TX 78231-1230	121 W MOSSY CUP ST		IMPR:	189,760								
					PROD:	0						TOTAL		502.80
			HOM O65		ASE:	335,600								
059381001134	CB 5938 BLK LOT 1134	HAMMONDS CLAYBURN & ELEANOR	119 W MOSSY CUP ST		LAND:	172,530	0036	376,106	10,724	560.33				
		SHAVANO PARK TX 78231-1230	119 W MOSSY CUP ST		IMPR:	214,300								
					PROD:	0						TOTAL		560.33
			CAP HOM O65		ASE:	386,830								
059381001135	CB 5938 BLK LOT 1135	SMITH DAVID H	109 W MOSSY CUP ST		LAND:	127,660	0036	551,810	17,000	1,587.79				
		SHAVANO PARK TX 78231-1230	109 W MOSSY CUP ST		IMPR:	441,150								
					PROD:	0						TOTAL		1,587.79
			VET HOM O65		ASE:	568,810								
059381001136	CB 5938 BLK LOT 1136	SESSIONS MARK G & LORIAN R	107 W MOSSY CUP ST		LAND:	140,260	0036	380,000	0	1,093.42				
		SHAVANO PARK TX 78231-1230	107 W MOSSY CUP ST		IMPR:	239,740								
					PROD:	0						TOTAL		1,093.42
			HOM		ASE:	380,000								
059381001138	CB 5938 BLK LOT 1138	MARKOVIC VLADO & JADRANKA	103 W MOSSY CUP ST		LAND:	165,110	0036	353,075	70,565	837.13				
		SHAVANO PARK TX 78231-1230	103 W MOSSY CUP ST		IMPR:	258,530								
					PROD:	0						TOTAL		837.13
			CAP HOM O65		ASE:	423,640								
059381001139	CB 5938 BLK LOT 1139	SCHUH WILLIAM M & JERRY ANN	101 W MOSSY CUP ST		LAND:	165,060	0036	537,830	5,000	919.61				
		SHAVANO PARK TX 78231-1230	101 W MOSSY CUP ST		IMPR:	377,770								
					PROD:	0						TOTAL		919.61
			HOM O65		ASE:	542,830								

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059381001140	CB 5938 BLK LOT 1140	COUNTRYMAN MATTHEW & EMILY	91 MOSSY CUP ST SHAVANO PARK TX 78231-1200			LAND: 171,900 IMPR: 298,100 PROD: 0 ASE: 470,000	0036	470,000	0	1,352.39		TOTAL		1,352.39
059381001141	CB 5938 BLK LOT 1141	VF HOME REMODELS LLC	220 W OAK ESTATES DR SAN ANTONIO TX 78260-7031			LAND: 150,070 IMPR: 205,500 PROD: 0 ASE: 355,570	0036	355,570	0	1,023.12		TOTAL		1,023.12
059381001142	CB 5938 BLK LOT 1142	CORTEZ CARLOS L	94 MOSSY CUP ST SHAVANO PARK TX 78231-1243			LAND: 134,870 IMPR: 196,130 PROD: 0 ASE: 331,000	0036	331,000	0	952.43		TOTAL		952.43
059381001143	CB 5938 BLK LOT 1143	BRUMMET DON C & SUE A	92 MOSSY CUP ST SHAVANO PARK TX 78231-1243			LAND: 156,660 IMPR: 216,570 PROD: 0 ASE: 373,230	0036	368,230	5,000	636.84		TOTAL		636.84
059381001144	CB 5938 BLK LOT 1144	BANDOSKE STEPHANIE	90 MOSSY CUP ST SHAVANO PARK TX 78231-1243			LAND: 172,910 IMPR: 321,270 PROD: 0 ASE: 494,180	0036	494,180	0	1,421.96		TOTAL		1,421.96
059381001145	CB 5938 BLK LOT 1145	LIEBE HANS J & LINDA	88 MOSSY CUP ST SHAVANO PARK TX 78231-1243			LAND: 181,130 IMPR: 437,870 PROD: 0 ASE: 619,000	0036	614,000	5,000	1,427.20		TOTAL		1,427.20
059381001146	CB 5938 BLK LOT 1146	OWENS DAVID A & SHELLY K	86 MOSSY CUP ST SHAVANO PARK TX 78231-1243			LAND: 184,920 IMPR: 243,220 PROD: 0 ASE: 428,140	0036	0	428,140	0.00		TOTAL		0.00
059381001147	CB 5938 BLK LOT 1147	ARNOLD GARY & RENEE C	84 MOSSY CUP ST SHAVANO PARK TX 78231-1243			LAND: 173,330 IMPR: 284,670 PROD: 0 ASE: 458,000	0036	453,000	5,000	1,136.58		TOTAL		1,136.58
059381001148	CB 5938 BLK LOT 1148	KETNER CHARLES K & LEIGH ANN	82 MOSSY CUP ST SHAVANO PARK TX 78231-1243			LAND: 173,330 IMPR: 289,780 PROD: 0 ASE: 463,110	0036	463,110	0	1,332.56		TOTAL		1,332.56

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059381001149	CB 5938 BLK LOT 1149	PIWINSKI STEPHEN EDWARD	115 BIKEWAY LN			LAND: 173,440	0036	476,730	5,000	1,319.73				
		SHAVANO PARK TX 78231-1402	115 BIKEWAY LN			IMPR: 308,290								
		HOM O65				PROD: 0						TOTAL		1,319.73
						ASE: 481,730								
059381001150	CB 5938 BLK LOT 1150	STRAIN DAVID & PAMELA	113 BIKEWAY LN			LAND: 170,350	0036	354,948	10,722	1,021.33				
		SHAVANO PARK TX 78231-1402	113 BIKEWAY LN			IMPR: 195,320								
		CAP HOM				PROD: 0						TOTAL		1,021.33
						ASE: 365,670								
059381001151	CB 5938 BLK LOT 1151	HUGHES CHAD M & BRZOZOWSKI MARCI	111 BIKEWAY LN			LAND: 179,660	0036	635,000	0	1,827.16				
		SHAVANO PARK TX 78231-1402	111 BIKEWAY LN			IMPR: 455,340								
		HOM				PROD: 0						TOTAL		1,827.16
						ASE: 635,000								
059381001152	CB 5938 BLK LOT 1152	MASAAD MUSTAFA A	109 BIKEWAY LN			LAND: 173,330	0036	446,590	0	1,285.03				
		SHAVANO PARK TX 78231-1402	109 BIKEWAY LN			IMPR: 273,260								
		HOM				PROD: 0						TOTAL		1,285.03
						ASE: 446,590								
059381001153	CB 5938 BLK LOT 1153	DUNCAN WALTER J & JOAN	107 BIKEWAY LN			LAND: 177,420	0036	597,690	17,000	1,018.99				
		SHAVANO PARK TX 78231-1402	107 BIKEWAY LN			IMPR: 437,270								
		VET DEF HOM O65				PROD: 0						TOTAL		1,018.99
		Deferral: 09/23/2008				ASE: 614,690								
059381001154	CB 5938 BLK LOT 1154	HENDRICKS DON C & KAREN B	105 BIKEWAY LN			LAND: 177,720	0036	372,300	34,970	816.93				
		SHAVANO PARK TX 78231-1402	105 BIKEWAY LN			IMPR: 229,550								
		CAP HOM O65				PROD: 0						TOTAL		816.93
						ASE: 407,270								
059381001155	CB 5938 BLK LOT 1155	SENSIBA GUY M & MARJORIE F	103 BIKEWAY LN			LAND: 177,780	0036	527,980	0	1,519.22				
		SHAVANO PARK TX 78231-1402	103 BIKEWAY LN			IMPR: 350,200								
		HOM				PROD: 0						TOTAL		1,519.22
						ASE: 527,980								
059381001156	CB 5938 BLK LOT 1156	MOSELEY MARTHE J & RANDY A	101 BIKEWAY LN			LAND: 195,230	0036	465,850	2,820	1,340.45				
		SHAVANO PARK TX 78231-1402	101 BIKEWAY LN			IMPR: 273,440								
		CAP HOM				PROD: 0						TOTAL		1,340.45
						ASE: 468,670								
059381001157	CB 5938 BLK LOT 1157	CITY OF SHAVANO PARK	900 SADDLETREE CT			LAND: 8,590	0036	0	8,590	0.00				
		SHAVANO PARK TX 78231-1599	112 BIKEWAY LN			IMPR: 0								
		EXXV				PROD: 0						TOTAL		0.00
						ASE: 8,590								

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059381001158	CB 5938 BLK LOT 1158	GALVAN ERNEST G & DIANA R	110 BIKEWAY LN		LAND:	184,950	0036	524,780	5,000	1,268.16				
		SHAVANO PARK TX 78231-1401	110 BIKEWAY LN		IMPR:	344,830								
		HOM O65			PROD:	0						TOTAL		1,268.16
					ASE:	529,780								
059381001159	CB 5938 BLK LOT 1159	VASQUEZ ROSEMARY C & ANDY F	108 BIKEWAY LN		LAND:	181,140	0036	512,080	5,000	1,326.72				
		SHAVANO PARK TX 78231-1401	108 BIKEWAY LN		IMPR:	335,940								
		HOM O65			PROD:	0						TOTAL		1,326.72
					ASE:	517,080								
059381001160	CB 5938 BLK LOT 1160	OLD FAMILY TRUST	OLD CAROLE W TRUSTEES		LAND:	183,580	0036	0	458,740	0.00				
		106 BIKEWAY LN	SHAVANO PARK TX 78231-1401		IMPR:	275,160								
		HOM O65 VTX			PROD:	0						TOTAL		0.00
					ASE:	458,740								
059381001161	CB 5938 BLK LOT 1161	WALEA ALFRED W & NANCY D	104 BIKEWAY LN		LAND:	183,580	0036	588,200	5,000	1,398.43				
		SHAVANO PARK TX 78231-1401	104 BIKEWAY LN		IMPR:	409,620								
		HOM O65			PROD:	0						TOTAL		1,398.43
					ASE:	593,200								
059381001162	CB 5938 BLK LOT 1162	KIRBY KENNETH CRAIG	ANNE LINAHAN		LAND:	176,160	0036	646,610	5,000	1,654.52				
		102 BIKEWAY LN	SHAVANO PARK TX 78231-1401		IMPR:	475,450								
		HOM O65			PROD:	0						TOTAL		1,654.52
					ASE:	651,610								
059381001163	CB 5938 BLK LOT 1163	WRIGHT EARL L & SUSAN L	100 BIKEWAY LN		LAND:	189,580	0036	482,750	5,000	977.31				
		SHAVANO PARK TX 78231-1401	100 BIKEWAY LN		IMPR:	298,170								
		HOM O65			PROD:	0						TOTAL		977.31
					ASE:	487,750								
059381001164	CB 5938 BLK LOT 1164	CAIN DOUGLAS N	101 RIPPLE CREEK ST		LAND:	168,170	0036	365,535	9,885	813.60				
		SHAVANO PARK TX 78231-1418	101 RIPPLE CREEK ST		IMPR:	207,250								
		CAP HOM O65			PROD:	0						TOTAL		813.60
					ASE:	375,420								
059381001165	CB 5938 BLK LOT 1165	BLANCO EDWARD J & SUNNY L	519 TALMADGE LN		LAND:	168,170	0036	386,610	5,000	1,018.95				
		SHAVANO PARK TX 78249-2998	103 RIPPLE CREEK ST		IMPR:	223,440								
		HOM O65			PROD:	0						TOTAL		1,018.95
					ASE:	391,610								
059381001166	CB 5938 BLK LOT 1166	RILEY TIM & RILEY CATHERINE WANG	105 RIPPLE CREEK ST		LAND:	170,670	0036	362,660	0	1,043.53				
		SAN ANTONIO TX 78231-1418	105 RIPPLE CREEK ST		IMPR:	191,990								
					PROD:	0						TOTAL		1,043.53
					ASE:	362,660								

