

**CITY OF SHAVANO PARK
PLANNING & ZONING COMMISSION MEETING
CITY HALL, COUNCIL CHAMBERS
900 SADDLETREE COURT, SHAVANO PARK, TEXAS 78231
April 3, 2019**

6:30 P.M.

AGENDA

1. Call to order
2. Vote under Section 36-69 of the Shavano Park City Code (“Code”) concerning a finding that each of the items following item 2 on the agenda are “planning issues” or otherwise prescribed Planning & Zoning Commission duties under 36-69(l) of the Code or the severance of one or more of such items for an individual vote on such item or items.
3. Citizens to be heard – Rules for Citizen’s Comments: The Planning & Zoning Commission welcomes citizen participation and comments at all of their meetings. As a courtesy to your fellow citizens and out of respect to Board members; we request that if you wish to speak that you follow these guidelines.
 - A. Direct your comments to the entire Board, not to an individual member;
 - B. Limit your discussion to one or two issues that you wish to address rather than a generalized statement; and
 - C. Show the Board the same respect and courtesy that you expect to be shown to you.
 - D. As stated in Resolution No. 04-11, residents are given three (3) minutes to speak during Citizens to be heard. Residents are only allowed to speak once and cannot pass their time allotment to someone else.

The Presiding Officer will rule any disruptive behavior, including shouting or derogatory statements or comments, out of order. Continuation of this type of behavior could result in a request by the Presiding Officer that the individual leave the meeting, and if refused, an order of removal.

Note: The Commission may not debate any non-agenda issue, nor may any action be taken on any non-agenda issue at this time; however, the Board may present any factual response to items brought up by citizens [Attorney General Opinion – JC 0169]

4. Consent Agenda:
 - A. Approval – Planning & Zoning Commission minutes, February 6, 2019
5. Discussion / action – Minor Amendment request for carport design to the Mixed-Use District Site Plan at CB 4782E, Block 21, Lot 1700 (4280 North Loop 1604) in accordance with Sec. 36-41(f) of the City of Shavano Park Code of Ordinances – City Manager
6. Discussion / action – Change request for carport design in the Planned Unit Development detailed plan for property located at NCB 17704, Block 1, Lot 5 (4675 Lockhill-Selma) in accordance with Sec. 36-40(l) of the City of Shavano Park Code of Ordinances – City Manager

7. Discussion – Presentation on the recent AACOG sponsored Planning and Zoning workshop and discussions concerning the same – Commissioner Janssen
8. Discussion / action - Planning for potential trail head / restricted access to Salado Creek at dog leg on Cliffside and potential trail head near Blattman Elementary as directed by City Council – City Manager
9. Discussion/update – Presentation by City staff on the progress of drainage improvements – City Manager Hill
10. Report / update – City Council items considered at previous City Council meetings and discussion concerning the same – City Manager Hill
11. Chairman Announcements:
 - A. Advise members to contact City staff to add new or old agenda items.
 - B. Advise members of pending agenda items, as follows:
 - i. August, 2019 – Semiannual presentation by Denton Communities regarding residential and commercial development in Shavano Park and surrounding areas and discussion concerning the same.
 - ii. August, 2019 – Consider proposed changes to Sec. 24 of the City of Shavano Park Code of Ordinances regarding signs.
12. Adjournment

Accessibility Statement:

The City of Shavano Park City Hall is wheelchair accessible. The entry ramp is located in the front of the building. Accessible parking spaces are also available in the front and sides of the building. Sign interpretative services for meetings must be made 48 hours in advance of the meeting. Call the A.D.A. Coordinator at 817-447-5400 or TDD 1-800-735-2989.

Decorum Required:

Any disruptive behavior, including shouting or derogatory statements or comments may be ruled out of order by the Presiding Officer. Continuation of this type of behavior could result in a request by the Presiding Officer that the individual leave the meeting, and if refused, an order of removal.

Action by Commission Authorized:

The Planning and Zoning Commission may vote and/or act upon any item within this Agenda. The Commission reserves the right to retire into executive session concerning any of the items listed on this Agenda, pursuant to and in accordance with Texas Government Code Section 551.071, to seek the advice of its attorney about pending or contemplated litigation, settlement offer or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas conflict with the Open Meetings Act and may invoke this right where the City Attorney, the Mayor or a majority of the Governing Body deems an executive session is necessary to allow privileged consultation between the City Attorney and the governing body, if considered necessary and legally justified under the Open Meetings Act. The City Attorney may appear in person, or appear in executive session by conference call in accordance with applicable state law.

Executive Sessions Authorized:

This agenda has been reviewed and approved by the City's legal counsel and the presence of any subject in any Executive Session portion of the agenda constitutes a written interpretation of Texas Government Code Chapter 551 by legal counsel for the governmental body and constitutes an opinion by the attorney that the items discussed

therein may be legally discussed in the closed portion of the meeting considering available opinions of a court of record and opinions of the Texas Attorney General known to the attorney. This provision has been added to this agenda with the intent to meet all elements necessary to satisfy Texas Government Code Chapter 551.144(c) and the meeting is conducted by all participants in reliance on this opinion.

Attendance by Other Elected or Appointed Officials:

It is anticipated that members of City Council or other city board, commissions and/or committees may attend the meeting in numbers that may constitute a quorum of the other city boards, commissions and/or committees. Notice is hereby given that the meeting, to the extent required by law, is also noticed as a meeting of the other boards, commissions and/or committees of the City, whose members may be in attendance. The members of the boards, commissions and/or committees may participate in discussions on the same items listed on the agenda, which occur at the meeting, but no action will be taken by such in attendance unless such item and action is specifically provided for on an agenda for that board, commission or committee subject to the Texas Open Meetings Act.

I, the undersigned authority, do hereby certify that the above Notice of Meeting of the governing body of the above named Shavano Park Planning and Zoning Commission is a true and correct copy of said Notice and that I posted a true and correct copy of said Notice on the bulletin boards, of the City Hall of said City Shavano Park, Texas, a place convenient and readily accessible to the general public at all times, and said Notice was posted on 28th of March 2019 at 11:30 a.m. and remained so posted continuously for at least 72 hours preceding the scheduled time of said meeting.

ZINA TEDFORD
City Secretary

1. **Call to order**

Chairman Janssen called the meeting to order at 6:30 p.m.

PRESENT:

Konrad Kuykendall

Carlos Ortiz

Albert Aleman

Jason Linahan

William Stipek

Kerry Dike

Carla Laws

Michael Janssen

ABSENT:

Bill Simmons

2. **Vote under Section 36-69 of the Shavano Park City Code (“Code”) concerning a finding that each of the items following item 2 on the agenda are “planning issues” or otherwise prescribed Planning & Zoning Commission duties under 36-69(l) of the Code or the severance of one or more of such items for an individual vote on such item or items.**

Upon a motion made by Commissioner Dike and a second made by Commissioner Laws, the Planning & Zoning Commission voted seven (7) for and none (0) opposed to approve the agenda as it was provided as Planning & Zoning Commission issues. The motion carried.

3. **Citizens to be Heard**

No one signed up to address the Planning & Zoning Commission at this time.

4. **Consent Agenda:**

A. Approval – Planning & Zoning Commission minutes, December 5, 2018

Upon a motion made by Commissioner Aleman and a second made by Commissioner Dike, the Planning & Zoning Commission voted seven (7) for and none (0) opposed to approve the Planning & Zoning Commission December 5, 2018 minutes as presented. The motion carried.

5. **Presentation – Semiannual presentation by Denton Communities regarding residential and commercial development in Shavano Park and surrounding areas and discussions concerning the same.**

David Rittenhouse and Darryl Lange presented an update of the residential and commercial development in Shavano Park and surrounding areas.

6. **Discussion – Notification by City Manager of approved changes in detailed PUD plan for property located at 4675 Lockhill-Selma, N.C.B. 17704, Lot 2, Block 1, in accordance with Sec. 36-40 – City Manager Hill.**

City Manager Hill provided information and notified the Planning & Zoning Commissioners of his decision to approve changes to the-PUD plan for property located at 4675 Lockhill-Selma, N.C.B. 17704, Lot 2, Block 1, in accordance with Sec. 36-40.

7. **Discussion / action – Recommend Amendment to City of Shavano Park Code of Ordinances, Section 6-92. - Fences to conform to the 12-foot gate opening requirement as required by the City of Shavano Park Zoning Ordinance Section 36-36(f)(3) – City Manager Hill.**

Upon a motion made by Commissioner Laws and a second made by Commissioner Linahan, the Planning & Zoning Commission voted seven (7) for and none (0) opposed to Recommend Amendment to City of Shavano Park Code of Ordinances, Section 6-92. - Fences to conform to the 12-foot gate opening requirement as required by the City of Shavano Park Zoning Ordinance Section 36-36(f)(3). The motion carried.

8. **Report / update – Update on results of the December, 2018 TxDOT public open house meeting regarding the improvements to NW Military Highway and discussion concerning the same – City Manager Hill.**

City Manager Hill provided an update on results of the December, 2018 TxDOT public open house meeting regarding the improvements to NW Military Highway.

9. **Report / update – City Council items considered at previous City Council meetings and discussion concerning the same – City Manager Hill.**

City Manager Hill provided an overview of items considered at the previous City Council Meeting.

10. **Chairman Announcements:**

- A. Advise members to contact City staff to add new or old agenda items.
- B. Advise members of pending agenda items, as follows:
 - i. March, 2019 – Discussion / action on proposed changes to the City’s ordinances regarding minimum gate width in Residential Zoning Districts.
 - ii. August, 2019 – Semiannual presentation by Denton Communities regarding residential and commercial development in Shavano Park and surrounding areas and discussion concerning the same.
 - iii. 2019 – Consider proposed changes to Sec. 24 of the City of Shavano Park Code of Ordinances regarding signs.

11. **Adjournment**

Upon a motion made by Commissioner Dike and a second made by Commissioner Kuykendall, the Planning & Zoning Commission voted eight (8) for and none (0) opposed to adjourn the meeting. The meeting adjourned.

MICHAEL JANSSEN
Chairman

ZINA TEDFORD
City Secretary

PLANNING & ZONING STAFF SUMMARY

Meeting Date: April 3, 2019

Agenda item: 5

Prepared by: Curtis Leeth

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

Discussion / action – Minor Amendment request for carport design to the Mixed-Use District Site Plan at CB 4782E, Block 21 Lot 1700 (4280 North Loop 1604) in accordance with Sec. 36-41(f) of the City of Shavano Park Code of Ordinances – City Manager.

X

Attachments for Reference:

- 1) 5a Lynd Corporation Request Letter
- 2) 5b MXD Site Plan – 4280 North Loop 1604 (July 16, 2018)

BACKGROUND / HISTORY: The Lynd Corporation building, located at 4001 Pond Hill road is zoned Mixed-Use District (MXD) and is governed by a site plan under the MXD. The latest site plan was approved administratively by the City Manager on July 16, 2018 (see attached). This site plan does not include carports.

Current carport regulations are as follows:

Sec. 36-39. - Business and Office Districts.

All business and office districts shall be governed by the following regulations.

- (1) *General requirements.* The following regulations shall apply to all property within the O-1, B-1 and B-2 zoning districts:

a. Parking.

. . .

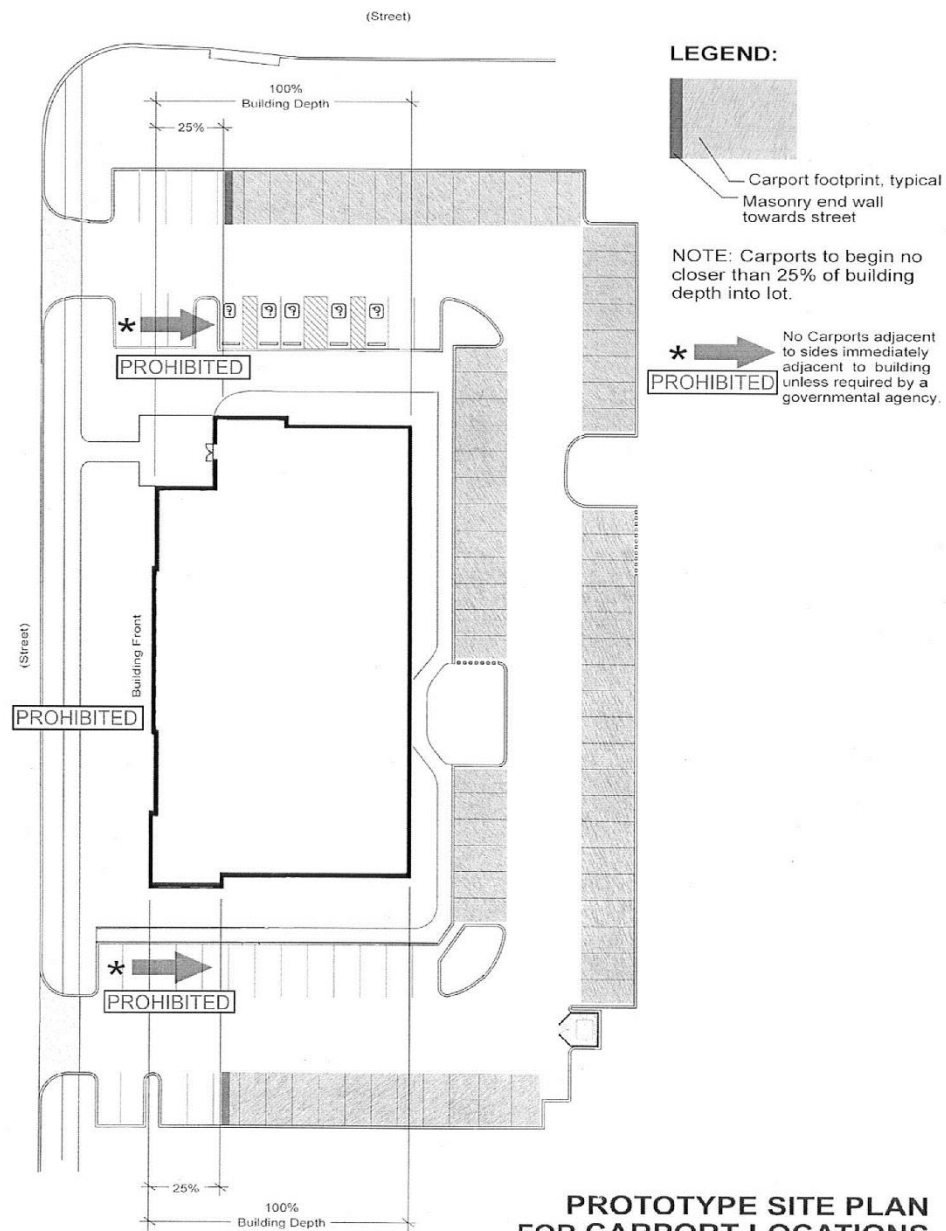
4. *Covered parking.* Covered parking shall only be permitted in a fully enclosed garage or in a carport meeting the criteria listed below. In no event shall this section be construed as to allow carports in single-family residential areas.

(i) Carports shall be set back from the front building wall at a distance of not less than twenty-five (25) percent of the length of the side building wall. See illustration below.

(ii) Carports visible from public right of ways shall have a solid masonry end wall on the portion of the carport facing the public right of way. The end wall shall be constructed with masonry that matches that of the primary structure.

(iii) Carports shall have support columns constructed of steel and roofs constructed of standing seam metal rated at twenty (20) gauge or higher. Roofs shall be constructed at a minimum pitch ratio of three (3) to twelve (12).

