PROPOSED SITE PLAN DOCUMENTS

FOR

EXISTING

McDonald's

WITH DRIVE-THRU

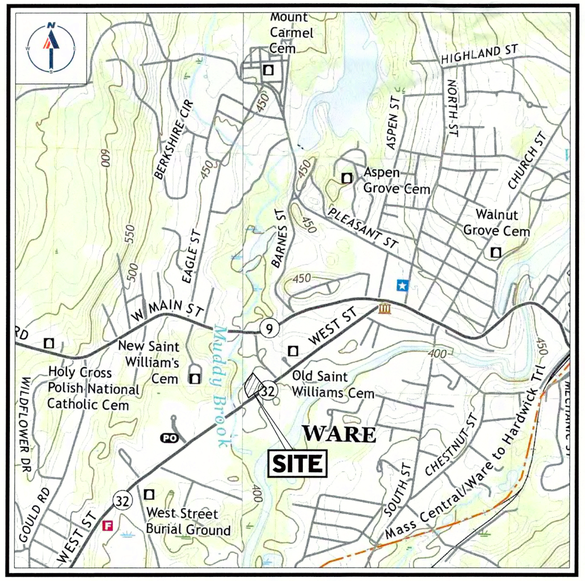
LOCATION OF SITE

117-119 WEST STREET, TOWN OF WARE

HAMPSHIRE COUNTY, MASSACHUSETTS

MAP 56, LOT 111

RECEIVED
JUN 13 2022
TOWN OF WARE DEPARTMENT OF PLANNING & COMMUNITY DEVELOPMENT



USGS MAP

SCALE: 1" = 1,000'
SOURCE: USGS WARE QUADRANGLE & WINSOR DAM QUADRANGLE

SITE MAP

SCALE: 1" = 100'
SOURCE: GOOGLE AERIAL

DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
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BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1

GENERAL NOTES:

1. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
2. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
3. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
4. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
5. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
6. ALL ELEVATIONS SHOWN ARE BASED UPON, NAVD 88 PER SURVEY NOTE #7.
7. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
8. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.

PAVING SPECIFICATION

(SEE PAVEMENT DETAIL)

FLEXIBLE PAVEMENT SECTION:
-1.5" M.04.02- CLASS 2 TOP COURSE
-1.5" M.04.02- CLASS 1 BASE COURSE
-12.0" M.02.06 TYPE C PROCESSED GRAVEL SUBBASE

RIGID PAVEMENT SECTION:
-6.0" 4500 PSI AIR-ENTRAINED CONCRETE
-8.0" 4500 PSI AIR-ENTRAINED CONCRETE AT TRASH ENCLOSURE
-12.0" M.02.06 TYPE C PROCESSED GRAVEL SUBBASE

NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

PARKING INFORMATION

TOTAL SPACES 57

5	PROPOSED SPACES	9.0' x 14.6' @ 45°
52	EXISTING SPACES	

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	UNKNOWN	UG	ON-SITE / WEST STREET R.O.W.
WATER	UNKNOWN	UG	ON-SITE / WEST STREET R.O.W.
STORM SEWER	VARIES	VARIES	ON-SITE / WEST STREET R.O.W.
ELECTRIC	UNKNOWN	OH / UG	ON-SITE / WEST STREET R.O.W.
GAS	UNKNOWN	UNKNOWN	TANKS ON-SITE

SURVEY INFORMATION

PREPARED BY: CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
JOB #: 03-170294
DATE: FEBRUARY 12, 2018
REVISED: JUNE 13, 2018

TYPICAL LEGEND

EXISTING		PROPOSED
	PROPERTY LINE	
	SETBACK	
	EASEMENT	
	CURB	
	STORM MANHOLE	
	SEWER MANHOLE	
	CATCH BASIN	
WF 5	WETLAND FLAG	
	WETLAND LINE	
× 54.83	SPOT ELEVATION	
× TC 54.58 G 53.78	TOP & BOTTOM OF CURB	
53	CONTOUR	50
	FLOW ARROW	5%
	PAINTED ARROW	
OH	OVERHEAD WIRE	OH
G	GAS LINE	G
T	TELEPHONE LINE	T
E	ELECTRIC LINE	E
W	WATER LINE	W

REV	DATE	DESCRIPTION	BY
1	05/10/2022	REVISED PER CONSERVATION COMMISSION COMMENTS	CSE
2	06/09/2022	REVISED PER CONSERVATION COMMISSION COMMENTS	CSE

JOHN A. KUCZARSKI
CIVIL
No. 41530
REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF MASSACHUSETTS
JOHN A. KUCZARSKI
PROFESSIONAL ENGINEER
MASSACHUSETTS CIVIL LICENSE No. 41530
NEW HAMPSHIRE LICENSE No. 18426
CONNECTICUT LICENSE No. 28127
RHODE ISLAND LICENSE No. 9616
MAINE LICENSE No. 12765

McDonald's

AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION

OFFICE: BOSTON REGION
ADDRESS: 110 N CARPENTER ST CHICAGO, IL 60607

PLAN APPROVALS

	DATE
SIGNATURE	
APPROVED McDONALD'S AGENT	

BOHLER™

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES.
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COMPLIANCE CHECK DATE
CONSTRUCTION CHECK DATE
CONSTRUCTION CHECK DATE

PROJECT No.: W212039

CAD I.D. #: W212039-CVL-2.dwg

STREET ADDRESS
117-119 WEST STREET

CITY: WARE
STATE: MA
COUNTY: HAMPSHIRE

SITE I.D.: 020-0107

PLAN DESCRIPTION: COVER SHEET

STATUS	DATE	BY
DRAWN BY:	02/04/22	CSE
PLAN CHECKED	02/04/22	JAK
AS-BUILT		

SHEET NO. C-101
OF 7

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GENERAL NOTES

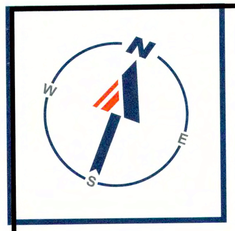
CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

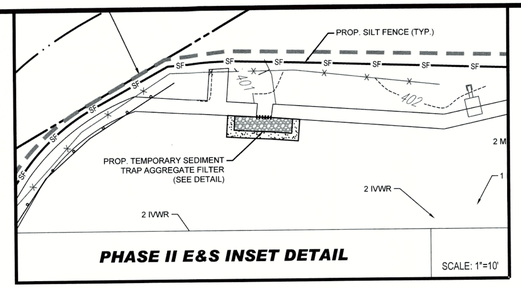
1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN.
   - "BOUNDARY & TOPOGRAPHIC SURVEY". PREPARED BY CONTROL POINT ASSOCIATES INC., DATED 2/12/2018, REVISED 6/13/2018.
   - "SITE DEVELOPMENT PLANS" PREPARED BY BOHLER ENGINEERING, DATED 6/6/2018, REVISED 10/10/2018.

   PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.
2. ALL ACCESSIBLE (A/KA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.
3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.
6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE PROCEEDING WITH ANY FURTHER WORK.
7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE redone OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS (INCLUDING BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.
11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.
12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.
13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT AS WELL AS FOR FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.
18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.
19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.
21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN. FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.
22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.
23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.
24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.
25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.
27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.
28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.
30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

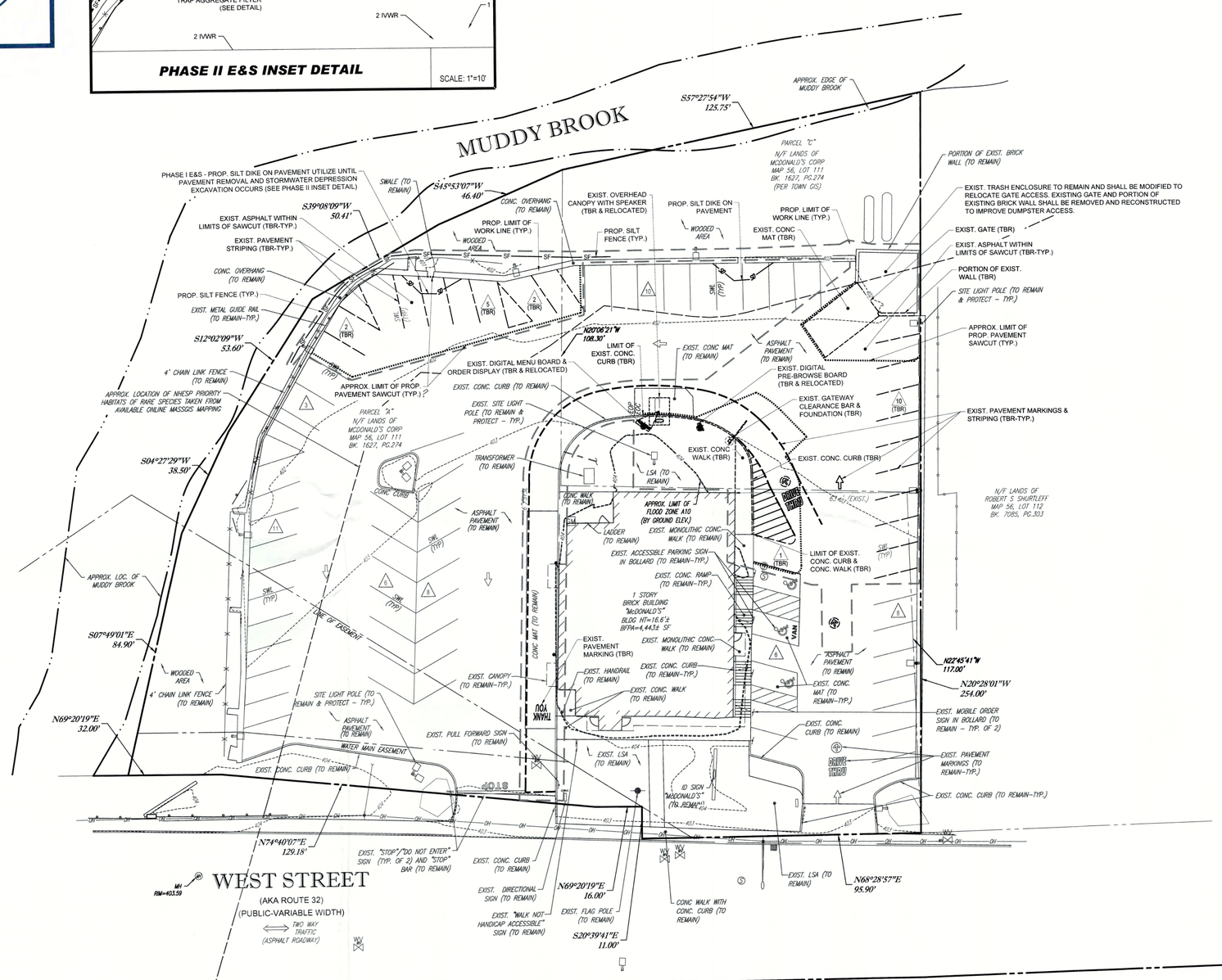
GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUNDUTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.
4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUIOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS, DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO PROVIDE CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.
9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS SPECIFIED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT THE TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REPLACED AS DIRECTED BY THE GEOTECHNICAL REPORT. ALL FILLED AREAS MUST BE PROVIDED WITH APPROVED FILL MATERIAL AS DEFINED IN THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.
11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.
12. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA. AS WELL AS ANY OTHER SITE SPECIFIC CONSTRAINTS THAT MAY AFFECT EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.
13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.
16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS,





PHASE II E&S INSET DETAIL



EROSION AND SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
4. INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:

10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.

10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER1,000 SF).

10.3. FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS: SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.

10.4. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.

11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
12. WETLANDS WILL BE PROTECTED W/ STRAW, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED,

MULCH

LOCATION	MULCH	RATE (1000 SF)
PROTECT AREA	STRAW	100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS	185-275 POUNDS
	STRAW (ANCHORED)*	100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
7. MULCHING REQUIREMENTS:

7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.

7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.

7.3. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.

8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
10. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

20 10 5 0 20
1"= 20'

REV	DATE	DESCRIPTION	BY
1	05/10/2022	REVISED PER CONSERVATION COMMISSION COMMENTS	CSE
2	06/09/2022	REVISED PER CONSERVATION COMMISSION COMMENTS	CSE

COMMONWEALTH OF MASSACHUSETTS JOHN KUCHARSKI CIVIL No. 41530 PROFESSIONAL ENGINEER

McDonald's

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OFFICE: BOSTON REGION
ADDRESS: 110 N CARPENTER ST, CHICAGO, IL 60607

PLAN APPROVALS
SIGNATURE / DATE
APPROVED McDONALD'S AGENT

811 Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION/ REMOVAL & SOIL EROSION CONTROL PURPOSES ONLY

BOHLER™

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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COMPLIANCE CHECK DATE
CONSTRUCTION CHECK DATE
CONSTRUCTION CHECK DATE

PROJECT No.: W212039
CAD I.D. #: W212039-CVL-2.dwg

-
STREET ADDRESS: 117-119 WEST STREET
CITY: WARE
STATE: MA
COUNTY: HAMPSHIRE
SITE I.D.: 020-0107
PLAN DESCRIPTION: DEMOLITION & EROSION CONTROL PLAN

STATUS	DATE	BY
DRAWN BY:	02/04/22	CSE
PLAN CHECKED	02/04/22	JAK
AS-BUILT		

SHEET NO. C-201
OF 7

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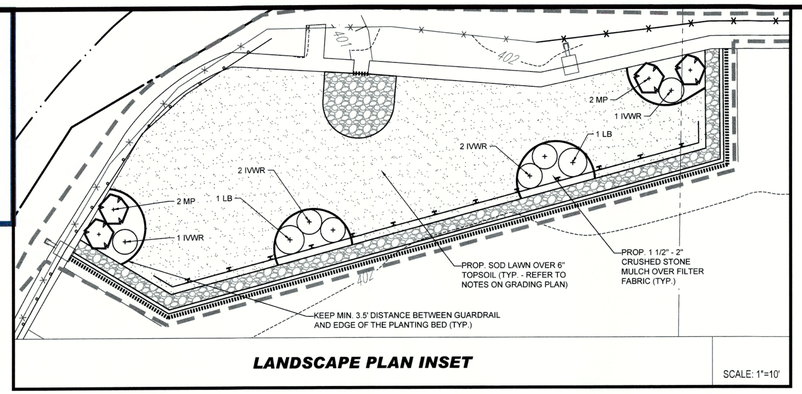


LANDSCAPE PLAN INSET

SITE INFORMATION

1. APPLICANT:
   McDONALD'S USA, LLC
   110 CARPENTER ST
   CHICAGO, IL 60607
2. OWNER:
   McDONALD'S USA, LLC
   110 CARPENTER ST
   CHICAGO, IL 60607
3. PARCEL:
   MAP 56 & LOT 111
   117-119 WEST STREET
   WARE, MA 01082

ZONING ANALYSIS TABLE

N/A - NOT APPLICABLE
N/S - NOT SPECIFIED
(V) - VARIANCE REQUESTED
(W) - WAIVER REQUESTED
(E) - EXIST. NON-CONFORMANCE
(R) - RELIEF REQUIRED

