



SPRINGFIELD TOWNSHIP

Dixie Highway Design Guidelines

Revised July 8, 2021



Adopted July 8, 2021



The graphics shown in this document are for illustrative purposes only and do not necessarily reflect all site development requirements and standards of the Springfield Township Zoning Ordinance. For specific land use and development standards, see Chapter 40 - Zoning, of the Springfield Township Code of Ordinances.

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INTRODUCTION



Springfield Township values its history and rural character. Our community is known for its rolling hills and forested uplands, lakes and wetland systems, fields and farmsteads, and attractive landscape vistas. The Township is committed to preserving its rural character, open spaces, and natural features. This priority is not incompatible with commercial development or with maintaining a strong local economy. Rather, when incorporated into high quality developments, these features are valuable assets that add to a rich investment environment.

The two-mile stretch of Dixie Highway from I-75 to Davisburg Road is Springfield Township's main commercial corridor. As such, the Township has planned this area for higher intensity retail, office, residential and mixed-use developments that will serve residents as well as those traveling through the Township.



Dixie Highway has been extensively studied as part of the community-wide Master Plan and as the subject of individual plans and studies. In 2000 the Township adopted the Dixie Highway Corridor Plan which led to the development of the Dixie Highway Overlay District, a zoning tool designed to enhance the image of the corridor and provide for variations in land use options. Beginning in 2008 the Township undertook an update to the Dixie Highway Corridor Plan through focus groups, planning workshops and additional studies relative to safety and wastewater options. The aim was to establish a vision for future development of the corridor that is both consistent with the planning goals and character of Springfield Township, and achievable with the existing conditions and challenges. These planning efforts resulted in the 2014 development of the Dixie Highway Corridor Utility Study and the adoption of these Design Guidelines. The Design Guidelines vision will be incorporated into future Master Plan updates.

The Design Guidelines are intended to provide direction to those development properties along the corridor in both written and graphic form in regard to streetscape, building, and site design. These Guidelines are intended to supplement and provide clarification to existing ordinance standards.



Vision

The Dixie Highway Design Guidelines document is a planning and development tool aimed to promote high quality development that is compatible with the character of Springfield Township. The Design Guidelines were created to communicate Township priorities and expectations for new development and site improvements. The Design Guidelines accomplish this goal through the use of guidelines, graphics, photos, material lists, color palettes, and renderings. All graphics are for conceptual and illustrative purposes only.

The Design Guidelines were created with the following intentions:

- Establish a defining image for the Dixie Corridor that reflects the character, culture and natural beauty of the Township and which creates a welcoming gateway into Springfield Township.
- Promote the image of Dixie Highway as a high quality corridor and an attractive investment environment.
- Enhance the visual appearance of the corridor by preserving natural views and incorporating unifying design elements.
- Promote building and site design elements that are integrated, walkable, and harmonious with the rural character of the Township.
- Create public spaces in prominent locations and link features that act as landmarks, symbols, and focal points for community identity.

Application

This document is a planning resource for business owners and developers, as well as Township staff and officials, that should be used in the planning and pre-design phase of new development, renovations, site improvements, and rehabilitation of existing buildings. According to the Springfield Township Zoning Ordinance, all proposed development and construction within the Dixie Highway Overlay District shall comply with the Dixie Highway Design Guidelines. Flexibility in the application of these guidelines can be found on page 34 of this document.



Figure 1. Overall streetscape showing various uses of fencing, lighting, signage, and greenbelt plantings



STREETSCAPE

Design Intent

Lighting fixtures, fence details, greenbelts, site entry landscaping, and signage bring life, color, texture, and identity to the streetscape. The well-designed streetscape not only makes the corridor safer and more inviting, it establishes the corridor as an attractive investment environment. The design intent is to create a distinctive identity for Springfield Township's main commercial corridor. The streetscape should indicate to pedestrians and motorists that they have arrived in Springfield Township. The Township's rural character will be evident through the use of natural, organic-form landscape design, preserved views of natural features, and cohesive signage and streetscape elements. This chapter provides details outlining the design of each streetscape element, as identified in the illustration on the previous page.

Application

Streetscape Design Guidelines shall apply to all new uses and structures requiring site plan approval, as well as newly installed or renovated features along the Dixie Highway Corridor frontage.

Design Intent

Trees and landscaping along the roadway enhance the physical, ecological, and cultural landscape of the community. Streetscape plantings enhance the aesthetics of the Dixie Highway Corridor by defining the corridor, softening the roadway edge, and improving the appearance of off-street parking. The Township greenbelt and site entrance landscape guidelines are designed to protect and preserve the community's natural appearance, rural character, and environmental and aesthetic values by regulating the appearance of property fronting Dixie Highway. The guidelines establish a balance between the needs of the site and historic landscape of the corridor by encouraging the use of native plants, and natural, free-form landscape design. Generally, the Township encourages the use of hardy, drought-resistant, and low-maintenance native plants (or cultivars of these species) that complement and coexist with the native landscape. In some locations where a more manicured look is desirable, such as entry plantings, non-native species that are also non-invasive are acceptable.

Guidelines

- Arrange plantings in a way that conveys a natural design and organic (rounded or curved) form. Clustering and staggering greenbelt trees is highly encouraged. Greenbelt trees should not be planted in a straight line at equal intervals.
- Incorporate a mix of evergreen and deciduous trees and shrubs into greenbelt and site entrance landscape. Spruce and fir trees as well as woody shrubs are recommended for screening and provide a backdrop for signage, flowering planter beds, and other site amenities.
- Where possible, preserve and incorporate existing, high quality trees into the overall landscape design without overcrowding or disturbing established root systems.
- Field stones may be used to define the edge of a planter bed, create a terraced landscape, or used intermittently within a planting area. Use natural material to mulch planting areas. River rock may be used for stormwater management applications that incorporate native plantings.
- For the greenbelt and site entrance landscape, color blocks and plant combinations that vary in terms of height, texture, movement, color, and flowering season are highly encouraged.
- Incorporate naturalized water features and landscaped ponds into the greenbelt or site entrance design where possible.
- Use of bioswales, BMP's (Best Management Practices), and creative stormwater management is highly encouraged.
- All newly installed landscaping should be carefully monitored and watered for two years to ensure the plants are fully established.
- A recommended plant list has been provided in the Appendix, along with installation and maintenance specifications for native plantings.



Naturalized water feature with native plantings

Greenbelt and Site Entrance Landscape Details

1.1



Figure 2. Example applications of site entrance landscape design

Design Intent

Lighting should enhance the aesthetic of the corridor while honoring the rural character of the Township through lighting style and fixture placement. Quality streetscape lighting establishes a more inviting space and supports nighttime activities. An appropriately-lit physical environment is critical to traffic safety, as well as building security and pedestrian safety. It is important that the lighting fixtures be dark sky friendly in order to protect the rural character of the Township.

Guidelines

- Using teardrop and traditional or acorn style lighting fixtures will offer a unifying streetscape element.
- All streetscape and entry lighting fixtures shall be black.
- Coordinate lighting placement with other streetscape elements such as street trees, signage, and utility poles so as not to block the light.
- Direct lighting downward onto the roadway, path, or other hard surface to avoid glare or sky glow. Fixture arm for roadway lighting shall be directed towards Dixie Highway. A double arm fixture may be used for boulevard site entrance or parking lot lighting.
- For roadway lighting along Dixie Highway, use the DTE Community Lighting Standard. Use Holophane Esplanade style teardrop LED luminaire series light fixture or closest similar option available through DTE. Community roadway lighting is DTE Energy owned and maintained within a utility easement. Roadway lighting shall be 27 feet tall.
- For pedestrian fixtures within the streetscape, use an LED globe with acorn shape that is complementary to the DTE standard fixture. Pedestrian fixtures shall be 14 feet tall.
- Lighting placement shall be coordinated with a photometric plan submitted to the Township during the site plan review process.
- A warm to neutral light is the preferred color temperature. LED correlated color temperature (CCT) should be in the range of 2700-4000 kelvin (k). Color rendering index (CRI) should be greater than 70.
- In areas with greater potential for pedestrian-vehicle conflict, higher light levels are encouraged.
- All lighting fixtures should be cutoff or fully shielded using internal device or external shield.
- Lighting details and cutoff options can be found in the Appendix.
- Site and parking lot lighting guidelines are provided in Section 2.5.