(iv) Carports shall only be permitted in the shaded areas on the illustration below.



DISCUSSION: Sec. 36-41(f) of City of Shavano Park Code of Ordinances allows the City Manager to approve minor amendments to the MXD Site Plan if it meets certain conditions. However, the City Manager is opting to bring Lynd Corporation's request before the Commission because the request is an exception to the current ordinance.

This item is related to the next item (item 6), which is a request for similar carport installation for the National Joint Care Institute building at 4675 Lockhill-Selma. The City Manager supports both requests and requests guidance on possible amendments to the City's carport regulations.

Sec. 36-41. - MXD—Mixed-Use District.

. . .

(f) Amendments to approved MXD site plan:

- (1) Classification:** Amendments to a previously approved MXD site plan shall be classified as a minor or major amendment. Minor amendments may be administratively accepted. Within 20 working days after the filing of the proposed amendments, the City Manager or his/her designee shall provide a written response to the applicant indicating whether or not the revised MXD site plan has been approved as a minor amendment. All revisions to an approved MXD site plan not considered a major amendment shall be considered a minor amendment. Major amendments shall require a new application for rezoning and shall be processed in the same manner as the initial MXD site plan.
- (2) Major amendments—Applicability:** Increasing the area or intensity of nonresidential uses shall be considered a major amendment.

COURSES OF ACTION: If the request is approved by the Commission, the City Manager will amend the MXD site plan.

If the request is not supported by the Commission, then the City Manager will likely address with City Council.

FINANCIAL IMPACT: N/A

MOTION REQUESTED: Approve Minor Amendment request for carport design to the Mixed-Use District Site Plan at CB 4782E, Block 21 Lot 1700 (4280 North Loop 1604) in accordance with Sec. 36-41(f) of the City of Shavano Park Code of Ordinances

City of Shavano Park Planning & Zoning Commission
900 Saddletree Court
Shavano Park, TX 78231

RE: Lynd Co. Office Building at 4001 Pond Hill Road

Dear Commission Members,

The Lynd Co. would like to install covered parking spaces on the south side of their new building which is currently under construction. The subject property for the Lynd Co. is located at 4001 Pond Hill Road and zoned as Mixed-Use District (MXD). It is our understanding that the covered parking structure being proposed does not technically meet the current zoning requirements. Current zoning permits covered parking in fully enclosed garages or in a carport constructed with steel with sloped standing seam metal roofing and end walls of masonry.

The covered parking structure that we are proposing is a curved steel frame with fabric roofing and no masonry end walls. We request a minor amendment to the MXD zoning requirements to allow this alternate design. The proposed design is an elegant and less-intrusive design for the development. We feel that it will enhance the overall development and will not have a negative impact on the City of Shavano Park nor the immediate neighbors surrounding the development.

The proposed covered parking structure has been documented on the attached exhibits and has the following features:

1. Painted steel framing with fabric roof membrane in a curved shape and extending over eighteen (18) parking spaces in one row, including one accessible parking space. All covered spaces will be located to the south of the new building, away from the front entry and located back from the public right-of-way.
2. New on-site trees and shrubs are proposed to screen the parking structure from the public right-of-way in lieu of using masonry end walls. This is being proposed because the masonry end walls do not relate to the building design, they are visually overbearing on the site and would create security issues with blocking of sight lines.
3. Extensive existing and new landscaping along the public right-of-way will also screen the parking structure.
4. The covered parking structure will be 105 feet away from the public right-of-way and 54 feet away from the front of the building. Therefore, the structure will not impact major sight lines from the public-right-of-way or the entry.
5. The design of the covered parking structure is purposely minimal, visually so as to have minimal impact on the character of the office development which has been designed to be modern and minimalist using clean lines and simple forms.

Therefore, we respectfully request approval of this minor amendment to the MXD zoning to allow the proposed covered parking structure on our development. Please let us know if we can provide any further information or details to assist you with your review.

Sincerely,



Scott J. Brymer
Executive Vice Vice President

Exhibit A:
Landscape Site Plan

Native Landscape
Buffer

Landscape Buffer of
existing oak trees
and new plantings
of varying heights
including trees,
bushes and shrubs

Landscape Buffer of
existing oak trees
and new plantings
of varying heights
including trees,
bushes and shrubs

Existing oak trees

Public Right of Way

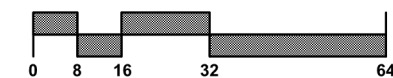
Pond Hill Road

Loop 1604 Access Road

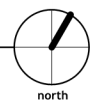
NEW 3
STORY
BUILDING

Handicap Space

(18 Spaces)
Proposed Shaded
Parking Structure



1 Landscape Plan
SCALE 1/16" = 1'-0"



301 e. cevallos suite #375
san antonio, texas 78204

210.269.5454 tel

www.c2landgroup.com



October 26, 2018

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P.O. Box 782247
San Antonio, Texas
78278
t. 210.764.7773
f. 210.764.0008

Issue / Revision

Issue For Construction 10.26.18

Lynd Office Building

4280 N. Loop 1604, Shavano Park, Texas 78231

a landscape plan for the

drawn by: cms

checked by: cms

date: october 26, 2018

landscape plan

L2.O

Landscape Requirements & Tabulations

Vicinity Map



Plant List

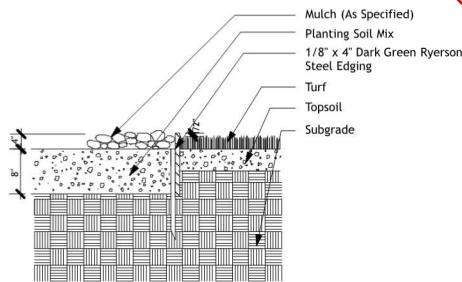
Key	Qty.	Common Name	Botanical Name	Size	Height	Spread	Remarks
AJ	990	Asian Jasmine	Trachelospermum asiaticum	4" Pot	6" Ht.	9" width	Full and Symmetrical; 12" o.c.
CE	2	Cedar Elm	Ulmus crassifolia	4" Cal.	10-12' Ht.	5-6' width	Full, Symmetrical, Uniform Height and Spread 4" Maximum Clear Trunks
CE6	2	Cedar Elm	Ulmus crassifolia	6" Cal.	12-14' Ht.	6-7' width	Full, Symmetrical, Uniform Height and Spread 5" Maximum Clear Trunks
CM	1	Crape Myrtle	Lagerstroemia indica 'Red Rocket'	2.5" Cal.	9-10' Ht.	6' width	Full and Symmetrical
FI	11	Fig Ivy	Ficus pumila	1 Gal.	9" Ht	12" width	Full and Symmetrical; 60" o.c.
GCS	30	Green Cloud Sage	Leucophyllum frutescens	5 Gal.	24" Ht	24" width	Full and Symmetrical; 48" o.c.
HOL	2	Nellie R. Stevens Holly	Ilex x 'Nellie R. Stevens'	24" Box	8-10' Ht.	24" width	Full and Symmetrical; Staked
IC	10	Italian Cypress	Cupressus sempervirens 'Glaucua'	24" Box	8-10' Ht.	24" width	Full and Symmetrical; Staked
IC36	6	Italian Cypress	Cupressus sempervirens 'Glaucua'	36" Box	12' Ht.	30" width	Full and Symmetrical; Staked
LOK	4	Live Oak	Quercus virginiana	6" Cal.	12-14' Ht.	7-8' width	Full, Symmetrical, Uniform Height and Spread 5" Maximum Clear Trunks; Staked
MOK	6	Monterrey Oak	Quercus polymorpha	4" Cal.	10-12' Ht.	5-6' width	Full, Symmetrical, Uniform Height and Spread 4" Maximum Clear Trunks
MOL	8	Mexican Olive Tree	Cordia boissieri	2.5" Cal.	9-10' Ht.	6' width	Full and Symmetrical
MTL	3	Mountain Laurel	Sophora secundiflora	2.5" Cal.	9-10' Ht.	6' width	Full, Symmetrical, Uniform Height and Spread
ROK	3	Shumard Red Oak	Quercus shumardii	6" Cal.	12-14' Ht.	6-7' width	Full, Symmetrical, Uniform Height and Spread 4" Maximum Clear Trunks; Staked
Hydromulch		Common Bermuda					
SOD		Tiff 419 Bermuda		S.Y.			90% Purity Cut Prior to Shipment

Parking Lot Shading Calculations

(Mandatory Requirement)	
• Trees Are To Be Planted Within 12'-0" of Edge Of Pavement	
Parking Lot Area	33,408 sf
25% Shading Minimum	8,352 sf
1 Tree/800sf Required	11 ea
Number of Trees Provided	11 ea

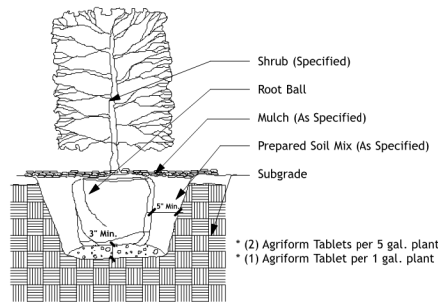
General Notes

- All quantities shown on plans to be verified by Landscape Contractor. Landscape Contractor shall be responsible for installing all labeled plant material.
- Landscape Contractor shall familiarize himself with the Landscape Plan and Specifications and shall be responsible for the requirements dictated therein.
- Landscape Contractor shall familiarize himself with the location of all underground utilities and easements prior to the installation of any plant material.
- All plants must comply with the American Standards for Nursery Stock, by the American Association of Nurserymen, Inc.
- All final shaping and raking of the topsoil shall be approved by the Landscape Architect prior to application of Hydromulch or sod, shaping planting beds, installing trees and installing irrigation. Excessive slopes on berms which may cause maintenance problems shall be reviewed by the Landscape Architect. Berms shall be installed in 12" layers and compacted to 90% proctor.
- All topsoil shall be fine sandy loam, raked smooth to grade 1-1/2" below curbs, sidewalks, or edging.
- All beds to be mulched to a depth of 4" with BLACK dyed mulch from New Earth (210.661.5180). (7800 IH-10 East, 78219). Submit mulch sample to Landscape Architect prior to delivery and installation.
- All backfill to be sandy loam material and shall be the responsibility of the General Contractor. General Contractor shall allow for the installation of 2" of topsoil at hydroseed areas, 6" of topsoil at lawn areas, and 8" of specified backfill (New Earth 4-way Mix) in shrub areas to be supplied by the Landscape Contractor. Any backfill material shall be compacted sufficiently to prevent excessive settling of topsoil that may effect the finished grade or drainage.
- Landscape Contractor shall notify the Landscape Architect of any questions regarding application of proposed plant material prior to installation-especially questions that may effect or alter the warranty of said material.
- Landscape Contractor shall maintain all trees, shrubs, groundcover and turf areas in a healthy state under the contract until acceptance by the owner. A 90 day maintenance period, after acceptance, shall be included in base bid.
- Trees shall be warrantied 1 year from acceptance of owner. Shrubs and groundcovers shall be warrantied 6 months in the same period.
- All container grown shrubs and groundcovers shall be healthy, vigorous, well-rooted and established in the container in which they are growing.
- Landscape Irrigation to be provided throughout project and shall provide 100% coverage at all landscape areas.



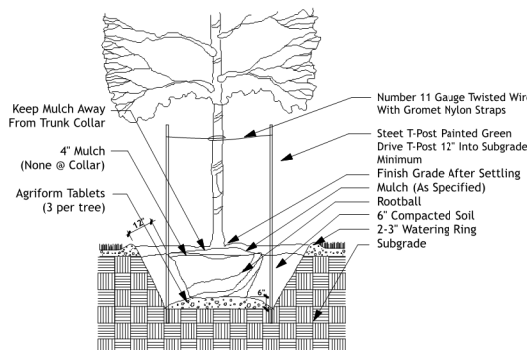
Steel Edging Detail

NO SCALE



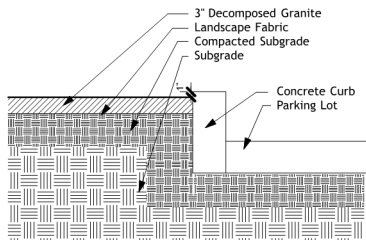
Shrub Planting Detail

NO SCALE



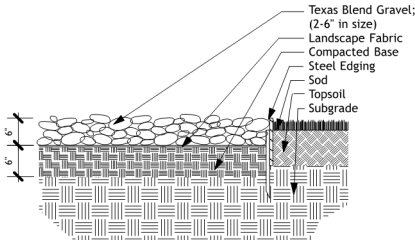
Tree Planting Detail

NO SCALE



Decomposed Granite @ Curb Detail

No Scale



Texas Blend Gravel Detail

No Scale

Landscape Planting Schedule

Exhibit B:
Landscape Detail Sheet



301 e. cevallos suite #375
san antonio, texas 78204

210.269.5454 tel

www.c2landgroup.com



October 26, 2018

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P.O. Box 782247
San Antonio, Texas
78278
t. 210.764.7773
f. 210.764.0008

Issue / Revision

Issue For Construction 10.26.18

Lynd Office Building
4280 N. Loop 1604, Shavano Park, Texas 78231

a landscape plan for the

drawn by: cms

checked by: cms

date: october 26, 2018

landscape notes & details

L1.O

LEGAL DESCRIPTION

ADDRESS: 4280 N. LOOP 1604 SHAVANO PARK, TX 78231
LOT 1700 & 1701, BLOCK 21, CB 4782 PLAT OF RECORD IN VOL. 9701 PG 131 OF
THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TX

COORDINATION NOTE:

1. CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE. (210) 244-0500.
2. CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES. (210) 353-2255.
3. CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-449-7928.
4. CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES. (210) 353-2255.
5. CONTRACTOR TO COORDINATE WITH SAWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210) 704-7297.
6. CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