ZONING DISTRICT	HIGHWAY COMMERCIAL (HC)		
OVERLAY DISTRICT	OVERLAY DISTRICT		
REQUIRED PERMIT	PERMIT FROM DEPT.		
ZONE CRITERIA	**REQUIRED**	**EXISTING**	**PROPOSED**
MIN. LOT AREA	20,000 SF	±52,542 SF	NO CHANGE
MIN. LOT FRONTAGE	100'	±252'	NO CHANGE
MAX. BLDG COVERAGE	20%	8.4%	NO CHANGE
MIN. FRONT SETBACK	25'	26.1'	NO CHANGE
MIN. SIDE SETBACK	20'	63.6'	NO CHANGE
MIN. REAR SETBACK	30'	108.3'	NO CHANGE
MAX. BUILDING HEIGHT	30'	19'-4"	NO CHANGE
MAX. IMPER. COVERAGE	40%	72.0% (E)	68.7% (E)
PARKING SPACES	45	72	57
ACCESS. PARKING SPACES	3	3	NO CHANGE
PARKING STALL CRITERIA STANDARD: 9 FT x 20 FT COMPACT: 8 FT x 16 FT	USE/CATEGORY: EATING ESTABLISHMENT REQUIRED PARKING: (1 SPACE / 100 SF OF GFA + 1 SPACE / 100 SF OUTDOOR DINING AREA) CALCULATION: (1 SPACE / 100 SF GFA) * 4,443 SF + (1 SPACE / 100 SF OUTDOOR DINING AREA) * 0 SF = 44.4 = 45 SPACES		

PAVEMENT STRIPING LEGEND

4"/DYSL = 4" DOUBLE YELLOW SOLID LINE
6"\SYSL = 6" SINGLE YELLOW SOLID LINE
8"/SYSL = 8" SINGLE YELLOW SOLID LINE
4"/SWSL = 4" SINGLE WHITE SOLID LINE

LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
DECIDUOUS SHRUBS					
IVWR	6	ILEX VERTICILLATA 'WINTER RED'	WINTER RED WINTERBERRY HOLLY	30-36"	CONTAINER
LB	2	LINDERA BENZOIN	SPICEBUSH	30-36"	CONTAINER
MP	4	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	30-36"	B+B
SUBTOTAL:	12				

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL DICTATE.

METHODS AND MATERIALS
1. CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD.
2. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES.
3. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING. (EXCLUDES TOP GROWTH.)
4. SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10 PERCENT OF THE STRIP. BROKEN PADS OR TORN AND UNEVEN ENDS WILL NOT BE ACCEPTABLE.
5. FOR DRAUGHT SITES, A SOD OF KENTUCKY 31 TALL FESCUE AND BLUEGRASS IS PREFERRED OVER A STRAIGHT BLUEGRASS SOD.
6. ONLY MOIST, FRESH, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS.

I. SITE PREPARATION
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR LIMING, FERTILIZING, AND SOIL PREPARATION. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
B. INSTALL NEEDED EROSION CONTROL PRACTICES AND FACILITIES, SUCH AS INTERCEPTOR DITCHES, DIKES AND TERRACES, EROSION STOPS, AND DE-SILTING BASINS.

II. SOIL PREPARATION
A. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOP-DRESSING. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDES) AS FOLLOWS:

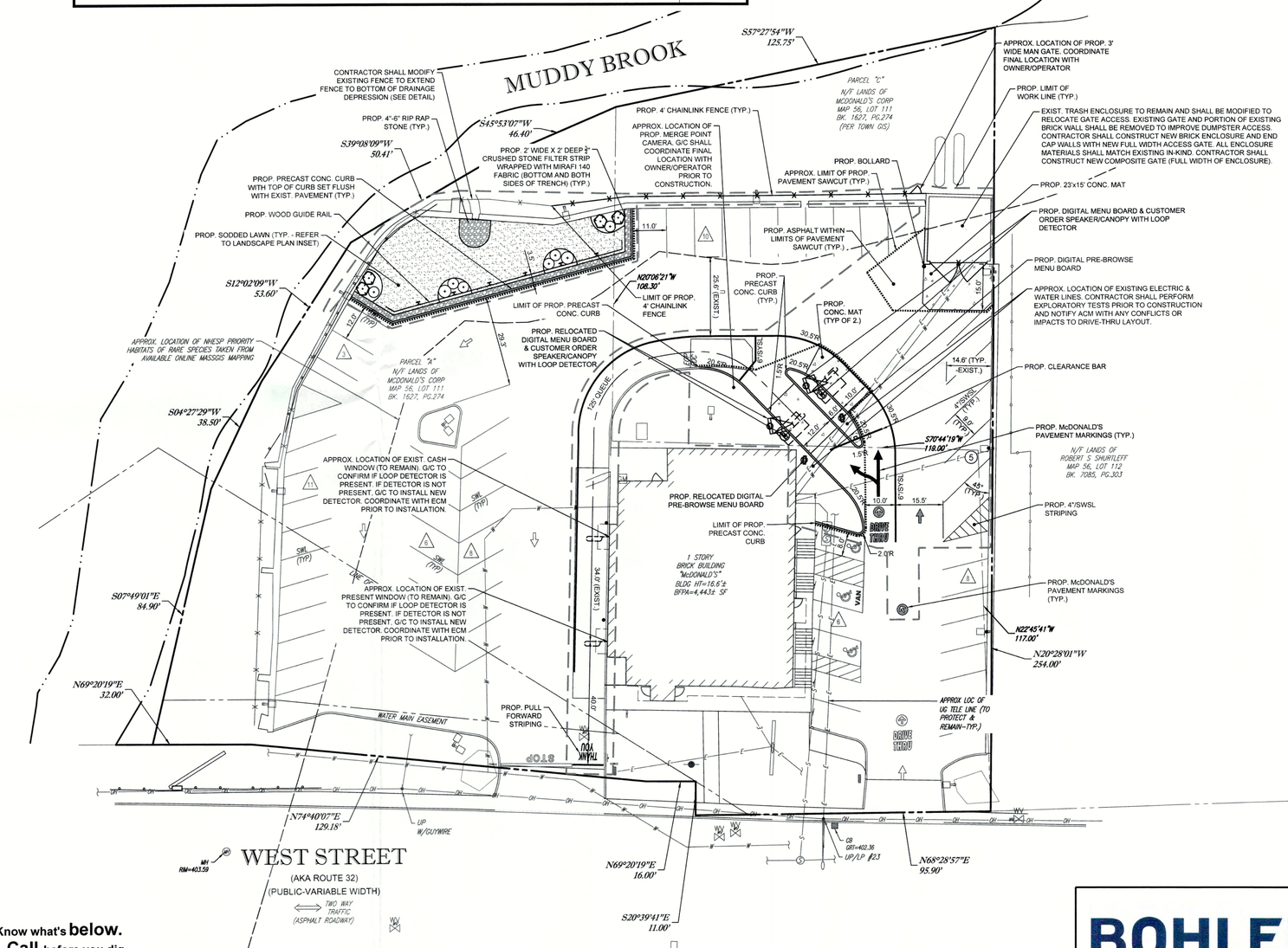
SOIL TEXTURE	TONS/ACRE	LBS/1000 SQ. FT
CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL	4	180
SANDY LOAM, LOAM, SILT LOAM	3	135
LOAMY SAND, SAND	2	90

B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCOING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED.
C. REMOVE FROM THE SURFACE ALL OBJECTS THAT WOULD PREVENT GOOD SOD TO SOIL CONTACT AND REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
D. INSPECT SITE JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.

III. SOD PLACEMENT
A. SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF LADDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD. DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOD.
B. PLACE SOD STRIPS WITH SNUG, EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION.
C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE DRYING OF THE ROOTS.
D. ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES, OR SPLIT SHINGLES (8 TO 10 INCHES LONG BY 3/4 INCH WIDE).
E. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER CARRYING CHANNELS AND OTHER CRITICAL AREAS. WIRE STAPLES MUST BE USED TO ANCHOR NETTING IN CHANNEL WORK.
F. IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS, AND CONTINUE IRRIGATION THROUGHOUT ENTIRE SEASON.