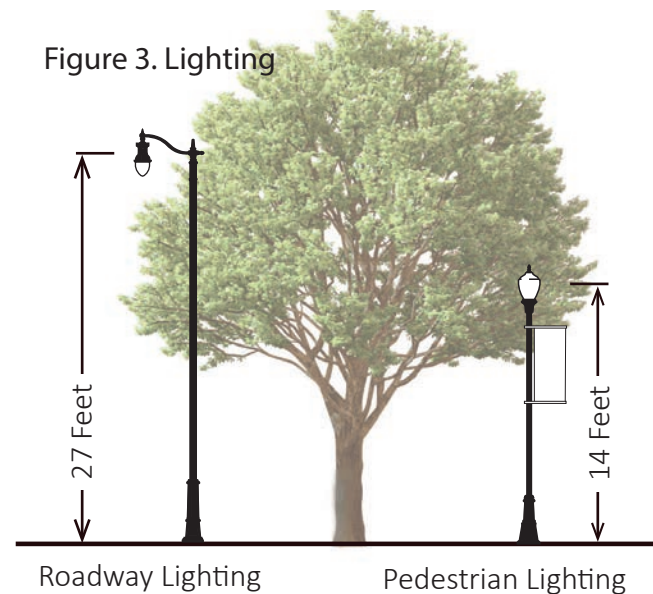




Figure 4. Entry lighting details

1.3

Fence Details

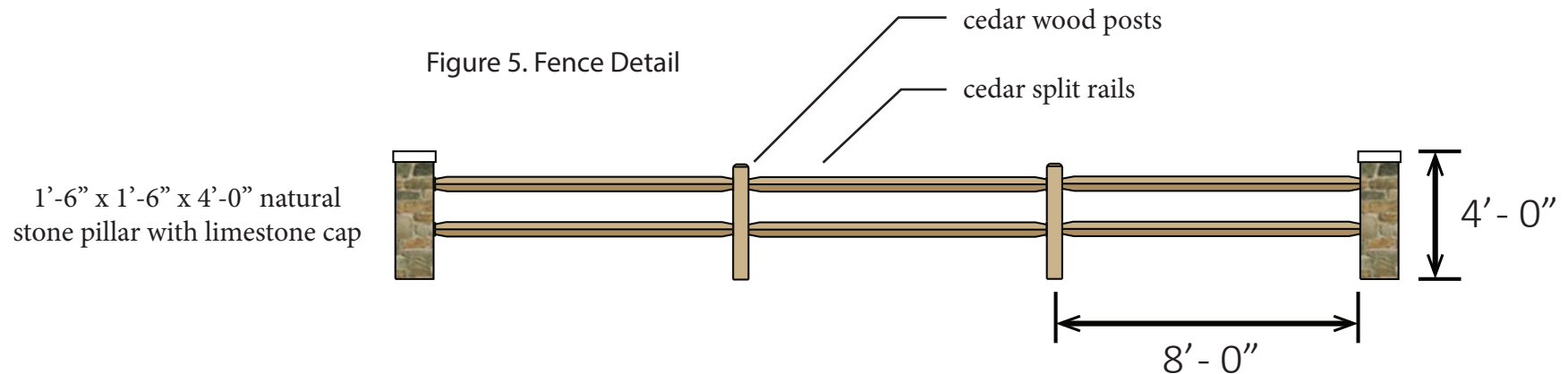
Design Intent

Along with lighting, fencing offers another important unifying element that can help tie the corridor together. The Township has proposed a fence detail that is consistent with the rural character of the community. The fence detail is intended to create visual interest and accent the greenbelt and entry landscape. Due to the width of the corridor, the fence detail will be best utilized in combination with other streetscape and site elements, including landscaping and signage. The fence detail offers a unifying element but it is not intended to create a continuous fence line across the entire parcel frontage.

Any property is encouraged to incorporate this feature into their streetscape design. To incentivize use of the feature, the Township will consider granting a reduced front setback where the fence detail is incorporated. In no case shall the front yard greenbelt be less than 25 feet in depth, as detailed in Figures 9 and 10 on page 13. A request for reduced setback may be made as part of the Dixie Highway Overlay District Expedited Review and Flexible Zoning Option.

Guidelines

- Fences may be located in a required front yard setback, so long as the structure does not obstruct driver and pedestrian visibility.
- Pedestrian circulation pathways take priority in terms of site design and arrangement; fence placement and landscape screening material should accommodate non-motorized connections between adjacent uses.
- The fence shall be a wood, cedar split rail fence. There shall be two rails with simple wooden posts set 8 feet apart. All wood is to remain unfinished to weather naturally. The fence detail shall include 1'-6" x 1'-6" x 4'-0" square decorative fieldstone pillars of natural stone with limestone cap, placed at corners and end of fence, every 24 feet.
- The fence detail may be configured to accommodate larger landscaped areas and street trees, or be incorporated into seating





Fence detail located in front yard setback as unifying streetscape element

Decorative landscaping and parking lot screening

Figure 6. Fence detail used to enhance greenbelt landscaping

1.3

Fence Details

Figure 7. Existing 50 ft. Front Setback for C-1 and O-S Zoning Districts

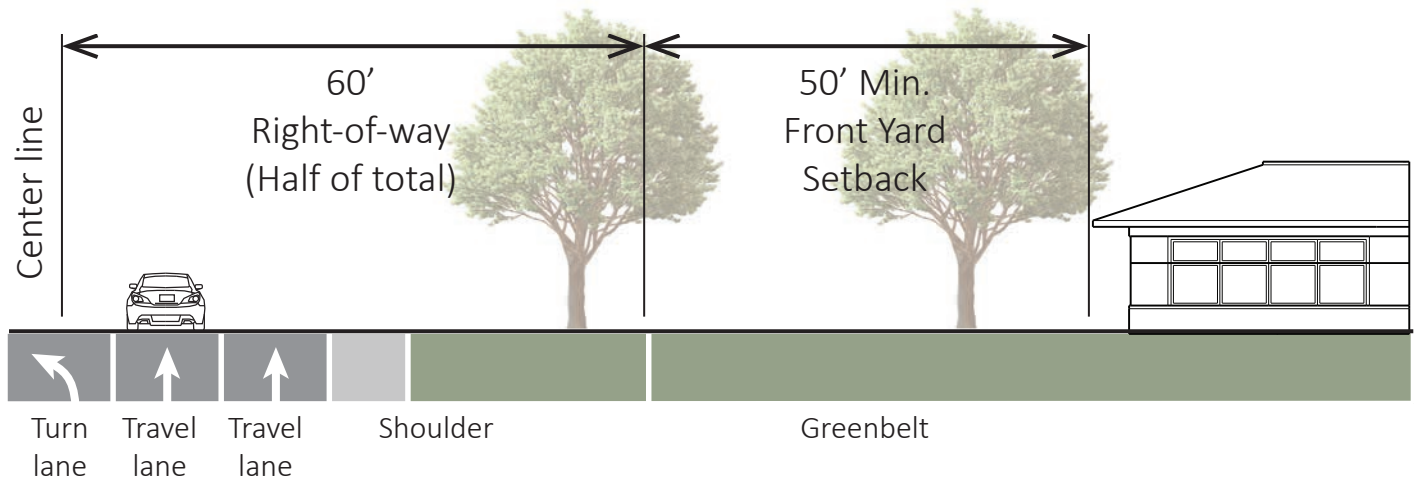
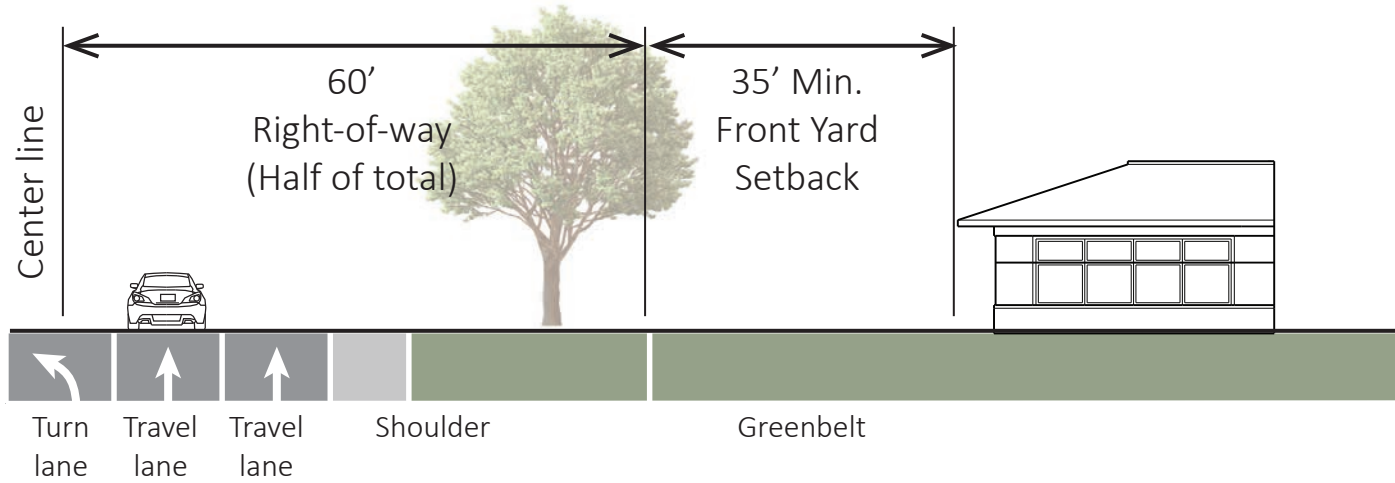