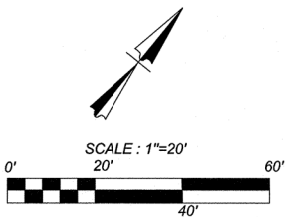
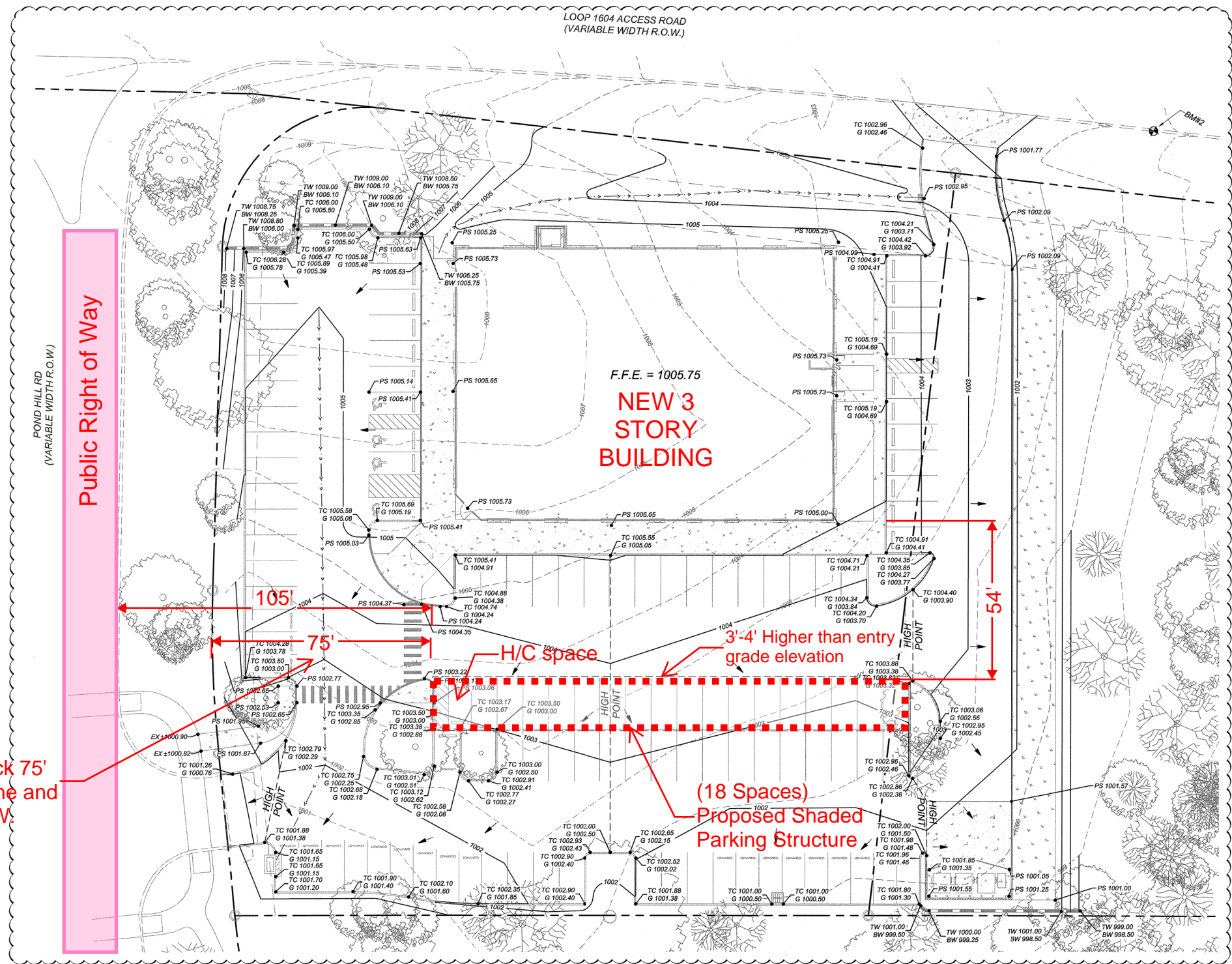
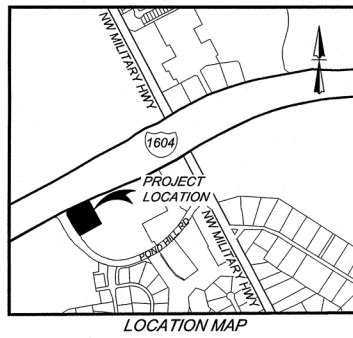
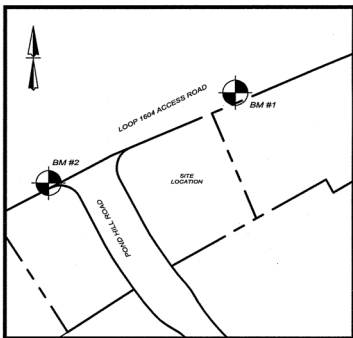
GRADING NOTES:

1. ALL GRADES AND CONTOURS SHOWN ARE FINAL, TOP OF FINISHED SURFACE ELEVATIONS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL SUBTRACT THICKNESS OF PAVEMENT, BASE, TOP SOIL, SOD, ETC. TO ACHIEVE SUBGRADE ELEVATION.
2. POSITIVE DRAINAGE SHALL BE MAINTAINED ON ALL SURFACE AREAS WITHIN THE SCOPE OF THIS PROJECT. DRAINAGE SHALL BE DIRECTED AWAY FROM ALL BUILDING FOUNDATIONS. CONTRACTOR SHOULD TAKE PRECAUTIONS NOT TO ALLOW ANY PONDING OF WATER.
3. NO ABRUPT CHANGE OF GRADE SHALL OCCUR IN THE ROADWAYS, PARKING AREAS, OR SIDEWALKS.
4. CONTRACTOR SHALL CONSTRUCT TO OBTAIN GRADES SHOWN HEREON \pm ONE-TENTH (0.10) FOOT.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND LANDSCAPING PLANS.
6. UTILITIES SHOWN ON THE PLANS ARE FROM THE BEST INFORMATION SOURCES AVAILABLE AT THE TIME OF DESIGN BUT MAY NOT REPRESENT ALL EXISTING UTILITIES ON SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES AND DRAINAGE STRUCTURES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES PRIOR TO CONSTRUCTION TO VERIFY SIZE, GRADE, AND LOCATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DEVIATIONS FROM PLANS PRIOR TO BEGINNING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR, AT HIS EXPENSE.
7. ALL MATERIALS AND CONSTRUCTION PROCEDURES WITHIN THE SCOPE OF THIS CONTRACT WHERE NOT SPECIFICALLY COVERED IN THE PROJECT SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE BEXAR COUNTY PUBLIC WORKS STANDARD SPECIFICATIONS, CITY OF SAN ANTONIO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION) AND CPS ELECTRICAL SERVICE STANDARDS (LATEST EDITION).
8. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL OR BETTER CONDITION ANY DAMAGES DONE TO EXISTING BUILDINGS, UTILITIES, FENCES, PAVEMENT, CURBS, SIDEWALKS, OR DRIVEWAYS (NO SEPARATE PAY ITEM).
9. DUE TO FEDERAL REGULATION TITLE 49, PART 192.101, CPS MUST MAINTAIN ACCESS TO GAS VALVES AT ALL TIMES. THE CONTRACTOR MUST PROTECT AND WORK AROUND ANY GAS VALVES THAT ARE IN THE PROJECT AREA.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL NECESSARY UTILITY COMPANIES FOR PROVIDING TEMPORARY UTILITY SERVICES DURING CONSTRUCTION. THE CONTRACTOR SHALL PAY FOR ALL TEMPORARY UTILITY SERVICES.
11. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS OR GRADES NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS, TESTS, APPROVALS, AND ACCEPTANCES REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT.
13. ALL EXCAVATION IS UNCLASSIFIED.
14. ALL EXCAVATIONS AND BACKFILLING OF UTILITY TRENCHES SHALL BE AS PER CONTRACT SPECIFICATIONS NO. 02221 - EARTHWORK. ALL BACKFILL MUST BE IN COMPACTED 12 - INCH LIFTS MAXIMUM, AND NO WATER JETTING IS ALLOWED.
15. ALL CURBS ARE 6 INCH UNLESS OTHERWISE SPECIFIED.
16. SEE CIVIL DETAIL SHEETS FOR APPLICABLE DETAILS.
17. ALL CONSTRUCTION AREAS WITHIN THE SITE SHALL BE STRIPPED OF ALL VEGETATION AND LOOSE TOPSOIL. ANY POCKETS OF DEBRIS ENCOUNTERED SHOULD ALSO BE REMOVED.
18. CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO DEVELOP THE CONTRACTOR'S PLANS TO IMPLEMENT THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S PLANS SHALL PROVIDE FOR ADEQUATE TRENCH SAFETY SYSTEMS THAT COMPLY WITH, AS A MINIMUM, OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL DEVELOP AND IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.
19. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL SPECIFICATIONS AND CONTRACT INFORMATION.

BENCHMARKS

BM #1 - ELEVATION = 999.50
7" ON CURB ALONG LOOP 1604 ACCESS ROAD APPROXIMATELY 310 FEET EAST OF THE POND HILL ROAD & 1604 ACCESS ROAD INTERSECTION.
BM #2 - ELEVATION = 1000.15
7" ON PAVEMENT AT THE SOUTHWEST INTERSECTION OF POND HILL ROAD & LOOP 1604 ACCESS ROAD



LEGEND

PROPERTY LINE	---
EXISTING CURB	==
PROPOSED CURB	---
FLOW ARROW	→
PROPOSED FINISH FLOOR ELEVATION	F.F.E. = XXX.XX
PROPOSED CONTOURS	920
PROPOSED DRAINAGE SWALE	---
PROPOSED HIGH POINT	HIGH POINT
EXISTING CONTOURS	920
PROPOSED SPOT GRADE	PS 19.90
PROPOSED SPOT GRADE (TOP OF CURB AND GUTTER)	TC 20.20 G 19.70

CAUTION: THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

TRENCH EXCAVATION SAFETY PROTECTION
CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

Exhibit C:
Civil Grading Plan

LYND OFFICE BUILDING
4280 N. LOOP 1604 SHAVANO PARK, TX 78231

GRADING PLAN

JOB NO. 462-01-01
DATE: JUNE 2018
DRAWN: RT CHECKED: BT
SHEET NUMBER:

C6.0



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CORE & SHELL - PERMIT PACKAGE

Lynd Office Building
4280 N. Loop 1604 W.
Shavano Park, Texas 78231

revision date

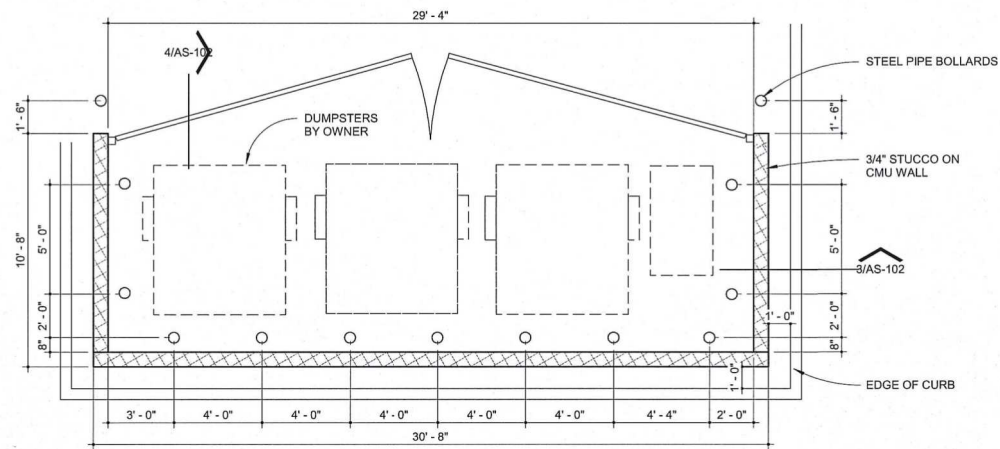
RVK

745 e mulberry ave suite 601
san antonio texas 78212
telephone: 210.733.3535
web: www.rvk-architects.com

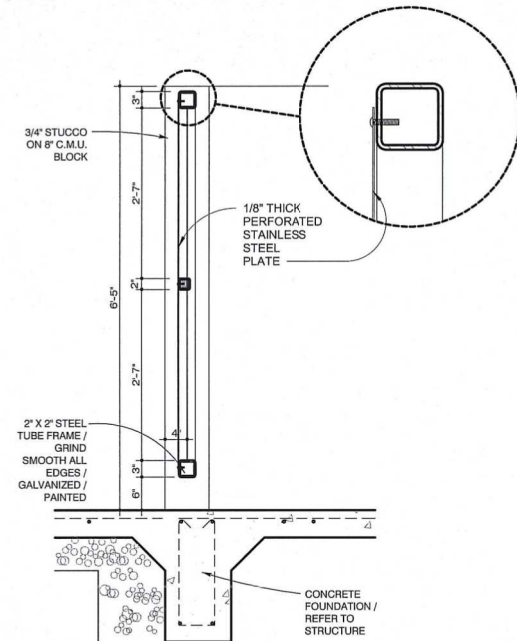
Construction
Documents

AS-102

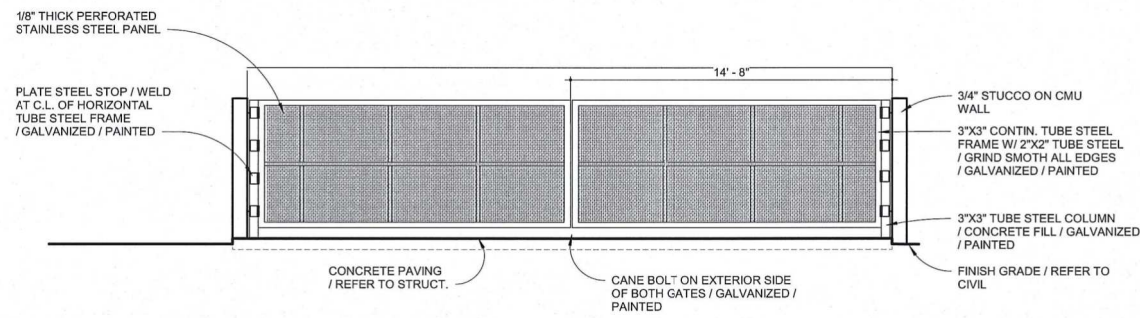
SITE DETAILS



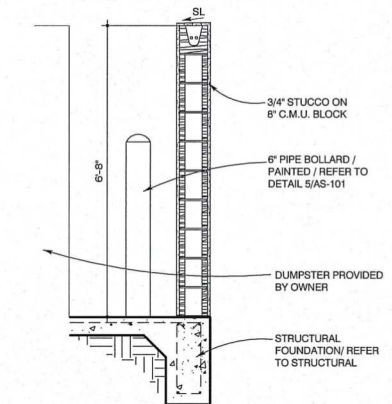
1 ENLARGED PLAN
Dumpster Plan
1/4" = 1'-0"



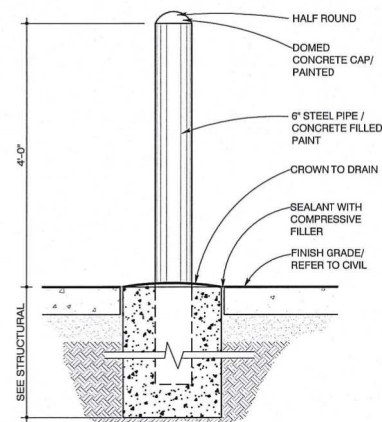
4 SECTION DETAIL
Dumpster Gate Detail
3/4" = 1'-0"



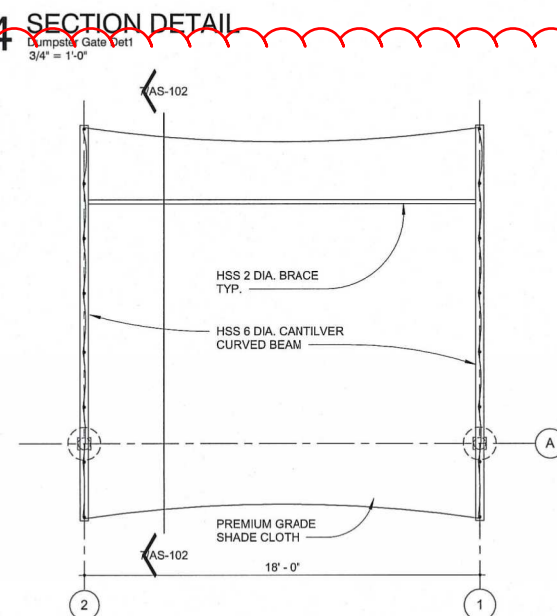
2 GATE ELEVATION
Dumpster Elevation
1/4" = 1'-0"