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059381001167	CB 5938 BLK LOT 1167	FELTY STEVE ALAN & MARICELA V	107 RIPPLE CREEK ST SHAVANO PARK TX 78231-1418 107 RIPPLE CREEK ST CAP HOM O65	LAND: IMPR: PROD: ASE:	186,340 223,120 0 409,460	0036	390,351	19,109	721.58			TOTAL		721.58
059381001168	CB 5938 BLK LOT 1168	BELADI DONNA L & HAMID	109 RIPPLE CREEK ST SHAVANO PARK TX 78231-1418 109 RIPPLE CREEK ST HOM O65	LAND: IMPR: PROD: ASE:	200,820 384,180 0 585,000	0036	580,000	5,000	1,466.85			TOTAL		1,466.85
059381001169	CB 5938 BLK LOT 1169	PRESTON JAMES R & CHRISTINE	111 RIPPLE CREEK ST SHAVANO PARK TX 78231-1418 111 RIPPLE CREEK ST HOM O65	LAND: IMPR: PROD: ASE:	201,610 311,750 0 513,360	0036	508,360	5,000	1,154.46			TOTAL		1,154.46
059381001170	CB 5938 BLK LOT 1170	MAURTUA JUAN MIGUEL	113 RIPPLE CREEK ST SHAVANO PARK TX 78231-1418 113 RIPPLE CREEK ST HOM VTX	LAND: IMPR: PROD: ASE:	188,000 449,740 0 637,740	0036	0	637,740	0.00			TOTAL		0.00
059381001171	CB 5938 BLK LOT 1171	RICE JERRY	115 RIPPLE CREEK ST SHAVANO PARK TX 78231-1418 115 RIPPLE CREEK ST HOM O65	LAND: IMPR: PROD: ASE:	171,200 334,150 0 505,350	0036	500,350	5,000	702.87			TOTAL		702.87
059381001172	CB 5938 BLK LOT 1172	ELLEY MICHAEL & THERESA	117 RIPPLE CREEK ST SHAVANO PARK TX 78231-1418 117 RIPPLE CREEK ST HOM O65	LAND: IMPR: PROD: ASE:	253,520 630,710 0 884,230	0036	879,230	5,000	2,345.10			TOTAL		2,345.10
059381001174	CB 5938 BLK LOT 1174 UNIT 14	SIMPSON BARBARA M	100 RIPPLE CREEK ST SHAVANO PARK TX 78231-1417 100 RIPPLE CREEK ST VET HOM O65	LAND: IMPR: PROD: ASE:	172,270 352,460 0 524,730	0036	507,730	17,000	1,263.19			TOTAL		1,263.19
059381001175	CB 5938 BLK LOT 1175	MULLAN CELINA RIOS	102 RIPPLE CREEK ST SHAVANO PARK TX 78231-1417 102 RIPPLE CREEK ST CAP HOM O65	LAND: IMPR: PROD: ASE:	179,560 213,980 0 393,540	0036	376,854	16,686	865.56			TOTAL		865.56
059381001176	CB 5938 BLK LOT 1176	TORRES ALBERTO & TANYA C	104 RIPPLE CREEK ST SHAVANO PARK TX 78231-1417 104 RIPPLE CREEK ST HOM	LAND: IMPR: PROD: ASE:	177,480 297,520 0 475,000	0036	475,000	0	1,366.77			TOTAL		1,366.77

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059381001177	CB 5938 BLK LOT 1177	CRACKNELL RAYMOND W & KAREN	106 RIPPLE CREEK ST		LAND:	164,710	0036	514,430	5,000	818.44				
		106 RIPPLE CREEK ST			IMPR:	354,720								
		SHAVANO PARK TX 78231-1417			PROD:	0						TOTAL		818.44
		106 RIPPLE CREEK ST			ASE:	519,430								
		HOM O65												
059381001178	CB 5938 BLK LOT 1178	REGNER GLENN R & KAREN L	119 PAINTED POST LN		LAND:	176,590	0036	482,160	0	1,387.38				
		SHAVANO PARK TX 78231-1415			IMPR:	305,570								
		119 PAINTED POST LN			PROD:	0						TOTAL		1,387.38
		HOM			ASE:	482,160								
059381001179	CB 5938 BLK LOT E 160.34 FT OF 1179	GRAHAM LOYD ALTON & BAILERY ILSE D	117 PAINTED POST		LAND:	186,760	0036	548,320	0	1,577.75				
		SHAVANO PARK TX 78231-			IMPR:	361,560								
		117 PAINTED POST LN			PROD:	0						TOTAL		1,577.75
		HOM			ASE:	548,320								
059381001180	CB 5938 BLK LOT 1180 & W 13.58 OF 1179	ZUFLACHT MICHAEL I	115 PAINTED POST LN		LAND:	164,650	0036	526,640	5,000	1,144.29				
		SHAVANO PARK TX 78231-1415			IMPR:	366,990								
		115 PAINTED POST LN			PROD:	0						TOTAL		1,144.29
		HOM O65			ASE:	531,640								
059381001181	CB 5938 BLK LOT 1181	ROBINSON KENNETH D & SHIRLEY J	113 PAINTED POST LN		LAND:	155,720	0036	376,510	5,000	583.87				
		SHAVANO PARK TX 78231-1415			IMPR:	225,790								
		113 PAINTED POST LN			PROD:	0						TOTAL		583.87
		HOM O65			ASE:	381,510								
059381001182	CB 5938 BLK LOT 1182	COLEMERE MICHAEL & VICTORIA MAISEL	111 PAINTED POST LN		LAND:	80,620	0036	416,560	5,000	1,198.62				
		SHAVANO PARK TX 78231-1415			IMPR:	340,940								
		111 PAINTED POST LN			PROD:	0						TOTAL		1,198.62
		HOM O65			ASE:	421,560								
059381001183	CB 5938 BLK LOT 1183	GRANT WILSON WAYNE & VERONICA	109 PAINTED POST LN		LAND:	161,070	0036	575,590	5,000	1,317.89				
		SHAVANO PARK TX 78231-1415			IMPR:	419,520								
		109 PAINTED POST LN			PROD:	0						TOTAL		1,317.89
		HOM O65			ASE:	580,590								
059381001184	CB 5938 BLK LOT 1184	MURPHY DANIEL G & SHERYL S	107 PAINTED POST LN		LAND:	155,100	0036	435,000	0	1,251.68				
		SHAVANO PARK TX 78231-1415			IMPR:	279,900								
		107 PAINTED POST LN			PROD:	0						TOTAL		1,251.68
		HOM			ASE:	435,000								
059381001185	CB 5938 BLK LOT 1185	HARDER DOUGLAS E & BARBARA	105 PAINTED POST LN		LAND:	155,920	0036	373,990	5,000	947.25				
		SHAVANO PARK TX 78231-1415			IMPR:	223,070								
		105 PAINTED POST LN			PROD:	0						TOTAL		947.25
		HOM O65			ASE:	378,990								

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059381001186	CB 5938 BLK LOT 1186	LOZANO FERNANDO & PRISCILLA	103 PAINTED POST LN SHAVANO PARK TX 78231-1415 103 PAINTED POST LN CAP HOM O65	LAND: IMPR: PROD: ASE:	157,320 174,670 0 331,990	0036	319,060	12,930	464.12			TOTAL		464.12
059381001187	CB 5938 BLK LOT 1187	CUNOV KURT A & LISA M	101 PAINTED POST LN SHAVANO PARK TX 78231-1415 101 PAINTED POST LN HOM	LAND: IMPR: PROD: ASE:	165,050 224,830 0 389,880	0036	389,880	0	1,121.85			TOTAL		1,121.85
059381001188	CB 5938 BLK LOT 1188	RABEL ADAM G & REBECCA L	3810 DE ZAVALA RD SHAVANO PARK TX 78231-1409 3810 DE ZAVALA RD HOM	LAND: IMPR: PROD: ASE:	175,040 164,960 0 340,000	0036	340,000	0	978.32			TOTAL		978.32
059381001189	CB 5938 BLK LOT 1189	OBERG ALOIS	3806 DE ZAVALA RD SAN ANTONIO TX 78231-1409 3806 DE ZAVALA RD CAP HOM O65	LAND: IMPR: PROD: ASE:	175,040 169,840 0 344,880	0036	314,660	30,220	502.47			TOTAL		502.47
059381001190	CB 5938 BLK LOT 1190	ODOM JOHNNY & JANICE	3802 DE ZAVALA RD SAN ANTONIO TX 78231-1409 3802 DE ZAVALA RD HOM O65	LAND: IMPR: PROD: ASE:	176,480 305,810 0 482,290	0036	477,290	5,000	696.66			TOTAL		696.66
059381001191	CB 5938 BLK LOT 1191	KERESZTURY SHIRLEY J	100 PAINTED POST LN SHAVANO PARK TX 78231-1414 100 PAINTED POST LN HOM	LAND: IMPR: PROD: ASE:	179,790 609,210 0 789,000	0036	789,000	0	2,270.28			TOTAL		2,270.28
059381001192	CB 5938 BLK LOT 1192	JOHNSON KEVIN M	102 PAINTED POST LN SHAVANO PARK TX 78231-1414 102 PAINTED POST LN HOM	LAND: IMPR: PROD: ASE:	182,020 375,480 0 557,500	0036	557,500	0	1,604.16			TOTAL		1,604.16
059381001193	CB 5938 BLK LOT 1193	EADES THOMAS W & MARILYN	104 PAINTED POST LN SHAVANO PARK TX 78231-1414 104 PAINTED POST LN HOM O65	LAND: IMPR: PROD: ASE:	173,280 371,720 0 545,000	0036	540,000	5,000	1,333.60			TOTAL		1,333.60
059381001194	CB 5938 BLK LOT 1194	DEARMOND DAIEL T & LISA M	106 PAINTED POST LN SHAVANO PARK TX 78231-1414 106 PAINTED POST LN HOM	LAND: IMPR: PROD: ASE:	169,560 524,970 0 694,530	0036	694,530	0	1,998.45			TOTAL		1,998.45

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059381001195	CB 5938 BLK LOT 1195	SCHWEITZER FRANK & MARY	108 PAINTED POST LN			LAND: 177,670 IMPR: 233,210 PROD: 0 ASE: 410,880	0036	405,880	5,000	835.81				
		108 PAINTED POST LN	SHAVANO PARK TX 78231-1414									TOTAL		835.81
059381001196	CB 5938 BLK LOT 1196	SALAZAR MELISSA	110 PAINTED POST LN			LAND: 178,940 IMPR: 321,060 PROD: 0 ASE: 500,000	0036	500,000	0	1,438.71				
		110 PAINTED POST LN	SHAVANO PARK TX 78231-1414									TOTAL		1,438.71
059381001197	CB 5938 BLK LOT 1197	BOHL MARK S & DARLA T	112 PAINTED POST LN			LAND: 198,050 IMPR: 451,950 PROD: 0 ASE: 650,000	0036	650,000	0	1,870.32				
		112 PAINTED POST LN	SHAVANO PARK TX 78231-1414									TOTAL		1,870.32
059381001198	CB 5938 BLK LOT 1198	VOLTZ AMY A	114 PAINTED POST LN			LAND: 209,630 IMPR: 370,370 PROD: 0 ASE: 580,000	0036	580,000	0	1,668.90				
		114 PAINTED POST LN	SHAVANO PARK TX 78231-1414									TOTAL		1,668.90
059381001199	CB 5938 BLK LOT 1199	CURRENT PROPERTY OWNER	116 PAINTED POST LN			LAND: 205,120 IMPR: 368,880 PROD: 0 ASE: 574,000	0036	562,000	12,000	1,617.11				
		116 PAINTED POST LN	SHAVANO PARK TX 78231-1414									TOTAL		1,617.11
059381001200	CB 5938 BLK LOT 1200	TRIPPY MATTHEW A & CHRISTA W	118 PAINTED POST LN			LAND: 197,470 IMPR: 198,640 PROD: 0 ASE: 396,110	0036	363,979	32,131	1,047.32				
		118 PAINTED POST LN	SHAVANO PARK TX 78231-1414									TOTAL		1,047.32
059381001201	CB 5938 BLK LOT 1201	EVANS SHANIA DICKERSON & CEDRIC	120 PAINTED POST LN			LAND: 198,510 IMPR: 480,430 PROD: 0 ASE: 678,940	0036	678,940	0	1,953.60				
		120 PAINTED POST LN	SHAVANO PARK TX 78231-1414									TOTAL		1,953.60
059381001202	CB 5938 BLK LOT 1202	SPANN DON L & JUDITH A	122 PAINTED POST LN			LAND: 193,360 IMPR: 352,600 PROD: 0 ASE: 545,960	0036	540,960	5,000	784.60				
		122 PAINTED POST LN	SHAVANO PARK TX 78231-1414									TOTAL		784.60
059381001203	CB 5938 BLK LOT 1203	OTT ROBERT S & MAUREEN C	101 PEPPER BUSH ST			LAND: 192,980 IMPR: 456,360 PROD: 0 ASE: 649,340	0036	644,340	5,000	1,417.28				
		101 PEPPER BUSH ST	SHAVANO PARK TX 78231-1416									TOTAL		1,417.28