Figure 8. Existing 35 ft. Front Setback for C-2 Zoning District



1.3

Fence Details

Figure 9. Reduced Front Setback with Landscaped Fence Detail as Part of a Dixie Highway Corridor Expedited Review and Flexible Zoning Option

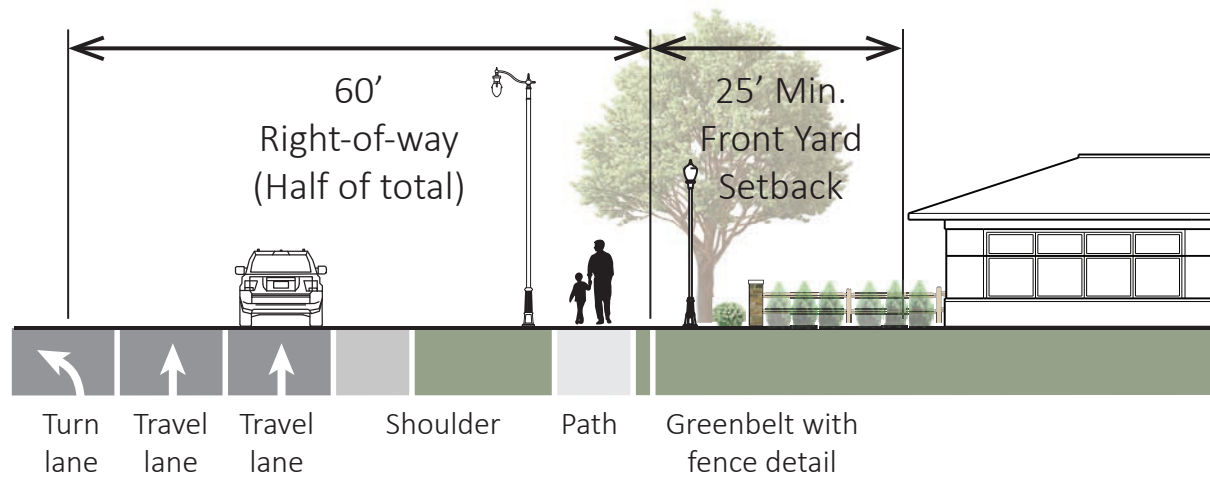


Figure 10. Reduced Front Setback with Landscaped Fence Detail with Parking in Front as Dixie Highway Corridor Expedited Review and Flexible Zoning Option

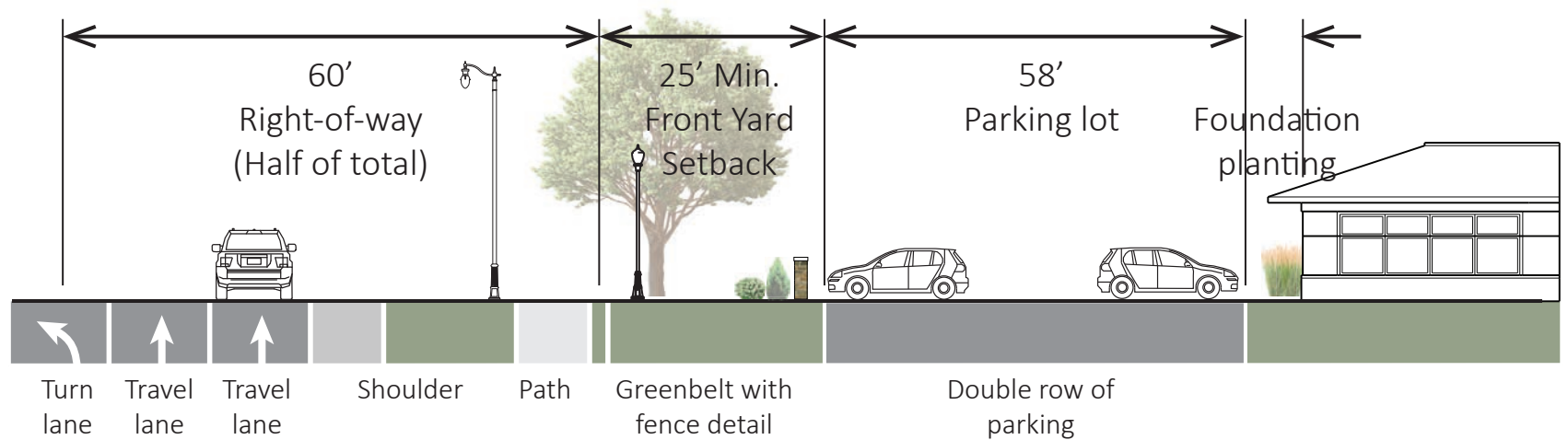
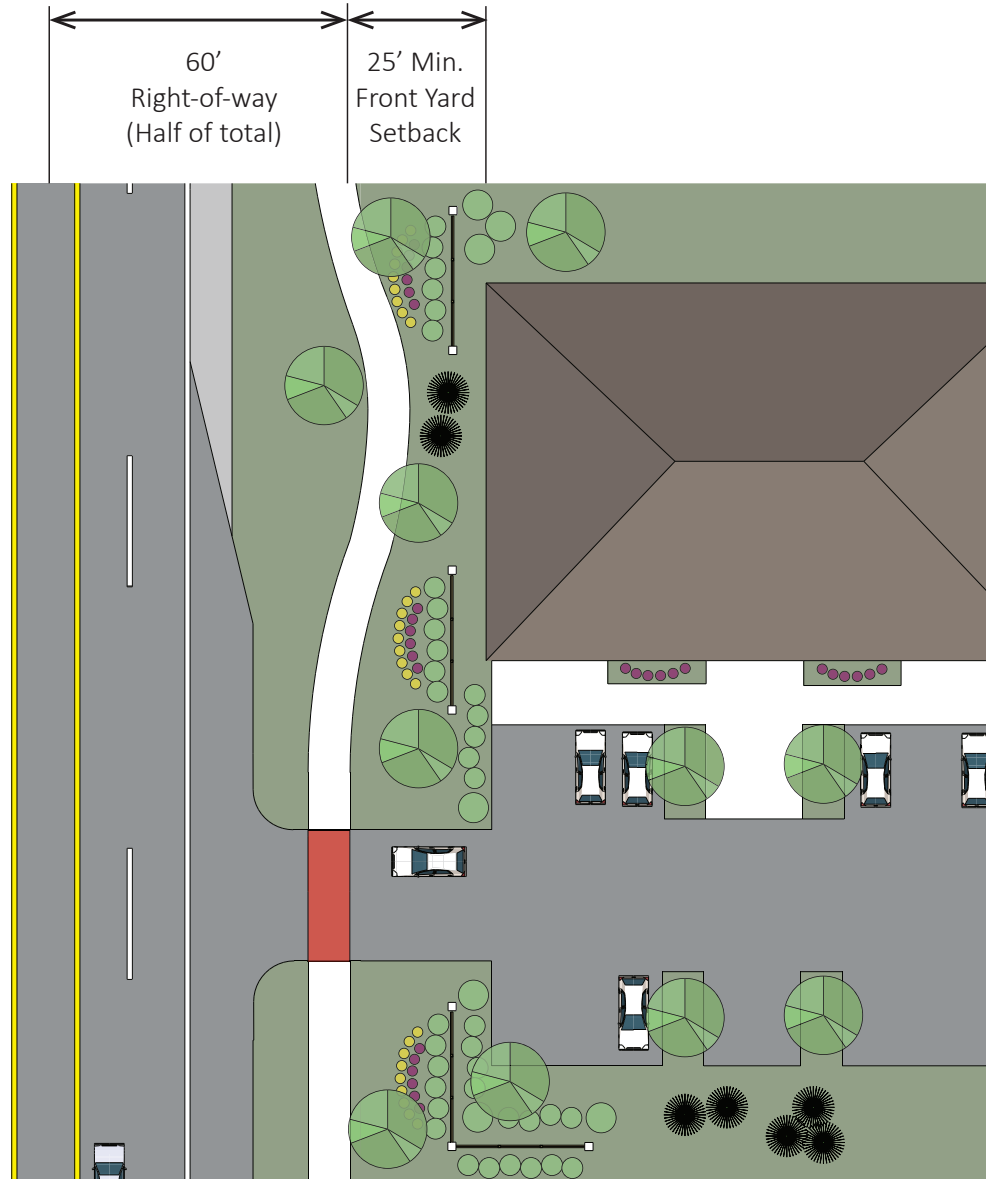


Figure 11. Reduced Front Setback with Landscaped Fence Detail as Part of a Dixie Highway Corridor Expedited Review and Flexible Zoning Option



Design Intent

The sign guidelines are designed to ensure businesses are provided with adequate identification and that signage is integrated with the overall site design and architectural style, including composition, materials, colors, and details. Signage should not create visual clutter or demonstrate a hazard to vehicular or pedestrian traffic safety. The guidelines promote aesthetics and community appearance, with the ultimate goal of establishing the Dixie Highway Corridor as an investment environment known for its high quality development and attractive mixed-use commercial nodes.