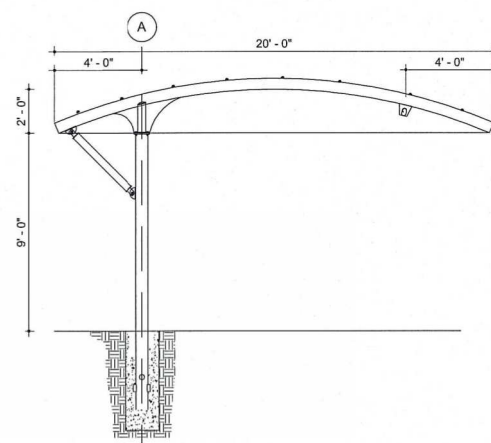
3 SECTION DETAIL
Dumpster Section
1/2" = 1'-0"



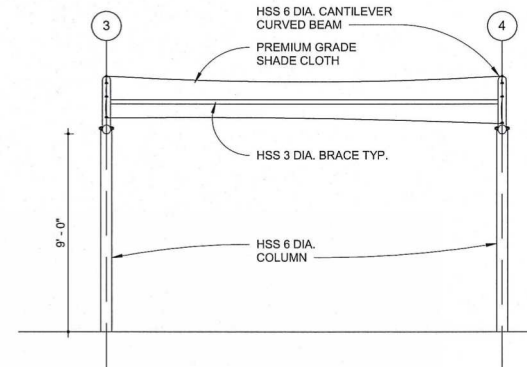
5 SECTION DETAIL
Dumpster Bollard
3/4" = 1'-0"



6 TYP. SHADE STRUCTURE PARKING BAY
Shade Structure Plan
1/4" = 1'-0"



7 TYP. SHADE STRUCTURE SECTION
Shade Structure Section
1/4" = 1'-0"

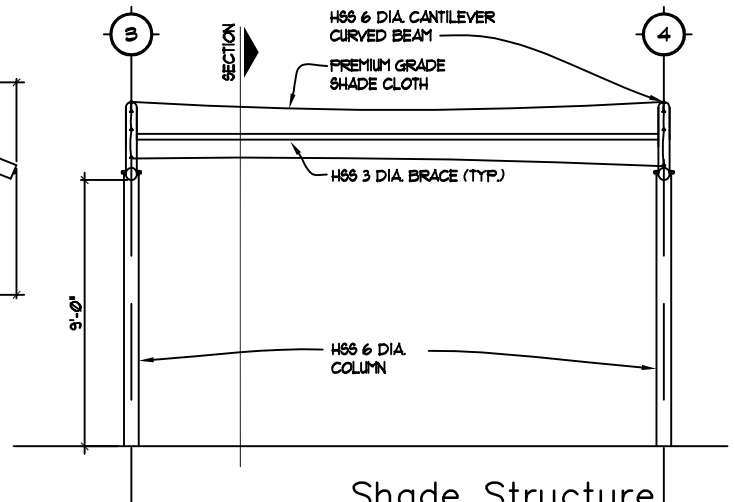
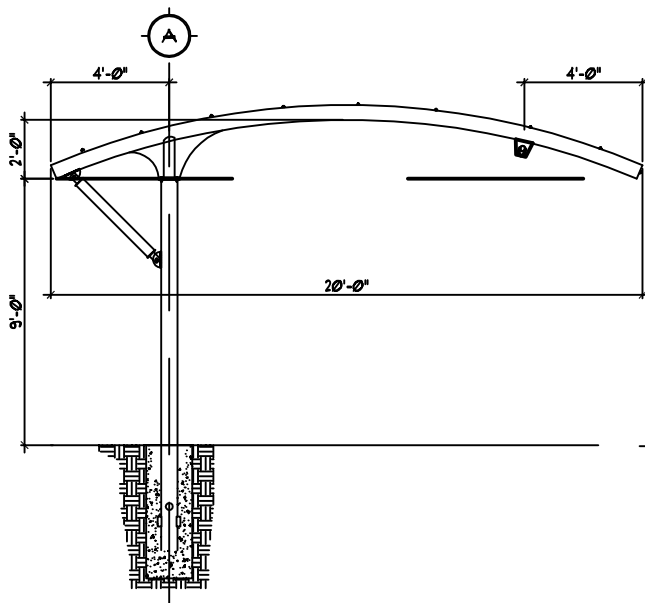
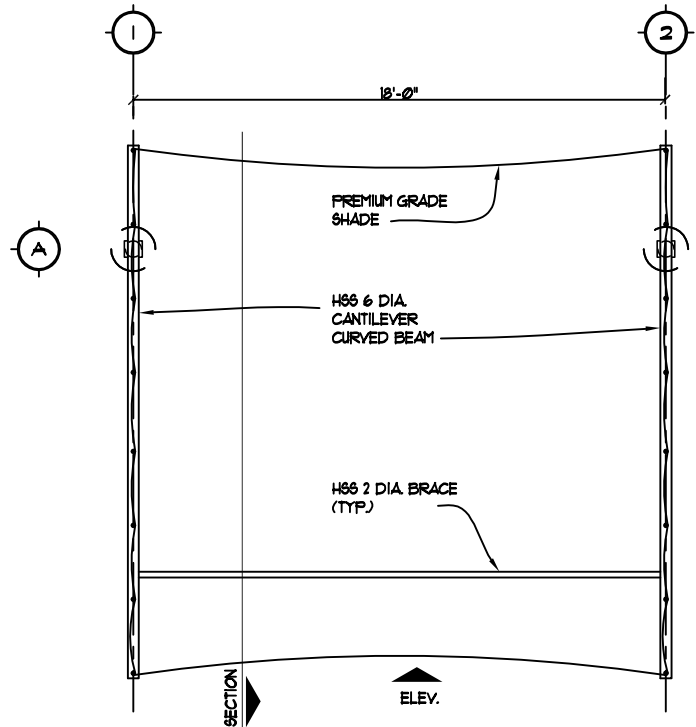


8 TYP. SHADE STRUCTURE ELEVATION
Shade Structure Elevation
1/4" = 1'-0"

Proposed Shaded
Parking Structure

Exhibit D:
Architectural Detail Drawings

Exhibit E:
Manufacturer's Shop Drawings



Shade Structure
Plan Layout
SCALE: Not to Scale

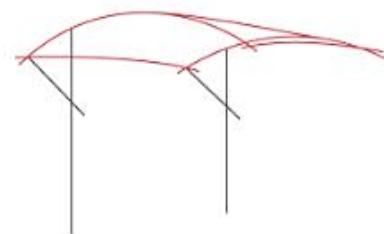
[All](#)[Curve](#)[Custom](#)[Flat](#)[HIP](#)[Kiosk](#)[Sails](#)[TensoUmbrellas™](#)

Exhibit F:
Product information

[<](#) [>](#) [×](#)

ECLIPSE™

The most popular model in the Tensoshade™ catalog, Eclipse allows for an elegant curved roof line providing clean aesthetics. When extensions are added you will enjoy continuous cover without gaps. Great for carports, sports bleachers, pool decks, and more.

[REQUEST A FREE QUOTE](#)

COMMERCIAL 95 HDPE SHADE CLOTH

Designed for tension structures and shade sails it is used on a wide variety of applications. Commercial 95® 340 gsm offers the ultimate combination of maximum sun protection, strenght and durability to ensure maintenance-free long-life performance.

10 YEAR LIMITED WARRANTY BY TENSOSHADE™



NOTE: more colors available upon request

SERGE FERRARI® MEMBRANE

Serge Ferrari Precontraint® 502 is a high performance fabric for a variety of shade structures and other shade applications featuring dimensional stability due to patented, exclusive precontraint technology. Ferrari 502 offers high UV resistance and heat and weather protection for long-lasting use in a flame retardant fabric. With a very smooth finish, maintenance of the fabric is easy thanks to its innovative, thick coating.

5 YEAR LIMITED WARRANTY BY TENSOSHADE™



NOTE: more colors available upon request

Exhibit G:
Shade Structure
Examples



Exhibit H:
Bank of San Antonio
Example





Google

LEGAL DESCRIPTION

ADDRESS: 4280 N. LOOP 1604 SHAVANO PARK, TX 78231

LOT 1700 & 1701, BLOCK 21, CB 4782 PLAT OF RECORD IN VOL. 9701 PG. 131 OF THE DEED AND PLAT RECORDS OF BEXAR COUNTY, TX

COORDINATION NOTE:

- CONTACT SPECTRUM CABLE TO COORDINATE CABLE TV SERVICE. (210)-244-0500.
- CONFIRM REQUIREMENTS AND COORDINATE WITH CPS (CITY PUBLIC SERVICE) FOR INSPECTIONS AND CONDUIT SIZES FOR PRIMARY AND SECONDARY ELECTRICAL SERVICES. (210)-353-2256.
- CONTACT AT&T TO COORDINATE TELEPHONE SERVICE. 1-800-448-7928.
- CONTRACTOR TO COORDINATE WITH CPS (CITY PUBLIC SERVICE) TO PLAN GAS SERVICES. (210)-353-2256.
- CONTRACTOR TO COORDINATE WITH SWS (SAN ANTONIO WATER SYSTEM) TO PLAN SANITARY SEWER AND WATER SERVICES. (210)-704-7297.
- CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

CAUTION!! THE CONTRACTOR SHALL BE REQUIRED TO LOCATE ALL PUBLIC OR PRIVATE UTILITIES INCLUDING BUT NOT LIMITED TO: WATER, SEWER, TELEPHONE AND FIBER OPTIC LINES, SITE LIGHTING, ELECTRIC, SECONDARY ELECTRIC, PRIMARY ELECTRICAL DUCTBANKS, LANDSCAPE IRRIGATION FACILITIES, AND GAS LINES. ANY UTILITY CONFLICTS THAT ARISE SHOULD BE COMMUNICATED TO THE ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT 1-800-DIG-TESS A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE REPAIR SHALL BE AT CONTRACTOR'S SOLE EXPENSE WHETHER THE UTILITY IS SHOWN ON THESE PLANS OR NOT.

TRENCH EXCAVATION SAFETY PROTECTION

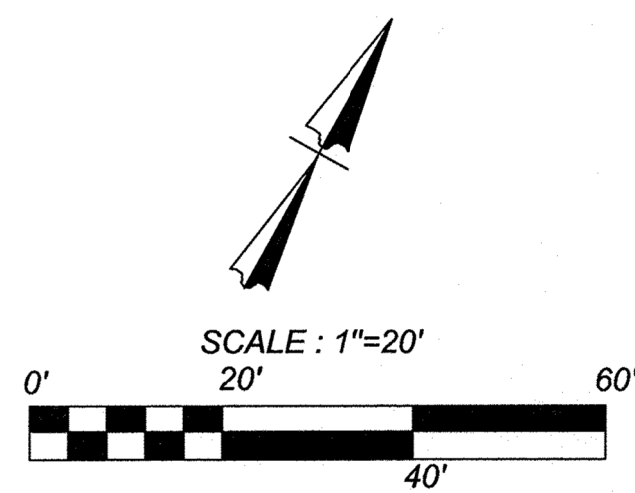
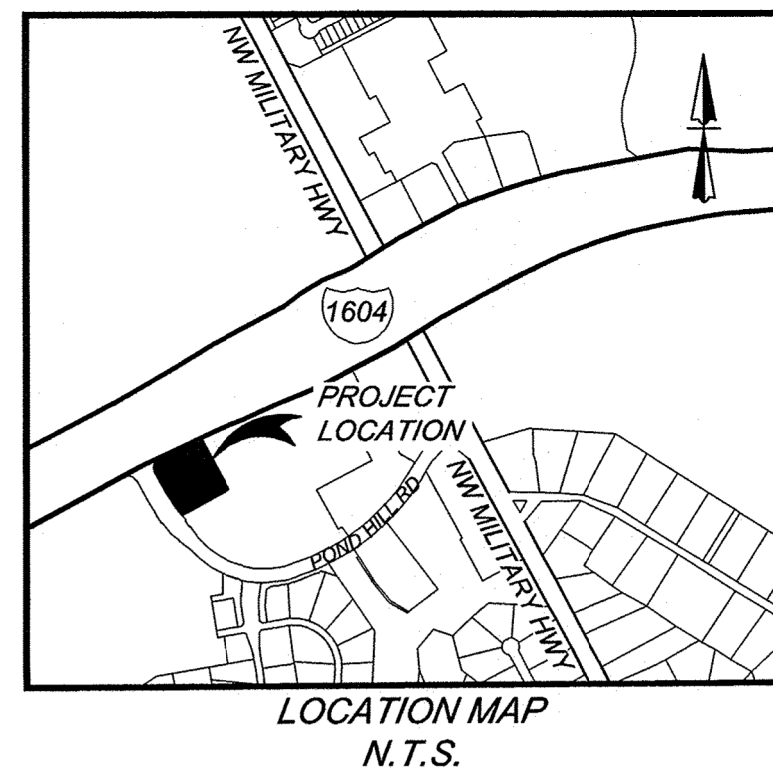
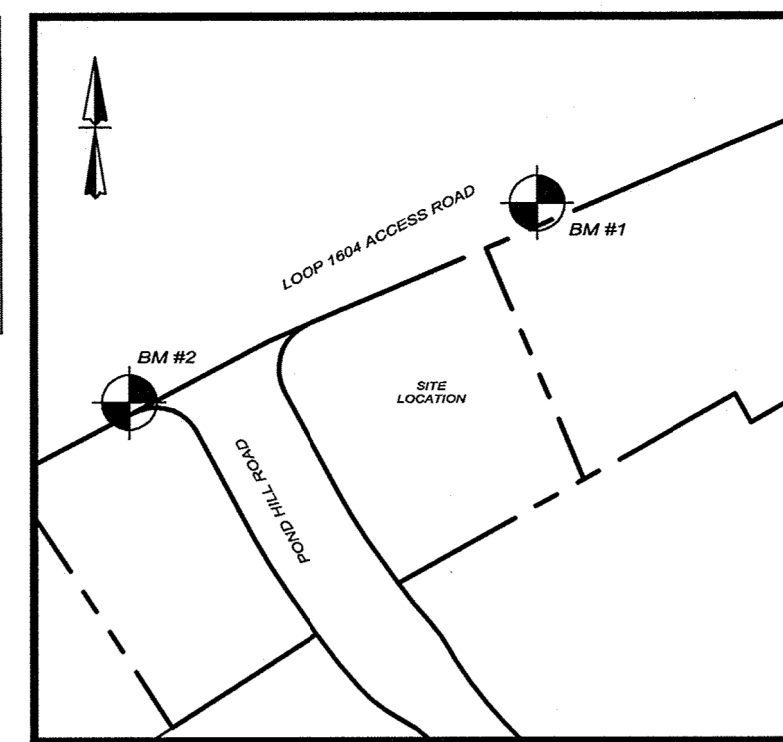
CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR STRUCTURAL DESIGN/GEOTECHNICAL/SAFETY/EQUIPMENT CONSULTANT, IF ANY, SHALL REVIEW THESE PLANS AND ANY AVAILABLE GEOTECHNICAL INFORMATION AND THE ANTICIPATED INSTALLATION SITES WITHIN THE PROJECT WORK AREA IN ORDER TO IMPLEMENT CONTRACTOR'S TRENCH EXCAVATION SAFETY PROTECTION SYSTEMS, PROGRAMS AND/OR PROCEDURES FOR THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR'S IMPLEMENTATION OF THESE SYSTEMS, PROGRAMS AND/OR PROCEDURES SHALL PROVIDE FOR ADEQUATE TRENCH EXCAVATION SAFETY PROTECTION THAT COMPLY WITH AS A MINIMUM OSHA STANDARDS FOR TRENCH EXCAVATIONS. SPECIFICALLY, CONTRACTOR AND/OR CONTRACTOR'S INDEPENDENTLY RETAINED EMPLOYEE OR SAFETY CONSULTANT SHALL IMPLEMENT A TRENCH SAFETY PROGRAM IN ACCORDANCE WITH OSHA STANDARDS GOVERNING THE PRESENCE AND ACTIVITIES OF INDIVIDUALS WORKING IN AND AROUND TRENCH EXCAVATION.