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059381001204	CB 5938 BLK LOT 1204	MIDDLETON FAMILY TRUST	MIDDLETON LEMUEL D & AGNES J TR			LAND: 194,930	0036	317,245	46,275	507.70				
		103 PEPPER BUSH ST	SHAVANO PARK TX 78231-1416			IMPR: 168,590						TOTAL		507.70
		103 PEPPER BUSH ST	CAP HOM O65			PROD: 0								
						ASE: 363,520								
059381001205	CB 5938 BLK LOT 1205	VELASQUEZ MANUEL J & ALICE	105 PEPPER BUSH ST			LAND: 186,300	0036	438,830	5,000	761.63				
		105 PEPPER BUSH ST	SHAVANO PARK TX 78231-1416			IMPR: 257,530						TOTAL		761.63
		105 PEPPER BUSH ST	HOM O65			PROD: 0								
						ASE: 443,830								
059381001206	CB 5938 BLK LOT 1206	JONES JACOB & ALLISON G	107 PEPPER BUSH ST			LAND: 177,500	0036	558,560	0	1,607.21				
		107 PEPPER BUSH ST	SHAVANO PARK TX 78231-1416			IMPR: 381,060						TOTAL		1,607.21
		107 PEPPER BUSH ST	HOM			PROD: 0								
						ASE: 558,560								
059381001207	CB 5938 BLK LOT 1207	GRESORES ADRIAN	109 PEPPER BUSH ST			LAND: 174,090	0036	502,050	0	1,444.61				
		109 PEPPER BUSH ST	SHAVANO PARK TX 78231-1416			IMPR: 327,960						TOTAL		1,444.61
		109 PEPPER BUSH ST	HOM			PROD: 0								
						ASE: 502,050								
059381001208	CB 5938 BLK LOT 1208	SHAW PATSY REVOCABLE TRUST	14711 CHURCHILL ESTATES BLVD			LAND: 212,720	0036	398,106	39,284	603.16				
		111 PEPPER BUSH ST	SAN ANTONIO TX 78231-1416			IMPR: 224,670						TOTAL		603.16
		111 PEPPER BUSH ST	CAP HOM O65			PROD: 0								
						ASE: 437,390								
059381001209	CB 5938 BLK LOT 1209	BRUCE EDWARD R & SANDRA C	113 PEPPER BUSH ST			LAND: 190,640	0036	333,228	38,212	558.11				
		113 PEPPER BUSH ST	SHAVANO PARK TX 78231-1416			IMPR: 180,800						TOTAL		558.11
		113 PEPPER BUSH ST	CAP HOM O65			PROD: 0								
						ASE: 371,440								
059381001210	CB 5938 BLK LOT 1210	REUTZEL PHILIP K & TERRY L	110 PEPPER BUSH ST			LAND: 191,160	0036	478,000	0	1,138.71				
		110 PEPPER BUSH ST	SHAVANO PARK TX 78231-1416			IMPR: 286,840						TOTAL		1,138.71
		110 PEPPER BUSH ST	DRH HOM			PROD: 0								
						ASE: 478,000								
059381001211	CB 5938 BLK LOT 1211	MOULDER MARY HANNAH	108 PEPPER BUSH ST			LAND: 194,520	0036	409,128	20,582	602.83				
		108 PEPPER BUSH ST	SHAVANO PARK TX 78231-1416			IMPR: 235,190						TOTAL		602.83
		108 PEPPER BUSH ST	CAP HOM O65			PROD: 0								
						ASE: 429,710								
059381001212	CB 5938 BLK LOT 1212	PEARSON RICHARD L & JANET F	106 PEPPER BUSH ST			LAND: 172,270	0036	395,000	5,000	890.61				
		106 PEPPER BUSH ST	SHAVANO PARK TX 78231-1416			IMPR: 227,730						TOTAL		890.61
		106 PEPPER BUSH ST	HOM O65			PROD: 0								
						ASE: 400,000								

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059381001213	CB 5938 BLK LOT 1213 (SHAVANO PARK UT-14)	ZARATE PABLO & ERIKA A	104 PEPPER BUSH ST SHAVANO PARK TX 78231-1416			LAND: 176,730 IMPR: 253,630 PROD: 0 ASE: 430,360	0036	0	430,360	0.00				
			104 PEPPER BUSH ST HOM VTX									TOTAL		0.00
059381001214	CB 5938 BLK LOT 1214	MONTGOMERY MICHAEL T & DIANE P	102 PEPPER BUSH ST SHAVANO PARK TX 78231-1416			LAND: 177,370 IMPR: 399,670 PROD: 0 ASE: 577,040	0036	572,040	5,000	1,544.14				
			102 PEPPER BUSH ST HOM O65									TOTAL		1,544.14
059381001215	CB 5938 BLK LOT 1215	BRETT ANNETTE C	100 PEPPER BUSH ST SHAVANO PARK TX 78231-1416			LAND: 178,840 IMPR: 280,360 PROD: 0 ASE: 459,200	0036	454,200	5,000	702.87				
			100 PEPPER BUSH ST HOM O65									TOTAL		702.87
059381001218	CB 5938 LOT 1137(.7655 AC) CB 4783 P-1C ABS 336 (.6409 AC)	REIN RICKARD E & SARAH M	105 W MOSSY CUP ST SHAVANO PARK TX 78231-1230			LAND: 253,020 IMPR: 538,980 PROD: 0 ASE: 792,000	0036	670,611	5,000	1,758.86				
			105 W MOSSY CUP ST HOM O65									TOTAL		1,758.86
059381001219	CB 5938 BLK LOT 1216	ORBELO JOJACQUELON	110 HONEY BEE LN SHAVANO PARK TX 78231-1205			LAND: 258,760 IMPR: 374,670 PROD: 0 ASE: 633,430	0036	0	633,430	0.00				
			110 HONEY BEE LN CAP HOM O65 VTX									TOTAL		0.00
059381002001	CB 5938 BLK LOT 1048A (LOT 1048A SHAVANO PK UT-12)	MCMINN REBECCA F DEMONTREVE	134 LONG BOW RD SHAVANO PARK TX 78231-1209			LAND: 273,770 IMPR: 174,230 PROD: 0 ASE: 448,000	0036	361,300	86,700	573.08				
			134 LONG BOW RD S65 CAP HOM									TOTAL		573.08
059381002002	CB 5938 BLK LOT 1092 & 1093	NESTING HENRY MCDONALD	112 ARROW MOUND ST SHAVANO PARK TX 78231-1201			LAND: 269,160 IMPR: 274,880 PROD: 0 ASE: 544,040	0036	486,271	57,769	740.46				
			112 ARROW MOUND ST CAP HOM O65									TOTAL		740.46
150100000465	CB 4784 P-1 (6.18), CB 4785 P-1 (34.4159), P-1J (.0656)	ROGERS SHAVANO PARK UT 18/19 LTD	11 LYNN BATTS LN STE 100 SAN ANTONIO TX 78218-3077			LAND: 2,798,520 IMPR: 0 PROD: 3,490 ASE: 2,798,520	0036	3,490	2,795,030	10.04				
			0 W LOOP 1604 OSP									TOTAL		10.04
150100000466	NCB 15010 BLK P-1D	CITY OF SAN ANTONIO	PO BOX 839966 SAN ANTONIO TX 78283-3966			LAND: 0 IMPR: 0 PROD: 0 ASE: 0	0036	0	0	0.00				
			3104 N LOOP 1604 W EXXV									TOTAL		0.00

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150100000467 NCB 15010 P-1E		CITY OF SAN ANTONIO			LAND:	0	0036	0	0	0.00				
		PO BOX 839966			IMPR:	0								
		SAN ANTONIO TX 78283-3966			PROD:	0						TOTAL		0.00
		0 W LOOP 1604			ASE:	0								
		EXXV												
150100000468 NCB 15010 P-1L		CITY OF SHAVANO PARK			LAND:	0	0036	0	0	0.00				
		900 SADDLETREE CT			IMPR:	0								
		SHAVANO PARK TX 78231-1599			PROD:	0						TOTAL		0.00
		0 W LOOP 1604			ASE:	0								
		EXXV												
150100000469 CB 4787 P-1G (NON ADJ REMS)		ROGERS SHAVANO PARK UT 18/19 LTD			LAND:	787,400	0036	160	787,240	0.46				
		11 LYNN BATTS LN STE 100			IMPR:	0								
		SAN ANTONIO TX 78218-3077			PROD:	160						TOTAL		0.46
		0 W LOOP 1604			ASE:	787,400								
		OSP												
150100000470 NCB 15011 P-1B (4.1752), CB 4787 P-1E (.4717), P-1H (.3637) (NON ADJ REMS)		ROGERS SHAVANO PARK UT 18/19 LTD			LAND:	2,360,000	0036	114,932	2,245,068	330.71				
		11 LYNN BATTS LN STE 100			IMPR:	0								
		SAN ANTONIO TX 78218-3077			PROD:	410						TOTAL		330.71
		0 W LOOP 1604			ASE:	2,360,000								
		OSP												
150100000471 CB 4784 P-1N (NON ADJ REMS)		ROGERS SHAVANO PARK UT 18/19 LTD			LAND:	280,650	0036	310	280,340	0.89				
		11 LYNN BATTS LN STE 100			IMPR:	0								
		SAN ANTONIO TX 78218-3077			PROD:	310						TOTAL		0.89
		0 W LOOP 1604			ASE:	280,650								
		OSP												
150110000018 NCB 15011 BLK P-1D		STATE OF TEXAS			LAND:	0	0036	0	0	0.00				
		PO BOX 29928			IMPR:	0								
		SAN ANTONIO TX 78229-0928			PROD:	0						TOTAL		0.00
		0 W LOOP 1604			ASE:	0								
		EXXV												
177040010010 NCB17704 BK1 LOT N478.46'OF1 CB4782F BK1 LT S219.06' OF 1 UNIV OAKS CHURCH OF CHRIST		UNIVERSITY CHURCH OF CHRIST			LAND:	0	0036	0	0	0.00				
		113 SUNFLOWER LN			IMPR:	0								
		SAN ANTONIO TX 78213-1923			PROD:	0						TOTAL		0.00
		4687 LOCKHILL SELMA RD			ASE:	0								
		EXXV												
177040010050 NCB 17704 BLK 1 LOT 5 (LIFE FAMILY CHURCH)		SHAVANO CLASS I LLC			LAND:	2,685,960	0036	2,962,340	0	8,523.90				
		400 W ILLINOIS AVE STE 950			IMPR:	276,380								
		MIDLAND TX 79701-4641			PROD:	0						TOTAL		8,523.90
		4675 LOCKHILL SELMA RD			ASE:	2,962,340								
186121020530 NCB 18612 BLK 102 LOT 53 (SILK GREENERY SUBD)		LHS4680 LLC			LAND:	578,650	0036	1,217,723	0	3,503.90				
		442 PUEBLO PINTADO			IMPR:	1,044,980								
		HELOTES TX 78023-4725			PROD:	0						TOTAL		3,503.90
		4680 LOCKHILL SELMA RD			ASE:	1,623,630								

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730004550000	SOUTHWESTERN BELL TELEPHONE 000000 00	SOUTHWESTERN BELL TELEPHONE	ATTN PROPERTY TAX DEPT			LAND: 0	0036	1,664,357	0	4,789.05				
	VARIOUS LOC TELEPHONE LINES & APPURTENANCES FURN FIXT EQPT VEHS SUP	1010 PINE ST 9E-L-01	SAINT LOUIS MO 63101-2070			IMPR: 155,271,363								
	LI OTNSF	0 VARIOUS LOCATIONS				PROD: 0						TOTAL		4,789.05
						ASE: 155,271,363								
901072274525	AMERIGAS PROPANE LP 000000 00 VARIOUS LOC LEASED EQUIP	AMERIGAS PROPANE LP	SAMUEL MAURIELLO-TREAS			LAND: 0	0036	0	110	0.00				
		PO BOX 798	VALLEY FORGE PA 19482-0798			IMPR: 175,480								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		0.00
		HB3				ASE: 175,480								
901079035600	APPLIANCE WAREHOUSE 000000 00 VARIOUS LOC EQUIP	APPLIANCE WAREHOUSE	R E BAILEY-VP			LAND: 0	0036	961	0	2.77				
		303 SUNNYSIDE BLVD UNIT 70	PLAINVIEW NY 11803-1598			IMPR: 1,517,550								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		2.77
		HB3				ASE: 1,517,550								
901096111000	AUTOMOTIVE RENTALS INC 000000 00 REG BEXAR CO LEASED VEHICLES	ARI INC	PO BOX 844			LAND: 0	0036	476,520	0	1,371.15				
		4001 LEADENHALL RD	MOUNT LAUREL NJ 08054-4611			IMPR: 83,342,570								
		0 REG BEXAR COUNTY				PROD: 0						TOTAL		1,371.15
						ASE: 83,342,570								
902010410060	B F I WASTE SYSTEMS 000000 00 VARIOUS LOC APPORTIONED WASTE CONTAINERS	BROWNING-FERRIS INDUSTRIES	WILLIAM D RUCKELSHAUS-CEO			LAND: 0	0036	21,766	0	62.63				
		PO BOX 29246	PHOENIX AZ 85038-9246			IMPR: 4,352,610								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		62.63
		HB3				ASE: 4,352,610								
903011205600	CAB EAST LLC 000000 00 REG BEXAR CO LEASED VEHICLES	CAB EAST LLC	PO BOX 198409			LAND: 0	0036	0	398,530	0.00				
		NASHVILLE TN 37219-8409				IMPR: 61,983,110								
		0 REG BEXAR COUNTY				PROD: 0						TOTAL		0.00
		LV				ASE: 61,983,110								
903018175000	CANON FINANCIAL SERVICES INC 000000 00 VARIOUS LOC LEASED EQPT	CANON FINANCIAL SERVICES INC	TAX DEPT			LAND: 0	0036	66,740	0	192.04				
		PO BOX 5008	MOUNT LAUREL NJ 08054-5008			IMPR: 5,796,380								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		192.04
						ASE: 5,796,380								
903044951280	CHASE AUTO LEASING CORP 000000 00 REG BEXAR CO VEH	CHASE AUTO LEASING CORP	PROP TAX UNIT - OH1-1086			LAND: 0	0036	0	1,314,780	0.00				
		1111 POLARIS PKWY # A3	COLUMBUS OH 43240-2031			IMPR: 72,338,640								
		0 REG BEXAR COUNTY				PROD: 0						TOTAL		0.00
		LV				ASE: 72,338,640								