Guidelines

- All permanent signs shall be integrated with the architecture and site design using materials, proportions, and color schemes that complement the overall design. Signs shall not obscure or conceal architectural features.
- Changeable copy or electronic message boards shall not change more than two times in a 24 hour period. A sign on which the only copy that changes is an electronic or mechanical display of time or temperature shall be considered a “time and temperature” portion of a sign and not a changeable copy sign.
- Ground signs shall be constructed on a natural stone or brick base with ledge detail of metal or limestone. The height of the base shall be between minimum 1’-0” and maximum 2’-6”. Ground signs may be constructed with stone or brick columns as an alternative to a base. Columns may be tapered and shall be appropriately scaled. The support structure for a ground sign shall not exceed 25% of the maximum permissible area of the sign, per the ordinance.
- For ground signs, sign content (text and graphics) shall utilize white or light colors with a contrasting dark background color. This applies to all ground signs, including multiple tenant signage. Compatible font style and letter size are encouraged. All signage may be internally lit. Ground signage up to 6 feet in height may be illuminated with ground lighting that shines upward or goose-neck lighting that shines downward on the sign face. Illumination type shall not create glare.
- For wall signs, dimensional metal letters or sand-blasted signs with exterior goose-neck lighting are preferred. Illuminated channel letters and halo channel letters may be used.
- For multi-tenant buildings, wall signage shall be consistent in scale and installed at a consistent height along building façade.
- Projecting signs are generally not encouraged due to the scale of the Dixie Highway Corridor right-of-way; however, pedestrian scale signs may be appropriate within a shopping center.
- Canopy signage on standard awnings is permitted if used consistently within the site. Signage text may not be added to bullnose, half round, quarter round, or waterfall style canopies.
- Examples of high-quality signage have been provided in the Appendix.



Figure 12. Sign detail

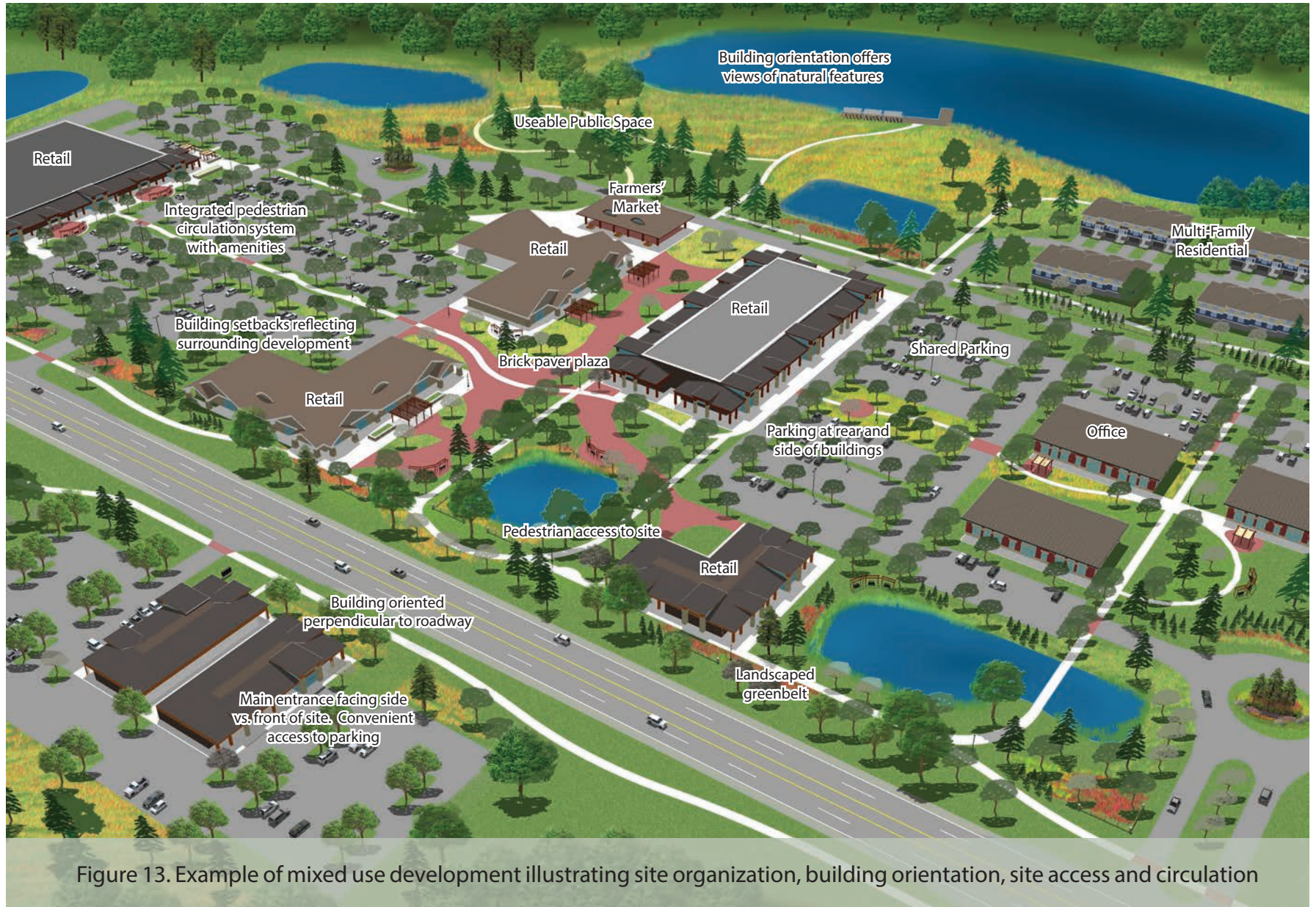


Figure 13. Example of mixed use development illustrating site organization, building orientation, site access and circulation

BUILDING AND SITE DESIGN

Design Intent

To assure that new development will reflect and enhance Springfield Township's rural character and the community's emphasis on open space planning and natural resource preservation. The guidelines further establish a distinctive image for the corridor through site designs that open roadway views to natural features. This chapter discusses site organization, building orientation, vehicular access and circulation, pedestrian amenities, and building architecture.

Application

Building and Site Design Guidelines shall apply to all new uses and structures requiring site plan approval, as well as renovated properties along the Dixie Highway Corridor frontage.

Design Intent

Building orientation is an important component of site design which articulates the building's relationship to its context including roadways, natural features, adjacent buildings and uses, parking areas, and pedestrian circulation networks. Buildings and structures should take advantage of the natural topography of the site. Setbacks should reflect the surrounding development and limit parking in the front yard, while encouraging pedestrian pathways, plazas, landscaping, and natural feature buffers. Building orientation shall allow for the buildings to have more of a presence along Dixie Highway, while accommodating shared parking and views of natural features. Building orientation is closely linked to architectural features.

Guidelines

- Where possible, buildings shall be oriented perpendicular to the roadway, so that the front facade of the building (and entryway) faces the side of the site. This orientation coordinates with the guideline to locate parking lots to the side of the building (vs. between the building and Dixie Highway). The main building entrance shall be located at the side of the building and provide convenient access to parking facilities and pedestrian pathways.
- Reduced setbacks can be accommodated with the use of the fence detail, additional landscaping, and enhanced site amenities.
- Where possible, building orientation shall offer views of natural features and establish appropriate location and desirable conditions for usable public space. Pedestrian pathways shall be used to connect buildings, parking facilities, and community amenities.
- In addition to windows and doors, facades shall be articulated with vertical and horizontal details to reduce the scale and uniform appearance. Architectural features and design elements shall be integrated into the design of all building elevations that face Dixie Highway or other side streets, as well as on-site parking areas or community amenities.
- The Township generally discourages the placement of parking lots in the front yard; however, two (2) rows of parking with a single access aisle may be permitted. Large sites shall locate parking between the anchor buildings and outlot buildings, if possible. Shared parking facilities between sites is encouraged.
- The proportions and relationships between roof, doors, windows, terraces, overhangs, and other building elements shall be harmonious with the architectural style and site design.