NOTE:

- UNLESS OTHERWISE NOTED, ALL RETURNS SHALL HAVE A 3' RADIUS.
- THE CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT, CURBS, AND SIDEWALKS AT NEW JUNCTURES. NO JAGGED OR IRREGULAR CUTS WILL BE ALLOWED OR ACCEPTED.
- PROPOSED ON-SITE CURBS ARE 6" HIGH UNLESS SHOWN OR LABELED OTHERWISE.
- ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF STRIPING.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY QUESTIONS THAT MAY ARISE CONCERNING THE INTENT, PLACEMENT, OR LIMITS OF DIMENSIONS NECESSARY FOR CONSTRUCTION OF THIS PROJECT.
- ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR TO COORDINATE FOR INSPECTIONS WITH CITY / COUNTY INSPECTOR PRIOR TO THE PLACEMENT OR CONSTRUCTION OF ANY SIDEWALK OR DRIVEWAY APPROACH. ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT TEXAS ACCESSIBILITY STANDARDS, CITY OF SHAVANO PARK AND BEXAR COUNTY DESIGN STANDARDS.

BENCHMARKS

BM #1 - ELEVATION = 998.50
3" ON CURB ALONG LOOP 1604 ACCESS ROAD APPROXIMATELY 310 FEET EAST OF THE POND HILL ROAD & 1604 ACCESS ROAD INTERSECTION.
BM #2 - ELEVATION = 1000.15
2" ON PAVEMENT AT THE SOUTHWEST INTERSECTION OF POND HILL ROAD & LOOP 1604 ACCESS ROAD



LEGEND

PROPERTY LINE	---
EXISTING CURB	==
PROPOSED CURB	---
PROPOSED HEADER CURB	---
PROPOSED TRANSITION CURB	---
PROPOSED RETAINING WALL	---
PARKING STALL COUNT	#
PROPOSED CONCRETE SIDEWALK	---

KEY NOTES

- TYPICAL PARKING SPACES AND PARKING STRIPES (SEE DETAIL C7.0)
- PROPOSED SIDEWALK (SEE DETAIL C7.0)
- PROPOSED 6" CURB (SEE DETAIL C7.0)
- HANDICAP PARKING SYMBOL (SEE DETAIL C7.0)
- HANDICAP SIGN (SEE DETAIL C7.0)
- CROSS HATCH STRIPING (SEE DETAIL C7.0)
- CURB TRANSITION (SEE DETAIL C7.0)
- HEADER CURB (SEE DETAIL C7.0)
- PROPOSED COMPACT PARKING
- ASPHALT/CONCRETE PAVEMENT JUNCTURE (SEE DETAIL C7.0)
- ASPHALT/ASPHALT PAVEMENT JUNCTURE (SEE DETAIL C7.0)
- PROPOSED VEGETATED FILTER STRIP
- PROPOSED WHEELSTOP (SEE DETAIL C7.0)
- 2' X 2' GRATE INLET (SEE DETAIL C7.1)
- PROPOSED 5" CURB INLET (SEE DETAIL C7.1)
- PROPOSED CONCRETE DUMPSTER PAD (REF. ARCHITECTURAL PLANS)
- PROPOSED RETAINING WALL (CONTRACTOR TO COORDINATE WALL DESIGN AND PERMITTING)
- PROPOSED CARPORT PARKING STALLS (REF. ARCH. PLANS)

TRAFFIC SUMMARY TABLE

PARKING STORAGE STANDARDS

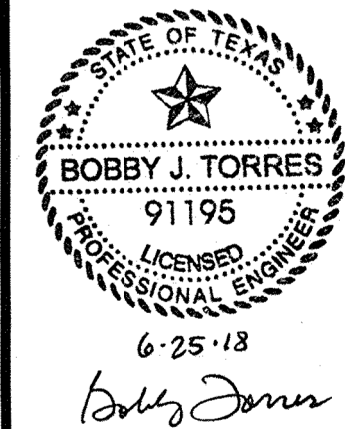
Proposed Parking
Handi-Capped (ADA)
Required H.C. Parking
Required V.A. Parking
Proposed H.C. Parking
Proposed V.A. Parking

72
4
1
4
2

LINE #	LENGTH	DIRECTION
L1	2.86'	S22°48'56"E
L2	15.65'	S60°35'41"W
L3	12.77'	N60°35'41"E
L4	14.43'	N29°24'18"W
L5	14.91'	S29°24'18"E
L6	7.66'	N29°24'18"W
L7	15.00'	N60°35'42"E
L8	13.00'	S60°35'42"W
L9	13.00'	S60°35'42"W
L10	15.00'	N60°35'42"E
L11	6.42'	S29°24'18"E
L12	3.43'	S57°05'15"W
L13	10.76'	N29°24'14"W
L14	28.67'	S60°35'46"W
L15	2.86'	S22°48'56"E
L16	14.86'	N29°24'19"W
L17	10.37'	S22°47'24"E
L18	10.95'	S29°24'18"E
L19	16.00'	N60°35'41"E
L20	2.00'	S29°24'19"E

Curve #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD DIST
C1	32.12'	75.00'	024°32'26"	S35°05'09"E	31.88'
C2	9.39'	49.00'	010°58'27"	S41°52'09"E	9.37'
C3	3.39'	2.00'	096°58'36"	S12°06'23"W	3.00'
C4	5.14'	3.00'	098°15'05"	S70°16'46"E	4.54'
C5	30.01'	25.00'	068°45'10"	S13°13'52"W	28.24'
C6	5.39'	3.00'	102°58'45"	N80°53'41"W	4.69'
C7	4.45'	3.00'	084°56'17"	S13°03'50"W	4.05'
C8	41.48'	25.00'	098°03'43"	N76°56'10"W	36.88'
C9	4.71'	3.00'	090°00'00"	N19°35'42"E	4.24'
C10	7.85'	5.00'	090°00'00"	N74°24'18"W	7.07'
C11	7.85'	5.00'	090°00'00"	S15°35'42"W	7.07'
C12	4.71'	3.00'	090°00'00"	S74°24'18"E	4.24'
C13	37.74'	25.00'	086°29'33"	S13°50'28"W	34.26'

Curve #	LENGTH	RADIUS	DELTA	CHORD BRG	CHORD DIST
C14	50.57'	100.00'	028°58'23"	S71°34'30"W	50.03'
C15	44.45'	100.00'	025°27'58"	S73°19'44"W	44.08'
C16	37.56'	50.00'	043°02'21"	S39°04'20"W	36.68'
C17	6.97'	3.00'	133°11'56"	S84°04'28"W	5.50'
C18	23.50'	75.00'	017°57'03"	S38°22'59"E	23.40'
C19	20.99'	49.00'	024°32'26"	S35°05'09"E	20.83'
C21	7.49'	5.00'	085°47'05"	S72°17'51"E	6.81'
C22	31.31'	25.00'	071°45'11"	N28°56'01"E	29.30'
C23	14.39'	10.00'	082°25'20"	N46°09'14"W	13.18'
C24	39.32'	75.01'	030°01'55"	S75°37'05"W	38.87'
C25	36.39'	25.00'	083°24'37"	S18°53'27"W	33.28'
C26	10.34'	5.00'	118°30'02"	S62°03'57"E	8.59'
C27	3.57'	3.00'	068°05'23"	N04°38'21"E	3.36'



LYND BUILDING
4280 N. LOOP 1604 SHAVANO PARK, TX 78231
SITE PLAN (DIMENSIONAL CONTROL PLAN)

JOB NO. 462-01-01
DATE: JUNE 2018
DRAWN: RT CHECKED: BT
SHEET NUMBER:

C2.0

PLANNING & ZONING STAFF SUMMARY

Meeting Date: April 3, 2019

Agenda item: 6

Prepared by: Curtis Leeth

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION:

Discussion / action – Change request for carport design in detailed Planned Unit Development plan for property located at 4675 Lockhill-Selma in accordance with Sec. 36-40(l) of the City of Shavano Park Code of Ordinances – City Manager.

X

Attachments for Reference:

- 1) 6a MSL Investments Request
- 2) 6b Ordinance O-2018-005 NJCI PUD

BACKGROUND / HISTORY: The Planned Unit Development (PUD) for property located at 4675 Lockhill-Selma, N.C.B. 17704, Lot 2, Block 1 was approved under Ordinance O-2018-005 (attachment 6b) at the July 23, 2018 City Council meeting.

As of 1:32PM of March 29, 2019 City Staff has not received the formal request letter. It will be passed to the Commission as soon as it is received by staff.

Current carport regulations are as follows:

Sec. 36-39. - Business and Office Districts.

All business and office districts shall be governed by the following regulations.

- (1) General requirements. The following regulations shall apply to all property within the O-1, B-1 and B-2 zoning districts:
 - a. Parking.

...

- 4. Covered parking. Covered parking shall only be permitted in a fully enclosed garage or in a carport meeting the criteria listed below. In no event shall this section be construed as to allow carports in single-family residential areas.

- (i) Carports shall be set back from the front building wall at a distance of not less than twenty-five (25) percent of the length of the side building wall. See illustration below.

- (ii) Carports visible from public right of ways shall have a solid masonry end wall on the portion of the carport facing the public right of way. The end wall shall be constructed with masonry that matches that of the primary structure.

DISCUSSION: Sec. 36-40(l) of City of Shavano Park Code of Ordinances allows the City Manager to approve changes to the detail plan of the PUD if it meets certain conditions. However, the City Manager has deferred approval of MSL Investments' request administratively because the request is an exception to the current ordinance.

Sec. 36-40. - Planned Unit Development.

. . .

(l) *Changes in detail plan.*

- (1) Except as provided in subsection (l)(2) of this section, changes in the detail plan shall be considered the same as changes in the this chapter and shall be processed as such.
- (2) Those changes which do not alter the basic relationship of the proposed development to adjacent property and which do not alter the uses permitted or increase the density, floor area ratio or reduce the front, rear or side yards provided at the boundary of the site, as indicated on the approved detail plan, may be authorized by the City Manager.
- (3) Any applicant may appeal the decision of the City Manager to the Planning and Zoning Commission for review and decision as to whether an amendment to the Planned Unit Development District Ordinance shall be required.

COURSES OF ACTION: If the request is approved by the Commission the PUD detail plan, the City Manager will amend the site plan.

If the request is not supported by the Commission, then the City Manager will likely address with City Council.

FINANCIAL IMPACT: N/A

MOTION REQUESTED: Approve change request for carport design in detailed Planned Unit Development plan for property located at 4675 Lockhill-Selma in accordance with Sec. 36-40(l) of the City of Shavano Park Code of Ordinances.

ORDINANCE NO. O-2018-005

AN ORDINANCE REZONING AND PROVIDING A SPECIAL USE PERMIT FOR SHORT-TERM IN-PATIENT SURGICAL CENTER FOR LOT 5, BLOCK 1, NCB 17704 FROM B-2 ZONING DISTRICT TO A PLANNED UNIT DEVELOPMENT WITH A B-2 BASE ZONING DISTRICT WITH THE FOLLOWING DEVELOPMENT STANDARD EXCEPTIONS: BUILD HEIGHT, EXTERIOR WALLS, PARKING RATIO, ALLOWED COMPACT SPACES, LANDSCAPE BUFFERS AND SIGNAGE; PROVIDING INDEMNITY FOR THE CITY; PROVIDING REPEALING AND SAVINGS CLAUSES; PROVING A TEXAS OPEN MEETINGS ACT CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Chapter 211 of Texas Local Government Code empowers the City Council of the City of Shavano Park to enact zoning regulations and provides for their administration, enforcement and amendment; and

WHEREAS, Chapter 36 Section 40 of the City's Code of Ordinances provides that the City Council of the City of Shavano Park may, after compliance with the requirements of said chapter, authorize the creation of a planned unit development ("PUD"); and

WHEREAS, the City Council may authorize the development of the uses designated as "CC" uses for zoning districts O-1, B-1, and B-2 under Chapter 36 Section 101 of the City's Code of Ordinances; and

WHEREAS, the City Council of the City of Shavano Park has complied with all notice of a public hearing as required by the Code of Ordinances of the City of Shavano Park; and

WHEREAS, in keeping with the spirit and objectives of the area, the City Council has given due consideration to all components of said proposed zoning change and the recommendations of the Planning and Zoning Commission concerning recommended requirements, conditions and safeguards necessary to protect adjoining property; and

WHEREAS, the City Council specifically finds that the requirements specified herein are rationally related to protecting the public purposes of lessening congestion in the streets, securing the safety of its citizens from fire, panic, and other dangers, promoting the health and the general welfare of its citizens; preventing the overcrowding of land, and avoiding undue concentration of population.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SHAVANO PARK, TEXAS:

SECTION I

THAT the Zoning Map of the City of Shavano Park is hereby amended by rezoning Lot 5, Block 1, NCB 17704 from B-2 zoning district to a planned unit development with a B-2 base zoning district, as more particularly described with regulations in the attached Exhibit "A"; and

THAT the planned unit development with a B-2 base zoning district shall adopt the following development standard exceptions:

1. Building Height:
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 zoning building height limitation of 45 feet.
 - b. Allow Building height up to 58 feet for the building front facing as depicted in Exhibit A.
2. Exterior Walls:
 - a. Exception from Section 36-39(1)(b) exterior wall requirement of 90% masonry.
 - b. Allow up to 60% +/- high performance glass.
3. Parking Ratio:
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 zoning Parking Stall Ratio requirement from 1:200 square feet.
 - b. Allow up to 1:215 square feet parking stall ratio.
4. Compact Spaces
 - a. Authorize up to 26% of parking spaces as *Compact Parking Space* as defined under Chapter 36, Section 36-1.
5. Greenbelt / Landscape Buffers
 - a. Exception from Chapter 36, Article VI, Table No. 6, item 8's B-2 zoning front 40 foot Landscape Buffer requirement.
 - b. Allow variable width front landscape buffer as recorded on Plat.
6. Signage
 - a. Exception from Sec. 24-5(4)(b)(3) maximum sign area limitation of 200 sf in three singles with no single sign being larger than 120 square feet in sign area
 - b. Allow a single sign up to 160 square feet.

SECTION II

THAT a special use permit for a short-term in-patient surgical center use is hereby granted to National Joint Care Institute for Lot 5, Block 1, NCB 17704.

SECTION III CUMULATIVE CLAUSE

That this ordinance shall be cumulative of all provisions of the City of Shavano Park, Texas, except where the provisions of this Ordinance are in direct conflict with the provisions of such Ordinance, in which event the conflicting provisions of such Ordinance are hereby repealed.

SECTION IV SEVERABILITY

That it is hereby declared to be the intention of the City Council of the City of Shavano Park that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinances, since the same would have been enacted by the City Council without incorporation in this ordinance of any such unconstitutional phrases, clause, sentence, paragraph or section.