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903062800040	COCA-COLA REFRESHMENTS 000000 00	COCA COLA CO THE	ATTN TANGIBLE PROPERTY TAX			LAND: 0	0036	2,621	0	7.54				
	VARIOUS LOC LEASED EQUIPMENT	PO BOX 4440	BRANDON FL 33509-4440			IMPR: 8,505,540								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		7.54
						ASE: 8,505,540								
903083569630	CORT FURNITURE RENTAL 000000 00	CORT FURNITURE RENTAL	PAUL ARNOLD-CEO			LAND: 0	0036	6,331	0	18.22				
	VARIOUS	PO BOX 80397	FORT WAYNE IN 46898-0397			IMPR: 1,258,920								
	LOC LEASED EQUIP	0 VARIOUS LOCATIONS				PROD: 0						TOTAL		18.22
						ASE: 1,258,920								
903094000500	CULLIGAN SOUTHWEST INC 000000 00	CULLIGAN SOUTHWEST INC	ATTN: ROBERT W BOERNER			LAND: 0	0036	8,321	0	23.94				
	VARIOUS LOC LEASED EQPT	1034 AUSTIN ST	SAN ANTONIO TX 78208-1153			IMPR: 800,610								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		23.94
						ASE: 800,610								
904020726765	DATA SALES CO 000000 00 VARIOUS LOC	DATA SALES CO	ATTN: TAX DEPT			LAND: 0	0036	0	460	0.00				
	VARIOUS LOC	3450 W BURNSVILLE PKWY	BURNSVILLE MN 55337-4203			IMPR: 127,870								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		0.00
		HB3				ASE: 127,870								
904070655177	DONLEN TRUST 000000 00 REG BEXAR CO	DONLEN TRUST	DON RAPPEPORT-CEO			LAND: 0	0036	33,260	0	95.70				
	VEH	3000 LAKESIDE DR STE 2	BANNOCKBURN IL 60015-1230			IMPR: 13,418,810								
		0 REG BEXAR COUNTY				PROD: 0						TOTAL		95.70
						ASE: 13,418,810								
906032700750	FIDELITY ASSET MANAGEMENT 000000 00	FIDELITY ASSET MANAGEMENT	ATTN TAX DEPT			LAND: 0	0036	0	180	0.00				
	VARIOUS LOCATIONS EQPT	601 RIVERSIDE AVE	JACKSONVILLE FL 32204-2957			IMPR: 104,100								
		0 VARIOUS LOCATIONS				PROD: 0						TOTAL		0.00
		HB3				ASE: 104,100								
906040771775	FINANCIAL SERVICES VEHICLE 000000 00	FINANCIAL SERVICES VEHICLE	ATTN: TAX DEPT			LAND: 0	0036	0	696,640	0.00				
	REG BEXAR CO VEHICLES	5550 BRITTON PKWY	HILLIARD OH 43026-7456			IMPR: 31,084,300								
		0 REG BEXAR COUNTY				PROD: 0						TOTAL		0.00
		LV				ASE: 31,084,300								
906042835352	FIRST AMERICAN COMM BANCORP 000000 00	FIRST AMERICAN COMM BANCORP	255 WOODCLIFF DR			LAND: 0	0036	2,320	0	6.68				
	VARIOUS LOC LEASED EQPT	FAIRPORT NY 14450-4219	0 VARIOUS LOCATIONS			IMPR: 3,275,300								
		HB3				PROD: 0						TOTAL		6.68
						ASE: 3,275,300								
906043005050	FIRST DATA MERCHANT SVC CORP 000000 00	FIRST DATA MERCHANT SRVICS	PO BOX 4900			LAND: 0	0036	0	150	0.00				
	VARIOUS LOC LEASED EQUIP	SCOTTSDALE AZ 85261-4900	0 VARIOUS LOCATIONS			IMPR: 567,930								
		HB3				PROD: 0						TOTAL		0.00
						ASE: 567,930								

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906071570000	FORREST BRENT & ASSOCIATES 4077 DE ZAVALA RD STE 2	FORREST BRENT & ASSOCIATES	4077 DE ZAVALA RD STE 2			LAND: 0	0036	10,700	0	30.79				
	ZAVALA RD STE 2 FURN FIXT LI MACH EQPT SUP	SHAVANO PARK TX 78249-2066	4077 DE ZAVALA RD-2			IMPR: 10,700							TOTAL	30.79
						PROD: 0								
						ASE: 10,700								
907013845800	GARBAGE GOBBLER 000000 00 VARIOUS LOC	WASTE MANAGEMENT INC	JAMES KOENIG-CEO			LAND: 0	0036	0	31	0.00				
	APPORTIONED TRASH CONTAINERS 90904 022 0010	1001 FANNIN ST STE 4000	HOUSTON TX 77002-6711			IMPR: 3,039,210							TOTAL	0.00
		0 VARIOUS LOCATIONS	HB3			PROD: 0								
						ASE: 3,039,210								
907031340405	GEORGE VENTURES GROUP/ELJ 004091 00 DE	E L J PROPERTIES INC	GEORGE VENTURES GROUP/ELJ			LAND: 0	0036	161,420	0	464.47				
	ZAVALA RD FURN FIXT EQPT SUP	4091 DE ZAVALA RD STE 2	SHAVANO PARK TX 78249-2068			IMPR: 161,420							TOTAL	464.47
		4091 DE ZAVALA RD-2				PROD: 0								
						ASE: 161,420								
907041771260	GLOBAL TELECOMMUNICATION INC 101 PEPPER	GLOBAL TELECOMMUNICATION INC	101 PEPPER BUSH ST			LAND: 0	0036	0	380	0.00				
	BUSH LN FURN FIXT EQUIP SUP	SHAVANO PARK TX 78231-1416	101 PEPPER BUSH ST			IMPR: 380							TOTAL	0.00
		HB3				PROD: 0								
						ASE: 380								
907052201530	GOOD HUMOR BREYERS 000000 00 VARIOUS LOC	CONOPCO INC	ATTN LAVINIA SPONSRLR			LAND: 0	0036	1,960	0	5.64				
		521 S BOSTON AVE	TULSA OK 74103-4602			IMPR: 832,210							TOTAL	5.64
		0 VARIOUS LOCATIONS	HB3			PROD: 0								
						ASE: 832,210								
907063726250	GREAT AMERICA LEASING CORP 000000 00 VARIOUS LOC LEASED EQPT	GREAT AMERICA LEASING	TAX DEPT			LAND: 0	0036	161,460	0	464.59				
		PO BOX 609	CEDAR RAPIDS IA 52406-0609			IMPR: 9,862,990							TOTAL	464.59
		0 VARIOUS LOCATIONS				PROD: 0								
						ASE: 9,862,990								
908041226200	HEWLETT PACKARD FINANCIAL SV 000000 00 VARIOUS LOC EQUIP	HEWLETT PACKARD FINANCIAL	3000 HANOVER ST			LAND: 0	0036	13,380	0	38.50				
		PALO ALTO CA 94304-1185	0 VARIOUS LOCATIONS			IMPR: 9,648,390							TOTAL	38.50
		HB3				PROD: 0								
						ASE: 9,648,390								
908052402662	HITACHI CAPITAL AMERICA CORP 000000 00 REG BEXAR CO VEH	HITACHI CAPITAL AMERICA CORP	800 CONNECTICUT AVE STE 4N01			LAND: 0	0036	8,870	0	25.52				
		NORWALK CT 06854-1738	0 REG BEXAR COUNTY			IMPR: 155,930							TOTAL	25.52
						PROD: 0								
						ASE: 155,930								
908060661090	HONDA LEASE TRUST 000000 00 REG BEXAR CO VEH	HONDA LEASE TRUST	ATTN: TAX DEPT			LAND: 0	0036	0	120,710	0.00				
		20800 MADRONA AVE	TORRANCE CA 90503-4915			IMPR: 41,374,120							TOTAL	0.00
		0 REG BEXAR COUNTY	LV			PROD: 0								
						ASE: 41,374,120								

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909010010750	IBM CREDIT CORP 000000 00 VARIOUS LOC DATA PROCESSING EQPT	I B M CREDIT CORP PO BOX 1159 SOUTHBURY CT 06488-8159 0 VARIOUS LOCATIONS HB3				LAND: 0 IMPR: 2,451,590 PROD: 0 ASE: 2,451,590	0036	0	300	0.00		TOTAL		0.00
910061174500	JOHNSON & JOHNSON FINANCE CO 000000 00 VARIOUS LOC EQUIP	JOHNSON & JOHNSON FINANCE CO ATTN: TAX DEPARTMENT 666 GARLAND PL DES PLAINES IL 60016-4725 0 VARIOUS LOCATIONS				LAND: 0 IMPR: 976,380 PROD: 0 ASE: 976,380	0036	16,880	0	48.57		TOTAL		48.57
912010120050	L C VENDING INC 000000 00 VARIOUS LOC VENDING MACHINES	L C VENDING INC LADD LITTLE-PRES 310 E MITCHELL ST SAN ANTONIO TX 78210-3897 0 VARIOUS LOCATIONS HB3				LAND: 0 IMPR: 161,320 PROD: 0 ASE: 161,320	0036	0	96	0.00		TOTAL		0.00
912033432550	LEASE PLAN USA INC 000000 00 REG BEXAR CO LEASED VEHICLES	LEASE PLAN USA INC ATTN TAX DEPT #400 1165 SANCTUARY PKWY STE 100 ALPHARETTA GA 30009-4796 0 REG BEXAR COUNTY				LAND: 0 IMPR: 14,885,220 PROD: 0 ASE: 14,885,220	0036	130,610	0	375.82		TOTAL		375.82
913021300130	MARLIN LEASING CORPORATION 000000 00 VARIOUS LOC EQUIP	MARLIN LEASING CORPORATION PROPERTY TAX DEPT PO BOX 5481 MOUNT LAUREL NJ 08054-5481 0 VARIOUS LOCATIONS				LAND: 0 IMPR: 3,944,490 PROD: 0 ASE: 3,944,490	0036	1,160	0	3.34		TOTAL		3.34
913051065000	MERCHANTS RENT A CAR INC 000000 00 REG BEXAR CO LEASED VEH	MERCHANTS RENT A CAR INC 1278 HOOKSETT RD HOOKSETT NH 03106-1839 0 REG BEXAR COUNTY				LAND: 0 IMPR: 3,112,320 PROD: 0 ASE: 3,112,320	0036	3,850	0	11.08		TOTAL		11.08
913069474410	MOBILE MINI INC 000000 00 VARIOUS LOCATI EQPT	MOBILE MINI INC MOBILE MINI INC-BRANCH 107 4646 E VAN BUREN ST STE 400 PHOENIX AZ 85008-6927 0 VARIOUS LOCATIONS HB3				LAND: 0 IMPR: 991,550 PROD: 0 ASE: 991,550	0036	1,030	0	2.96		TOTAL		2.96
914062151810	NISSAN/INFINITI LEASE TRUST 000000 00 REG BEXAR CO VEHICLES	NISSAN/INFINITI LEASE TRUST CORPORATE TAX DEPT PO BOX 650214 DALLAS TX 75265-0214 0 REG BEXAR COUNTY LV				LAND: 0 IMPR: 53,202,680 PROD: 0 ASE: 53,202,680	0036	0	269,750	0.00		TOTAL		0.00
915031302605	OLIVA BRIDGETTE S ATTY 000311 00 BERKLEY OAK FURN FIXT EQUIP SUP	OLIVA BRIDGETTE S ATTY 311 BERKLEY OAK SHAVANO PARK TX 78230-5643 311 BERKLEY OAK				LAND: 0 IMPR: 4,820 PROD: 0 ASE: 4,820	0036	4,820	0	15.26		TOTAL		15.26