IV. TOP-DRESSING IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION TO SUGGESTED FERTILIZER, THEN A FOLLOW-UP OF TOP DRESSING IS NOT MANDATORY.
A. SPRING INSTALLATION OF SOD WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-20-10 OR EQUIVALENT AT 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET BETWEEN MARCH 15 AND APRIL 1.
B. FALL INSTALLATION OF SOD WILL REQUIRE THE ABOVE BETWEEN SEPTEMBER 1 AND OCTOBER 15.

STANDARD FOR PERMANENT STABILIZATION WITH SOD



THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES

20 10 5 0 20
1"= 20'

Know what's **below.** **Call** before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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COMPLIANCE CHECK DATE
CONSTRUCTION CHECK DATE
CONSTRUCTION CHECK DATE
PROJECT No.: W212039
CAD I.D. #: W212039-CVL-2.dwg

STREET ADDRESS
117-119 WEST STREET
CITY: WARE
STATE: MA
COUNTY: HAMPSHIRE
SITE I.D.: 020-0107
PLAN DESCRIPTION: SITE LAYOUT PLAN

STATUS	DATE	BY
DRAWN BY:	02/04/22	CSE
PLAN CHECKED	02/04/22	JAK
AS-BUILT		

SHEET NO. C-301
OF 7

REV	DATE	DESCRIPTION	BY
1	05/10/2022	REVISED PER CONSERVATION COMMISSION COMMENTS	CSE
2	06/09/2022	REVISED PER CONSERVATION COMMISSION COMMENTS	CSE

JOHN A. KUCZARSKI
CIVIL
No. 41530
REGISTERED PROFESSIONAL ENGINEER
MASSACHUSETTS No. 41530
NEW YORK No. 085426
CONNECTICUT No. 28127
RHODE ISLAND No. 6575
MAINE LICENSE No. 12583

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CHICAGO, IL 60607

OFFICE
ADDRESS

PLAN APPROVALS
SIGNATURE
DATE
APPROVED McDONALD'S AGENT

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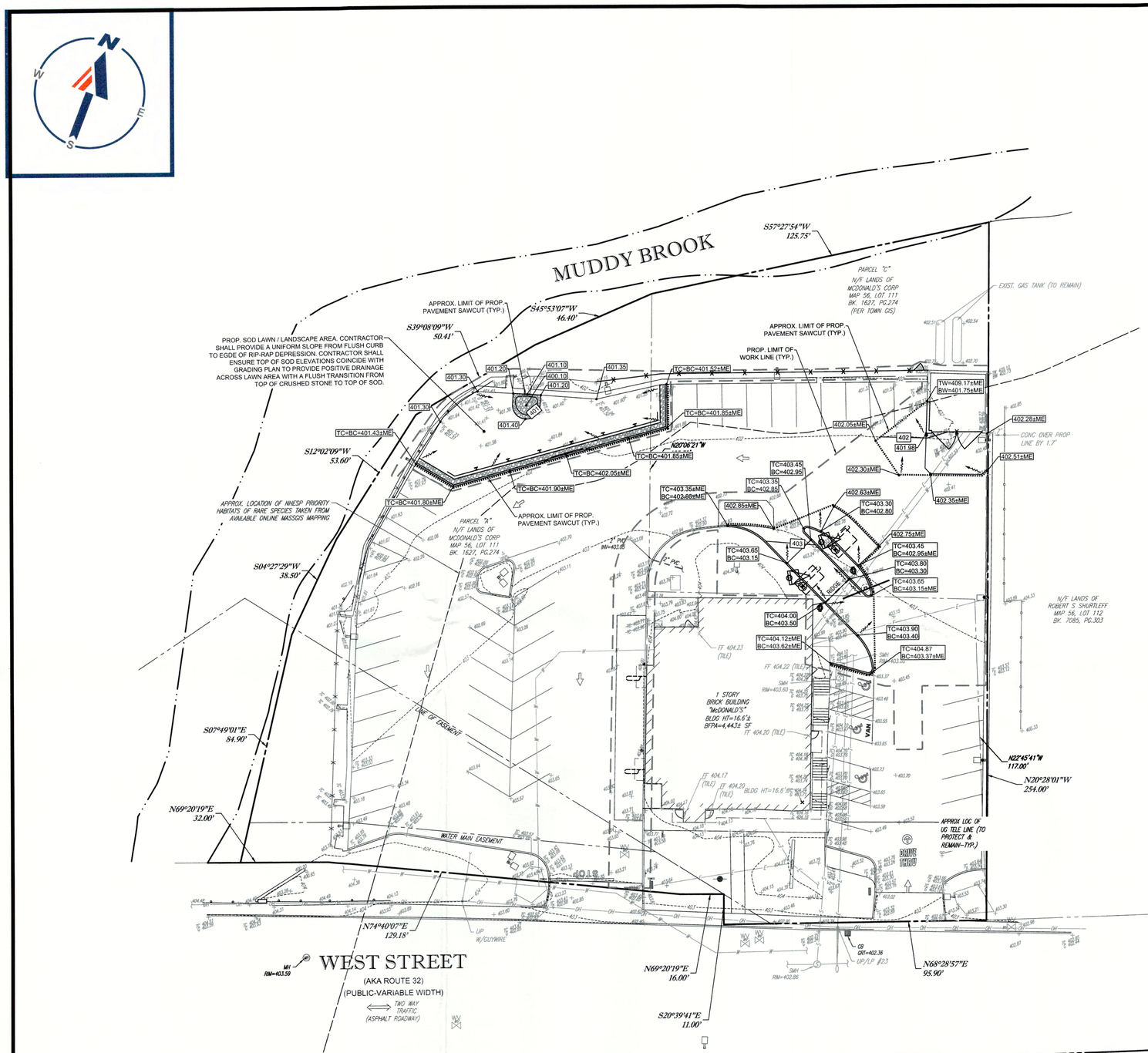

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES

20 10 5 0 20
1"= 20'

Know what's **below.** **Call** before you dig.

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COMPLIANCE CHECK DATE
CONSTRUCTION CHECK DATE
CONSTRUCTION CHECK DATE

PROJECT No.: W212039

CAD I.D. #: W212039-CVL-2.dwg

-

STREET ADDRESS
117-119 WEST STREET

CITY: WARE
STATE: MA
COUNTY: HAMPSHIRE

SITE I.D.: 020-0107

PLAN DESCRIPTION: **GRADING AND DRAINAGE PLAN**

REV	DATE	DESCRIPTION	BY
1	05/10/2022	REVISED PER CONSERVATION COMMISSION COMMENTS	CSE
2	06/09/2022	REVISED PER CONSERVATION COMMISSION COMMENTS	CSE

JOHN A. KUCZEWSKI CIVIL No. 41530 REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF MASSACHUSETTS
NEW HAMPSHIRE LICENSE No. 15426
CONNECTICUT LICENSE No. 28127
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PLAN APPROVALS

	SIGNATURE	DATE
APPROVED McDONALD'S AGENT		

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PLAN CHECKED	02/04/22	JAK
AS-BUILT		

SHEET NO. **C-401** OF 7

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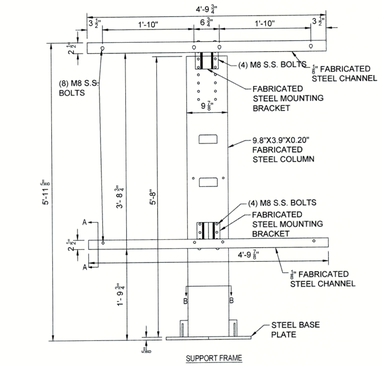
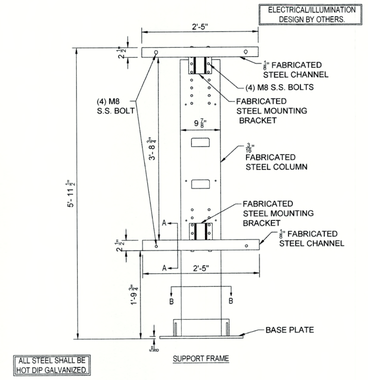


SUPPORT FRAME



SUPPORT FRAME

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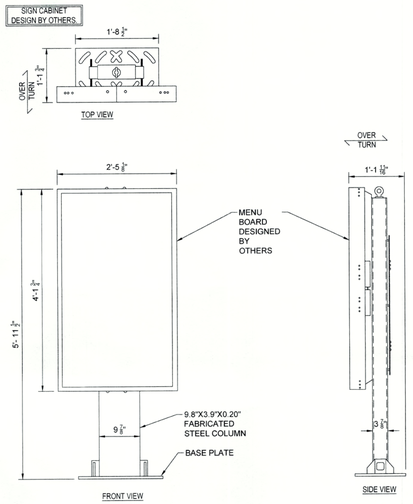
CONTRACTOR SHALL OBTAIN FINAL SPECIFICATIONS FROM SIGN VENDOR)

DIGITAL MENU BOARD DETAIL

N.T.S.