SECTION V PROPER NOTICE AND MEETING

It is hereby officially found and determined that the meeting at which this Ordinance was adopted was open to the public and that public notice of the time, place and purpose of said meeting was given as required by the Open Meetings Act, Chapter 551 of the Texas Government

SECTION VI EFFECTIVE DATE

This ordinance shall be effective upon passage and publication as required by State and Local law.

PASSED AND APPROVED on the first reading by the City Council of the City of Shavano Park this the 25th day of June, 2018.

PASSED AND APPROVED on the second reading by the City Council of the City of Shavano Park this the 23rd day of July, 2018.

ROBERT WERNER, MAYOR

Attest:

ZINA TEDFORD, City Secretary

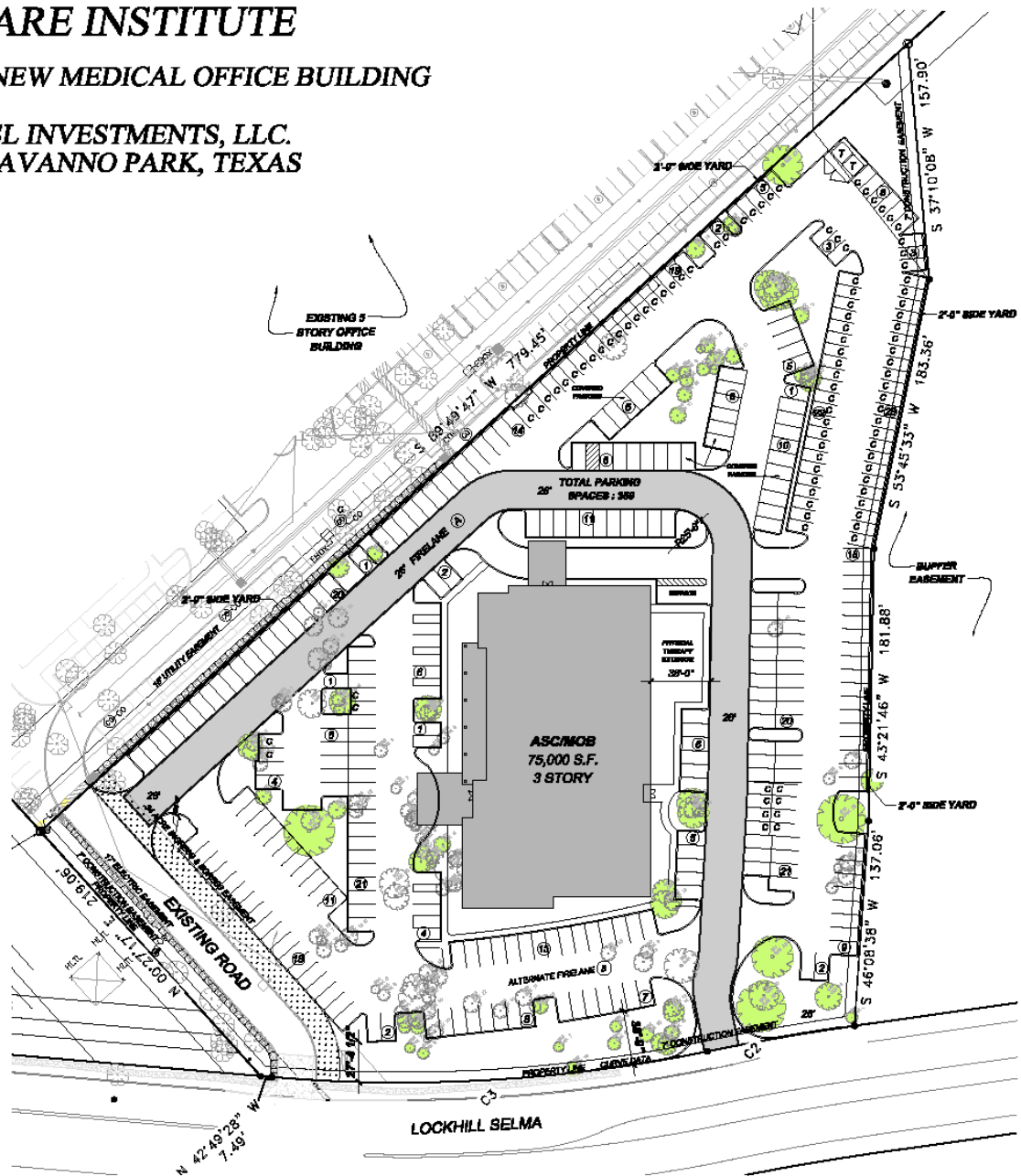
Approved as to Form:

CHARLES E. ZECH, City Attorney

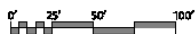
NATIONAL JOINT CARE INSTITUTE

A NEW MEDICAL OFFICE BUILDING

MSL INVESTMENTS, LLC.
SHAVANNO PARK, TEXAS



Site Plan



SCHEME 3'

LAND DATA

4.936 ACRES

H2 PUD

SHOWING APPROXIMATELY 350 CARS

SHOWING APPROXIMATELY

40-50% TREES RETAINED

chesneymoralespartners,inc.

architecture/interior design

4901 Broadway, Suite 200 | Dallas, TX 75218

210.828.2491 | 210.828.9719 | TXA2 Firm Reg. 061010

chesneymorales.com

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5-14-18

PLANNING AND ZONING STAFF SUMMARY

Meeting Date: April 3, 2019

Agenda item: 8

Prepared by: Curtis Leeth

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION: Discussion / action - Planning for potential trail head / restricted access to Salado Creek on Cliffside and potential trail head near Blattman Elementary as directed by City Council – Chairman Janssen

X

Attachments for Reference: 1) 8a Exhibit - Trail near Cliffside
2) 8b Exhibit - Trailhead near Blattman Elementary
3) 8c Excerpt - Town Plan 2018
4) 8d Town Plan survey responses on Salado access

BACKGROUND / HISTORY: At the March 25, 2019 City Council meeting, Council directed the Planning & Zoning Commission to plan for potential City trail heads to San Antonio's Salado Creek Greenway Trail on Cliffside and near Blattman Elementary.

Staff gathered previous work by the Commission regarding the Salado Creek Greenway Trail in two attachments: (1) Excerpt of three pages from the sidewalks section of the Town Plan 2018 and (2) Commission consensus and survey results from the Town Plan public input. These attachments are included as 8c and 8d.

DISCUSSION: There are three potential Shavano Park access points to the Salado Creek:

1. **Access at the Cliffside "elbow" on the south-side.** The City created an access point through the barbed wire fence along Cliffside and working with Boy Scouts cleared a rough walking path that currently has access to the Salado Creek Trail. An exhibit of the area is included as attachment 8a.
2. **Trailhead at Loop 1604.** This is being constructed by City of San Antonio (CoSA) and there are no known issues with construction at this time. Salado Creek Greenway Trail completion is anticipated to be summer 2019. Staff will continue coordination with San Antonio and publicly advertise the opening date when available. An exhibit of the trailhead is included as attachment 8b.
3. **Access from Huntington near Napier Park and Blattman.** Denton is planning an access point in the last Huntington unit near the CoSA trailhead which will be heavily advertised and represented to builders and buyers so there is complete understanding.

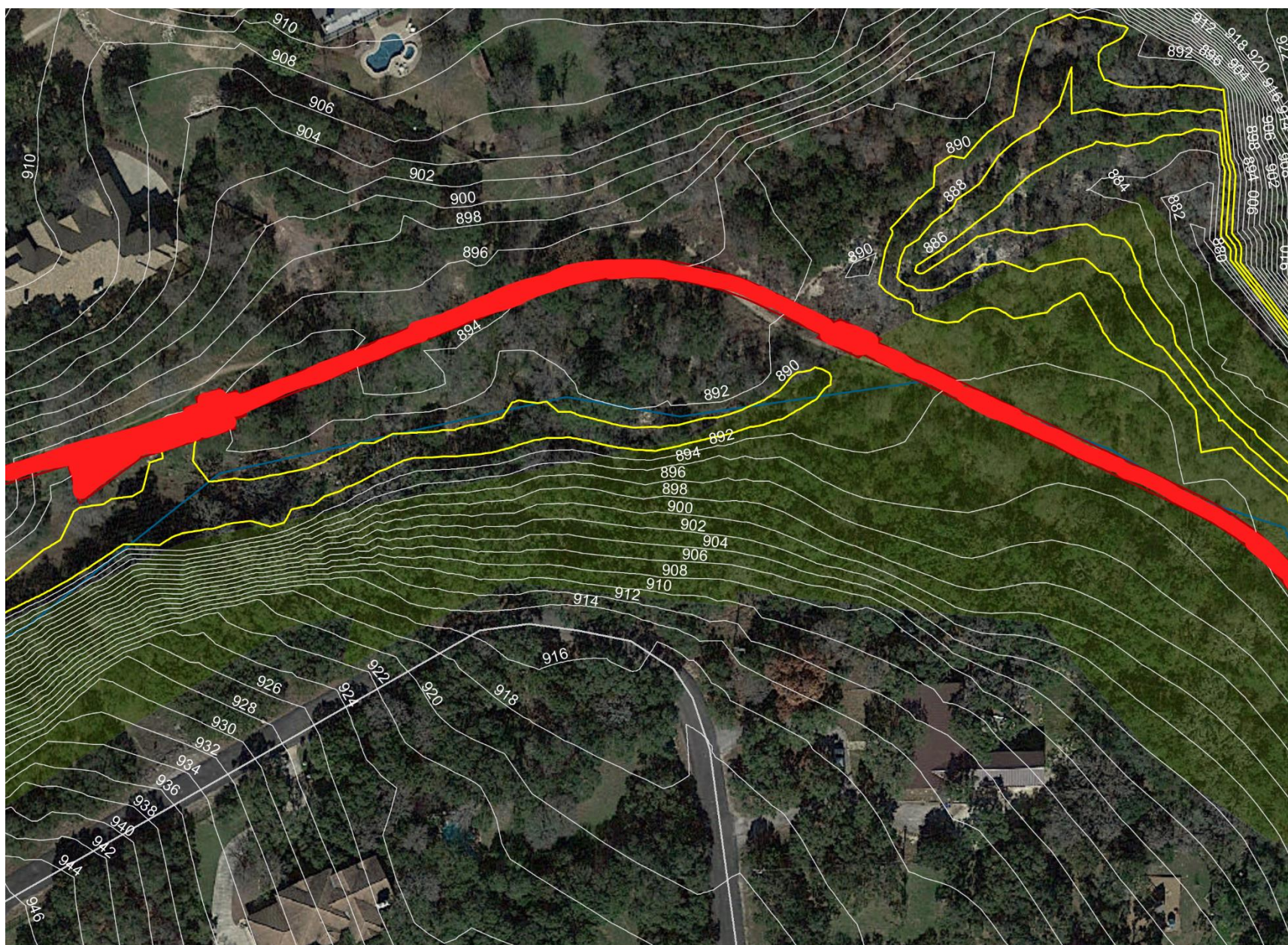
There will only be this one access point from Huntington and it will be a key padded gate. Denton will also be installing a perimeter fence along the creek to secure Huntington Creekside. Denton has not designed or engineered this access point yet.

P&Z should develop a plan of action for assessing and developing recommendations for Salado Trail access.

COURSES OF ACTION: Address as the entire Commission or form a sub-committee to address

FINANCIAL IMPACT: N/A

MOTION REQUESTED: TBD'ed





City of Shavano Park

Powered By KFW GIS



10/10/2025

Layer List & Legend

Visibility

- ☐ Quarry Retention Pond
- ☐ Zip Codes
- ☐ Single-Family Residential
- ☐ Mapsco Grid
- ☐ Bexar County Commission
- ☐ FEMA Grid
- ☐ Karst Zones
- ☐ Original Texas Land Survey
- ☐ Zoning





SALADO DIMENSION CONTROL - SHEET 2



LEGEND

PROPERTY LINE

EXISTING CONTOURS

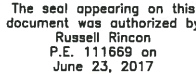
EXISTING METAL BEAM GUARD FENCE

PROPOSED TRAIL AND PARKING

635

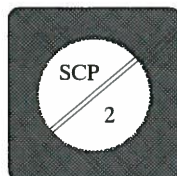
KEYNOTES

1. PROPOSED 7" CURB.
2. PROPOSED 2-24" RCP DRIVEWAY CULVERTS. SEE TXDOT STANDARD DETAILS FOR SAFETY END TREATMENTS (SET P-PD).
3. PROPOSED 10" TYPE "C" INLET.
4. PROPOSED 6" CONCRETE SIDEWALK.
5. PROPOSED 12" WIDE CONCRETE TRAIL.
6. PROPOSED 18'X9' PARKING STALLS (TYP.)
7. PROPOSED CONCRETE FLUSH CURB.
8. PROPOSED 12:1 CURB TRANSITION
9. PROPOSED ACCESSIBLE SIGNAGE. SEE CIVIL DETAILS.
10. PROPOSED 4" WHITE STRIPE (TYP.).
11. PROPOSED ANGLED STRIPING. SEE CIVIL DETAILS.
12. PROPOSED ACCESSIBLE EMBLEM. SEE CIVIL DETAILS.


$$P \rightarrow P : PE$$
[illegible]

CITY OF SAN ANTONIO
PARKS AND RECREATION DEPARTMENT
LINEAR CREEK GREENWAY
DIVISION
5500 OLD WEST HIGHWAY 91 SAN ANTONIO, TX. 78227
TEL. (210) 207-4073 FAX (210) 207-3463

HOWARD W. PEAK
GREENWAY TRAIL SYSTEM
SALADO CREEK SEGMENT
SAN ANTONIO, TEXAS

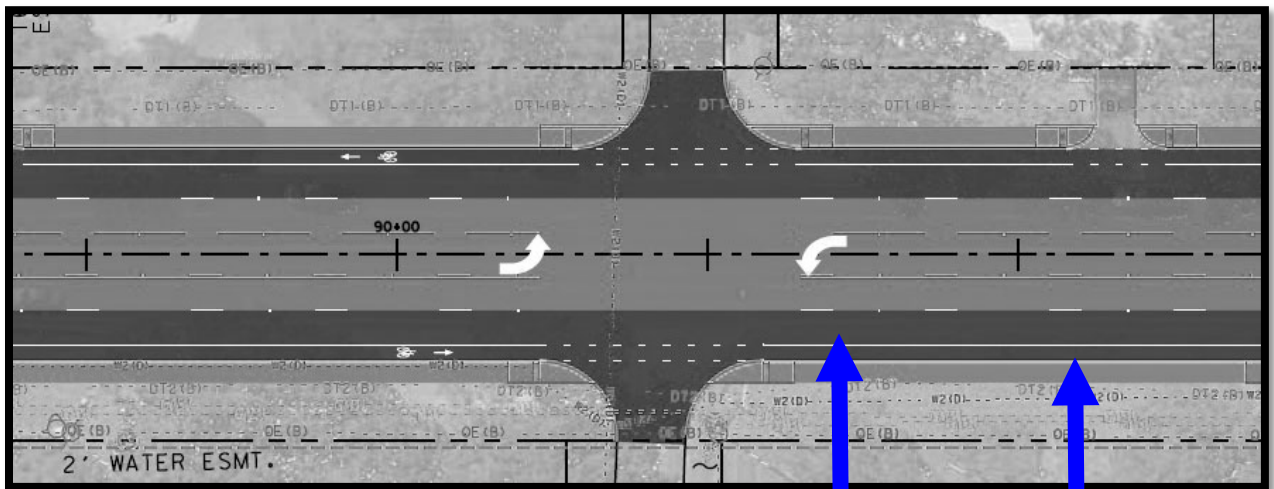


Designed By:
Russell Rincon, P.E.
Drawn By:
Date:
6/08/2017
Project No. :
C-1385
Filename:

Future Additions and Plans

In addition to these completed projects, the City approved the construction of the following projects.