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916040451100	PAWNEE LEASING CORP 000000 00 VARIOUS LOC EQUIP	PAWNEE LEASING CORP	700 CENTRE AVE FORT COLLINS CO 80526-2023 0 VARIOUS LOCATIONS			LAND: 0 IMPR: 2,117,470 PROD: 0 ASE: 2,117,470	0036	58,800	0	169.19		TOTAL		169.19
916060760000	PETERSON D L TRUST 000000 00 REG BEXAR CO LEASED VEHICLES	D L PETERSON TRUST	PERSONAL PROPERTY TAX PO BOX 13085 BALTIMORE MD 21203-3085 0 REG BEXAR COUNTY			LAND: 0 IMPR: 16,208,540 PROD: 0 ASE: 16,208,540	0036	17,704	0	50.94		TOTAL		50.94
916071258860	PHOTOGRAPHY ELEGANCE/D SIXT 99 WINDMILL RD FURN FIXT EQUIP SUP	PHOTOG ELEGANCE BY D SIXT	PHOTOGRAPHY ELEGANCE/D SIXT 99 WINDMILL RD SHAVANO PARK TX 78231-1546 99 WINDMILL RD			LAND: 0 IMPR: 16,930 PROD: 0 ASE: 16,930	0036	16,930	0	48.71		TOTAL		48.71
916080500010	PITNEY BOWES 000000 00 VARIOUS LOC LEASED EQUIPMENT	PITNEY-BOWES INC	ATTN TAX DEPT 5310 CYPRESS CENTER DR STE 110 TAMPA FL 33609-1041 0 VARIOUS LOCATIONS HB3			LAND: 0 IMPR: 714,670 PROD: 0 ASE: 714,670	0036	11,920	0	34.30		TOTAL		34.30
916080500015	PITNEY BOWES CRD CORP 000000 00 VARIOUS LOC LEASED EQUIP	PITNEY BOWES CREDIT CORP	PITNEY BOWES GLOBAL FINANCIAL 5310 CYPRESS CENTER DR STE 110 TAMPA FL 33609-1041 0 VARIOUS LOCATIONS HB3			LAND: 0 IMPR: 5,144,470 PROD: 0 ASE: 5,144,470	0036	24,810	0	71.39		TOTAL		71.39
916086242505	PORSCHE LEASING LTD 000000 00 REG BEXAR CO	PORSCHE LEASING LTD	ROSS A DUPPER-PRES 4343 COMMERCE CT STE 300 LISLE IL 60532-3616 0 REG BEXAR COUNTY LV			LAND: 0 IMPR: 10,231,080 PROD: 0 ASE: 10,231,080	0036	0	555,550	0.00		TOTAL		0.00
916086749000	POSTALIA INC 000000 00 VARIOUS LOC POSTAGE METERS	FRANCOTYP-POSTALIA INC	140 N MITCHELL CT STE 200 ADDISON IL 60101-5629 0 VARIOUS LOCATIONS HB3			LAND: 0 IMPR: 163,620 PROD: 0 ASE: 163,620	0036	1,074	0	3.09		TOTAL		3.09
919010083035	S B C TOWER HOLDINGS LLC 000099 00 SADDLETREE RD EQPT	S B C TOWER HOLDINGS LLC	ATTN: PROPERTY TAX DEPT 1010 PINE ST RM 9E-L-01 SAINT LOUIS MO 63101-2015 99 SADDLETREE RD			LAND: 0 IMPR: 18,720 PROD: 0 ASE: 18,720	0036	18,720	0	53.87		TOTAL		53.87
919053535500	SPRINT SPECTRUM LP 000000 00 VARIOUS LOC EQUIPMENT @ VARIOUS LOCATIONS	SPRINT SPECTRUM	PROPERTY TAX DEPT PO BOX 8430 KANSAS CITY MO 64114-0430 0 VARIOUS LOCATIONS			LAND: 0 IMPR: 42,650,560 PROD: 0 ASE: 42,650,560	0036	4,980	0	14.33		TOTAL		14.33

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ACCOUNT NO.	DESCRIPTION	NAME	PARCEL ADDRESS	EXEMPTIONS	DEFERRAL	VALUES	JURS	TAX VALUE	EXEMPT	LEVY	JURS	TAX VALUE	EXEMPT	LEVY
920010251055	T-MOBILE WEST CORPORATION 000000 00	T MOBILE WEST CORPORATION	ATTN PROPERTY TAX DEPT			LAND: 0	0036	133,840	0	385.11				
	VARIOUS LOCATI	12920 SE 38TH ST				IMPR: 35,320,610								
		BELLEVUE WA 98006-1350				PROD: 0						TOTAL		385.11
		0 VARIOUS LOCATIONS				ASE: 35,320,610								
920041200010	TEXAS WIRED MUSIC INC 000000 00	TEXAS WIRED MUSIC INC	WILLIAM D BALTHROPE-PRES			LAND: 0	0036	1,525	0	4.39				
	VARIOUS	4242 N INTERSTATE 35				IMPR: 171,450								
	LOC LEASED EQUIPMENT	SAN ANTONIO TX 78218-5214				PROD: 0						TOTAL		4.39
		0 VARIOUS LOCATIONS				ASE: 171,450								
		HB3												
920061022511	TRANSWORLD LEASING CORP 000000 00	TRANSWORLD LEASING CORP	LENNY CASH- PRES			LAND: 0	0036	0	496,000	0.00				
	REG	21403 W INTERSTATE 10				IMPR: 9,503,290								
	BEXAR CO EXEMPT VEHICLES	SAN ANTONIO TX 78257-1618				PROD: 0						TOTAL		0.00
		0 REG BEXAR COUNTY				ASE: 9,503,290								
		LV												
920061850020	TRAVIS PARK JEWELERS 000112 00 FAWN	TRAVIS PARK JEWELERS	SUSAN LAWSON-OWNER			LAND: 0	0036	7,000	0	22.15				
	DR	112 FAWN DR				IMPR: 7,000								
	INV FURN FIXT EQPT	SHAVANO PARK TX 78231-1515				PROD: 0						TOTAL		22.15
		112 FAWN DR				ASE: 7,000								
921020142000	U S BANCORP EQUIP FINANCE 000000 00	U S BANCORP	BUSINESS EQUIPMENT FINANCE GROUP			LAND: 0	0036	175,930	0	506.22				
	VARIOUS LOC EQUIP & VEHICLES	1310 MADRID ST STE 100				IMPR: 9,415,250								
		MARSHALL MN 56258-4001				PROD: 0						TOTAL		506.22
		0 VARIOUS LOCATIONS				ASE: 9,415,250								
		HB3												
922090640010	VOLKSWAGEN LEASING 000000 00 REG	VW CREDIT INC	ATTN: TAX DEPT			LAND: 0	0036	0	742,650	0.00				
	BEXAR	PO BOX 7498				IMPR: 54,419,920								
	CO VEH	LIBERTYVILLE IL 60048-7498				PROD: 0						TOTAL		0.00
		0 REG BEXAR COUNTY				ASE: 54,419,920								
		LV												
923025392915	WELLS FARGO FINANCIAL 000000 00	WELLS FARGO FINANCIAL	ATTN: TAX DEPT			LAND: 0	0036	11,740	0	33.78				
	VARIOUS	800 WALNUT ST				IMPR: 3,753,530								
	LOCATO EQPT	DES MOINES IA 50309-3891				PROD: 0						TOTAL		33.78
		0 VARIOUS LOCATIONS				ASE: 3,753,530								
		HB3												
923033550070	WHEELS LT 000000 00 REG BEXAR CO REG	WHEELS LT	PO BOX 2896			LAND: 0	0036	28,490	0	81.98				
	BEXAR CO	DES PLAINES IL 60017-2896				IMPR: 20,923,750								
		0 REG BEXAR COUNTY				PROD: 0						TOTAL		81.98
						ASE: 20,923,750								
923060560400	WRIGHT BROTHERS TECH CORP 111	WRIGHT BROTHERS TECHNOLOGIES CORP	BRUCE WRIGHT- PRES			LAND: 0	0036	45,860	0	131.96				
	WAGON	PO BOX 460422				IMPR: 45,860								
	TRAIL INV FURN FIXT MACH EQPT SUP	SAN ANTONIO TX 78246-0422				PROD: 0						TOTAL		131.96
		111 WAGON TRAIL RD				ASE: 45,860								

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ACCOUNT NO.	DESCRIPTION	NAME PARCEL ADDRESS	EXEMPTIONS	DEFERRAL	VALUES	JURS	TAX VALUE	EXEMPT	LEVY	JURS	TAX VALUE	EXEMPT	LEVY
923070100010		XEROX CORP			LAND: 0	0036	1,000	0	2.88				
XEROX CORPORATION 000000 00 VARIOUS		PROPERTY TAX DEPARTMENT			IMPR: 4,417,290								
LOC		PO BOX 9601			PROD: 0								
LEASED EQUIP *****EQPT IN OVL TU'S*****		WEBSTER NY 14580-7571			ASE: 4,417,290								
		0 VARIOUS LOCATIONS											
		HB3											
											TOTAL		2.88

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CITY COUNCIL STAFF SUMMARY

Meeting Date: November 25, 2019

Agenda item: 8.8

Prepared by: Brenda Morey

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION: Approval - Resolution No. R-2019-017 approving the EMS receivable adjustments for certain inactive outstanding accounts that have been deemed uncollectible.

X

Attachments for Reference:

a.) Resolution No. R-2019-017

b.) Detail listing of inactive EMS accounts

BACKGROUND / HISTORY:

EMS services are provided to customers in advance, with billing for those services coming at a later date. As services are provided prior to payment, there is a possibility the City will not be paid.

The City's EMS billing providers make every attempt to collect outstanding balances. After a certain point, unpaid accounts are sent to the City's collection agent. Historically, minimal amounts have been received on accounts that are submitted to collections.

DISCUSSION: The following table summarized the detail listing presented in attachment 8.8b.

<u>Year of Service</u>	<u>Number of Accounts</u>	<u>Amount</u>
2004	2	\$ 1,038.00
2005	5	661.91
2006	21	4,798.89
2007	26	7,655.40
2008	28	4,671.83
2009	18	4,477.19
2010	19	7,149.13
2011	44	20,807.33
2012	61	26,423.48
2013	58	21,584.91
2014	50	17,730.83
2015	69	29,511.57
2016	72	28,902.10
2017	102	46,787.16
2018	160	79,763.66
Total	735	\$ 301,963.39

Approving this 'write-off' of account balances does not forgive the customers from paying the amounts owed to the City. As there is a question of the accounts' collectability, these receivables no longer meet the accounting criteria to be recorded within the City's financial statements.

All the accounts being presented have dates of service prior to November 1, 2018, with the oldest from 2004.

Future collections on these account balances will be recorded as EMS revenues in the City's accounting records when received.

COURSES OF ACTION: Approve Resolution No. R-2019-017 approving the EMS receivable adjustments for certain inactive outstanding accounts that have been deemed uncollectible.

FINANCIAL IMPACT: This accounting adjustment will not impact the City's budget or fund balance as, annually, the EMS receivable amounts are heavily allowed for in the allowance for doubtful accounts calculation.

STAFF RECOMMENDATION: Approve Resolution No. R-2019-017 approving the write-off of the outstanding EMS account balances as detailed.

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS,
AUTHORIZING EMS RECEIVABLE ADJUSTMENTS FOR CERTAIN INACTIVE OUTSTANDING
ACCOUNTS.**

WHEREAS, the City staff of the City of Shavano Park, with the support of the City Auditors, has recommended the City periodically review the collectability of inactive outstanding EMS receivable accounts,

WHEREAS, the City Council of the City of Shavano Park has determined that it is in the best interest of the City that all inactive outstanding accounts billed by the City's previous EMS billing provider be sent to City Council for consideration of write off;

**NOW, THEREFORE, BE IT RESOLVED AND ORDERED BY THE CITY COUNCIL OF THE CITY
OF SHAVANO PARK, TEXAS:**

The City Council hereby authorizes the write off of \$301,963.39 of EMS accounts receivable.

PASSED AND APPROVED by the City Council of the City of Shavano Park this the 25th day of November, 2019.