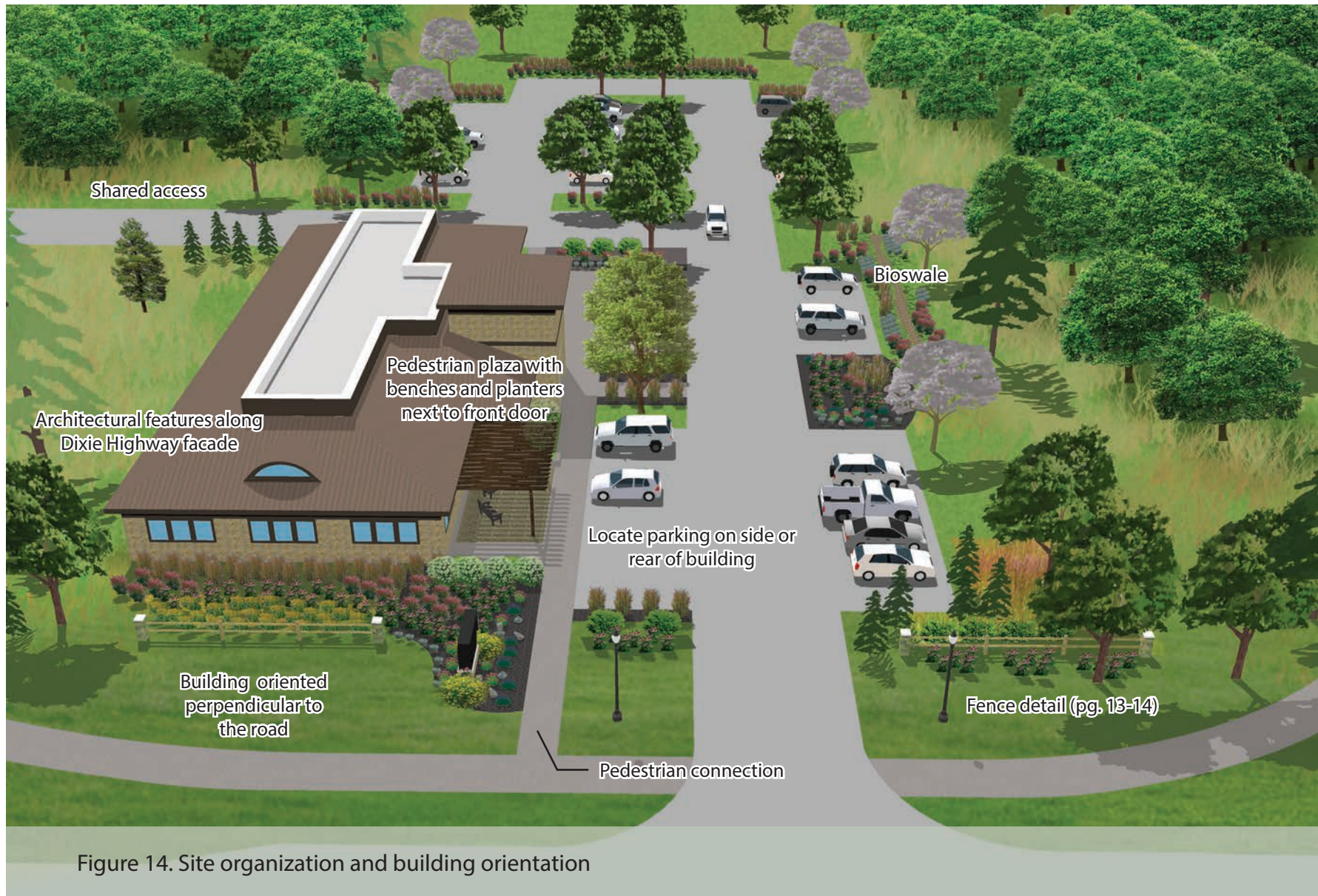


Figure 14. Site organization and building orientation

2.2

Site Access and Circulation

Design Intent

Site access and circulation shall be designed to promote vehicular and pedestrian traffic safety. Sites shall provide walkability within the development and between neighboring developments. Access and circulation shall be designed to create a sense of identity by highlighting architectural features, site landscaping, streetscape elements, and pedestrian fixtures while de-emphasizing off-street parking facilities. Layout shall minimize curb cuts and reduce potential for congestion and conflict between travel modes.

Guidelines

- All current access management standards of the Springfield Township Zoning Ordinance must be met.
- Separate travel ways and/or grade separation for vehicular and pedestrian traffic is encouraged.
- One curb cut from Dixie Highway shall be permitted per site. Larger development sites may utilize side streets and shared access drives, or secure additional driveways through the site plan review process.
- Shared parking and common driveways are encouraged for all sites. Perpendicular building orientation will help promote shared parking and access.
- Vehicular access for corner lots shall be located as far as possible from the road intersection.
- Parking lots should incorporate site landscaping and pedestrian circulation paths to reduce size and visual impact, and improve environmental performance and pedestrian safety. Landscape islands shall incorporate shade trees and salt tolerant plants.
- Integrating low impact design and natural stormwater management into parking lot landscaping is highly encouraged.
- Special paving should be used to define pedestrian crossings and enhance pedestrian gathering spaces. Examples include brick or concrete pavers, colored concrete or colored asphalt. Paving choice is subject to review by the Township Engineer.
- Sidewalks shall be a standard scored concrete at minimum. Stone or brick pavers as well as colored/textured concrete may also be used, and are encouraged.
- Driveways and parking areas should be designed to accommodate snow removal.



Use of pavers to designate pedestrian spaces



Use of pavers to designate pedestrian spaces



Use of pavers to designate pedestrian spaces



Figure 15. Site access and circulation

Design Intent

Architectural features shall be compatible and complementary with the rural character of Springfield Township. Buildings shall employ natural materials for the foundations, piers, terraces, and other façade elements. The placement, pattern, scale, size, and rhythm of window and door openings on building facades, including their proportions and the details around them, are important elements of architectural style. The Township wishes to convey the rural character of the community through buildings designed in the prairie and craftsman style of architecture which emphasize the use of natural earth tones, exposed structural elements, and low pitched roofs with large overhanging eaves and gables.

Guidelines

- Design buildings with low-pitched, gabled or hipped roof lines.
- Create the sense of a front porch through the use of columns and overhangs. Columns shall be scaled to the building and convey a sense of weight. Open trellis work (pergolas) are encouraged for public spaces and pedestrian walkways.
- Employ natural or natural-looking materials. Preferred siding options include clapboard, wood shingles, brick, field stone, and stucco. The use of concrete block and Exterior Insulation and Finish Systems (EIFS) block are discouraged. The façade shall be broken up with horizontal bands and material changes. For instance, stucco or brick buildings may be accented with rich woods and metals, while painted clapboard buildings may be accented with light or contrasting trim and decorative wood shingles.
- Roofing materials may include asphalt, wood shingles, or metal. A medium to dark brown, black, gray, or green color is recommended.



Building design creates "sense" of a front porch

Building faced with a variety of natural-looking materials, organized in horizontal bands

Dixie Highway Design Guidelines

Neutral exterior building colors

Pedestrian plaza with pergola

Landscaping with native plants

Figure 16. Architectural features

2.3

Architectural Features

Guidelines

- For craftsman style architecture, the township recommends a neutral base exterior color with complementary accents. Roof profiles with gables are encouraged. Roof gables within a single building may be varied in size to accommodate pedestrian scale. Windows are generally organized into groups of three, with a larger center window and decorative mullions, typically within the upper portion (1/2 or 1/3) of the window. Exposed rafters and triangular knee braces are common along the roof overhangs, and columns tend to have some tapered element. Exposed beams, decorative friezes, and continuous horizontal bands along the top/bottom of windows are also common to the craftsman style.
- For prairie style architecture, the township recommends a neutral base exterior color with wood, earth tone, or dark trim. Hipped roofs are most common and may be designed with a series of broad, gently sloping roofs. Overhangs tend to be boxed in with wood paneling to create an outdoor ceiling. Windows are typically situated in bands of three or four, and are often elongated in the vertical dimension or perfectly square. Clerestory windows are common and offer a way to introduce light into a space without eliminating wall space. Selective recessing of only the horizontal masonry joints will emphasize the horizontal orientation of the structure.