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DIGITAL PRE-BROWSE BOARD DETAIL

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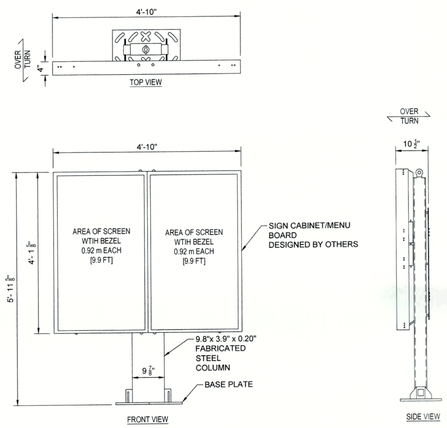

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DIGITAL MENU BOARD DETAIL

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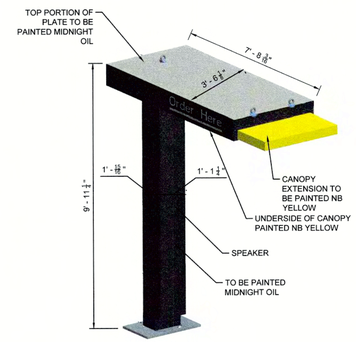

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DRIVE-THRU CANOPY/SPEAKER DETAIL

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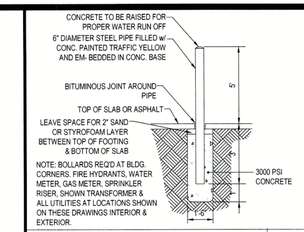

BOLLARD DETAIL

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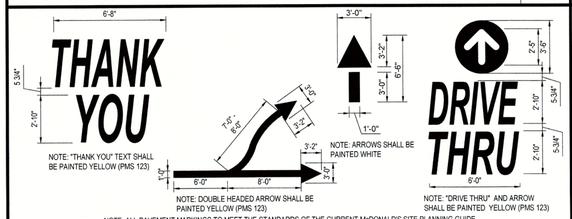
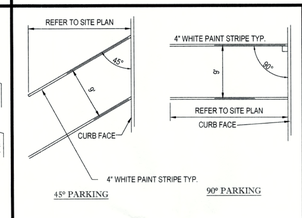
N.T.S.



NOTE: ALL PAVEMENT MARKINGS TO MEET THE STANDARDS OF THE CURRENT McDONALD'S SITE PLANNING GUIDE.

TYPICAL PAVEMENT MARKINGS

N.T.S.



STALL STRIPING

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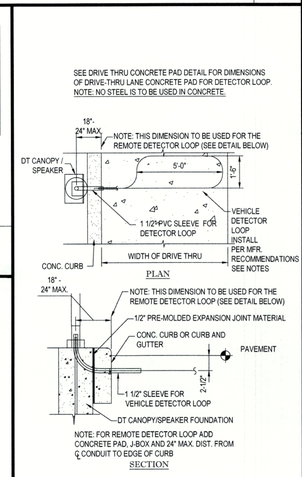

AUTO DETECTOR LOOP DETAIL

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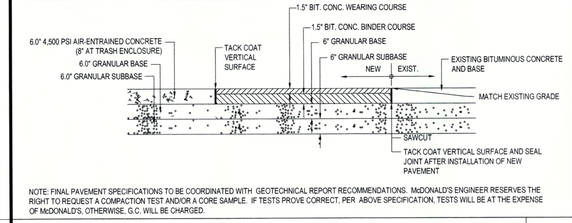
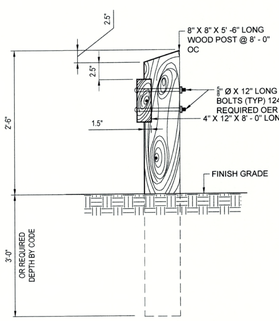


NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

CONCRETE & BITUMINOUS CONCRETE PAVING DETAIL

N.T.S.

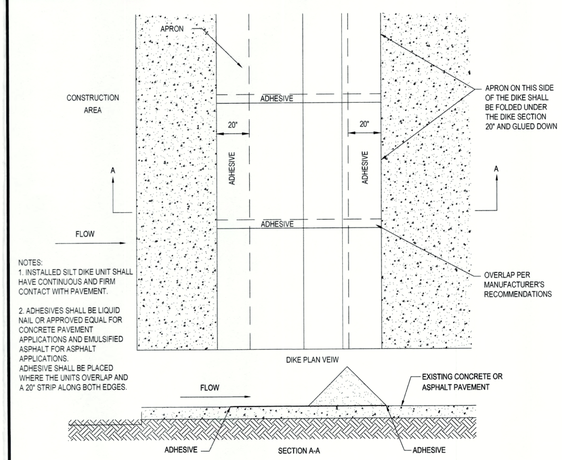
N.T.S.



NOTE: ALL CARRIAGE BOLTS, NUTS & WASHERS TO BE GALVANIZED & ALL WOOD POSTS & RAILS TO BE PRESSURE TREATED.

WOOD GUIDERAIL DETAIL

N.T.S.



NOTES:
1. INSTALLED SILT DIKE UNIT SHALL HAVE CONTINUOUS AND FIRM CONTACT WITH PAVEMENT.

2. ADHESIVES SHALL BE LIQUID NAIL OR APPROVED EQUAL FOR CONCRETE PAVEMENT APPLICATIONS AND EMULSIFIED ASPHALT FOR ASPHALT APPLICATIONS.
ADHESIVE SHALL BE PLACED WHERE THE UNITS OVERLAP AND A 20" STRIP ALONG BOTH EDGES.

SILT DIKE (ON EXISTING PAVEMENT)

N.T.S.

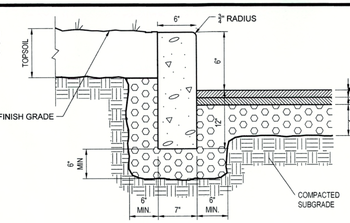
NOTE: CURB SHALL CONSIST OF 4,000 PSI AIR ENTRAINED CONCRETE. EXPOSED EDGES TO HAVE RUBBED FINISH AND SURFACE SHALL BE TREATED WITH A CONCRETE PENETRANT/SEALER.

THE ENDS OF CURB SECTIONS SHALL BE CHAMFERED 1/4 INCH.

CURBS, CURB CORNERS OR EDGING SHALL BE FITTED TOGETHER AS CLOSELY AS POSSIBLE.

EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM OF TWENTY FEET (20') ON CENTER USING PREFORMED EXPANSION JOINT FILLER HAVING A THICKNESS OF 1/2 INCH.

THE CORNERS OF CURB SECTIONS SHALL MATCH THE ADJACENT CURB IN SIZE, COLOR AND FINISH.