ROBERT WERNER
Mayor

Attest: _____
ZINA TEDFORD
City Secretary

CITY OF SHAVANO PARK
Inactive EMS Accounts
Date of Service Prior to 11/1/2018

<u>Account #</u>	<u>Date of Service</u>	<u>Charges</u>	<u>Credits</u>	<u>Net Due</u>
240275A	10/18/2004	\$ 816.00	\$ -	\$ 816.00
240304A	11/25/2004	741.00	-	741.00
250049A	02/26/2005	452.50	295.00	157.50
250184A	07/09/2005	37.50	-	37.50
250185A	07/11/2005	37.50	-	37.50
250208A	08/02/2005	565.00	466.13	98.87
250258A	09/22/2005	735.50	74.00	661.50
260033A	01/21/2006	112.50	-	112.50
260049A	02/06/2006	687.00	-	687.00
260086A	03/14/2006	434.00	359.00	75.00
260101A	03/29/2006	112.50	-	112.50
260108A	04/06/2006	651.00	-	651.00
260111A	04/08/2006	150.00	-	150.00
260151A	05/10/2006	826.50	-	826.50
260160A	05/17/2006	841.50	-	841.50
260168A	05/22/2006	861.00	-	861.00
260195A	06/17/2006	112.50	-	112.50
260196A	06/19/2006	651.00	-	651.00
260198A	06/19/2006	726.00	-	726.00
260222B	07/15/2006	450.00	-	450.00
260237A	07/27/2006	112.50	-	112.50
260248A	08/06/2006	112.50	-	112.50
260281A	09/01/2006	434.00	384.00	50.00
260300A	09/15/2006	112.50	-	112.50
260306A	09/22/2006	569.50	277.66	291.84
260307A	09/23/2006	112.50	-	112.50
260310A	09/25/2006	112.50	-	112.50
260402B	12/13/2006	112.50	75.00	37.50
270006A	01/06/2007	112.50	-	112.50
270057A	02/04/2007	112.50	-	112.50
270079A	02/19/2007	112.50	-	112.50
270088A	02/27/2007	806.50	243.40	563.10
270098A	03/09/2007	112.50	-	112.50
270192A	06/06/2007	726.00	-	726.00
270195A	06/07/2007	669.00	-	669.00
270203A	06/11/2007	112.50	-	112.50
270222A	06/29/2007	2,736.00	-	2,736.00
270296A	08/11/2007	112.50	-	112.50
270337A	08/28/2007	825.00	-	825.00
270352A	09/12/2007	112.50	-	112.50
270356A	09/13/2007	762.00	-	762.00
270360A	09/17/2007	669.00	-	669.00
270396A	10/14/2007	112.50	-	112.50
270411A	10/22/2007	546.00	396.00	150.00

CITY OF SHAVANO PARK
Inactive EMS Accounts
Date of Service Prior to 11/1/2018

<u>Account #</u>	<u>Date of Service</u>	<u>Charges</u>	<u>Credits</u>	<u>Net Due</u>
270436A	11/06/2007	112.50	-	112.50
270454A	11/14/2007	496.00	346.00	150.00
270460A	11/16/2007	687.00	-	687.00
270464A	11/19/2007	651.00	-	651.00
270477A	11/24/2007	744.00	-	744.00
270494	12/01/2007	484.00	334.00	150.00
270492	12/01/2007	651.00	-	651.00
270502	12/04/2007	112.50	-	112.50
270507	12/07/2007	112.50	-	112.50
270509	12/08/2007	112.50	-	112.50
280014	01/05/2008	112.50	56.10	56.40
280038	01/20/2008	726.00	-	726.00
280075	02/15/2008	112.50	-	112.50
280064	02/20/2008	527.00	320.04	206.96
280104	03/07/2008	112.50	-	112.50
280133B	03/26/2008	112.50	-	112.50
280159	04/13/2008	534.00	384.00	150.00
280163	04/17/2008	112.50	-	112.50
280196	05/03/2008	112.50	-	112.50
280270	06/12/2008	112.50	-	112.50
280353	07/19/2008	525.00	402.57	122.43
280358	07/21/2008	532.50	387.20	145.30
280362	07/23/2008	726.00	-	726.00
280372	08/03/2008	112.50	-	112.50
280373	08/05/2008	112.50	-	112.50
280375	08/07/2008	75.50	-	75.50
280381	08/09/2008	726.00	484.00	242.00
280402	08/23/2008	726.00	-	726.00
280432	09/12/2008	522.50	427.20	95.30
280453	10/08/2008	112.50	-	112.50
280465	10/17/2008	509.00	434.00	75.00
280470	10/21/2008	726.00	-	726.00
280482	11/01/2008	525.00	402.57	122.43
280487	11/03/2008	726.50	-	726.50
280504	11/20/2008	525.00	402.57	122.43
280512	11/23/2008	726.00	-	726.00
280548	12/16/2008	112.50	-	112.50
280555	12/19/2008	112.50	-	112.50
290126	04/03/2009	497.00	422.00	75.00
290134	04/07/2009	585.00	282.73	302.27
290133	04/07/2009	726.50	-	726.50
290173	05/07/2009	511.50	429.49	82.01
290217	06/08/2009	112.50	-	112.50
90230	06/16/2009	494.00	484.00	10.00

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90263	07/01/2009	112.50	-	112.50
90299	07/21/2009	726.50	-	726.50
90313	07/31/2009	726.50	-	726.50
90319	08/06/2009	726.50	-	726.50
90379	09/11/2009	112.50	-	112.50
90401	10/01/2009	726.00	-	726.00
90460	11/02/2009	112.50	-	112.50
90484	11/24/2009	726.00	-	726.00
90489	11/26/2009	726.00	-	726.00
90497	12/02/2009	112.50	-	112.50
90520	12/14/2009	487.50	-	487.50
90533	12/22/2009	112.50	-	112.50
100005	01/04/2010	112.50	-	112.50
100051	02/12/2010	726.00	-	726.00
100115	03/20/2010	922.50	-	922.50
100140	04/09/2010	1,343.50	1,183.31	160.19
100147	04/13/2010	150.00	-	150.00
100148	04/14/2010	945.00	-	945.00
100196	05/14/2010	150.00	-	150.00
100206	05/20/2010	1,012.50	-	1,012.50
100251	06/23/2010	922.50	-	922.50
100259	07/03/2010	945.00	-	945.00
100269	07/10/2010	742.50	540.00	202.50
100277	07/16/2010	150.00	-	150.00
100290	07/30/2010	110.00	80.00	30.00
100299	08/03/2010	1,012.50	-	1,012.50
100316	08/15/2010	945.00	-	945.00
100351	09/09/2010	100.00	80.00	20.00
100397	10/04/2010	1,095.00	-	1,095.00
100437	11/02/2010	1,072.50	-	1,072.50
100453	11/12/2010	780.00	630.00	150.00
110099	02/22/2011	945.00	-	945.00
110106	02/23/2011	945.00	-	945.00
110123	03/07/2011	1,095.00	-	1,095.00
110126	03/10/2011	680.00	630.00	50.00
110136	03/18/2011	75.00	-	75.00
110135	03/18/2011	150.00	-	150.00
110150	03/24/2011	945.00	-	945.00
110151	03/25/2011	1,095.00	-	1,095.00
110151B	03/25/2011	1,095.00	-	1,095.00
110156	03/28/2011	1,095.00	-	1,095.00
110158	03/29/2011	830.00	530.00	300.00
110168	04/06/2011	1,425.00	-	1,425.00
110187	04/16/2011	1,140.00	-	1,140.00

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110199	04/21/2011	1,095.00	-	1,095.00
110215	04/28/2011	1,095.00	-	1,095.00
110238	05/09/2011	948.50	25.00	923.50
110249	05/12/2011	150.00	-	150.00
110257	05/16/2011	1,230.00	630.00	600.00
110268	05/21/2011	150.00	100.00	50.00
110284	05/30/2011	945.00	-	945.00
110288	06/02/2011	675.00	-	675.00
110301	06/12/2011	150.00	-	150.00
110317	06/24/2011	945.00	-	945.00
110337	07/01/2011	1,095.00	-	1,095.00
110342	07/05/2011	690.00	-	690.00
110352	07/12/2011	1,095.00	-	1,095.00
110357	07/14/2011	150.00	-	150.00
110363	07/19/2011	150.00	-	150.00
110383	07/27/2011	1,095.00	-	1,095.00
110407	08/06/2011	150.00	-	150.00
110413	08/09/2011	967.50	-	967.50
110433	08/24/2011	945.00	-	945.00
110445	09/01/2011	1,095.00	-	1,095.00
110509	09/27/2011	150.00	-	150.00
110523	10/01/2011	150.00	-	150.00
110550	10/17/2011	1,138.00	-	1,138.00
110557	10/19/2011	150.00	-	150.00
110558	10/20/2011	1,138.00	-	1,138.00
110569	10/27/2011	1,095.00	-	1,095.00
110579	10/31/2011	100.00	-	100.00
110582	11/02/2011	150.00	-	150.00
110593A	11/08/2011	1,095.00	-	1,095.00
110665	12/23/2011	954.00	-	954.00
110668	12/26/2011	675.00	-	675.00
120022	01/08/2012	674.00	542.15	131.85
120028	01/09/2012	967.50	-	967.50
120045	01/18/2012	1,138.00	-	1,138.00
120054	01/24/2012	945.00	-	945.00
120061	01/25/2012	150.00	-	150.00
120057	01/25/2012	1,138.00	-	1,138.00
120065	01/30/2012	1,117.50	-	1,117.50
120087	02/14/2012	150.00	-	150.00
120088	02/14/2012	967.50	-	967.50
120097	02/21/2012	1,095.00	-	1,095.00
120100	02/23/2012	150.00	-	150.00
120105	02/26/2012	150.00	-	150.00
120120	03/06/2012	150.00	-	150.00

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120121	03/07/2012	150.00	-	150.00
120142	03/12/2012	965.50	-	965.50
120168	03/21/2012	1,115.50	-	1,115.50
120170	03/22/2012	1,095.00	-	1,095.00
120184	04/02/2012	804.00	667.98	136.02
120183	04/02/2012	1,137.50	-	1,137.50
120188	04/05/2012	150.00	-	150.00
120190	04/09/2012	1,115.50	-	1,115.50
120193	04/11/2012	1,117.50	-	1,117.50
120194	04/11/2012	1,117.50	-	1,117.50
120221	04/26/2012	150.00	-	150.00
120245	05/12/2012	1,115.50	-	1,115.50
120253	05/18/2012	945.00	-	945.00
120252	05/18/2012	1,095.00	-	1,095.00
120261	05/23/2012	1,117.50	-	1,117.50
120278	05/31/2012	150.00	-	150.00
120318	06/18/2012	795.00	-	795.00
120322	06/21/2012	150.00	-	150.00
120349	07/02/2012	1,095.00	730.00	365.00
120365	07/06/2012	150.00	-	150.00
120373	07/11/2012	150.00	-	150.00
120381	07/13/2012	150.00	-	150.00
120384	07/13/2012	965.50	-	965.50
120389	07/15/2012	150.00	-	150.00
120396	07/16/2012	843.50	543.50	300.00
120407	07/20/2012	945.00	-	945.00
120416	07/24/2012	150.00	-	150.00
120417	07/25/2012	150.00	-	150.00
120420	07/27/2012	1,095.00	-	1,095.00
120443	08/13/2012	990.00	-	990.00
120450	08/15/2012	150.00	-	150.00
120466	08/27/2012	943.00	-	943.00
120493	09/12/2012	743.50	730.00	13.50
120515	09/23/2012	150.00	-	150.00
120516	09/24/2012	150.00	-	150.00
120523	09/29/2012	945.00	-	945.00
120535	10/03/2012	965.50	-	965.50
120588	10/29/2012	150.00	-	150.00
120588B	10/29/2012	150.00	-	150.00
120595B	10/30/2012	1,115.50	-	1,115.50
120607	11/04/2012	1,095.00	-	1,095.00
120623	11/11/2012	1,115.50	-	1,115.50
120649	11/23/2012	965.50	-	965.50
120683	12/09/2012	945.00	-	945.00

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120686	12/11/2012	988.00	-	988.00
120692	12/13/2012	674.00	542.15	131.85
120695	12/14/2012	1,138.00	-	1,138.00
120733	12/31/2012	1,095.00	-	1,095.00
130012	01/08/2013	945.00	-	945.00
1300102	02/23/2013	649.00	637.00	12.00
130114	03/05/2013	690.00	555.03	134.97
130134	03/12/2013	1,095.00	-	1,095.00
130184	04/08/2013	1,095.00	-	1,095.00
130226	04/26/2013	945.00	-	945.00
130247	05/06/2013	1,095.00	-	1,095.00
130252	05/08/2013	950.00	650.00	300.00
130256	05/10/2013	1,117.50	-	1,117.50
130264	05/13/2013	1,115.50	-	1,115.50
130286	05/22/2013	150.00	-	150.00
130313	06/03/2013	893.00	449.89	443.11
130316	06/05/2013	150.00	-	150.00
130334	06/14/2013	150.00	-	150.00
130336	06/14/2013	1,117.50	-	1,117.50
130338	06/15/2013	150.00	-	150.00
130348B	06/20/2013	967.50	-	967.50
130372	07/01/2013	898.00	-	898.00
130383	07/04/2013	150.00	-	150.00
130397	07/09/2013	967.50	-	967.50
130402	07/10/2013	140.00	20.00	120.00
130405	07/11/2013	1,027.50	-	1,027.50
130409	07/12/2013	1,117.50	-	1,117.50
130440	07/24/2013	1,117.50	-	1,117.50
130444	07/26/2013	1,117.50	-	1,117.50
130448	07/28/2013	150.00	-	150.00
130451	07/29/2013	945.00	-	945.00
130457	08/02/2013	965.50	-	965.50
130466	08/05/2013	790.00	655.03	134.97
130480	08/09/2013	1,095.00	-	1,095.00
130495	08/17/2013	150.00	-	150.00
130496	08/17/2013	945.00	-	945.00
130499	08/19/2013	150.00	-	150.00
130505	08/23/2013	1,115.50	-	1,115.50
130507	08/26/2013	1,077.50	-	1,077.50
130515	08/27/2013	150.00	-	150.00
130514	08/27/2013	945.00	-	945.00
130518	08/28/2013	150.00	-	150.00
130535	09/05/2013	150.00	-	150.00
130540	09/09/2013	150.00	-	150.00