- Sidewalks and bike lanes on NW Military Highway from Loop 1604 to Huebner Road. These improvements are a part of the Texas Department of Transportation (TxDOT) NW Military Improvement project slated to begin in fall 2020.



*Exhibit from 30% engineering plans near Long Bow and NW Military Highway shows the on street bike lanes and curb sidewalks next to the roadway.
(Note subject to change)*

**On street
Bike Lanes**

**Sidewalks next to
roadway curb**

- A sidewalk along Lockhill Selma from De Zavala Road to Huebner Road. This portion of the sidewalk is in the jurisdiction of San Antonio and will require San Antonio efforts, but will benefit the accessibility of Shavano Park residents. Staff will continue coordination with San Antonio to seek completion of this project.
- Two connections to San Antonio's Salado Creek Greenway: one near the southern portion of Cliffside Drive and the other near Blattman Elementary School. The Cliffside Drive connection will be minimalistic and preserve the natural setting. The City intends for the trail connection near Cliffside to be used by Shavano Park residents and will not create a dedicated public parking area on Cliffside. During the Town Plan public hearings residents expressed concerns about safety and parking. The City is committed to evaluating the situation and taking necessary actions once the San Antonio portion is constructed and in use by the public.

- A connection from NW Military Highway to the future Salado Creek trailhead. Two portions of the connection have been completed, but the middle segment near the 22 acres of undeveloped land to the west of Paesanos Parkway is planned for future development. This portion will be constructed in conjunction with the property's developments.



Huntington sidewalk (in red)
(Note path is subject to change)

- A sidewalk for Huntington residents that connects to the Shavano Park sidewalk network. The sidewalk will run along Kinnan Way, from Pond Hill Road to the planned future trailhead of the Salado Creek Greenway east of Blattman Elementary School.



Connection of NW Military Highway to the future trailhead of the Salado Creek Greenway (in blue)
(Note path is subject to change)

San Antonio Salado Creek Greenway and Shavano Park

In 2000, the City of San Antonio approved and began development on their linear park projects. This plan proposed the connection of major portions of San Antonio with hiking and biking trails. Today, approximately 65 miles of trails are available in and around the creek and river beds of the San Antonio metro area.

The Salado Creek Greenway is a 22.7 mile stretch of trail that extends from Huebner Road, through Phil Hardberger Park, to McAllister Park, to John James Park, and all the way to Southside Lions Park. The portion of the trail that is closest to Shavano Park extends from Huebner Road to Hardberger Park. In 2018, the City of San Antonio began constructing the trail portion that extends adjacent to Huntington and Cliffside Drive. The City of Shavano Park will connect the Cities' sidewalks to the Salado Creek Greenway for easy access to the San Antonio pathways by residents once the City of San Antonio portion is constructed in 2018 – 2019.

Sidewalk Plan – Issues and Action Steps

Issues:

- The materials and trail construction must support our City's rural aesthetic.
- Providing security on pathways and ensuring emergency access for Police, Fire & EMS services.
- Maintenance of sidewalks to ensure clear and unobstructed pathway.
- Make final determination on dedicated sidewalks for De Zavala Road.
- Design appropriate signage for positioning along sidewalks
- Be respectful of private property rights

Action Steps:

- Coordinate with City of San Antonio on Cliffside and Napier Park access to Salado Creek Greenway.
- Advocate to the City of San Antonio for a sidewalk on the east side of Lockhill Selma between Huebner and De Zavala Roads.
- Continue to study the need and viability and Budget for a preliminary engineering report for dedicated sidewalks on De Zavala Road.
- Determine funding and project scope required for a dedicated sidewalk on De Zavala Road.

Town Plan 2017 Update

Sidewalk & Bicycle Pathways

Consensus from August 8, 2017 Planning & Zoning Commission Meeting

Lockhill-Selma to Pond Hill Sidewalks

- Include in Town Plan
- Staff to explore distance markers along path to assist in emergency response
- Staff to consider maintenance responsibilities along pathway with Willow Wood HOA

Lockhill-Selma Sidewalks from Huebner to 1604

- Include in Town Plan dedicated sidewalks along both sides of Lockhill-Selma from Huebner to Loop 1604; City to coordinate / support the City of San Antonio's effort on their ROW

DeZavala Sidewalks

- Include dedicated sidewalks for consideration at a later date (possibly during repaving) along DeZavala

Cliffside connection to Salado Creek Greenway Trail

- Include in Town Plan
- Include provision stating not creating parking spaces along Cliffside for trail access
- Staff to explore ways to improve security with trail access

Sidewalks and connection from NW Military to Salado Creek Greenway Trail

- Include in Town Plan; City to coordinate / support the City of San Antonio's effort

NW Military improvements – Sidewalks and Bike lanes

- Include most up to date design for NW Military in Town Plan

Question 6 Summary

Cliffside trail connection with Salado Creek Greenway

Frequent responses: (in no particular order)

- Support for the project
- Concerns about parking; against parking on Cliffside to access trail
- Concerns that without parking the trail would be inaccessible for residents
- Security concerns for Cliffside residents near trail

Q6 The City wants residents to be able to enjoy San Antonio's Salado Creek Greenway hike & bike trail currently under development by San Antonio (construction expected to begin October 2017). A trail head / path connecting Shavano Park's sidewalks with San Antonio's trail near Blattman Elementary is already planned. There is the possibility of adding a second southern trail head / path to connect with the Salado Creek Greenway hike & bike trail just off Cliffside. Current concept is to create a safe path from Cliffside Road to the trail. This path might be a combination of crushed granite and existing rock. There is currently no plan for parking or an improved path (such as concrete or asphalt). If you have feedback on a potential Cliffside trail head / path connecting with San Antonio Salado Creek Greenway trail let us know!

Answered: 97 Skipped: 60

#	RESPONSES	DATE
1	Great idea. Consider whether or not access should be limited to SP residents vs open for all public use.	11/2/2017 8:59 AM
2	This would be an excellent enhancement for the Shavano Park community.	10/23/2017 2:45 PM
3	My concern would be investing in that but would it be a safe trail in reality	10/20/2017 2:20 PM
4	Excellent addition.	10/19/2017 11:10 AM
5	Creating a bike path connecting would be great!	10/16/2017 11:48 AM
6	This is an excellent plan. I support it wholeheartedly!	10/6/2017 10:21 PM
7	I heartily approve and, as a bicyclist, would make frequent use of the trail.	10/6/2017 5:54 PM
8	We strongly support a Cliffside trailhead path connecting with the Salgado Creek Greenway.	10/6/2017 9:01 AM
9	If there will be a CoSA trailhead near Blattman, it doesn't make much sense to have one on Cliffside too. Cliffside has no room for parking facilities. More importantly, it'll be disruptive to the neighbors. And I say this as the person who probably uses the Salado singletrack more than any other CoSP resident, and I access it next to Konrad's house. If the city decides to open the Cliffside access point, it should NOT be improved beyond a dirt footpath, and the City should install appropriate buffer vegetation, etc. to make it invisible to the neighbors.	9/1/2017 10:57 AM
10	Do NOT install parking lot. It will bring lots of outside folks into very residential areas. A paved path from Cliffside would be better than a crushed granite path. Recommend a locked gate that Shavano Park residents have the combination for.	8/21/2017 4:30 PM
11	What a great idea but I bike path would be even better!	8/15/2017 9:25 PM
12	All for it, as long as it doesn't destroy access to the trails that are in place already	8/13/2017 2:34 PM
13	Trail should also be accessible by bike.	8/9/2017 6:05 PM
14	Great idea! We need accessible options to run, bike, walk.	8/6/2017 4:17 PM
15	security issues in the neighboring area. People not living in area increase in foot traffic	8/6/2017 3:42 PM
16	I am against this since it is placed within a residential area. While there will be no plans for parking, I suspect that issue will be problematic. It is also an invitation for outsiders to enter/exit our neighborhood after dark for mischief...even with a locked gate. While it looks convenient for many of us to use.....I suspect it will lead to problems.	8/5/2017 4:24 PM

17	The distance is unclear however the idea is attractive as it provides a more remote feel and separated from roads and traffic.	8/4/2017 8:58 PM
18	We secured the trail head property to allow citizens access to the Salado Creek system. When the money allows, we should secure the location and provide a fob system allowing citizens to enter and exit the Salado Creek trail system from Cliffside.	8/4/2017 6:11 PM
19	No parking. No gate. Better be ok with neighbors there. We should always ask residents how they feel and what they want, especially those most impacted.	8/4/2017 2:00 PM
20	I'm excited to see this completed!	8/4/2017 1:28 PM
21	Parking is a problem and security risks may be an issue.	8/3/2017 10:54 AM
22	This would be great! The more safe walking paths we can create the more options residents will have to commune with nature, each other and stay active and healthy. The San Antonio area is behind on trails, highways, and keep our vegetation while creating these spaces. I am glad we are doing something.	8/2/2017 1:13 PM
23	Yes	8/1/2017 8:29 PM
24	YES. YES. YES. A trailhead on Cliffside would be very useful and allow residents of the estates to use Salado Creek Greenway.	7/31/2017 10:46 AM
25	Walking paths, sidewalks and bike paths are important for our cities quality of life.	7/31/2017 9:33 AM
26	Good idea as long as you don't allow parking along Cliffside Dr. They would have to walk or hike to get in at this point	7/30/2017 4:42 PM
27	I don't support this second route	7/30/2017 11:28 AM
28	This is a great idea and a great use of funds. It will make our town even more desirable!	7/29/2017 5:21 PM
29	DO NOT WANT!!!!	7/29/2017 5:16 PM
30	How will we protect residents from undesirables entering?	7/29/2017 9:38 AM
31	This is a great idea. It would allow residents to access the trails directly without having to go to NW Military then down Huebner. Parking is always an issue for these trail access points.	7/29/2017 7:44 AM
32	Nice for everybody but road bikers.	7/28/2017 6:04 PM
33	Would be nice for SP residents, but I would be interested in hearing what Cliffside home owners feel about this addition.	7/28/2017 6:01 PM
34	No no no!	7/28/2017 3:49 PM
35	I am concern about the parking in a street where you can't park on the Cliffside side. I like the idea but don't know how the parking will be I live in that corner of Cliffside (200)	7/28/2017 3:19 PM
36	I think we should connect up to the Sakado Creek Greenway for the benefit of our citizens and those from San Antonio. Please do not cave to the loud voices of the conservatives who do not want Shavano Park to ever change.	7/28/2017 2:09 PM
37	It needs to be asphalt or concrete! Gravel and/or rock is unusable (and also dangerous) for road bikes, baby and child strollers, and disabled persons. If it can't be done right don't do it at all.	7/28/2017 1:44 PM
38	I do not feel it would be appropriate or safe to add this additional trail head giving access so close to our residents. Also, with n parking available this seems like a waste of money.	7/28/2017 1:10 PM
39	Why is this necessary? There are 4 parks within 3 miles of Shavano Park with miles of paved jogging, biking, walking trails! Who wants this intrusion and expense shouldered by our neighborhood? Please respond	7/28/2017 12:38 PM
40	No - Cliffside is a quiet street for residents who live there. Leave it alone. Send a letter to all Cliffside residents and get their opinion on this BEFORE deciding.	7/28/2017 10:32 AM
41	THIS IS A BAD IDEA! There is no parking (just as with the Huebner trail head) and it would invite non- residents to come through SP.	7/28/2017 9:20 AM
42	Outstanding!	7/28/2017 9:07 AM
43	Not in favor	7/28/2017 8:55 AM
44	Yes, I would like the Cliffside trailhead. I regularly use the Salado Creek Grewnway	7/28/2017 8:12 AM

45	Happy about this plan but would prefer concrete pathway.	7/26/2017 5:44 PM
46	Nw military needs a bike path	7/26/2017 6:13 AM
47	Very important, will attract more citizens including Happy trail residents.	7/26/2017 4:11 AM
48	Our concerns: 1. Attracting non-residents to the area, or leaving opportunity for people to enter the area from the creek that shouldn't be in the neighborhood. 2. Due to increase people traffic, potential risks for our children that play outside in our yard which is near the trail 3. Cliffside can be difficult to drive due to sunset, making it hard to see pedestrians 4. Already have a trailhead on huebner 5. Decreases the private and quiet feel of shavano Park	7/25/2017 8:16 PM
49	great idea!	7/25/2017 9:35 AM
50	We would just be inviting an escape path for unsavory people	7/25/2017 8:29 AM
51	Definitely in favor of this! Perhaps having a gate with a keypad would be practical to keep non-residents from /entering/exiting thru this trailhead	7/24/2017 9:14 PM
52	I'm against the connection. I have grandchildren who live close by and would worry about their safety in their own yard. We already have increased crime with the apartment construction and we don't need more opportunities for crime to have easier access in our neighborhood. It is a very dangerous curve and might cause many accidents - driving up the curve certain times of the year/day, the sun is blinding and would make it very hard to see a walker/hiker/bike rider.	7/24/2017 7:41 PM
53	No. Traffic and Parking issues. Easy way for more criminal entry and exit.	7/24/2017 7:17 PM
54	Parking is a must	7/24/2017 5:44 PM
55	It would be nice to have a connection from Cliffside to the trail. If a trail is made, safety will need to be considered, since it looks like a steep descent. The path may need to go at an angle or S-type curve. I'm sure path designers will take this into consideration.	7/24/2017 2:31 PM
56	I hope this connection takes place in the near future	7/24/2017 1:58 PM
57	Great!	7/24/2017 1:14 PM
58	Absolutely HORRIBLE idea. The city officials have a difficult enough time patrolling and ensuring that unwelcome activity is prevented in old Shavano. Opening up a back door for ANYONE to have access to our side of the city is a ridiculously bad move.	7/24/2017 1:12 PM
59	Trailhead sounds great for Shavano Park residents.	7/24/2017 12:39 PM
60	PLEASE MAKE CLIFFSIDE TRAIL HEAD HAPPEN.	7/24/2017 12:14 PM
61	I would probably not be in favor of this plan.	7/24/2017 10:20 AM
62	Brings in too many non-residents. Not a fan of this. They can use the one on Huebner to access the creek. Concern with theft and traffic. That curve is already dangerous as well in the evening as the sun is setting, cannot see what is coming down the hill.	7/24/2017 10:08 AM
63	I am concerned that street parking and added traffic will become an issue for the homes in the surrounding area esp. from non-citizens. In the end, I believe the City will need to add parking in this location in some form or fashion in the future.	7/24/2017 9:57 AM
64	A gated trail head with low impact and permeable surface would be nice. But no parking at all on Cliffside.	7/24/2017 9:54 AM
65	An improved trail would be great. A parking area, while nice, might attract non-residents to the trail head, which probably isn't desirable.	7/24/2017 9:36 AM
66	Add the parking and the improved pathways! How great it would be to be able to hike/bike so close to home!	7/22/2017 6:34 PM
67	I might use it. However, it must have a gate code connected to each resident for safety. We will want to know who is giving out the code, hence an assigned code.	7/22/2017 5:29 PM
68	Great idea!	7/21/2017 11:10 AM
69	Excellent idea but be sure it is bike-able	7/21/2017 10:27 AM
70	If the trail head is put in, I think there should be some parking provided, even if it consists of cleared space off the road. The residents do not need congestion on Cliffside. Has P&Z considered that this trail might make access to Shavano Park easier for thieves to get to our homes on the east side of NW Military?	7/21/2017 7:54 AM