PRECAST CONCRETE CURB DETAIL

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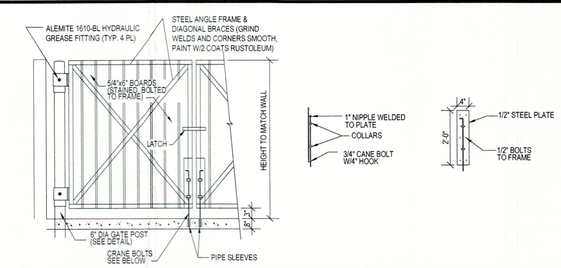

TRASH ENCLOSURE GATE & MOUNTING

N.T.S.

REV	DATE	DESCRIPTION	BY
1	05/10/2022	REVISED PER CONSERVATION COMMISSION COMMENTS	CSE
2	06/09/2022	REVISED PER CONSERVATION COMMISSION COMMENTS	CSE

JOHN A. KUCEWICZ
COMMONWEALTH OF MASSACHUSETTS
CIVIL
No. 41530
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE No. 41530
NEW HAMPSHIRE LICENSE No. 15426
CONNECTICUT LICENSE No. 27
RHODE ISLAND LICENSE No. 9419
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PLAN APPROVALS

	SIGNATURE	DATE
APPROVED McDONALD'S AGENT		

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COMPLIANCE CHECK DATE
CONSTRUCTION CHECK DATE
CONSTRUCTION CHECK DATE
PROJECT No.: W212039
CAD I.D. #: W212039-CVL-2.dwg

STREET ADDRESS: 117-119 WEST STREET
CITY: WARE
STATE: MA
COUNTY: HAMPSHIRE
SITE I.D.: 020-0107
PLAN DESCRIPTION: DETAIL SHEET

STATUS	DATE	BY
DRAWN BY:	02/04/22	CSE
PLAN CHECKED	02/04/22	JAK
AS-BUILT		

SHEET NO. C-901
OF 7

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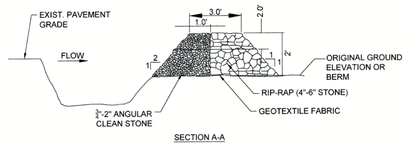
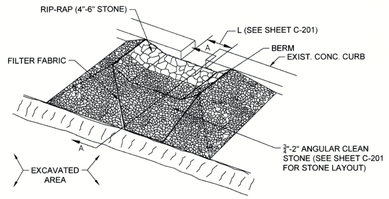


SECTION A-A



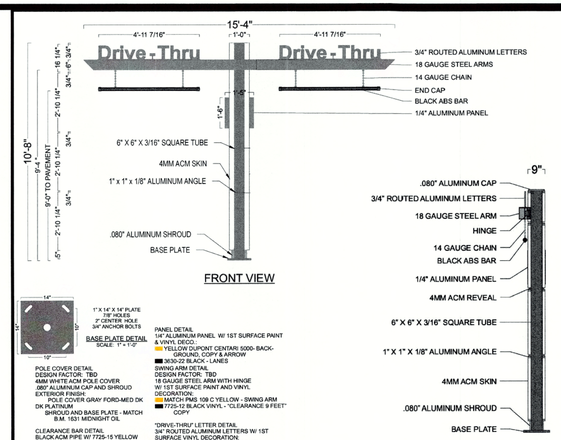
OUTLET ISOMETRIC VIEW

MAINTENANCE NOTES:

1. SEDIMENT TRAPS MUST BE INSPECTED AND MUST BE CLEANED WHEN THE ORIGINAL CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR LESS, AS REQUIRED BY THE GOVERNING AGENCY.
2. ALL MATERIAL EXCAVATED FROM BEHIND SEDIMENT BARRIERS OR FROM TRAPS SHALL BE INCORPORATED INTO ON-SITE SOILS.
3. VERIFY THAT NO EROSION IS OCCURRING AT DISCHARGE POINTS.

TEMPORARY SEDIMENT TRAP AGGREGATE FILTER

N.T.S.



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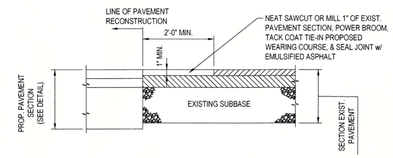
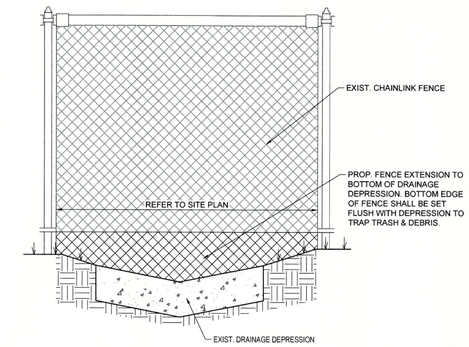
GATEWAY CLEARANCE BAR



PAVEMENT TIE-IN DETAIL

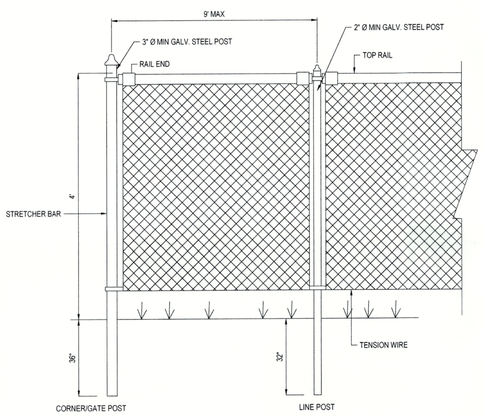
N.T.S.



FENCE EXTENSION DETAIL

N.T.S.

REV	DATE	DESCRIPTION	BY
1	05/10/2022	REVISED PER CONSERVATION COMMISSION COMMENTS	CSE
2	06/09/2022	REVISED PER CONSERVATION COMMISSION COMMENTS	CSE

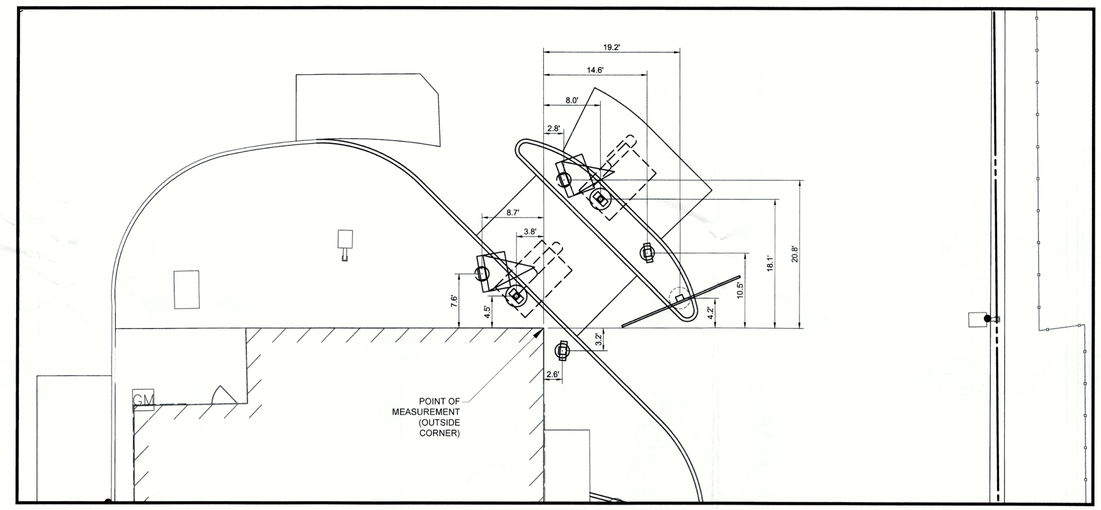


4' CHAIN LINK FENCE

N.T.S.

N.T.S.

N.T.S.



SIDE-BY-SIDE STANDARDS & DESIGN TOLERANCES:

1) DISTANCE FROM CENTER OF OPEN PRESENT WINDOW TO CENTER OF OPEN CASH WINDOW STANDARD IN 42'-45' AND IS SPECIFIC TO EACH BUILDING CONFIGURATION. ACCEPTABLE TOLERANCE IS 40' MIN ON REMODELS ONLY.