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130548	09/13/2013	643.50	301.51	341.99
130565	09/20/2013	150.00	-	150.00
130604	10/03/2013	150.00	-	150.00
130619	10/07/2013	690.00	555.03	134.97
130637	10/15/2013	150.00	-	150.00
130645	10/19/2013	690.00	555.03	134.97
130669	11/01/2013	957.00	276.68	680.32
130676	11/03/2013	150.00	-	150.00
130689	11/07/2013	1,162.50	-	1,162.50
130696	11/10/2013	724.00	442.80	281.20
130715	11/21/2013	690.00	555.03	134.97
130713	11/21/2013	1,117.50	-	1,117.50
130727	11/26/2013	150.00	-	150.00
130739	11/30/2013	150.00	-	150.00
130761	12/10/2013	740.00	710.00	30.00
130774	12/15/2013	150.00	-	150.00
130791	12/20/2013	1,095.00	-	1,095.00
130801	12/24/2013	892.00	450.10	441.90
140005	01/03/2014	1,117.50	-	1,117.50
140022	01/09/2014	919.00	352.30	566.70
140040	01/16/2014	675.00	540.32	134.68
140039	01/16/2014	150.00	-	150.00
140067	01/23/2014	1,117.50	-	1,117.50
140106	02/07/2014	965.50	-	965.50
140125	02/16/2014	150.00	-	150.00
1400129	02/20/2014	150.00	-	150.00
140156	03/02/2014	150.00	-	150.00
140171	03/08/2014	150.00	-	150.00
140183	03/14/2014	150.00	-	150.00
140205	03/28/2014	689.00	552.53	136.47
140222	04/07/2014	150.00	-	150.00
1400253	04/18/2014	150.00	-	150.00
1400272	04/25/2014	150.00	-	150.00
1400283	05/01/2014	150.00	-	150.00
1400284	05/02/2014	137.50	25.00	112.50
1400320	05/23/2014	1,095.00	-	1,095.00
1400348	06/08/2014	1,095.00	-	1,095.00
1400365	06/11/2014	150.00	-	150.00
1400375	06/14/2014	1,095.00	25.00	1,070.00
1400392	06/23/2014	1,095.00	-	1,095.00
1400398	06/25/2014	1,115.00	-	1,115.00
1400410	07/01/2014	1,115.50	-	1,115.50
1400418	07/03/2014	1,117.50	-	1,117.50
1400453	07/17/2014	945.00	-	945.00

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1400469	07/19/2014	807.50	275.00	532.50
1400475	07/23/2014	150.00	-	150.00
1400484	07/29/2014	150.00	-	150.00
1400487	07/30/2014	150.00	100.00	50.00
1400501	08/06/2014	150.00	-	150.00
1400502	08/06/2014	1,003.00	-	1,003.00
1400515	08/11/2014	150.00	-	150.00
1400518	08/11/2014	945.00	-	945.00
1400529	08/14/2014	150.00	-	150.00
1400546	08/19/2014	150.00	-	150.00
1400544	08/19/2014	1,095.00	-	1,095.00
1400563	08/26/2014	759.00	672.60	86.40
1400635	09/22/2014	150.00	-	150.00
1400659	09/29/2014	150.00	-	150.00
1400662	09/29/2014	818.00	594.80	223.20
1400715	10/29/2014	1,115.50	-	1,115.50
1400730	11/03/2014	150.00	-	150.00
1400758	11/11/2014	675.00	540.32	134.68
1400802	11/25/2014	1,095.00	-	1,095.00
1400852	12/14/2014	1,095.00	-	1,095.00
1400861	12/18/2014	1,072.50	-	1,072.50
1400865	12/19/2014	1,117.50	-	1,117.50
1400875	12/23/2014	1,095.00	-	1,095.00
1400884	12/26/2014	691.00	553.88	137.12
1500025	01/08/2015	150.00	-	150.00
1500049	01/16/2015	855.00	180.94	674.06
1500050	01/17/2015	945.00	-	945.00
1500060	01/21/2015	691.50	552.28	139.22
1500062	01/21/2015	967.50	188.79	778.71
1500072	01/27/2015	1,115.50	-	1,115.50
1500077	01/28/2015	1,095.00	-	1,095.00
1500081	01/29/2015	945.00	180.94	764.06
1500083	01/30/2015	1,185.00	-	1,185.00
1500156	02/26/2015	1,115.50	-	1,115.50
1500193	03/11/2015	100.50	-	100.50
1500192	03/11/2015	1,095.00	-	1,095.00
1500199	03/13/2015	150.00	-	150.00
1500209	03/17/2015	630.00	550.00	80.00
1500219	03/20/2015	1,095.00	-	1,095.00
1500253	04/06/2015	1,140.00	-	1,140.00
1500268	04/13/2015	1,095.00	-	1,095.00
1500284	04/19/2015	150.00	-	150.00
1500290	04/22/2015	1,095.00	-	1,095.00
1500305	04/24/2015	965.50	-	965.50

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1500318	04/26/2015	945.00	-	945.00
1500327	05/01/2015	740.00	590.00	150.00
1500350	05/11/2015	1,095.00	-	1,095.00
1500354	05/14/2015	1,095.00	-	1,095.00
1500397	06/01/2015	1,095.00	-	1,095.00
1500409	06/05/2015	691.50	552.28	139.22
1500412	06/06/2015	150.00	-	150.00
1500448	06/17/2015	1,095.00	-	1,095.00
1500453	06/18/2015	150.00	-	150.00
1500486	07/01/2015	995.50	724.00	271.50
1500483	07/01/2015	1,095.00	-	1,095.00
1500489	07/02/2015	1,093.00	-	1,093.00
1500499	07/07/2015	730.00	-	730.00
1500513	07/11/2015	830.00	530.00	300.00
1500552	07/28/2015	945.00	-	945.00
1500566	08/03/2015	1,257.50	200.00	1,057.50
1500590	08/10/2015	150.00	-	150.00
1500600	08/15/2015	803.00	584.00	219.00
1500606	08/17/2015	150.00	-	150.00
1500614	08/19/2015	1,115.50	-	1,115.50
1500617	08/20/2015	1,095.00	-	1,095.00
1500642	08/31/2015	895.00	400.31	494.69
1500645	09/01/2015	945.00	-	945.00
1500646	09/02/2015	150.00	-	150.00
1500656	09/07/2015	150.00	-	150.00
1500655	09/07/2015	1,066.00	58.75	1,007.25
1500666	09/14/2015	150.00	-	150.00
1500675	09/17/2015	1,095.00	-	1,095.00
1500685	09/23/2015	150.00	-	150.00
1500693	09/26/2015	150.00	-	150.00
1500699	09/29/2015	150.00	-	150.00
1500701	09/30/2015	1,115.50	-	1,115.50
1500703	10/02/2015	1,115.50	-	1,115.50
1500705	10/03/2015	676.00	538.73	137.27
1500726	10/17/2015	150.00	100.00	50.00
1500732	10/18/2015	945.00	-	945.00
1500740	10/21/2015	150.00	-	150.00
1500738	10/21/2015	1,095.00	-	1,095.00
1500741	10/22/2015	1,095.00	-	1,095.00
1500754	10/25/2015	105.00	90.00	15.00
1500781	11/02/2015	150.00	100.00	50.00
1500786	11/04/2015	834.50	521.13	313.37
385	11/04/2015	1,095.00	-	1,095.00
1500789	11/05/2015	1,095.00	-	1,095.00

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<u>Account #</u>	<u>Date of Service</u>	<u>Charges</u>	<u>Credits</u>	<u>Net Due</u>
1500790	11/07/2015	150.00	-	150.00
1500799	11/11/2015	150.00	-	150.00
1500830	11/20/2015	150.00	-	150.00
1500882	12/15/2015	945.00	-	945.00
1500899	12/23/2015	1,095.00	-	1,095.00
1600024	01/12/2016	1,095.00	-	1,095.00
1600027	01/13/2016	945.00	-	945.00
1600032	01/15/2016	945.00	-	945.00
1600052	01/26/2016	880.00	430.00	450.00
1600071	02/05/2016	945.00	-	945.00
1600075	02/06/2016	945.00	633.15	311.85
1600083	02/08/2016	1,095.00	-	1,095.00
1600107	02/19/2016	150.00	-	150.00
1600106	02/19/2016	1,095.00	-	1,095.00
1600128	02/28/2016	675.50	539.09	136.41
1600153	03/08/2016	1,117.50	-	1,117.50
1600154	03/09/2016	150.00	-	150.00
1600168	03/16/2016	150.00	-	150.00
1600176	03/22/2016	967.50	-	967.50
1600196	03/30/2016	150.00	-	150.00
1600198	03/31/2016	484.50	381.99	102.51
1600199	03/31/2016	1,095.00	-	1,095.00
1600216	04/05/2016	945.00	-	945.00
1600214	04/05/2016	1,095.00	-	1,095.00
1600224	04/09/2016	150.00	-	150.00
1600227	04/12/2016	818.00	594.80	223.20
1600238	04/16/2016	675.00	-	675.00
1600257	04/19/2016	150.00	-	150.00
1600274	04/28/2016	967.50	-	967.50
1600285	05/02/2016	1,095.00	-	1,095.00
1600287	05/02/2016	1,095.00	-	1,095.00
1600293	05/03/2016	630.00	-	630.00
1600313	05/08/2016	1,095.00	-	1,095.00
1600315	05/09/2016	1,095.00	-	1,095.00
1600317	05/10/2016	676.00	539.09	136.91
1600324	05/11/2016	450.00	-	450.00
1600329B	05/14/2016	150.00	-	150.00
1300361	05/23/2016	1,095.00	-	1,095.00
1600360	05/23/2016	1,095.00	-	1,095.00
1600378	05/28/2016	945.00	-	945.00
1600398	05/31/2016	150.00	-	150.00
1600421	06/07/2016	150.00	-	150.00
1600444	06/15/2016	1,095.00	-	1,095.00
1600458	06/20/2016	150.00	-	150.00

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1600465	06/23/2016	887.00	461.76	425.24
1600476	06/28/2016	150.00	-	150.00
1600516	07/11/2016	150.00	-	150.00
1600520	07/13/2016	1,117.50	-	1,117.50
1600525	07/14/2016	150.00	-	150.00
1600612	08/12/2016	803.00	584.00	219.00
1600613	08/12/2016	825.00	-	825.00
1600610	08/12/2016	1,095.00	-	1,095.00
1600657	08/26/2016	150.00	-	150.00
1600664	08/28/2016	676.50	(3.59)	680.09
1600667	08/31/2016	1,095.00	-	1,095.00
1600671	09/01/2016	823.00	679.75	143.25
1600677	09/03/2016	1,086.00	-	1,086.00
1600684	09/07/2016	1,095.00	-	1,095.00
1600703	09/14/2016	150.00	-	150.00
1600725	09/20/2016	1,072.50	-	1,072.50
1600775	10/08/2016	150.00	-	150.00
1600795	10/15/2016	1,097.50	-	1,097.50
1600803	10/18/2016	645.00	540.00	105.00
1600806	10/18/2016	1,117.50	-	1,117.50
1600820	10/23/2016	150.00	-	150.00
1600825	10/24/2016	1,095.00	-	1,095.00
1600828	10/25/2016	767.50	355.00	412.50
1600832	10/26/2016	1,095.00	-	1,095.00
1600834	10/27/2016	967.50	-	967.50
1600844	10/31/2016	849.00	447.28	401.72
1600850	11/02/2016	819.50	596.00	223.50
1600868	11/10/2016	150.00	-	150.00
1600887	11/15/2016	150.00	-	150.00
1600889	11/15/2016	150.00	-	150.00
1600933	12/04/2016	822.50	200.00	622.50
1600958	12/16/2016	675.50	539.09	136.41
1600980	12/19/2016	675.50	539.09	136.41
1700043	01/14/2017	150.00	-	150.00
1700044	01/15/2017	665.50	528.43	137.07
1700056	01/18/2017	1,111.00	-	1,111.00
1700062	01/19/2017	150.00	-	150.00
1700078	01/25/2017	730.00	-	730.00
1700077	01/25/2017	745.00	-	745.00
1700081	01/26/2017	676.50	527.90	148.60
1700086	01/27/2017	721.00	590.52	130.48
1700093	01/30/2017	150.00	-	150.00
1700092	01/30/2017	1,095.00	-	1,095.00
1700097	02/04/2017	945.00	-	945.00