Prairie style



Craftsman style



Craftsman style



Craftsman style

Figure 17. Craftsman Style

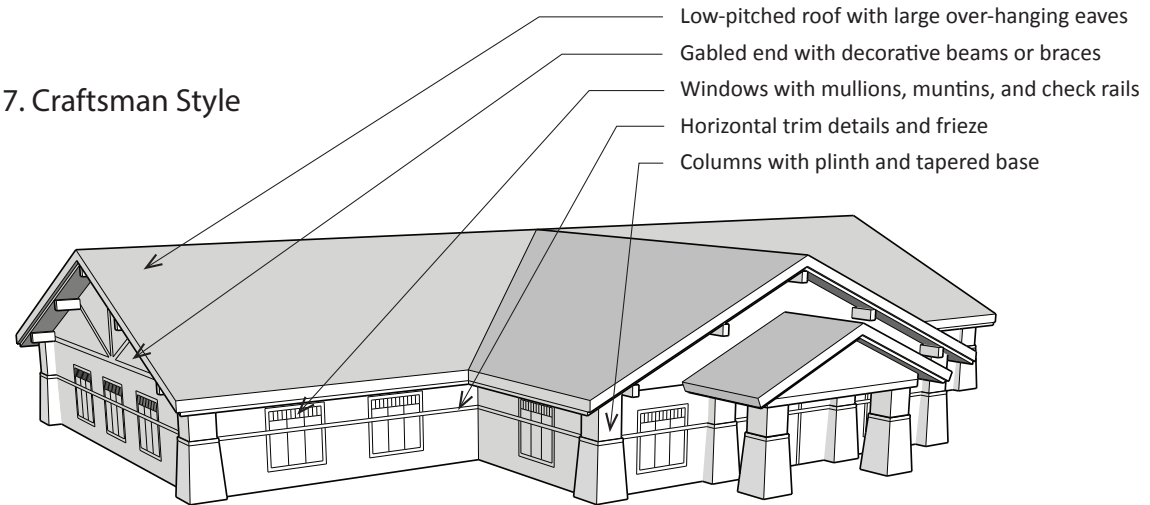
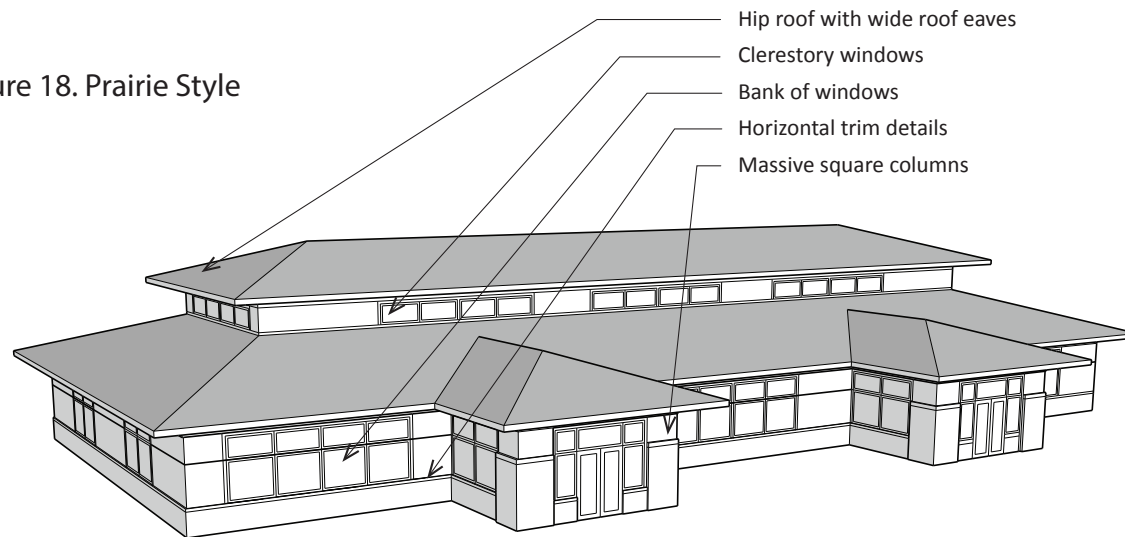


Figure 18. Prairie Style



Design Intent

A main goal of Springfield Township is to develop and implement appropriate and effective tools to protect the area's rich natural resources. The plants that occur here naturally are very important because they not only help define the character of the Township, but also provide environmental, economic, and social benefits. The intended use of the landscape should be at the forefront of the design, along with visual interest and plant suitability. Some of the primary functions include natural stormwater management, definition of public space, shading, natural features buffer, and parking lot landscaping. Landscape design shall incorporate existing native species and local materials such as fieldstone, allow plants to take on a more organic form, and convey character and elements of a lightly forested grassland.

Guidelines

- Convey a natural design and organic form through plantings. Clustering and staggering greenbelt trees is highly encouraged. Greenbelt trees shall not be planted in a straight line at equal intervals.
- Create plant diversity by incorporating a variety of plant material.
- Incorporate a mix of evergreen and deciduous trees. Spruce and fir trees as well as woody shrubs are recommended for screening and provide a backdrop for signage, flowering planter beds, and other site amenities. In addition to common deciduous canopy tree varieties, evergreen trees offer a suitable alternative and provide moderate shade.
- Where possible, incorporate existing, high-quality trees into the overall landscape design without overcrowding or disturbing established root systems. Existing trees may be counted toward this requirement and should be protected during construction.
- Field stones may be used to define the edge of a planter bed, create a terraced landscape, or used intermittently within a planting area. Planting areas shall be mulched with natural materials. River rock may be used for stormwater management applications that incorporate native plantings.
- Pathways, benches and other amenities that provide opportunities for people to interact with the landscape are strongly encouraged.
- Color blocks and plant combinations that vary in terms of height, texture, movement, color, and flowering season are encouraged. Water features shall be natural in form and material, including ponds, streams, bioswales, and rain gardens. Stormwater detention and drainage systems shall incorporate natural landscaping.
- Hardy, low maintenance plants that do not require sprinkler irrigation systems are encouraged.
- A detailed landscape maintenance plan shall be required. "Grow zones" or "no mow zones" shall be identified with signage.
- Landscape shall incorporate a variety of plant material including ground cover, low grasses, forbs (flowers), shrubs, and tall grasses. A recommended plant list has been provided in the Appendix, along with installation and maintenance specifications for native plantings.



Figure 19. Site landscaping

Design Intent

Lighting is a key site element that enhances the user experience. Quality site lighting establishes a more inviting space and supports nighttime activities, including shopping, dining, walking, as well as loading and unloading vehicles. A properly lit physical environment is critical to traffic safety, as well as building security and pedestrian safety. Lighting should enhance the aesthetic of the site while honoring the rural character of the Township through lighting style and fixture placement.

Guidelines

- Parking lot and pedestrian light fixtures should be compatible with the corridor street lighting. All new or replacement fixtures shall be black.
- Lighting shall be directed downward onto the internal drive, path, parking area, or other hard surface to avoid glare or sky glow.
- For site and parking lot lighting, box type fixtures may be used. Fixtures shall be downward directed in accordance with current Township lighting standards.
- For pedestrian fixtures and site lighting, LED teardrop or globe with acorn shape that is complementary to the DTE standard fixture is encouraged. Pedestrian fixtures shall be 14 feet tall.
- Lighting placement shall be coordinated with other site elements such as street trees, signage, fence details, and utility poles so as not to block the light.
- Accent light fixtures shall be complementary in terms of material, scale, and style.
- Lighting may be equipped with enhancements such as hanging baskets, banners, and holiday lighting, as approved by the Township. Enhancements shall be installed securely and at a height which accommodates safe vehicular and/or pedestrian traffic.
- Lighting placement shall be based on a photometric plan submitted to the Township.
- A warm to neutral light is the preferred color temperature. LED correlated color temperature (CCT) should be in the range of 2700-4000 kelvin (k). Color rendering index (CRI) should be greater than 70.
- In areas with greater potential for pedestrian-vehicle conflict, higher light levels are encouraged.
- All lighting fixtures should be cutoff or fully shielded using internal device or external shield.
- Lighting details and cutoff options can be found in the Appendix.



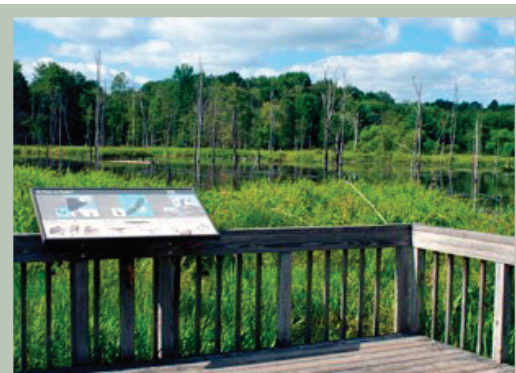
Figure 20. Site and parking lot lighting

Design Intent

Dixie Highway is Springfield Township's main commercial corridor and a major gateway into the township. High quality site design preserves existing natural features and enhances the physical, social, environmental, and economic landscape of a place. Community amenities offer gathering space for residents and shoppers. Larger sites should offer more amenities, including places for gathering, passive recreation, outdoor seating, and the observation of nature. Community amenities help to offset impacts of development and create community assets that establish Dixie Highway as a destination.

Guidelines

- Pedestrian fixtures (benches, trash receptacles, hanging baskets, seasonal planters) shall be coordinated with overall site concept and architecture. Recommended materials include natural wood, black powder-coated metal, and stone.
- Seating shall be incorporated as a basic community amenity. Depending on the size of the development or redevelopment, sites may offer a variety of seating options including low walls, raised planters, benches, and picnic tables.
- Outdoor gathering spaces and café seating shall incorporate fixed elements that create the sense of an outdoor room. Examples include fence detail, pergolas, gazebos, planter wall, stone pillars, and landscaping.
- Amenities may also include bike racks with dedicated safety path connections.
- Boardwalks and bridges along water features and wetland areas are highly encouraged.
- Nature overlooks with walking paths and educational signage would be an additional benefit at some sites.