2) DISTANCE FROM CENTER OF OPEN CASH WINDOW TO CENTER OF PRIMARY LANE DT CANOPY/SPEAKER IS 100' OPTIMUM, 80' OR 60' MIN. ACCEPTABLE TOLERANCE IS PLUS OR MINUS 5' FOR 100' OR 80' QUEUES.

3) THE CENTER OF THE DIGITAL MENU BOARD FOUNDATION IS TO BE 5'-9" (5'-6" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION. IT SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° (35° PREFERRED) FROM A CAR POSITIONED AT THE DT CANOPY/SPEAKER AND WITH 100% VISIBILITY.

4) THE CRITICAL HOLD DISTANCE FROM CENTER OF THE PRIMARY LANE DT CANOPY/SPEAKER TO THE TIP OF THE CURBED ISLAND IS 15'-0".

5) THE CRITICAL HOLD DISTANCE FROM TIP OF ISLAND TO CENTER OF SECONDARY LANE DT CANOPY/SPEAKER IS 14'-0".

6) THE CENTER OF THE SECONDARY LANE DIGITAL MENU BOARD FOUNDATION SHALL BE 5'-9" (5'-6" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION WITH THE END CAP OF THE SECONDARY MENU BOARD NOT BE LESS THAN 12" FROM FACE OF CURB. IT SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° FROM A VEHICLE POSITIONED AT THE DT CANOPY/SPEAKER AND WITH 100% VISIBILITY.

7) THE ISLAND WIDTH IS 13'-0" STANDARD FROM FACE OF CURB TO CURB.

8) DIGITAL PRE-BROWSE BOARD IN THE PRIMARY LANE MUST BE 18'-24" FROM FACE OF CURB. THE DISTANCE BETWEEN THE PRIMARY DT CANOPY/SPEAKER AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY FROM THE SECOND CAR TO DT CANOPY/SPEAKER.

9) DIGITAL PRE-BROWSE BOARD IN THE SECONDARY LANE MUST BE MIN. 12" FROM FACE OF CURB. THE PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE DT CANOPY/SPEAKER FOUNDATION. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM THE DT CANOPY/SPEAKER (PREFERRED 35°)

10) A GATEWAY IS REQUIRED AND PLACED AT THE DRIVE-THRU LANE ENTRANCE.

11) EVERY SBS SHOULD HAVE BOTH DT CANOPY/SPEAKER IN BOTH LANES.

THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL, AND CONSIDERED "RED", ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.

NOTE: THE PLACEMENT OF THE DT CANOPY/SPEAKER SHOULD BE SUCH THAT IT PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.

NOTE: LINEAR DIMENSIONS ARE MEASURED PERPENDICULAR TO THE BUILDING FACES SHOWN UNLESS OTHERWISE NOTED.

NOTE: ALL SIGN BOLLARDS ARE TO BE 18"-24" FROM FACE OF CURB, VISIBILITY TO THE MEASURED FROM THE CLOSEST POINT ON THE SIGN.

DRIVE-THRU

SCALE: 1"=10'

N.T.S.

N.T.S.

N.T.S.

JOHN A. KUCZARSKI
COMMONWEALTH OF MASSACHUSETTS
CIVIL
No. 41530
REGISTERED PROFESSIONAL ENGINEER
PROFESSIONAL ENGINEER
MASSACHUSETTS LICENSE No. 41530
NEW HAMPSHIRE LICENSE No. 15426
CONNECTICUT LICENSE No. 28127
RHODE ISLAND LICENSE No. 9616
MAINE LICENSE No. 12583

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BOSTON REGION
110 N CARPENTER ST
CHICAGO, IL 60607

OFFICE
ADDRESS

PLAN APPROVALS

DATE
SIGNATURE
APPROVED McDONALD'S AGENT

BOHLER™

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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COMPLIANCE CHECK DATE
CONSTRUCTION CHECK DATE
CONSTRUCTION CHECK DATE

PROJECT No.: W212039

CAD I.D. #: W212039-CVL-2.dwg

-

STREET ADDRESS
117-119 WEST STREET

CITY: WARE
STATE: MA

COUNTY
HAMPSHIRE

SITE I.D.
020-0107

PLAN DESCRIPTION
DETAIL SHEET

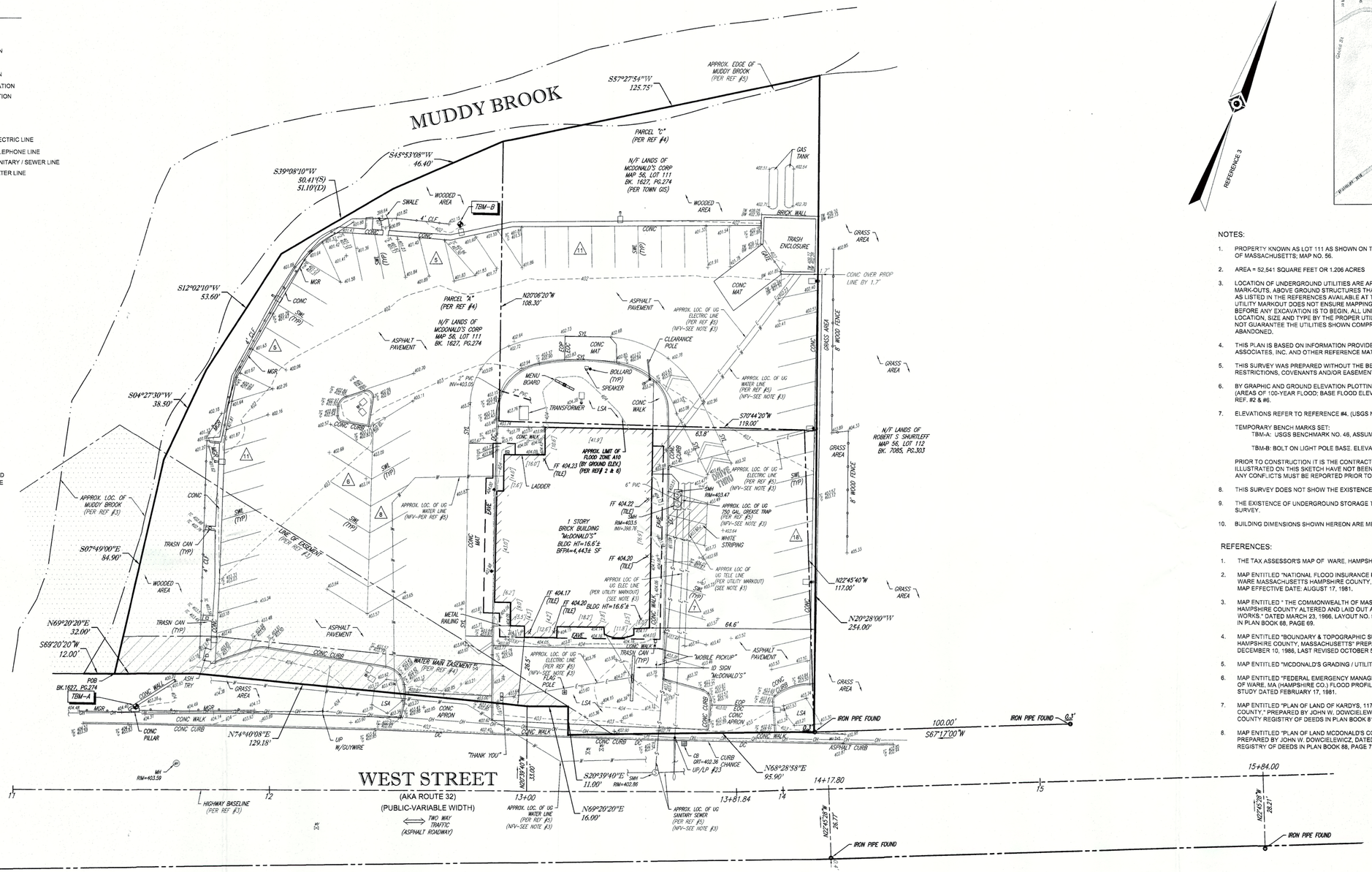
STATUS	DATE	BY
DRAWN BY:	02/04/22	CSE
PLAN CHECKED	02/04/22	JAK
AS-BUILT		