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1700122	02/11/2017	150.00	-	150.00
1700137	02/15/2017	150.00	-	150.00
1700148	02/18/2017	1,095.00	-	1,095.00
1700189	03/03/2017	150.00	-	150.00
1700192	03/05/2017	630.00	611.58	18.42
1700222	03/17/2017	1,095.00	-	1,095.00
1700229	03/25/2017	150.00	-	150.00
1700237	03/29/2017	676.50	537.91	138.59
1700259	04/04/2017	630.00	-	630.00
1700268	04/07/2017	630.00	-	630.00
1700300	04/21/2017	1,867.50	-	1,867.50
1700305	04/22/2017	1,104.00	-	1,104.00
1700315	04/27/2017	803.00	730.00	73.00
1700314	04/27/2017	1,095.00	-	1,095.00
1700330	05/02/2017	150.00	-	150.00
1700331	05/02/2017	1,104.00	-	1,104.00
1700339	05/05/2017	150.00	-	150.00
1700358	05/11/2017	150.00	-	150.00
1700363	05/14/2017	150.00	-	150.00
1700365	05/15/2017	945.00	-	945.00
1700369	05/16/2017	145.00	10.00	135.00
1700373	05/17/2017	1,097.00	-	1,097.00
1700375	05/18/2017	1,095.00	-	1,095.00
1700380	05/19/2017	1,095.00	-	1,095.00
1700387	05/22/2017	150.00	-	150.00
1700410	06/02/2017	945.00	-	945.00
1700409	06/02/2017	1,095.00	-	1,095.00
1700413	06/05/2017	947.50	-	947.50
1700426	06/08/2017	1,095.00	-	1,095.00
1700437	06/13/2017	110.00	80.00	30.00
1700441	06/14/2017	740.00	710.00	30.00
1700445	06/16/2017	150.00	-	150.00
1700451	06/17/2017	945.00	-	945.00
1700459	06/19/2017	1,095.00	-	1,095.00
1700498	06/30/2017	150.00	100.00	50.00
1700524	07/07/2017	150.00	-	150.00
1700525	07/07/2017	911.50	732.42	179.08
1700533	07/11/2017	1,117.50	-	1,117.50
1700538	07/16/2017	150.00	-	150.00
1700549	07/20/2017	945.00	-	945.00
1700566	07/28/2017	819.00	552.51	266.49
1700573	07/30/2017	150.00	-	150.00
1700575	07/30/2017	630.00	-	630.00
1700583	08/01/2017	1,095.00	-	1,095.00

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1700588	08/03/2017	1,095.00	-	1,095.00
1700617	08/15/2017	1,005.00	-	1,005.00
1700631	08/21/2017	1,095.00	-	1,095.00
1700630	08/21/2017	1,140.00	-	1,140.00
1700634	08/22/2017	730.00	-	730.00
1700644	08/26/2017	1,095.00	-	1,095.00
1700654	08/30/2017	945.00	-	945.00
1700657	08/31/2017	150.00	-	150.00
1700665	09/06/2017	945.00	-	945.00
1700678	09/12/2017	150.00	-	150.00
1700688	09/15/2017	1,095.00	-	1,095.00
1700702	09/22/2017	1,117.50	-	1,117.50
1700707	09/25/2017	1,117.50	745.00	372.50
1700710	09/27/2017	1,095.00	-	1,095.00
1700715	09/29/2017	1,081.50	-	1,081.50
1700733	10/06/2017	1,095.00	-	1,095.00
1700736	10/08/2017	150.00	-	150.00
1700760	10/18/2017	730.00	-	730.00
1700761	10/18/2017	945.00	-	945.00
1700766	10/19/2017	150.00	-	150.00
1700783	10/24/2017	150.00	-	150.00
1700787	10/25/2017	150.00	-	150.00
1700784	10/25/2017	945.00	-	945.00
1700792	10/26/2017	1,095.00	-	1,095.00
1700794	10/27/2017	1,095.00	-	1,095.00
1700805	10/30/2017	945.00	-	945.00
1700806	10/30/2017	1,095.00	-	1,095.00
1700830	11/06/2017	945.00	-	945.00
1700831	11/06/2017	1,007.00	-	1,007.00
1700847	11/13/2017	1,117.50	-	1,117.50
1700854	11/16/2017	776.50	637.91	138.59
1700857	11/17/2017	150.00	-	150.00
1700861	11/20/2017	1,111.00	-	1,111.00
1700865	11/22/2017	949.50	-	949.50
1700881	11/30/2017	730.00	465.00	265.00
1700886	12/01/2017	945.00	-	945.00
1700884	12/01/2017	1,032.00	-	1,032.00
1700887	12/02/2017	100.00	-	100.00
1700896	12/05/2017	1,081.50	-	1,081.50
1700917	12/08/2017	1,099.50	-	1,099.50
1700925	12/12/2017	1,124.50	-	1,124.50
1700929	12/13/2017	639.00	601.55	37.45
1700931	12/14/2017	907.00	-	907.00
1700933	12/15/2017	865.50	576.75	288.75

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1700939	12/17/2017	972.00	-	972.00
1700947	12/22/2017	945.00	-	945.00
1700963	12/29/2017	934.00	-	934.00
1800005	01/01/2018	450.00	267.00	183.00
1800019	01/05/2018	1,095.00	-	1,095.00
1800022	01/06/2018	624.00	-	624.00
1800038	01/11/2018	150.00	-	150.00
1800041	01/12/2018	709.00	680.24	28.76
1800043	01/13/2018	630.00	-	630.00
1800050	01/15/2018	722.50	-	722.50
1800066	01/17/2018	150.00	-	150.00
1800074	01/20/2018	150.00	-	150.00
1800078	01/21/2018	943.00	-	943.00
1800082	01/22/2018	967.50	-	967.50
1800081	01/22/2018	1,111.00	-	1,111.00
1800089	01/25/2018	709.00	-	709.00
1800092	01/25/2018	1,045.50	-	1,045.50
1800098	01/27/2018	150.00	-	150.00
1800105	01/27/2018	934.00	-	934.00
1800099	01/27/2018	1,095.00	-	1,095.00
1800108	01/29/2018	150.00	-	150.00
1800109	01/29/2018	150.00	-	150.00
1800107	01/29/2018	1,095.00	-	1,095.00
1800112	01/30/2018	1,113.00	-	1,113.00
1800115	01/31/2018	737.50	268.05	469.45
1800119	02/01/2018	945.00	-	945.00
1800127	02/07/2018	730.00	-	730.00
1800128	02/07/2018	1,095.00	-	1,095.00
1700133	02/08/2018	450.00	-	450.00
1800139	02/11/2018	945.00	-	945.00
1800141	02/13/2018	745.00	-	745.00
1800150	02/16/2018	730.00	-	730.00
1800158	02/18/2018	934.00	-	934.00
1800173	02/25/2018	150.00	-	150.00
1800178	02/26/2018	150.00	-	150.00
1800181	02/28/2018	100.00	-	100.00
1800183	03/02/2018	100.00	-	100.00
1800186	03/04/2018	150.00	-	150.00
1800195	03/08/2018	730.00	-	730.00
1800203	03/12/2018	150.00	-	150.00
1800201	03/12/2018	943.00	-	943.00
1800206	03/14/2018	709.00	680.24	28.76
1800215	03/18/2018	603.00	-	603.00
1800222	03/20/2018	150.00	-	150.00

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1800223	03/20/2018	150.00	-	150.00
1800233	03/23/2018	692.50	510.18	182.32
1800262	04/03/2018	1,176.00	-	1,176.00
1800264	04/03/2018	1,176.00	-	1,176.00
1800282	04/12/2018	150.00	-	150.00
1800289	04/13/2018	1,176.00	526.76	649.24
1800301	04/17/2018	150.00	-	150.00
1800315	04/23/2018	150.00	-	150.00
1800323	04/25/2018	1,176.00	-	1,176.00
1800327	04/26/2018	1,076.00	-	1,076.00
1800332	04/27/2018	150.00	-	150.00
1800333	04/29/2018	1,076.00	615.27	460.73
1800334	04/29/2018	1,614.00	-	1,614.00
1800338	05/01/2018	150.00	-	150.00
1800348	05/03/2018	200.00	-	200.00
1800353	05/05/2018	1,177.80	-	1,177.80
1800356	05/06/2018	1,076.00	100.00	976.00
1800363	05/08/2018	1,176.00	-	1,176.00
1800365	05/09/2018	150.00	-	150.00
1800366	05/09/2018	1,176.00	526.76	649.24
1800371B	05/10/2018	200.00	160.00	40.00
1800374	05/12/2018	150.00	-	150.00
1800375	05/12/2018	1,067.00	-	1,067.00
1800376	05/13/2018	1,043.60	-	1,043.60
1800384	05/15/2018	1,045.40	-	1,045.40
1800385	05/16/2018	200.00	-	200.00
1800401	05/20/2018	150.00	-	150.00
1800405	05/22/2018	1,110.20	1,013.75	96.45
1800421	05/25/2018	1,159.80	927.84	231.96
1800430	05/27/2018	1,731.40	-	1,731.40
1800436	05/29/2018	150.00	-	150.00
1800448	05/31/2018	150.00	-	150.00
1800445	05/31/2018	1,032.80	-	1,032.80
1800453	06/02/2018	1,087.80	-	1,087.80
1800464	06/05/2018	1,050.80	959.22	91.58
1800468	06/07/2018	225.00	-	225.00
1800471	06/09/2018	1,176.00	-	1,176.00
1800485	06/12/2018	150.00	-	150.00
1800484	06/12/2018	1,114.80	-	1,114.80
1800495	06/15/2018	150.00	-	150.00
1800512	06/21/2018	150.00	-	150.00
1800513	06/22/2018	150.00	-	150.00
1800521	06/24/2018	150.00	-	150.00
1800542	07/04/2018	150.00	-	150.00

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1800546	07/06/2018	1,029.20	-	1,029.20
1800550	07/07/2018	1,097.60	-	1,097.60
1800554	07/10/2018	1,150.80	203.76	947.04
1800555	07/10/2018	1,150.80	-	1,150.80
1800563	07/12/2018	1,176.00	474.09	701.91
1800564	07/13/2018	1,043.60	-	1,043.60
1800565	07/15/2018	200.00	-	200.00
1800571	07/16/2018	1,076.00	976.00	100.00
1800585	07/21/2018	1,195.80	-	1,195.80
1800591	07/25/2018	1,208.40	-	1,208.40
1800601	07/28/2018	1,061.60	-	1,061.60
1800606	07/29/2018	1,000.40	341.26	659.14
1800609	07/31/2018	1,011.20	-	1,011.20
1800613	08/01/2018	1,097.60	1,002.18	95.42
1800617	08/02/2018	1,076.00	-	1,076.00
1800624B	08/05/2018	150.00	-	150.00
1800636	08/11/2018	150.00	-	150.00
1800639	08/12/2018	1,085.00	-	1,085.00
1800640	08/13/2018	1,097.60	-	1,097.60
1800656	08/16/2018	1,041.80	-	1,041.80
1800670	08/23/2018	200.00	-	200.00
1800674	08/24/2018	150.00	-	150.00
1800678	08/25/2018	150.00	-	150.00
1800694	09/01/2018	150.00	99.45	50.55
1800692	09/01/2018	300.00	-	300.00
1800696	09/02/2018	1,072.40	-	1,072.40
1800698	09/03/2018	150.00	114.90	35.10
1800714	09/06/2018	150.00	-	150.00
1800715	09/07/2018	150.00	-	150.00
1800723	09/10/2018	1,097.60	628.17	469.43
1800724	09/10/2018	1,002.20	-	1,002.20
1800728	09/14/2018	150.00	-	150.00
1800729	09/14/2018	225.00	-	225.00
1800733	09/16/2018	1,041.80	-	1,041.80
1800736	09/17/2018	150.00	-	150.00
1800745	09/18/2018	1,027.40	586.25	441.15
1800743	09/18/2018	1,077.80	-	1,077.80
1800738	09/18/2018	1,192.20	-	1,192.20
1800746	09/19/2018	1,016.60	1,016.10	0.50
1800748B	09/19/2018	1,163.40	-	1,163.40
1800753	09/21/2018	300.00	-	300.00
1800753B	09/21/2018	300.00	-	300.00
1800760	09/22/2018	150.00	-	150.00
1800761	09/24/2018	1,150.80	1,059.22	91.58

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1800775	10/01/2018	1,027.40	586.25	441.15
1800784	10/05/2018	1,040.00	782.94	257.06
1800786B	10/05/2018	1,176.00	-	1,176.00
1800786	10/05/2018	1,190.40	-	1,190.40
1800788	10/06/2018	1,000.40	912.94	87.46
1800793	10/08/2018	150.00	-	150.00
1800794	10/08/2018	150.00	-	150.00
1800791	10/08/2018	200.00	-	200.00
1800791C	10/08/2018	200.00	-	200.00
1800791B	10/08/2018	1,176.00	702.35	473.65
1800798	10/10/2018	1,140.00	-	1,140.00
1800804	10/11/2018	1,022.00	932.77	89.23
1800805	10/12/2018	1,176.00	1,105.44	70.56
1800806	10/12/2018	1,143.60	-	1,143.60
1800808	10/13/2018	1,079.60	617.42	462.18
1800809	10/13/2018	1,058.00	191.95	866.05
1800811	10/14/2018	1,176.00	1,152.59	23.41
1800817	10/16/2018	150.00	-	150.00
1800824	10/18/2018	1,065.20	-	1,065.20
1800831	10/22/2018	950.00	-	950.00
1800833	10/23/2018	1,054.40	962.52	91.88
1800837	10/24/2018	1,116.60	893.28	223.32
1800845	10/28/2018	200.00	-	200.00
1800847	10/28/2018	200.00	-	200.00
1800850	10/29/2018	200.00	-	200.00
1800852	10/30/2018	150.00	-	150.00
1800853	10/30/2018	150.00	-	150.00
1800855	10/31/2018	1,149.00	-	1,149.00
Totals		\$ 494,731.50	\$ 77,053.30	\$ 417,678.20
Less collection fees				(115,714.81)
Net City				\$ 301,963.39