71	Great idea	7/21/2017 3:27 AM
72	In general as an observer being a sidewalk with no breaks for roads could be an advantage for cyclists n walkers.	7/21/2017 1:13 AM
73	I think it's a great idea to have a connection but security will need to be addressed as this area of shavano is not lit and there is limited traffic	7/20/2017 10:24 PM
74	I think the plan described here is well-suited for the area. We don't want to encourage people to park cars there. If whatever is put down could be suitable for bikes, that would make it more useable than something that can only be walked on.	7/20/2017 9:28 PM
75	Safe path sounds great!	7/20/2017 8:24 PM
76	No! Don't do it.	7/20/2017 8:23 PM
77	Cannot allow parking on Cliffside. I would oppose that strongly. Access should be by foot or bike only. Safety of those living nearby is imperative. Can't have Shavano Police trying to chase a robber thst way! Maybe a gate that locks during overnight hours?	7/20/2017 8:14 PM
78	I like it!	7/20/2017 8:07 PM
79	We should absolutely connect to the existing path and add parking. Better connectivity will increase property values.	7/20/2017 8:02 PM
80	Good idea.	7/20/2017 6:06 PM
81	Make sure it is ok with the neighbors at Cliffside. It sounds like a nice idea but if it impacts them in ways they don't want, the City should keep that in mind. Also - if any kind of gate is required, just. no.	7/20/2017 5:47 PM
82	This is a potential safety hazard for nearby residents with additional traffic and parking Of residents and non residents along the road and exposure of neughbors' property and privacy. Not a good idea.	7/20/2017 4:41 PM
83	Without parking it will be useless for most residents	7/20/2017 4:20 PM
84	ALL these trail heads/paths need to accessible for people in wheelchairs.	7/20/2017 1:43 PM
85	I don't think there should be a parking lot because I don't think we should encourage non/residents to coming into our neighborhoods and parking. This is based on what has been presented to date.	7/20/2017 1:41 PM
86	Get busy completing it!!	7/20/2017 11:48 AM
87	Do it!	7/20/2017 11:32 AM
88	Do not support Cliffside connection when there is one existing just a few hundred feet away on Huebner.	7/20/2017 11:06 AM
89	Sounds like a great idea!	7/20/2017 10:53 AM
90	Yes, very needed too?	7/20/2017 10:14 AM
91	I support any recreational area away from the streets.	7/20/2017 10:14 AM
92	could this also include a gate with a security pad (residents put in an access code) to avoid strangers wandering through the neighborhood and parking causing congestion on the streets	7/20/2017 10:06 AM
93	An access for walkers might be nice but don't allow any parking.	7/20/2017 10:03 AM
94	Please proceed with the Cliffside trail head. I frequently bicycle from Shavano Park to connect to the Salado Creek Greenway, but getting there now can be dangerous.	7/20/2017 9:55 AM
95	I think it would be beneficial to our hiking residents to have this trail in order to have options of where to hike, instead of having the same old area over and over. Only if this does not infringe on the views and property of the folks who live on Cliffside.	7/20/2017 9:50 AM
96	Great idea.	7/20/2017 9:44 AM
97	What is the projected usage?	7/20/2017 9:36 AM

Question 7 Summary

1604 East-bound Frontage Road Sidewalks and Salado Creek Trailhead

Frequent responses: (in no particular order)

- Support for the project
- Concerns lack of parking would restrict access to the sidewalks
- A number left "no comment" or "no concerns"

Q7 The 2010 Town Plan called for sidewalks from NW Military to the future Salado Creek Trail system. This system of sidewalks is mostly complete and was constructed by Denton / Bitterblue, the City's primary developer. These sidewalks will allow residents to easily bike, jog or walk from NW Military to the Salado Creek trail system slated to begin construction by San Antonio in October of this year. Even though these sidewalks are largely complete, the trail head connection near Blattman Elementary with the Salado Creek trail system is not. If you have any feedback or comments for us, let us know!

Answered: 60 Skipped: 97

#	RESPONSES	DATE
1	It is important to complete the trail head connection in order to make the Salado Creek trail system more accessible	10/23/2017 2:45 PM
2	Do we have a cost projection, and how often will such a project be use. It kind of like putting a blind person behind the wheel and putting them on 1604.	10/19/2017 4:23 PM
3	Excellent addition	10/19/2017 11:10 AM
4	I love the idea of the trail head at Salado Creek.	10/16/2017 11:48 AM
5	I hope that the trail head connection is completed soon, as I am eager to make us of it by bicycle.	10/6/2017 5:54 PM
6	We support any safe access to the Salgado Creek greenway for the residents of Shavano Park. We would like to ride our bikes to the greenway instead of having to take them to a usable trailhead by car	10/6/2017 9:01 AM
7	Sidewalks suck. No one wants to be on foot or on a bike near cars and trucks -- high speed lanes especially. But sometimes there are no alternatives. Lesson for future planers: encourage developers to set aside space for pedestrian traffic away from major thoroughfares. The north side of the great wall of Huntington was the natural and perfect place for a walkway that's compatible with San Antonio's fantastic linear park system . . .	9/1/2017 10:57 AM
8	This path is quite steep, and a controlled access from Cliffside would be much preferred by some of us that bicycle a lot.	8/21/2017 4:30 PM
9	Again, make it bike accessible like at Huebner road.	8/9/2017 6:05 PM
10	Looking forward to this!	8/6/2017 4:17 PM
11	Haven't seen it but thinking continuity is best.	8/4/2017 8:58 PM
12	Complete the process in the most cost efficient manner.	8/4/2017 6:11 PM
13	Keep simple and as authentically natural as possible	8/4/2017 2:00 PM
14	Completion of the connecting sidewalk should be done but there is some concern for the city's responsibility for maintenance of all trail heads.	8/3/2017 10:54 AM
15	YES	8/1/2017 8:29 PM
16	We can't wait! We would also love to have a connection to the trailhead.	7/29/2017 5:21 PM
17	Parking and the short distances where the riders interface with cars should be addressed sooner than later.	7/29/2017 7:44 AM
18	As a general rule, bikers do not ride on sidewalks but on roads and trails.	7/28/2017 6:04 PM
19	A sidewalk makes sense there because of the huge amount of frontage road traffic. It should connect to the trailhead.	7/28/2017 6:01 PM

20	Once again no no no!	7/28/2017 3:49 PM
21	We should complete the trail head connection.	7/28/2017 2:09 PM
22	Please do it.	7/28/2017 1:44 PM
23	What do the residents of Huntington Place think?	7/28/2017 12:38 PM
24	This sidewalk is behind Huntington along Loop 1604. Inform and involve Huntington residents .	7/28/2017 10:32 AM
25	Once again, parking is a primary concern of mine. A walkway along 1604 would not be very restful.	7/28/2017 9:20 AM
26	My family and I totally support this very healthy improvements	7/28/2017 9:07 AM
27	Great idea!	7/28/2017 8:13 AM
28	Yes, it will be important to have the Blattman Trailhead connected to NW Military by sidewalks along 1604	7/28/2017 8:12 AM
29	Please complete the connection of the trail system. I am looking forward to safely walking/biking utilizing the trail system vs. the current roadways.	7/26/2017 5:44 PM
30	Please complete!!!	7/25/2017 10:53 AM
31	great idea!	7/25/2017 9:35 AM
32	I would not want to walk along 1604 just to go hiking	7/25/2017 8:29 AM
33	No	7/24/2017 7:17 PM
34	Adequate parking wide sidewalks as far from access road as possible	7/24/2017 5:44 PM
35	I hope this connection takes place in the near future	7/24/2017 1:58 PM
36	Great!	7/24/2017 1:14 PM
37	It would be nice to have the trail system behind Blattman for people could park at the school. I like trails that are away from heavily auto traffic.	7/24/2017 12:39 PM
38	PLEASE MAKE THIS HAPPEN.	7/24/2017 12:14 PM
39	Although the sidewalks are good the intersection to cross at NW Military from Pond Hill is difficult for walkers, runners & bikers due to high traffic. Is there any way to improve that intersection so the sidewalks/trail is user friendly for the intended user?	7/24/2017 11:25 AM
40	That should be completed to allow access to the Salado Creek trail system	7/24/2017 10:20 AM
41	A low impact permeable surface pathway but allow no parking.	7/24/2017 9:54 AM
42	Once again, make it great!	7/22/2017 6:34 PM
43	Will Blattman Elementary School have a security monitor posted at the gate opening into school grounds? Homeless people will be on this path. Some of the homeless are harmless to others and some are mental cases.	7/22/2017 5:29 PM
44	All trailheads will need some parking consideration - either provided or prevented - especially a Cliffside trailhead. Additional parking could be provided by Blatman and Starbucks.	7/21/2017 10:27 AM
45	Great idea	7/21/2017 3:27 AM
46	No comment.	7/21/2017 1:13 AM
47	If you don't complete the trail, not as many people will use it and then the initial investment will be in vein. Complete the project to fully!	7/20/2017 9:32 PM
48	I will have to examine it more closely when I drive by, but I do know that there is plenty of room on the 1604 access road for bikers, joggers, etc.	7/20/2017 9:28 PM
49	Awesome!!	7/20/2017 8:14 PM
50	Not aware and therefore have no feedback.	7/20/2017 8:02 PM
51	none	7/20/2017 6:06 PM

52	Awful to have walking path on 1604 frontage road when it appears it might have gone near but not too close to Huntington homes (which is set out and was represented in the First Town Plan), akin to what you see there at the solid blue line passing between Starbucks and Huntington. People will likely make a trail there anyway, tho, either by walking or using dirt bicycles to get to the Blattman trail head (because that's what some of us do now).	7/20/2017 5:47 PM
53	None	7/20/2017 4:41 PM
54	This can be a great hike	7/20/2017 4:20 PM
55	Sidewalks near an elementary school? What's not to like!?!?	7/20/2017 11:32 AM
56	none	7/20/2017 11:06 AM
57	Let's get it done!	7/20/2017 10:53 AM
58	Need more information on design, cost and impact	7/20/2017 10:03 AM
59	Please do what you can to get the Salado Creek trail head connection completed as soon as possible. It would be ideal to be able to bicycle or walk from 1604 to Hardberger Park and beyond!	7/20/2017 9:55 AM
60	Finish the construction to prevent sidewalk to nowhere	7/20/2017 9:36 AM

PLANNING AND ZONING STAFF SUMMARY

Meeting Date: April 3, 2019

Agenda item: 9

Prepared by: Curtis Leeth

Reviewed by: Bill Hill

AGENDA ITEM DESCRIPTION: Discussion/update – Presentation by City staff on the progress of drainage improvements – City Manager Hill.



Attachments for Reference: 1)

BACKGROUND / HISTORY: City staff last made a drainage update presentation at the October 3, 2018 Planning & Zoning Commission meeting. The information below includes updates since October 2018 as well as overview information.

For reference, the KFW Engineering Task Orders are as follows (note Fawn and Cliffside engineering costs were dropped when projects were cancelled).

- **Task Order 4** – Hydrologic analysis, survey and design of culverts on **Fawn** & Chimney Rock
- **Task Order 5** - Hydrologic analysis, survey and design of culverts on Bent Oak, Windmill and **Cliffside**
- **Task Order 6** – Partial survey and Preliminary Engineering Report on Turkey Creek area, Elm Spring area and Ripple Creek / Municipal Tract area.
- **Task Order 10** – Construction Engineering Services for Bent Oak, Windmill and Cliffside culverts

DISCUSSION: The status of the drainage areas identified in the Master Drainage Plan are as follows:

- **Area 1 - Kinnan Way berm** - **Complete.**
- **Area 2 - Wagon Trail depression pump** – **90% complete (final electrical wiring)**
- **Area 3 – Turkey Creek area** – Gathering Right-of-Entries for surveying.
- **Area 4.1 – Elm Spring area**– Gathering Right-of-Entries for surveying.
- **Area 4.2 – De Zavala / Ripple Creek area**– Gathering Right-of-Entries for surveying.
- **Area 5 – Bent Oak clearing** – **Complete.**
- **Area 5 – Windmill culvert** – All Construction Access Easement Agreements signed.
- **Area 5 – Bent Oak culvert** – Consensus with residents for 95% Design Plans.
- **Area 12 – Chimney Rock culvert** – All Construction Access Easement Agreements signed.

Windmill and Chimney Rock culvert projects have construction access easement agreements signed with all residents who properties are impacted by the project. These two culvert projects are ready for final packaging and going for bid, but staff plans to combine them with Bent Oak culvert to achieve some cost savings.

Bent Oak culvert has consensus from residents to move to 95% Design plans, but final design and construction access easement agreements will take time and further negotiation.

A breakdown of the current projects, their approved costs and their expenses is below:

Current Drainage Projects (FY 2018-19)		
Engineer Planning	Approved Costs	Actual Expenses
KFW Engineering Task Order 4	\$ 60,307.00	\$ 21,935.21
KFW Engineering Task Order 5	\$ 58,800.00	\$ 47,481.95
KFW Engineering Task Order 6	\$ 118,000.00	\$ -
KFW Engineering Task Order 10	\$ 33,500.00	\$ -
Engineering costs	\$ 270,607.00	\$ 69,417.16
Construction		
Wagon Trail Depression	DENTON	DENTON
Kinnan Way Berm	DENTON	DENTON
Bent Oak Clearing	\$ 15,000.00	\$ 10,000.00
Windmill culvert (Task Order #10)	\$ 164,500.00	\$ -
Bent Oak culvert (Task Order #10)	\$ 230,500.00	\$ -
Chimney Rock culvert (Task Order #10)	\$ 183,000.00	\$ -
Fawn Drive low water crossing	CANCELLED	CANCELLED
Construction costs	\$ 593,000.00	\$ 10,000.00
Totals	\$ 863,607.00	\$ 79,417.16
	Drainage Uncommitted	\$ 784,189.84

Staff will provide further information during a presentation at the April 3, 2019 meeting.

Staff also wishes to inform the Commission of the “*Atlas 14*” change to drainage modeling:

Atlas 14: National Oceanic and Atmospheric Administration (NOAA) is implementing a new standard for the probability of major storm events across the country. This new standard will be impacting drainage project design across the country. This new standard is called “*Atlas 14*” and essentially means that storm events are modeled for more intense rainfall. As an example, if

previously, a 100 year storm was a 10 inch event, under Atlas 14, a 100 year storm would now be an approximately 12 inch event, then a 10 inch event may be closer to a 75 or 80 year storm, which means our data shows that we have 10 inch events more frequent (relatively) than was previously thought. The same would apply to 12 inch events. Instead of happening every 200 to 300 years, we can expect it to be closer to every 100 years.

Another way of saying it is the previous studies showed that we had a 1% chance of a 10” storm occurring this year, but the latest study shows we have a 1% chance of a 12” storm occurring this year.

COURSES OF ACTION: Not an action item.

FINANCIAL IMPACT: The below table show the “big picture” of City drainage reserves. Approximately 50% of reserves are currently committed to projects.

City Drainage Reserves Oct 1 2018	\$ 1,437,615
Expenses	\$ 79,417
Projected FY 19 Revenues	\$ 5,000
Remaining Drainage Reserves April 3 2019	\$ 1,363,198

MOTION REQUESTED: Not an action item.