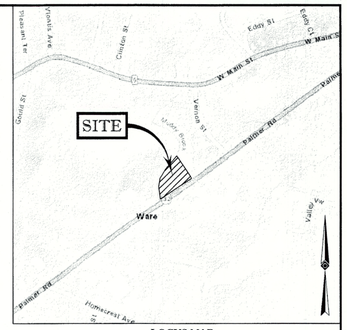
SHEET NO.
C-902
OF 7

P:\212039\Drawings\Plan Sets\REV2\W212039-CVL-2.dwg, C-902-Detail, 4/22/2010, 10:17:14 AM, cannis, XerxA5101-1.pc3, User934, 1:1

LEGEND

124 / 125	EXISTING CONTOUR
× 123.45	EXISTING SPOT ELEVATION
× TC 123.45	EXISTING TOP OF CURB ELEVATION
× G 122.95	EXISTING GUTTER ELEVATION
× TW 123.45	EXISTING TOP OF WALL ELEVATION
× BW 122.95	EXISTING BOTTOM OF WALL ELEVATION
× FF 123.45	EXISTING FINISHED FLOOR ELEVATION
WV	WATER VALVE
GM	GAS METER
OH	OVERHEAD WIRES
E	APPROX. LOC. UNDERGROUND ELECTRIC LINE
T	APPROX. LOC. UNDERGROUND TELEPHONE LINE
S	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
W	APPROX. LOC. UNDERGROUND WATER LINE
UP	UTILITY POLE
GW	GUY WIRE
	AREA LIGHT
	SIGN
	BOLLARD
	METAL GUIDE RAIL
	PAINTED ARROWS
CLF	CHAIN LINK FENCE
LSA	LANDSCAPED AREA
(TYP)	TYPICAL
SMH	SANITARY/SEWER MANHOLE
CB	CATCH BASIN OR INLET
10	PARKING SPACE COUNT
	DEPRESSED CURB
SWL	SOLID WHITE LINE
SYL	SOLID YELLOW LINE
HT	HEIGHT
BLDG	BUILDING
BFPA	BUILDING FOOTPRINT AREA
PVC	POLYVINYL CHLORIDE PIPE
INV	INVERT ELEVATION
GRT	GRATE ELEVATION
[41.9']	BUILDING DIMENSION
MGR	METAL GUIDE RAIL
1.0'	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE





LOCUS MAP
©2013 ESRI WORLD STREET MAPS

NOTES:

1. PROPERTY KNOWN AS LOT 111 AS SHOWN ON THE TOWN OF WARE, HAMPSHIRE COUNTY, COMMONWEALTH OF MASSACHUSETTS; MAP NO. 56.
2. AREA = 52,541 SQUARE FEET OR 1.206 ACRES
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
6. BY GRAPHIC AND GROUND ELEVATION PLOTTING PROPERTY IS LOCATED IN FLOOD HAZARD ZONE A10 (AREAS OF 100-YEAR FLOOD; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS DETERMINED) PER REF. #2 & #6.
7. ELEVATIONS REFER TO REFERENCE #4, (USGS NGVD29).

   TEMPORARY BENCH MARKS SET:
   TBM-A: USGS BENCHMARK NO. 46, ASSUMED ELEVATION OF 402.39.

   TBM-B: BOLT ON LIGHT POLE BASE, ELEVATION = 403.77.

   PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
8. THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
9. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
10. BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF WARE, HAMPSHIRE COUNTY, MAP #56.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, TOWN OF WARE MASSACHUSETTS HAMPSHIRE COUNTY, PANEL 22 OF 30," COMMUNITY-PANEL NUMBER 250172 0022 B, MAP EFFECTIVE DATE: AUGUST 17, 1981.
3. MAP ENTITLED " THE COMMONWEALTH OF MASSACHUSETTS PLAN OF ROAD IN THE TOWN OF WARE HAMPSHIRE COUNTY ALTERED AND LAID OUT AS A STATE HIGHWAY, BY THE DEPARTMENT OF PUBLIC WORKS." DATED MARCH 23, 1966. LAYOUT NO. 5566, RECORDED WITH THE HAMPSHIRE REGISTRY OF DEEDS IN PLAN BOOK 68, PAGE 69.
4. MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY FOR MCDONALDS, WEST STREET, TOWN OF WARE, HAMPSHIRE COUNTY, MASSACHUSETTS" PREPARED BY HOFFMAN ENGINEERS & SURVEYORS DATED DECEMBER 10, 1986, LAST REVISED OCTOBER 5, 1987.
5. MAP ENTITLED "MCDONALD'S GRADING / UTILITY PLAN SP-2" DATED JULY 23, 1987 DRAWN BY ADAM MAKAS.
6. MAP ENTITLED "FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL INSURANCE ADMINISTRATION TOWN OF WARE, MA (HAMPSHIRE CO.) FLOOD PROFILES MUDDY BROOK" SHEET 04P OF THE FLOOD INSURANCE STUDY DATED FEBRUARY 17, 1981.
7. MAP ENTITLED "PLAN OF LAND OF KARDYS, 117 & 119 WEST STREET, WARE MASSACHUSETTS, HAMPSHIRE COUNTY," PREPARED BY JOHN W. DOWCIELEWICZ, DATED MARCH 4, 1972. RECORDED WITH THE HAMPSHIRE COUNTY REGISTRY OF DEEDS IN PLAN BOOK 81, PAGE 58.
8. MAP ENTITLED "PLAN OF LAND MCDONALD'S CORPORATION, WARE MASSACHUSETTS, HAMPSHIRE COUNTY," PREPARED BY JOHN W. DOWCIELEWICZ, DATED AUGUST 13, 1973. RECORDED WITH THE HAMPSHIRE COUNTY REGISTRY OF DEEDS IN PLAN BOOK 88, PAGE 75.

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST.
REQUEST NUMBER(S): 20180201683

UTILITY COMPANY	PHONE NUMBER
AMERIGAS - PALMER	800-263-7442
COMCAST - SOUTH BURLINGTON	800-934-6489
NATIONAL GRID ELECTRIC-MASS ELEC	800-322-3223
OSTERMAN PROPANE	800-332-3353
VERIZON	800-922-0204
ON TARGET LOCATING	508-428-1022

1-888-344-7233 STOP CALL BEFORE YOU DIG!

THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

COMMONWEALTH OF MASSACHUSETTS GERRY L. HOLDRIGHT NO. 49211 PROFESSIONAL LAND SURVEYOR REGISTERED 6-13-18

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

DATE

No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN:	APPROVED:	DATE
1	REVISED PER ENGINEERS COMMENTS	-	E.LOC	G.L.H.	6-13-18

FIELD DATE: 1/31/18
FIELD BOOK NO.: 1-MA
FIELD BOOK PG.: 52
FIELD CREW: A.S.P.
DRAWN: PRIMA

McDonald's® L/C# 020-0107

BOUNDARY & TOPOGRAPHIC SURVEY
McDONALD'S USA, LLC
117-119 WEST STREET
MAP 56, LOT 111
TOWN OF WARE
HAMPSHIRE COUNTY
COMMONWEALTH OF MASSACHUSETTS

CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX
ALBANY, NY 5182175010
CHALFONT, PA 2157129800
MANHATTAN, NY 6467820411
MT LAUREL, NJ 6098572099
WARREN, NJ 9086680099

REVIEWED:	APPROVED:	DATE	SCALE	FILE NO.	DWG. NO.
R.D.N.	G.L.H.	2-12-18	1"=20'	03-170294-00	1 OF 1

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