Nature overlook with educational signage



Walking paths through preserved open space



Seating and gathering area



Figure 21. Community amenities



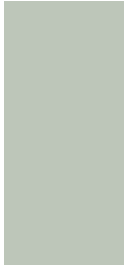
FLEXIBILITY IN APPLICATION

The purpose of the Dixie Highway Design Guidelines is to establish design expectations for new development, renovations, site improvements, and rehabilitation of existing buildings. According to the Dixie Highway Overlay District zoning regulations, all proposed development and construction within the Dixie Highway Overlay District shall comply with the Design Guidelines.

However, the Township recognizes that applicants may experience building and site constraints that prevent the full or partial realization of certain guideline requirements. The Township is willing to work with applicants on a case-by-case basis to allow for some design flexibility while still ensuring that the design intent is being met. This flexibility is permitted via the Dixie Highway Corridor Expedited Review and Flexible Zoning option. This option provides incentives to developers and business owners to work cooperatively with the township to achieve the community's vision for the Dixie Highway Corridor. Incentives to developers include flexibility in the use of property, flexibility in design, and an expedited review process.

For instance, smaller sites or sites with significant natural features may require some flexibility and creativity in building orientation, access and circulation, and community amenities. Also, the Township may modify the architectural style guidelines for existing buildings, particularly historic structures. Where applicable, instead of prairie or craftsman style elements, the Township encourages building improvements and enhancement consistent with the building's true architectural style.

The Township urges business owners and developers to review this document and then discuss their design concept and sketch plans with Township staff. These preliminary discussions will facilitate a more productive development review process and ensure that your proposal is in line with the community's vision for the Dixie Highway Corridor. The decision to allow flexibility in application is made by the Township Planning Commission during the site plan review process.



APPENDIX

- A.1 Plant List
- A.2 Light Fixture Details
- A.3 Sample Color Palette
- A.4 Sign Examples



A.1

Plant List

The following is a recommended plant list.

Trees	Streetscape	Parking Lot	Entry and Site Landscape	Open Space	Screening
Fir (Abies)	x		x	x	x
Pine (Pinus)	x	x	x		
Red cedar (Juniperus)					x
Spruce (Picea)	x				x
Beech (Fagus)	x			x	
Canada Red Cherry (Prunus virginiana)			x		
Blackgum (Nyssa)			x		
Bur Oak (Quercus macrocarpa)	x			x	
Dogwood (Cornus florida)	x		x		
Honeylocust (Gleditsia)	x	x		x	
American Linden (Tilia)	x	x		x	
Pagoda dogwood (Cornus alternifolia)			x	x	
River birch (Betula nigra)			x	x	x
Red maple (Acer rubrum)	x	x	x	x	
Sugar maple (Acer saccharum)	x	x		x	
White Oak (Quercus alba)	x			x	

Cultivars of these species are acceptable.



Bur Oak



Honeylocust

Shrubs	Streetscape	Parking Lot	Entry and Site Landscape	Open Space	Screening
Arborvitae (Thuja)					x
Black chokeberry (Aronia melanocarpa)			x		x
Juniper (Juniperus)					x
Yew (Taxus)					x
American Hazelnut (Corylus americana)			x		
Gro-Low Sumac (Rhus aromatica)	x	x	x		
Ninebark (Physocarpus opulifolius)			x	x	x
Shrubby cinquefoil (Potentilla fruticosa)	x		x		
Serviceberry (Amelanchier arborea)	x		x	x	x
Viburnum varieties (except 'Compactum')	x		x	x	x

Cultivars of these species are acceptable.



Black Chokeberry



Gro-Low Sumac

Grasses and Sedges	Streetscape	Parking Lot	Entry and Site Landscape	Open Space	Screening
Big Bluestem (<i>Andropogon gerardii</i>)	x	x	x	x	
Buffalo Grass (<i>Buchloe dactyloides</i>)	x	x	x	x	
Indian Grass (<i>Sorghastrum nutans</i>)	x	x	x	x	
June Grass (<i>Koeleria cristata</i>)	x	x	x	x	
Little Bluestem (<i>Schizachyrium scoparium</i>)	x	x	x	x	
Pennsylvania Sedge (<i>Carex pensylvanica</i>)	x	x	x	x	
Purple Love Grass (<i>Eragrostis spectabilis</i>)	x	x	x		
Switch Grass (<i>Panicum virgatum</i>)	x	x	x	x	x

Cultivars of these species are acceptable.

- Areas planted with native seed mixes should be prepared before seeding to eliminate non-native weed seeds. Native seed mixes should not be installed by hydroseeding; native mixes require drilling into the soil and don't respond well to fertilizers. Seeded areas must be monitored and managed over a period of three growing seasons to eliminate weeds, as the native species take longer to sprout and become established. Developers should use a contractor with experience in the preparation, installation, and maintenance of native seed plantings.



Little Bluestem



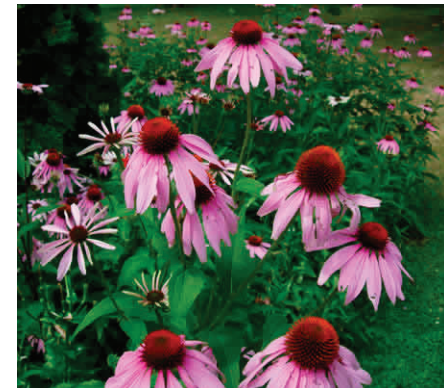
Purple Love Grass

Flowers	Streetscape	Parking Lot	Entry and Site Landscape	Open Space	Screening
Black-eyed Susan (<i>Rudbeckia hirta</i>)			x	x	x
Butterfly-weed (<i>A. tuberosa</i>)			x	x	
Cardinal Flower (<i>Lobelia cardinalis</i>)			x	x	
Culver's Root (<i>Veronicastrum virginicum</i>)			x	x	
Early Goldenrod (<i>Solidago juncea</i>)			x	x	
False Boneset (<i>Brickellia eupatorioides</i>)			x	x	
Flowering Spurge (<i>Euphorbia corollata</i>)			x		
Golden Alexanders (<i>Zizia aurea</i>)			x		
New England Aster (<i>Aster novae-angliae</i>)			x	x	
Prairie Coreopsis (<i>Coreopsis palmata</i>)			x	x	
Purple Coneflower (<i>Echinacea pallida</i>)			x	x	x
Spiderwort (<i>Tradescantia ohiensis</i>)			x	x	
White Gentian (<i>Gentiana alba</i>)			x		
Wild Strawberry (<i>Fragaria virginiana</i>)			x		
Wild-bergamot (<i>Monarda fistulosa</i>)			x	x	

Cultivars of these species are acceptable.



Black-eyed Susan



Purple Coneflower

A.2

Light Fixture Details

The following light fixtures are recommended for use within the Dixie Highway Corridor area. The teardrop (taller) light fixture is intended to be used at the entryway of large developments and main internal roadways. The smaller acorn (shorter) light fixture is intended to be used as a pedestrian light where walkways intersect with pedestrian amenities on a site or along walkways within a site.

Light Fixture:

Holophane
“Esplanade”
LED fixture

Arm:

Holophane “West
Liberty” decorative
arm

Pole:

Straight Round
Aluminum

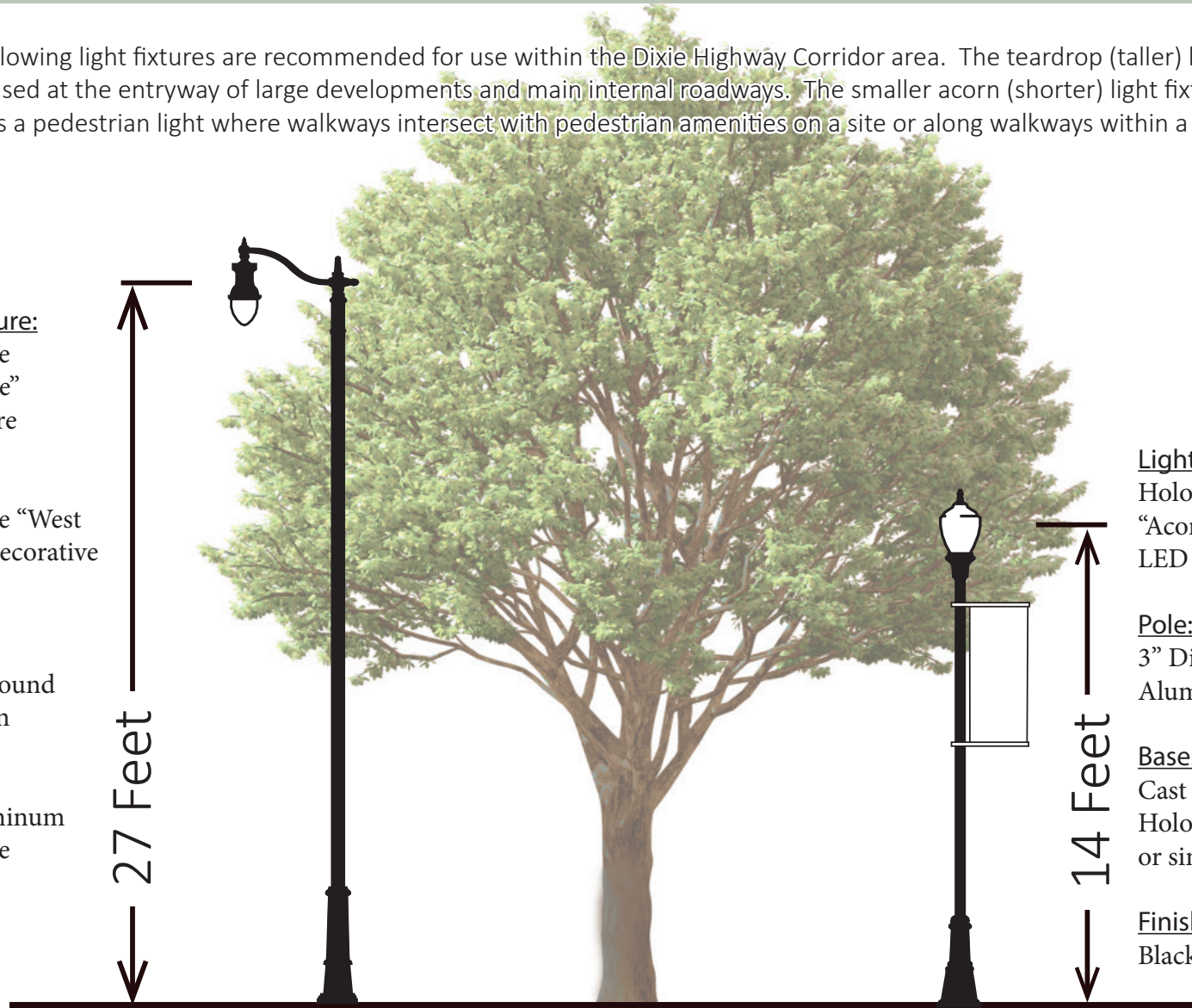
Base:

Cast Aluminum
Holophane
Salem,
or similar

Finish:

Black

27 Feet



Roadway Lighting

Pedestrian Lighting

Light Fixture:

Holophane
“Acorn”
LED fixture

Pole:

3” Dia. Straight Round
Aluminum

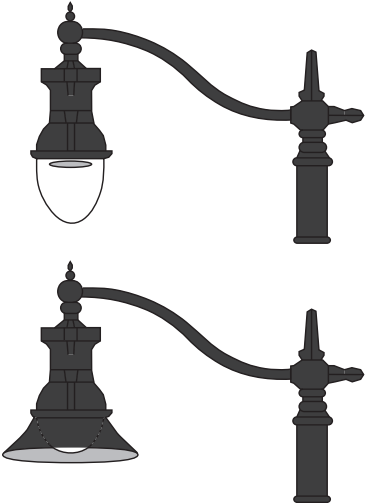
Base:

Cast Aluminum
Holophane Salem,
or similar

Finish:

Black

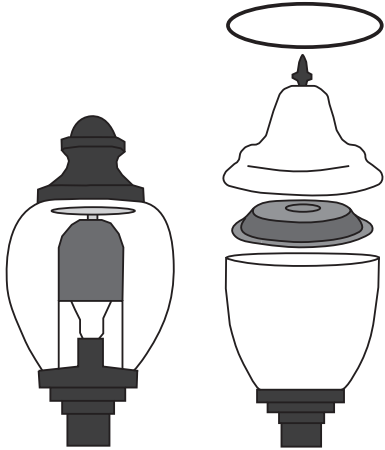
14 Feet



Cutoff Option 1:
Tear Drop Fixture
with Internal Shielding

Cutoff Option 2:
Prismatic Bowl Fixture
with Deep Decorative Skirt

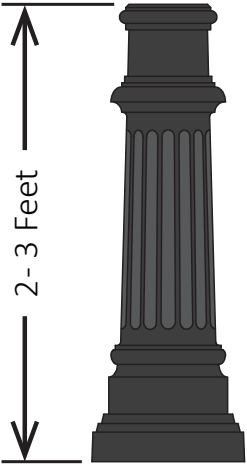
Roadway Lighting



Cutoff Option 1:
Traditional Fixture
with Internal
Up Light Inhibitor

Cutoff Option 2:
Traditional Fixture
with Internal Perforated
or Non- Perforated
Light Lid

Pedestrian Lighting

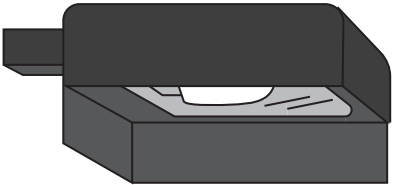


Decorative Base:
Cast Aluminum
Holophane
Salem or similar

Roadway & Pedestrian
Lighting



Cutoff Option 1:
Full Cutoff Box Type
Parking Lot Fixture



Cutoff Option 2:
Additional External
Shielding

Parking Lot Lighting

A.3

Sample Color Palette

The following is a recommended color palette. Building facades shall be finished in a natural material and/or painted using earth-tones and muted colors. Accent colors shall be complementary. Due to differences in computer monitor and printer color settings, please see Township for sample color palette.

Green



Teal



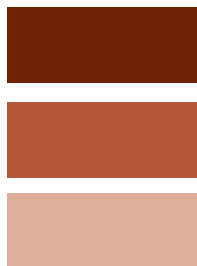
Blue



Gray



Red



Brown



Gold



Beige



Red Brick with Green Trim
and Fieldstone Columns



Beige Siding with White Trim
and Fieldstone Accents



A.4

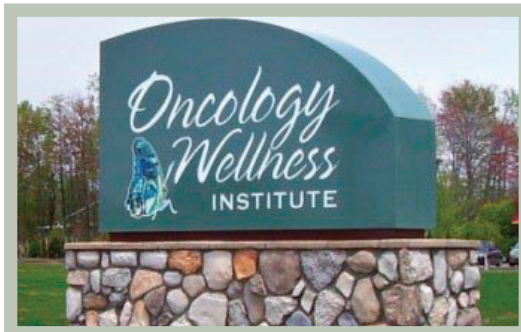
Sign Examples

The following are examples of single tenant signs that address elements of the Design Guidelines.

Dark background with natural stone



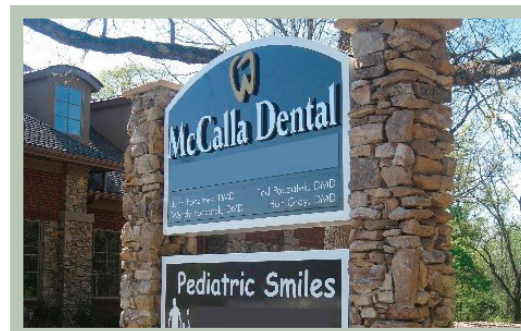
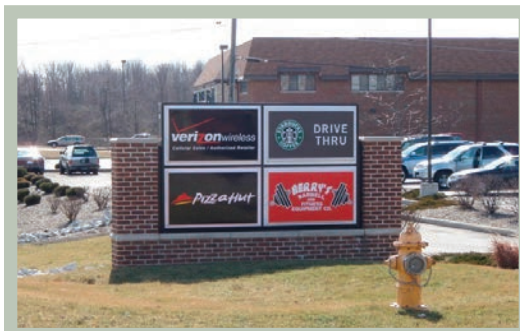
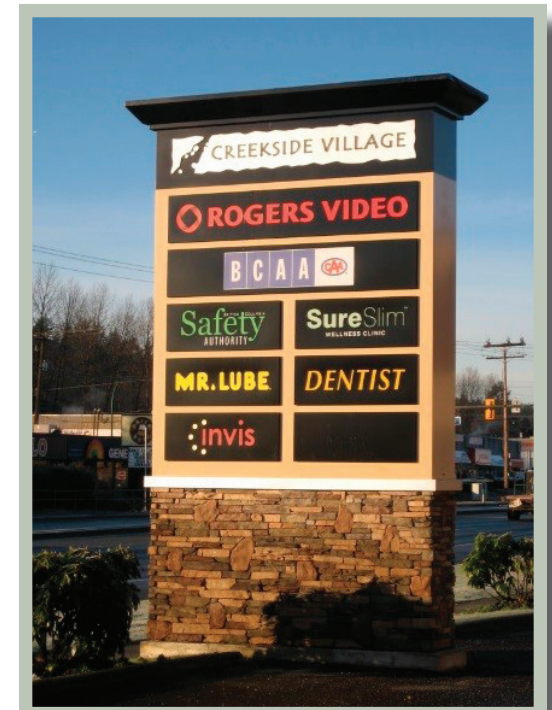
Integrated with building design



Enhanced with natural landscaping



The following are examples of multi-tenant signs that address elements of the Design Guidelines.



A.4

Sign Examples

The following are examples of electronic message board, changeable copy, and time and temperature signs that address elements of the Design Guidelines.

